

DEVELOPMENT APPLICATION FOR PROPOSED SHOP-TOP HOUSING DEVELOPMENT 1010 - 1014 PITTWATER ROAD COLLARROY NSW 2097



- THERMAL COMFORT COMMITMENTS**
- METAL ROOF (MEDIUM COLOUR) WITH 70MM FOIL LINED BLANKET.
 - R3.0 INSULATION TO ALL CEILINGS ADJACENT TO METAL ROOF.
 - REFLECTIVE SARKING + 50MM EXTRUDED POLYSTYRENE INSULATION TO CEILINGS ADJACENT TO CONCRETE ROOF.
 - ALL EXTERNAL WALLS TO INCLUDE R2.5 INSULATION.
 - 200MM CONCRETE SLAB FLOORS ALL LEVELS.
 - UNITS 1 & 7-12 TO INCLUDE R1.5 INSULATION TO FLOOR ADJACENT TO CARPARK.
 - W7.02, W10.02, W12.02, W12.03, W14.01, W14.06, W15.01, W15.03, W17.01, W19.01, W19.02, W20.01, W20.02, W21.01, W21.02 & ALL GLASS BLOCKS DG U=4.8 SHGC=0.59 +/-10%.
 - ALL OTHER WINDOWS AL/SG U=6.7 SHGC=0.57 +/-10% (AWNING) SHGC=0.7 +/-10% (SLIDING/FIXED).
 - ALL SKYLIGHTS VELUX FIXED U=2.7 SHGC=0.24 +/-5%.
 - ALL EXHAUST FANS SEALED.
 - ALL RECESSED DOWNLIGHTS SEALED AND TO ALLOW FOR UNINTERRUPTED CEILING INSULATION.
 - CEILING FANS TO LIVING & BEDROOMS FOR ALL LEVEL 2 & 3 UNITS (MINIMUM 1200MM DIAMETER).

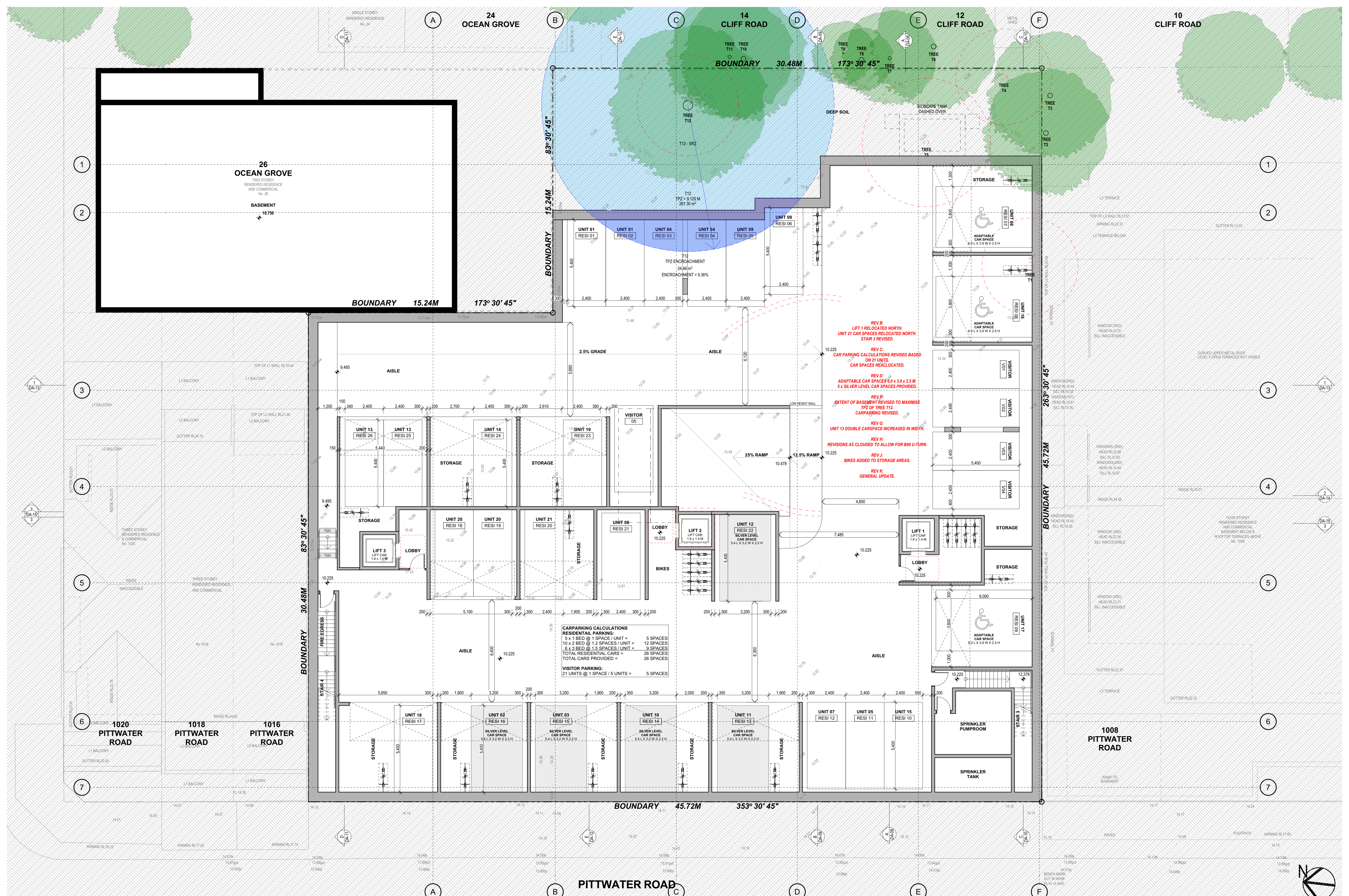
- WALL TYPES LEGEND**
- A1 - LIGHT-WEIGHT EXTERNAL WALL**
- FIBRE CEMENT WEATHERBOARD CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 16 MM THICK FIRE AND WATER-RESISTANT PLASTERBOARD
 - 92 MM STEEL STUD
 - GLASS WOOL INSULATION R = 2.5
 - 16 MM THICK FIRE-RESISTANT PLASTERBOARD
- A2 - STRUCTURAL EXTERNAL WALL WITH FRL**
- FIBRE CEMENT CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 150 MM THICK AFS CONCRETE WALL
 - 20 MM AIR GAP
 - 64 MM STEEL STUD
 - GLASS WOOL INSULATION R = 2.5
 - 13 MM THICK PLASTERBOARD
- A3 - STRUCTURAL WALL WITH FRL**
- FIBRE CEMENT CLADDING
 - 50 MM BATTEN
 - VAPOUR PERMEABLE SARKING
 - 150 MM THICK AFS CONCRETE WALL
 - VAPOUR PERMEABLE SARKING
 - 50 MM BATTEN
 - FIBRE CEMENT CLADDING
- B1 - INTERTENANCY WALL - NON-LOAD BEARING**
- 13 MM PLASTERBOARD
 - 35 MM CHANNEL
 - 50 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 75 MM HEBEL POWER PANEL
 - 20 MM MINIMUM AIR GAP
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD
- B2 - INTERTENANCY WALL - LOAD BEARING**
- 13 MM PLASTERBOARD
 - 35 MM CHANNEL
 - 50 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 150 MM MINIMUM AFS CONCRETE WALL
 - 20 MM MINIMUM AIR GAP
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD
- C1 - INTERNAL PARTITION WALL**
- 13 MM PLASTERBOARD
 - 64 MM STEEL STUD
 - 75 MM BRADFORD ACOUSTIGARD 11 ACOUSTIC INSULATION
 - 13 MM PLASTERBOARD

