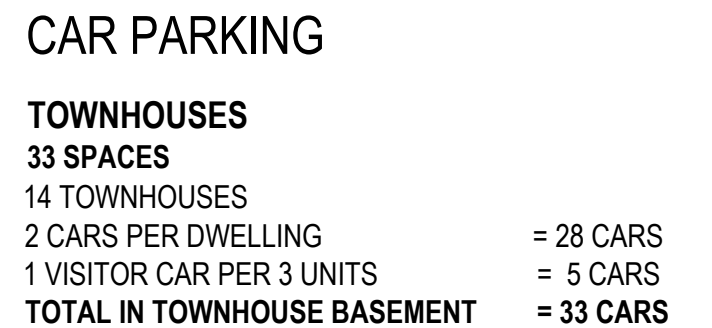


| |
|--|
| BUILDING A |
| <ul style="list-style-type: none">18 APARTMENTS (01-18)3 STOREYMAX. HEIGHT 10.5 M4 x 1 BEDROOM5 x 2 BEDROOM8 x 3 BEDROOM1 x 4 BEDROOM |
| BUILDING B |
| <ul style="list-style-type: none">18 APARTMENTS (19-36)3 STOREYMAX. HEIGHT 10.5 M1 x 1 BEDROOM2 x 2 BEDROOM15 x 3 BEDROOM |
| BUILDING C |
| <ul style="list-style-type: none">12 APARTMENTS (37-48)3 STOREYMAX. HEIGHT 10.5 M12 x 3 BEDROOM |
| BUILDING D |
| <ul style="list-style-type: none">18 APARTMENTS (49-66)3 STOREYMAX. HEIGHT 10.5 M3 x 1 BEDROOM1 x 2 BEDROOM14 x 3 BEDROOM |
| TOWNHOUSES 1-14 |
| <ul style="list-style-type: none">14 TOWNHOUSES (1-14)2 STOREYMAX. HEIGHT 10.5 M14 x 3 BEDROOM |
| <ul style="list-style-type: none">66 UNITS14 TOWNHOUSES1 DWELLING HOUSE79% SOLAR ACCESS COMPLIANCE (63 UNITS)78% NATURAL VENTILATION COMPLIANCE (62 UNITS) |
| 81 TOTAL DWELLING UNITS |

| | |
|----------------|-------------------------------|
| LEGEND: | |
| --- | EXISTING BOUNDARY |
| --- | EXISTING NARRABEEN CREEK |
| --- | EXISTING BUILDING |
| --- | EXISTING VEGETATION TREES |
| XXX | EXISTING SIGNIFICANT TREES |
| --- | EXISTING RESIDENCE |
| --- | PROPOSED DRIVEWAY ACCESS |
| --- | PROPOSED FOOTPATH |
| --- | PROPOSED FIRE ACCESS |
| --- | PROPOSED PRIVATE ACCESS WAY |
| --- | PROPOSED TOWNHOUSES |
| --- | PROPOSED APARTMENTS |
| --- | PROPOSED BALCONIES & TERRACES |
| --- | 25m RIPARIAN SETBACK |
| --- | BUSHFIRE APZ |
| L.B. | PROPOSED LETTER BOXES |
| RL | PROPOSED LEVEL |

- TOTAL SITE AREA - 5.678 Ha
- RU2 SITE AREA - 2.823 Ha
- R3 SITE AREA - 2.855 Ha
- LANDSCAPE AREA - 15,689.7 m²
- TOTAL FOOT PRINT AREA - 9,393.6 m²
- SITE COVERAGE - 32.90 %
- PRIVATE OPEN SPACE AREA - 3,466.7 m²



44 SPACES
 18 APARTMENTS (1 - 18)
 2 CARS PER APARTMENT = 36 CARS
 1 VISITOR CAR PER 3 UNITS = 6 CARS
ACCESSIBLE PARKING FOR VISITORS = 1 SPACE
 (INCLUDED IN VISITOR PARKING NUMBERS ABOVE)
ADAPTABLE PARKING = 5 SPACES
 (INCLUDED IN APARTMENT PARKING NUMBERS ABOVE)

| | |
|-------------------------------------|------------------|
| 1 ADDITIONAL CAR PARK | = 1 CAR |
| TOTAL IN BUILDING A BASEMENT | = 44 CARS |