UNIT SCHEDULE					
UNIT No.	UNIT TYPE	UNIT AREA	SOLAR ACCESS	NATURAL VENTILATION	ADAPTABLE / SILVER LEVEL UNIT
01	2 BED	82.41	SOLAR = NO	VENT = YES	
02	2 BED	82.16	SOLAR = NO	VENT = YES	SILVER LEVEL
03	2 BED	85.08	SOLAR = NO	VENT = YES	SILVER LEVEL
04	2 BED	76.30	SOLAR = YES	VENT = YES	
05	1 BED + S	73.98	SOLAR = NO	VENT = NO	
06	1 BED	75.01	SOLAR = NO	VENT = NO	ADAPTABLE UNIT
07	1 BED	52.27	SOLAR = NO	VENT = NO	
08	1 BED	67.32	SOLAR = YES	VENT = NO	
09	2 BED	79.00	SOLAR = YES	VENT = YES	
10	3 BED	89.11	SOLAR = YES	VENT = YES	SILVER LEVEL
11	3 BED	87.29	SOLAR = YES	VENT = YES	SILVER LEVEL
12	3 BED	87.69	SOLAR = YES	VENT = YES	SILVER LEVEL
13	3 BED	96.45	SOLAR = YES	VENT = YES	
14	2 BED	88.62	SOLAR = YES	VENT = YES	
15	1 BED	59.05	SOLAR = YES	VENT = YES	
16	3 BED + S	128.64	SOLAR = YES	VENT = YES	ADAPTABLE UNIT
17	3 BED + S	123.58	SOLAR = YES	VENT = YES	ADAPTABLE UNIT
18	2 BED	79.00	SOLAR = YES	VENT = YES	
19	2 BED	87.17	SOLAR = YES	VENT = YES	
20	2 BED	85.33	SOLAR = YES	VENT = YES	
21	2 BED	85.74	SOLAR = YES	VENT = YES	
		1,771.20 m ²			

RETAIL AREA	
RETAIL TENANCY	AREA
RETAIL 01	87.47
RETAIL 02	95.11
RETAIL 03	88.88
	271.46 m ²

DRAWING No:	DRAWING TITLE	REVISION
DA-00	COVER SHEET	G
DA-01	SITE ANALYSIS PLAN	A
DA-02	SITE PLAN	F
DA-03	BASEMENT PLAN	K
DA-04	GROUND FLOOR PLAN	K
DA-05	LEVEL 1 PLAN	G
DA-06	LEVEL 2 PLAN	F
DA-07	LEVEL 3 PLAN	G
DA-08	ROOF PLAN	F
DA-09	SECTION A	F
DA-10	SECTION B	F
DA-11	SECTION C	F
DA-12	SECTION D	F
DA-13	SECTION E	F
DA-14	SECTION 2	F
DA-15	SECTION 3	F
DA-16	NORTH & EAST ELEVATIONS	F
DA-17	SOUTH & WEST ELEVATIONS	F
DA-18	SHADOW DIAGRAMS	D
DA-19	SCHEDULE OF EXTERIOR FINISHES & MATERIALS	E
DA-20	HEIGHT CONTROL DIAGRAM - OVERVIEW	E
DA-21	HEIGHT CONTROL DIAGRAM - VIEW FROM WEST	E
DA-22	HEIGHT CONTROL DIAGRAM - VIEW FROM NORTH	E
DA-23	HEIGHT CONTROL DIAGRAM - VIEW FROM EAST	E
DA-24	HEIGHT CONTROL DIAGRAM - VIEW FROM SOUTH	E
DA-25	VIEW 1	E
DA-26	VIEW 2	E
DA-27	VIEW 3	E
DA-28	VIEW 4	E
DA-29	VIEW 5	E
DA-30	VIEW 6	E
DA-31	VIEW 7	E
DA-32	VIEW 8	E