43 SPACES
18 APARTMENTS (19 - 36)
2 CARS PER APARTMENT = 36 CARS
1 VISITOR CAR PER 3 UNITS = 6 CARS
ACCESSIBLE PARKING FOR VISITORS = 1 SPACE
(INCLUDED IN VISITOR PARKING NUMBERS ABOVE)
ADAPTABLE PARKING = 5 SPACES
(INCLUDED IN APARTMENT PARKING NUMBERS ABOVE)

| | |
|-------------------------------------|------------------|
| 1 ADDITIONAL CAR PARK | = 1 CAR |
| TOTAL IN BUILDING B BASEMENT | = 43 CARS |

28 SPACES
12 APARTMENTS (37 - 48)
2 CARS PER APARTMENT = 24 CARS
1 VISITOR CAR PER 3 UNITS = 4 CARS
ACCESSIBLE PARKING FOR VISITORS = 1 SPACE
(INCLUDED IN VISITOR PARKING NUMBERS ABOVE)
ADAPTABLE PARKING = 3 SPACES
(INCLUDED IN APARTMENT PARKING NUMBERS ABOVE)

TOTAL IN BUILDING C BASEMENT = 28 CARS

42 SPACES
 18 APARTMENTS (49 - 66)
 2 CARS PER APARTMENT = 36 CARS
 1 VISITOR CAR PER 3 UNITS = 6 CARS
ACCESSIBLE PARKING FOR VISITORS = 1 SPACE
 (INCLUDED IN VISITOR PARKING NUMBERS ABOVE)
ADAPTABLE PARKING = 3 SPACES
 (INCLUDED IN APARTMENT PARKING NUMBERS ABOVE)

TOTAL IN BUILDING D BASEMENT = 42 CARS

| | |
|--|--------------|
| TOWN HOUSE & APARTMENT PARKING | - 160 SPACES |
| VISITOR PARKING | - 27 SPACES |
| VISITOR ADAPTABLE PARKING (INCLUDED IN VISITOR PARKING NUMBERS ABOVE) | - 4 SPACES |

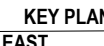
ADAPTABLE PARKING
(INCLUDED IN APARTMENT PARKING NUMBERS ABOVE)

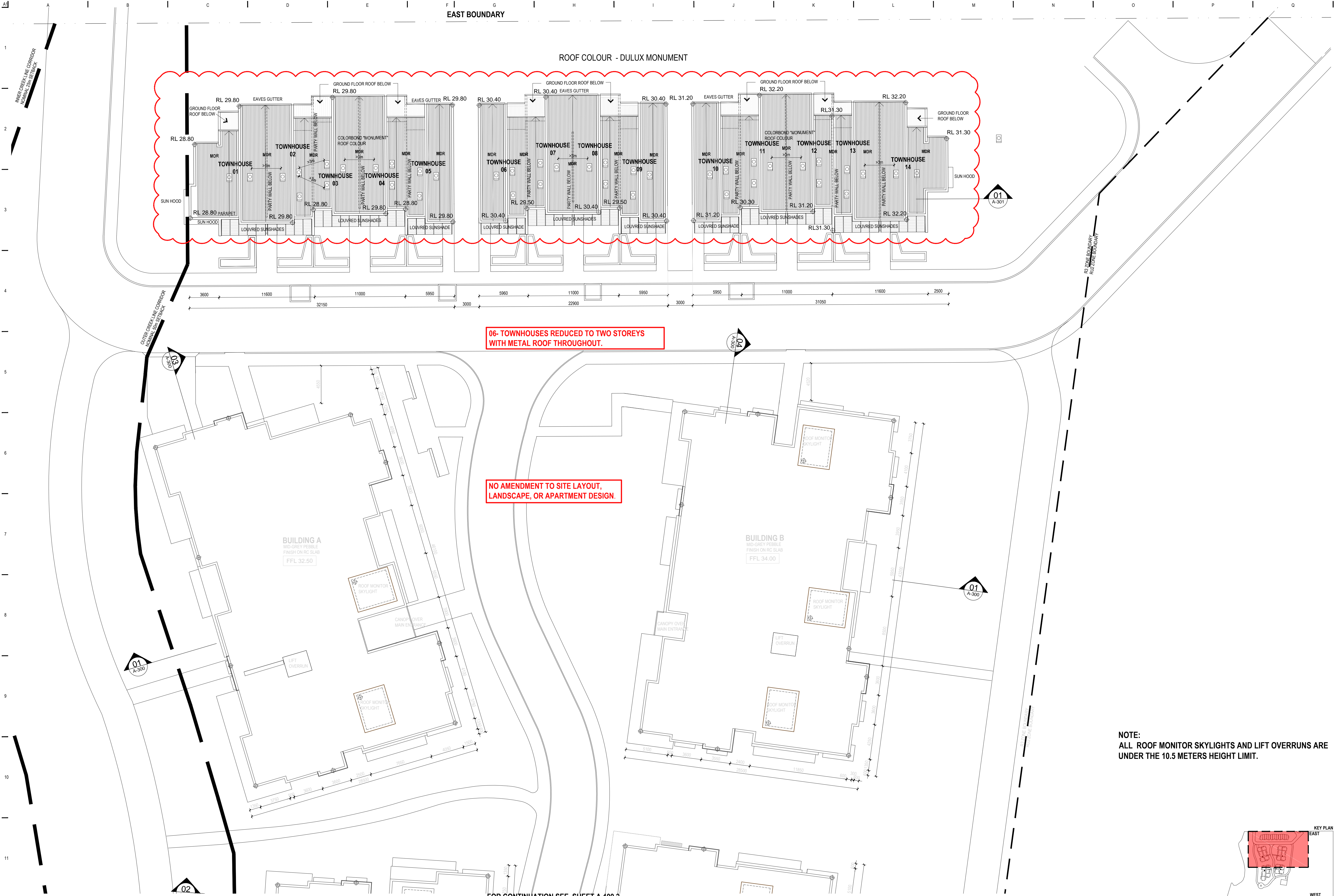
| | |
|------------------------|---------------------|
| CAR WASH BAY | - 1 SPACE |
| ADDITIONAL CAR PARKING | - 2 SPACES |
| TOTAL PARKING | - 191 SPACES |

PARKING IS CALCULATED IN ACCORDANCE WITH P21 DCP PART B AND PART C EXCEPT THAT ALL APARTMENTS, INCLUDING 1 BEDROOM APARTMENTS, HAVE 2 PARKING SPACES. PARKING FOR ADAPTABLE APARTMENTS HAVE A PARKING SPACE AND A SHARED SPACE, AS PER AS 2890.6 - 2009.

BICYCLE PARKING
80 off TOWNHOUSES & APARTMENTS
ONE BICYCLE PER 3 UNITS = 27 SPACES

STORAGE IS PROVIDED IN A COMMON BICYCLE STORE ROOM.





06- TOWNHOUSES REDUCED TO TWO STOREYS WITH METAL ROOF THROUGHOUT.

NO AMENDMENT TO SITE LAYOUT, LANDSCAPE, OR APARTMENT DESIGN.

NOTE:
ALL ROOF MONITOR SKYLIGHTS AND LIFT OVERRUNS ARE UNDER THE 10.5 METERS HEIGHT LIMIT.

FOR CONTINUATION SEE SHEET A-199.2

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FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO THOSE SCALED OFF. DETAIL DRAWINGS TO LARGER SCALES TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

THIS DRAWING WAS PREPARED FROM DRAWING AND SURVEY INFORMATION AVAILABLE AT THE TIME OF DRAFTING AND MAY VARY FROM ACTUAL SITE MEASURED DIMENSIONS. VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO FABRICATION OF COMPONENTS OR COMMENCEMENT OF WORK ON SITE.