DEVELOPMENT SUMMARY					
UNIT MIX & TOTAL	CAR PARKING	BICYCLE PARKING	SOLAR ACCESS & NATURAL VENTILATION	ACCESSIBILITY	
1 BED = 5 (24%) 2 BED = 10 (48%) 3 BED = 6 (28%) TOTAL = 22 (100%)	RESIDENTIAL = 26 SPACES VISITORS = 5 SPACES RETAIL = 19 SPACES TOTAL CAR SPACES = 50 SPACES	RESIDENTIAL = 21 SPACES VISITORS = 2 SPACES RETAIL (STAFF) = 2 SPACES RETAIL (SHOPPERS) = 1 SPACE TOTAL BICYCLES = 26 SPACES	SOLAR ACCESS = 15 / 21 (71%) X-VENTILATION = 17 / 21 (81%)	"SILVER LEVEL" UNITS = 5 UNITS (24%) ADAPTABLE UNITS = 3 UNITS (14%)	



REV B:
LIFT 1 RELOCATED NORTH.
UNIT 21 CAR SPACES RELOCATED NORTH.
STAIR 3 REVISED.

REV C:
CAR PARKING CALCULATIONS REVISED BASED
ON 21 UNITS.
CAR SPACES REALLOCATED.

REV D:
ADAPTABLE CAR SPACES 6.0 x 3.8 x 2.5 M.
5 x SILVER LEVEL CAR SPACES PROVIDED.

REV E:
EXTENT OF BASEMENT REVISED TO MAXIMISE
TPZ OF TREE T12.
CAR PARKING REVISED.

REV G:
UNIT 13 DOUBLE CARSPACE INCREASED IN WIDTH.

REV H:
REVISIONS AS CLOUDED TO ALLOW FOR B99 U-TURN.

REV J:
BIKES ADDED TO STORAGE AREAS.

REV K:
GENERAL UPDATE.

CARPARKING CALCULATIONS
RESIDENTIAL PARKING:
5 x 1 BED @ 1 SPACE / UNIT = 5 SPACES
10 x 2 BED @ 1.2 SPACES / UNIT = 12 SPACES
6 x 3 BED @ 1.5 SPACES / UNIT = 9 SPACES
TOTAL RESIDENTIAL CARS = 26 SPACES
TOTAL CARS PROVIDED = 26 SPACES

VISITOR PARKING:
21 UNITS @ 1 SPACE / 5 UNITS = 5 SPACES

Rev	Change Name
05/07/2024	DA
05/07/2024	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/09/2024	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/09/2024	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/09/2024	REVISIONS TO DA DRAWINGS AS CLOUDED.
30/08/2024	GENERAL REVISIONS TO DRAWINGS AS REQUESTED BY PARKING CONSULTANT.
28/10/2024	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NLRPP.

PROJECT
LONGS REEF MIXED-USE
1010 - 1014 PITTWATER ROAD
COLLAROY NSW 2097
LOTS 3 & 4 SECTION 1 IN D.P. 6777 &
LOT 2 IN D.P. 314645