Revision:

| | | | |
|----|----------|--|-----|
| 06 | 13/06/18 | ISSUED FOR AMENDED TOWNHOUSE S96 APPLICATION | LES |
| 05 | 28/02/17 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF |
| 04 | 28/02/17 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF |
| 03 | 14/02/17 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF |
| 02 | 04/11/16 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF |
| 01 | 21/10/16 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF |

| Issue | Date | Description | Issued by |
|-------|------|-------------|-----------|
| | | | |
| | | | |
| | | | |

Architects:

DREW DICKSON ARCHITECTS

SYDNEY ABU DHABI NEW DELHI CHENGDU

Notified Architect: Drew Dickson NSW Architect Reg No. 4125

DREW DICKSON ARCHITECTS PTY LTD - ABN 12 585 892 153

LEVEL 5, 80 CARRINGTON STREET, SYDNEY NSW 2000, AUSTRALIA

T +61 2 8270 3950 E info@dda-architects.com W www.dde-architects.com

Client:

WARRIEWOOD VALE PTY LTD

3A MACQUARIE STREET, MORISSET PARK, NSW 2264

Job Title:

MEDIUM DENSITY DEVELOPMENT

8 FOREST ROAD, WARRIEWOOD, NSW 2012

Drawing Title:

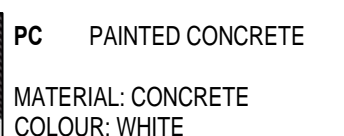
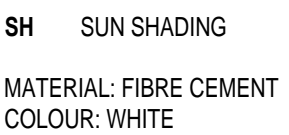
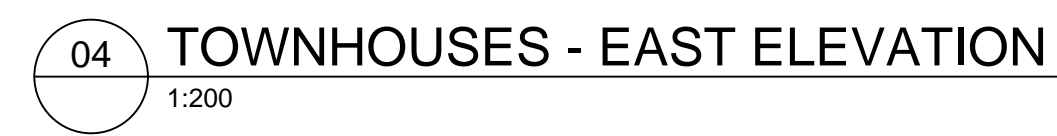
ROOF PLAN - EAST

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|-----------------------|-------------|-----------|
| Drawing Scale: | Date: | Drawn by: |
| 1:200@A1 | 13/06/2018 | LES |
| Drawing Status: | | |
| AMENDED TOWNHOUSE S96 | | |
| Project / Job No: | Drawing No: | Revision: |
| 15049 | A-199.1 | 06 |


- BAL** BALUSTRADE 1 - GLASS
- BD** BI-FOLD DOOR
- FC1** FIBRE CEMENT CLADDING - DULUX OOLONG
- FC2** FIBRE CEMENT CLADDING - DULUX TINKER
- GD** **HINGED** GLASS DOOR
- SD** SLIDING GLASS DOOR
- SW** SLIDING WINDOW
- LW** LOUVRE WINDOW
- FG** FIXED GLASS WINDOW
- PC** PAINTED CONCRETE
- LC** LIMESTONE CLADDING
- SH** SUN SHADE - SOLID
- SH2** SUN SHADE - LOUVRE/RED
- CT** TIMBER CLADDING
- TF** TIMBER FENCE



03 TOWNHOUSES - SOUTH ELEVATION
1:200



Architects:



DREW DICKSON ARCHITECTS

SYDNEY ABU DHABI NEW DELHI CHENGDU
Nominated Architect: Drew Dickson - NSW Architects' Reg. No. 41
DREW DICKSON ARCHITECTS PTY LTD - ABN 12 168 892 1
LEVEL 9, 50 CARRINGTON STREET, SYDNEY NSW 2000 AUSTRALIA
T +61 2 8270 3990 E info@dda-architecture.com W www.dda-architecture.com

Job Title:
MEDIUM DENSITY DEVELOPMENT
8 FOREST ROAD, WARRIEWOOD, NSW 2012

Drawing Title:
TOWNHOUSE ELEVATIONS

| | | |
|--|----------------------|-----------------|
| Drawing Scale: 1:200@A1 | Date: 14/10/2016 | Drawn by: AR |
| Drawing Status: AMENDED DA TOWNHOUSES S96 | | |
| Project / Job No: 15049 | Drawing No: A-203 | Revision: 05 |