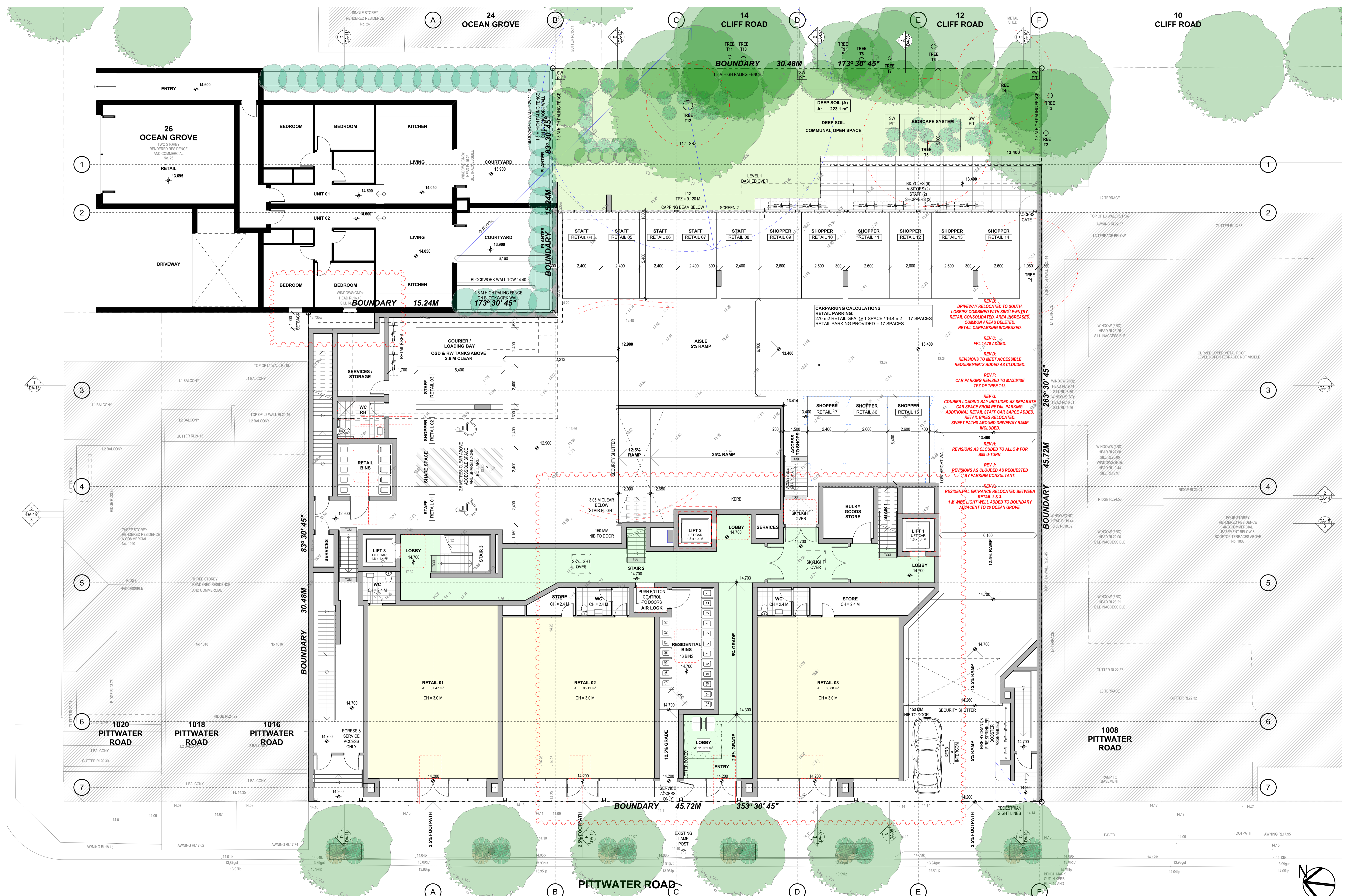
DATE
05/07/2024

SCALE
1:100 @ A1

PROJECT NO.
2101

DRAWING NO.
DA-03

FOR COLLAROY PROJECTS PTY LTD



CARPARKING CALCULATIONS
 RETAIL PARKING:
 270 m2 RETAIL GFA @ 1 SPACE/16.4 m2 = 17 SPACES
 RETAIL PARKING PROVIDED = 17 SPACES

REV B:
 DRIVEWAY RELOCATED TO SOUTH.
 LOBBIES COMBINED WITH SINGLE ENTRY.
 RETAIL CONSOLIDATED AREA INCREASED.
 COMMON AREAS DELETED.
 RETAIL CARPARKING INCREASED.

REV C:
 FPL 14.70 ADDED.

REV D:
 REVISIONS TO MEET ACCESSIBLE
 REQUIREMENTS ADDED AS CLOUDED.

REV E:
 CAR PARKING REVISED TO MAXIMISE
 TPZ OF TREE T12.

REV F:
 COURIER LOADING BAY INCLUDED AS SEPARATE
 CAR SPACE FROM RETAIL PARKING.
 ADDITIONAL RETAIL STAFF CAR SPACE ADDED.
 RETAIL BIKES RELOCATED.
 SWEEP PATHS AROUND DRIVEWAY RAMP
 INCLUDED.

REV H:
 REVISIONS AS CLOUDED TO ALLOW FOR
 899 U-TURN.

REV J:
 REVISIONS AS CLOUDED AS REQUESTED
 BY PARKING CONSULTANT.

REV K:
 RESIDENTIAL ENTRANCE RELOCATED BETWEEN
 RETAIL 2 & 3
 1 M WIDE LIGHT WELL ADDED TO BOUNDARY
 ADJACENT TO 26 OCEAN GROVE.

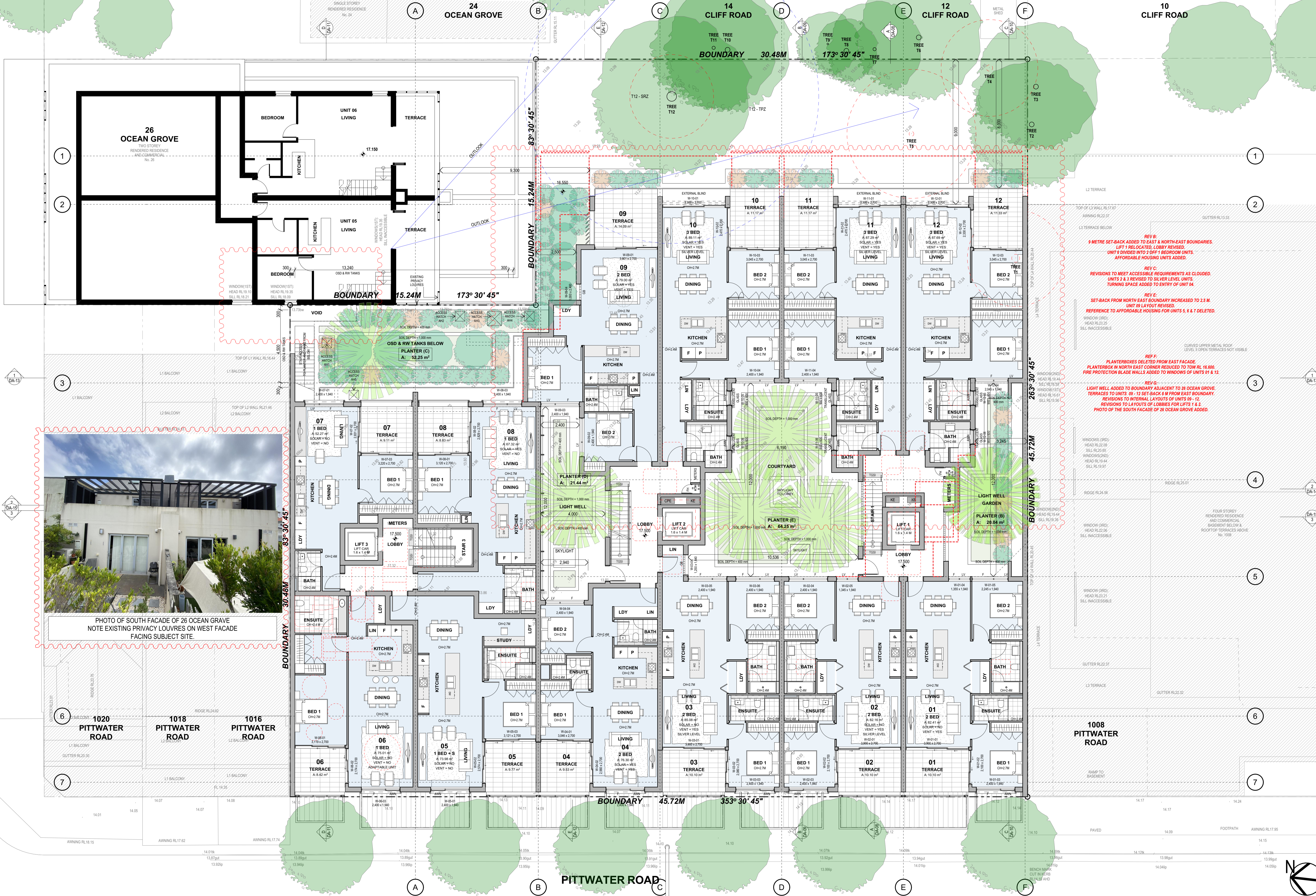
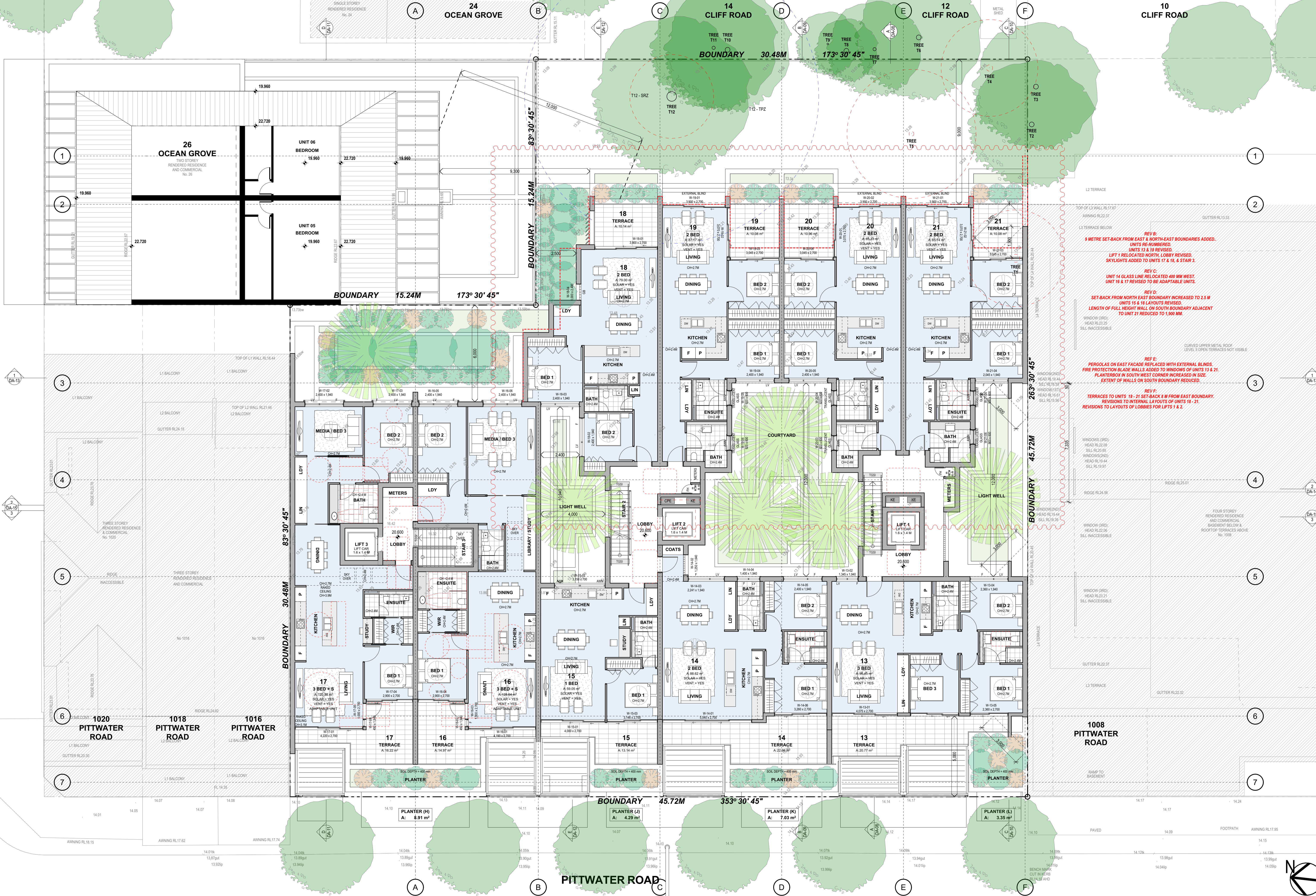


PHOTO OF SOUTH FACADE OF 26 OCEAN GRAVE
NOTE EXISTING PRIVACY LOUVRES ON WEST FACADE
FACING SUBJECT SITE.