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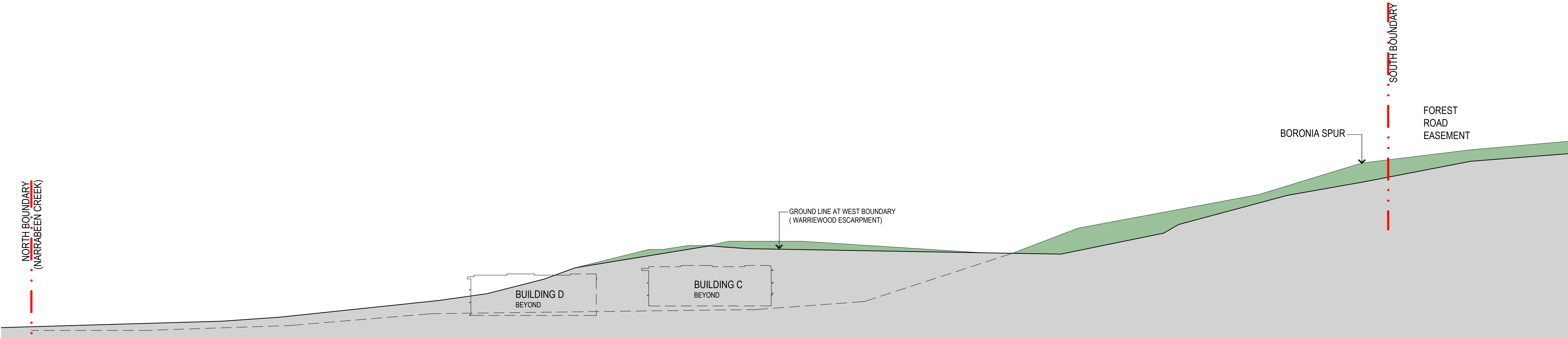
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01 WEST BOUNDARY ELEVATION - BOUNDARY ROAD EASEMENT
1:500

6

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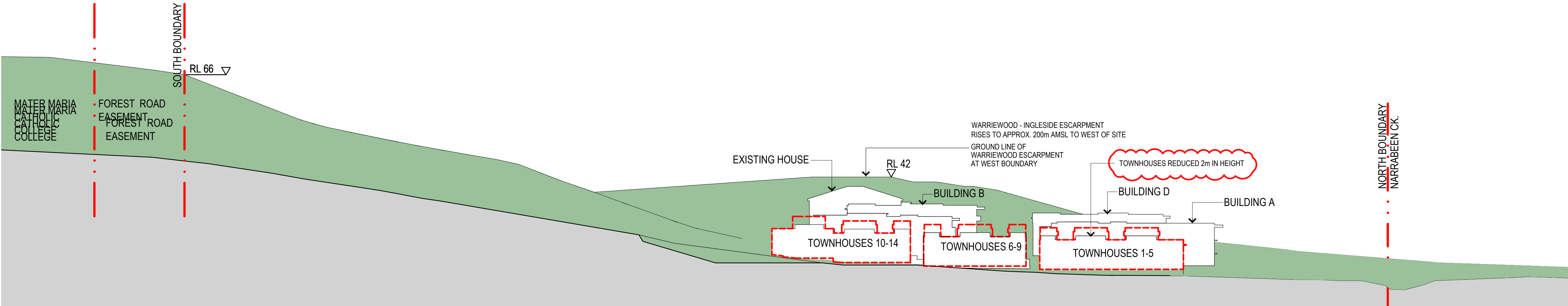
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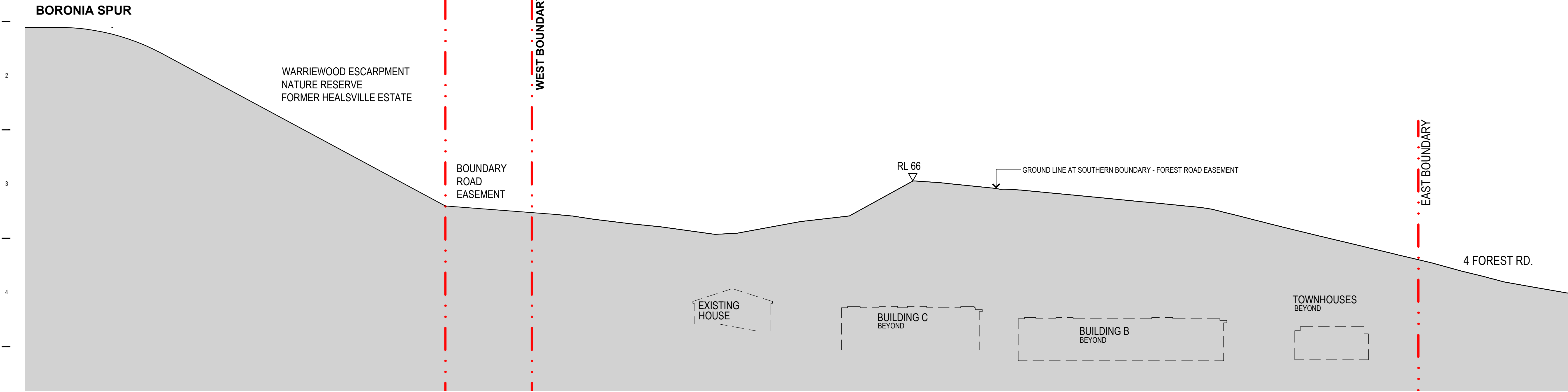
02 EAST BOUNDARY ELEVATION - TO WARRIEWOOD GROVE ESTATE
1:500