- REV B:
9 METRE SET-BACK ADDED TO EAST & NORTH-EAST BOUNDARIES.
LIFT 1 RELOCATED, LOBBY REVISED.
UNITS DIVIDED INTO 2 CHFF BEDROOM UNITS.
AFFORDABLE HOUSING UNITS ADDED.
- REV C:
REVISIONS TO MEET ACCESSIBLE REQUIREMENTS AS CLOUDED.
UNITS 2 & 3 REVISED TO SILVER LEVEL UNITS.
TURNING SPACE ADDED TO ENTRY OF UNIT 04.
- REV E:
SET-BACK FROM NORTH EAST BOUNDARY INCREASED TO 2.5 M.
UNIT 09 LAYOUT REVISED.
REFERENCE TO AFFORDABLE HOUSING FOR UNITS 5, 8 & 7 DELETED.
- REF F:
PLANTERBOXES DELETED FROM EAST FACADE.
PLANTERBOX IN NORTH EAST CORNER REDUCED TO 10 M. 600.
FIRE PROTECTION BLADE WALLS ADDED TO WINDOWS OF UNITS 01 & 12.
- REV G:
LIGHT WELL ADDED TO BOUNDARY ADJACENT TO 26 OCEAN GRAVE.
TERRACES TO UNITS 09 - 12 SET-BACK 8 M FROM EAST BOUNDARY.
REVISIONS TO LAYOUTS OF LOBBIES FOR LIFTS 1 & 2.
PHOTO OF THE SOUTH FACADE OF 26 OCEAN GRAVE ADDED.



REV B:
9 METRE SET-BACK FROM EAST & NORTH-EAST BOUNDARIES ADDED.
UNITS RE-NUMBERED.
UNITS 13 & 19 REVISED.
LIFT 1 RELOCATED NORTH, LOBBY REVISED.
SKYLIGHTS ADDED TO UNITS 17 & 18, & STAIR 3.

REV C:
UNIT 14 GLASS LINE RELOCATED 400 MM WEST.
UNIT 16 & 17 REVISED TO BE ADAPTABLE UNITS.

REV D:
SET-BACK FROM NORTH EAST BOUNDARY INCREASED TO 2.5 M
UNITS 15 & 16 LAYOUTS REVISED.
LENGTH OF FULL HEIGHT WALL ON SOUTH BOUNDARY ADJACENT
TO UNIT 21 REDUCED TO 1,900 MM.

REV E:
PERGOLAS ON EAST FACADE REPLACED WITH EXTERNAL BLINDS.
FIRE PROTECTION BLADE WALLS ADDED TO WINDOWS OF UNITS 13 & 21.
PLANTERBOX IN SOUTH WEST CORNER INCREASED IN SIZE.
EXTENT OF WALLS ON SOUTH BOUNDARY REDUCED.

REV F:
TERRACES TO UNITS 18 - 21 SET-BACK 8 M FROM EAST BOUNDARY.
REVISIONS TO INTERNAL LAYOUTS OF UNITS 18 - 21.
REVISIONS TO LAYOUTS OF LOBBIES FOR LIFTS 1 & 2.



REV B:
 LEVEL 3 UNITS DELETED.
 UNITS RE-NUMBERED.
 LIFT 1 RELOCATED NORTH, LOBBY REVISED.
 SKYLIGHTS ADDED TO UNITS 17 & 16 & STAIR 3.
 COMMUNAL OPEN SPACE ADDED.
 LIFT ACCESS TO COMMUNAL OPEN SPACE ADDED.

REV C:
 REVISIONS TO MEET ACCESSIBLE REQUIREMENTS AS CLOUDED.

REV E:
 COMMUNAL OPEN SPACE SET BACK FROM NORTH EAST BOUNDARY
 INCREASED TO 8,000 MM.
 WIDTH OF PLANTER SEPARATING COMMUNAL OPEN SPACE
 FROM NORTH EAST BOUNDARY INCREASED TO 2,500 MM.
 SET BACK OF MAIN ROOF FROM NORTH EAST BOUNDARY INCREASED.

REV F:
 PARAPET WALLS REDUCED IN HEIGHT & RELOCATED
 AWAY FROM BOUNDARY.

REV G:
 LIFT 1 LOBBY ADDED TO LEVEL 3.
 ACCESS PATH ADDED FROM LIFT 1 LOBBY TO COMMUNAL OPEN SPACE.

Rev	Change Name
1	ISSUED FOR PERMIT
2	REVISIONS TO DA DRAWINGS AS CLOUDED.
3	REVISIONS TO DA DRAWINGS AS CLOUDED.
4	REVISIONS TO DA DRAWINGS AS CLOUDED.
5	REVISIONS TO DA DRAWINGS AS CLOUDED.
6	REVISIONS TO DA DRAWINGS AS CLOUDED.
7	REVISIONS TO DA DRAWINGS AS CLOUDED.
8	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NLRPP.

GARTNER/ROVATO

HEAD BATHING 8072 | LAKE TRUROU | 7094
 L1/13 | 10 PARK STREET
 HINDS VILLE, NSW 2103
 P.O. BOX 9974 | 4422
 02 9333 6200