10

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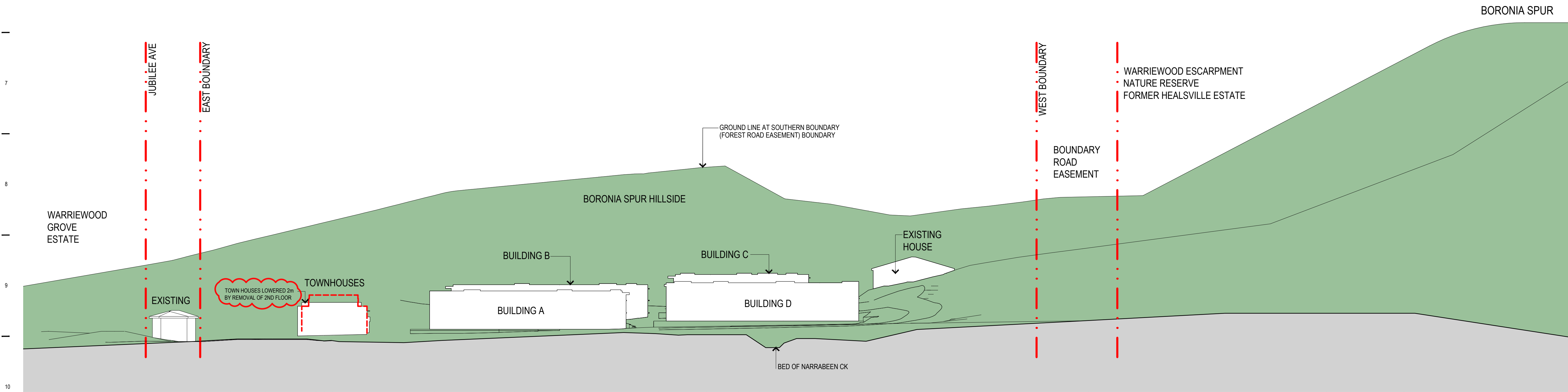
11