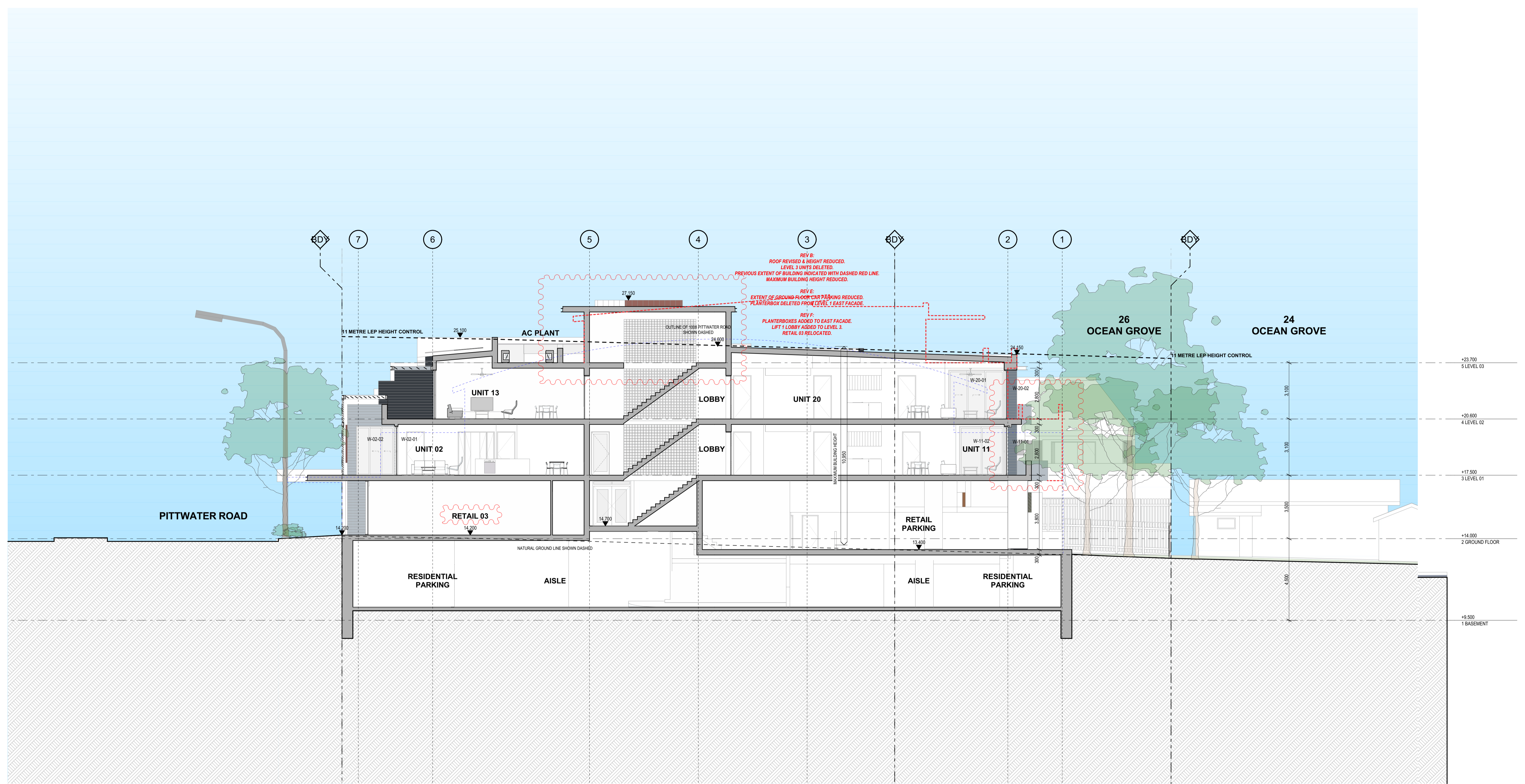
LONG REEF MIXED-USE
 1010 - 1014 PITTWATER ROAD
 COLLARARY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 &
 LOT 2 IN D.P. 314645