1



01 SOUTH BOUNDARY ELEVATION (FOREST ROAD EASEMENT)
1:500

6



02 NORTH BOUNDARY ELEVATION (NARRABEEN CREEK)
1:500

11

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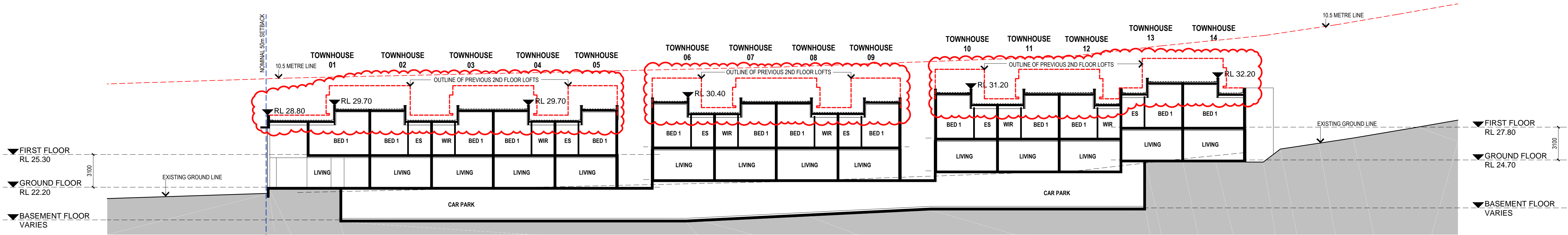
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11



01 TOWNHOUSES - SECTION
1:200

- SECOND FLOOR LOFTS DELETED.
- ROOF & FLOOR SLABS DELETED.
- REPLACED BY ALL METAL ROOF AND LOWER METAL CLAD RAISED FIRST FLOOR CENTRAL AND END BAYS.



01 21ST JUNE 09 AM



02 21ST JUNE 12 NOON




03 21ST JUNE 03 PM


LEGEND:
PROPOSED SHADOWS
EXISTING SHADOWS

1



- GROSS FLOOR AREA DEFINITION AS PITTWATER LOCAL ENVIRONMENTAL PLAN 2014:
- gross floor area** means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:
- (a) the area of a mezzanine, and
 - (b) habitable rooms in a basement or an attic, and
 - (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
 - (d) any area for common vertical circulation, such as lifts and stairs, and
 - (e) any basement:
 - (f) storage, and
 - (g) vehicular access, loading areas, garbage and services, and
 - (h) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
 - (i) car parking to meet any requirements of the consent authority (including access to that car parking), and
 - (j) any space used for the loading or unloading of goods (including access to it), and
 - (k) terraces and balconies with outer walls less than 1.4 metres high, and
 - (l) voids above a floor at the level of a storey or storey above.

| | | | | | | | | | | | | | | | | |
|--|--|--|--|---|--|-------|--|----------|--|-----------|-------|------|-------------|-----------|--|--|
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| | | | | | | 04 | | 28/02/17 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF | | | | | | |
| | | | | | | 03 | | 17/02/17 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF | | | | | | |
| | | | | | | 02 | | 04/11/16 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF | | | | | | |
| | | | | | | 01 | | 21/10/16 | ISSUED FOR AMENDED DEVELOPMENT APPLICATION | DF | | | | | | |
| | | | | | | Issue | | Date | Description | Issued by | Issue | Date | Description | Issued by | | |

| | | | |
|-------------------|--|--|--|
| Architects: | |  DREW DICKSON ARCHITECTS STONEY - ABU DHABI - NEW DELHI - CHENGDU Nominated Architect - Drew Dickson - NSW Architects' Reg. No. 4125 DREW DICKSON ARCHITECTS PTY LTD - ABN 12 185 892 153 LEVEL 3, 80 CARRINGTON STREET, STONEY NSW 2001, AUSTRALIA T +61 2 8270 3950 E info@dda-australia.com W www.dda-australia.com | |
| Client: | | WARRIEWOOD VALE PTY LTD 3A MACQUARIE STREET, MORISSET PARK, NSW 2264 | |
| Job Title: | | MEDIUM DENSITY DEVELOPMENT 8 FOREST ROAD, WARRIEWOOD, NSW 2012 | |
| Drawing Scale: | | 1:500@A1 | |
| Date: | | 21/10/2016 | |
| Drawn By: | | VE | |
| Drawing Status: | | AMENDED DA TOWNHOUSE S96 | |
| Drawing Title: | | GROSS FLOOR AREA ANALYSIS | |
| Project / Job No: | | 15049 | |
| Drawing No: | | A-540 | |
| Revision: | | 05 | |