LEVEL 3 PLAN

SCALE: 1:100 @ A1

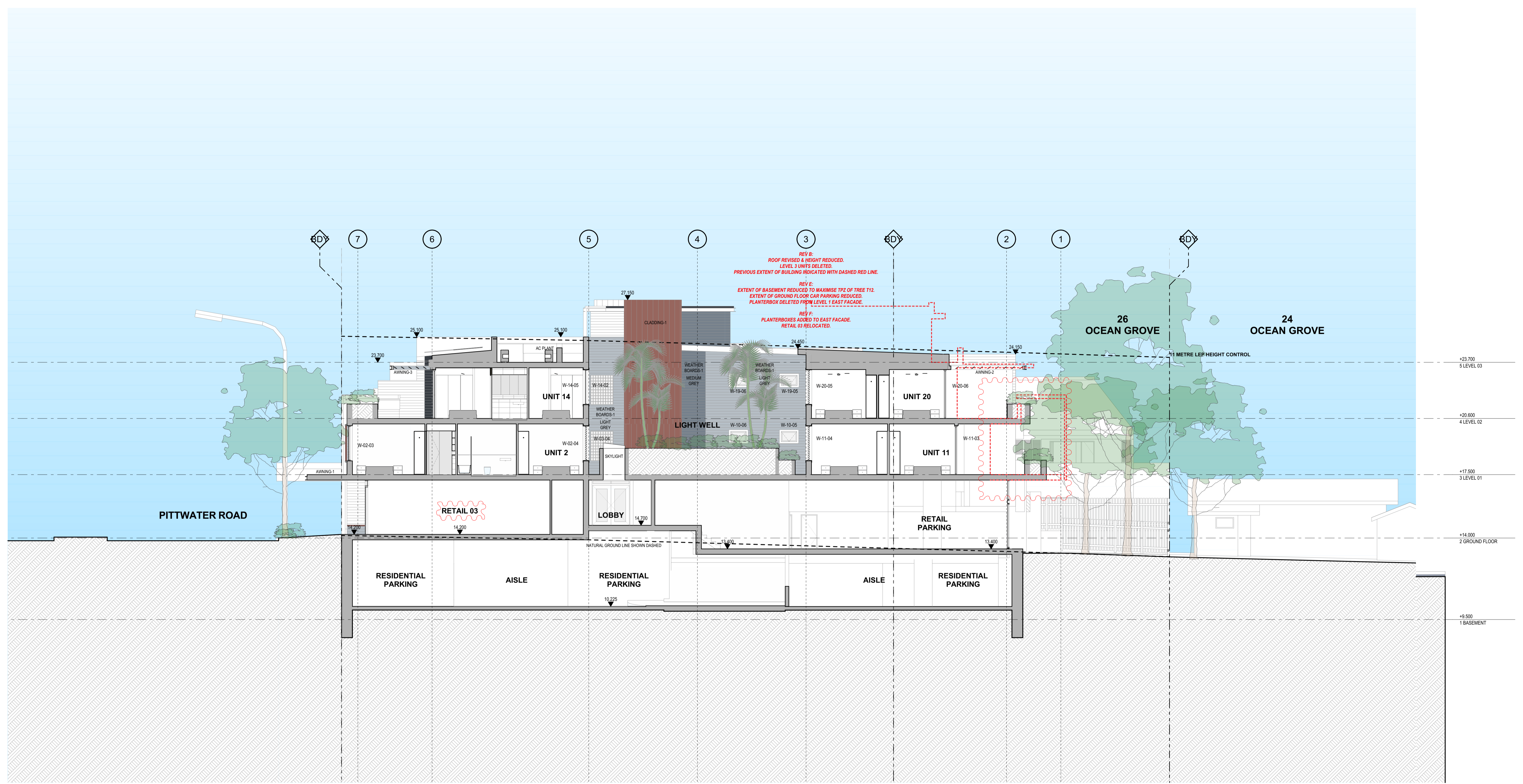
FOR COLLARARY PROJECTS PTY LTD

2101



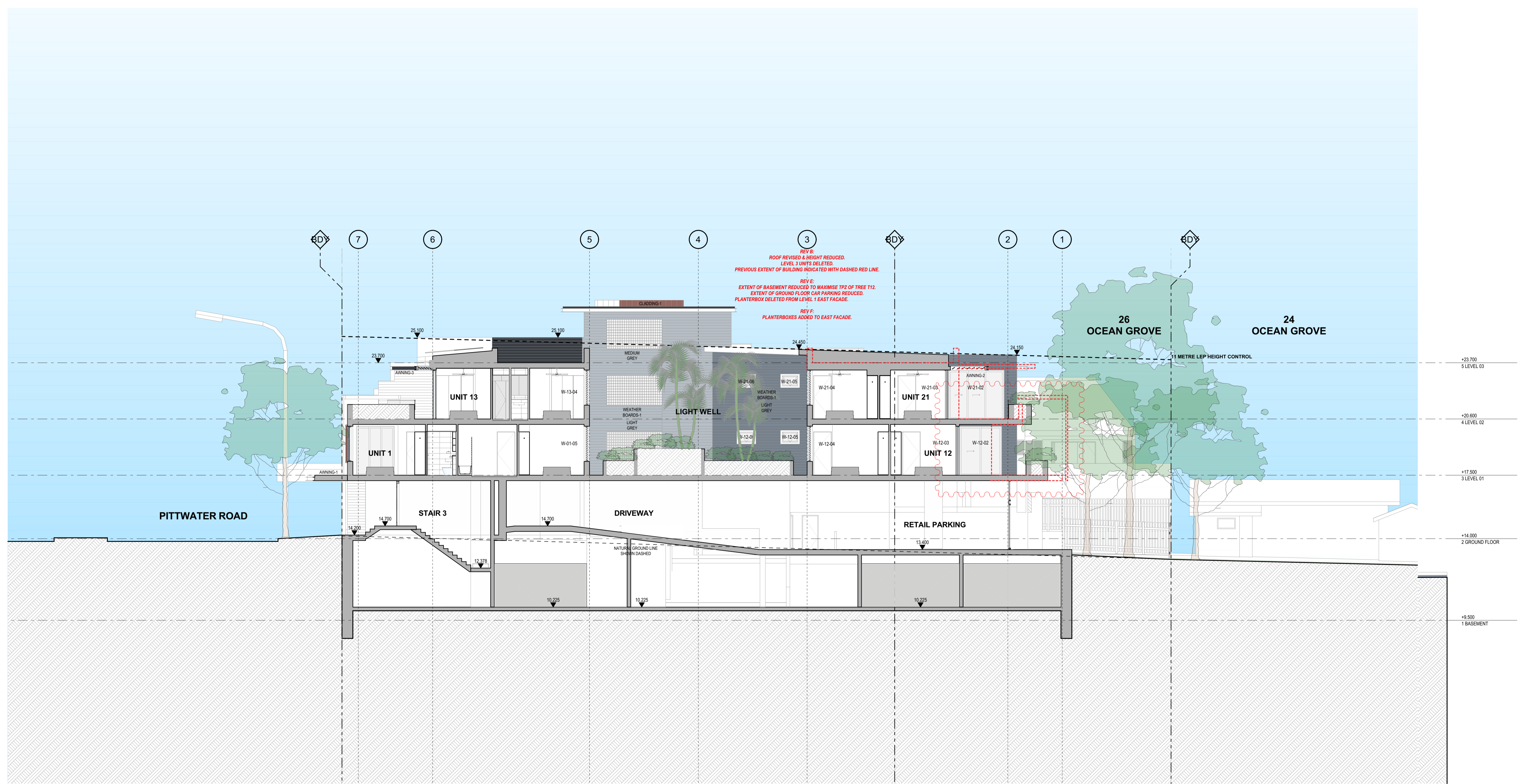
SECTION A

1:100



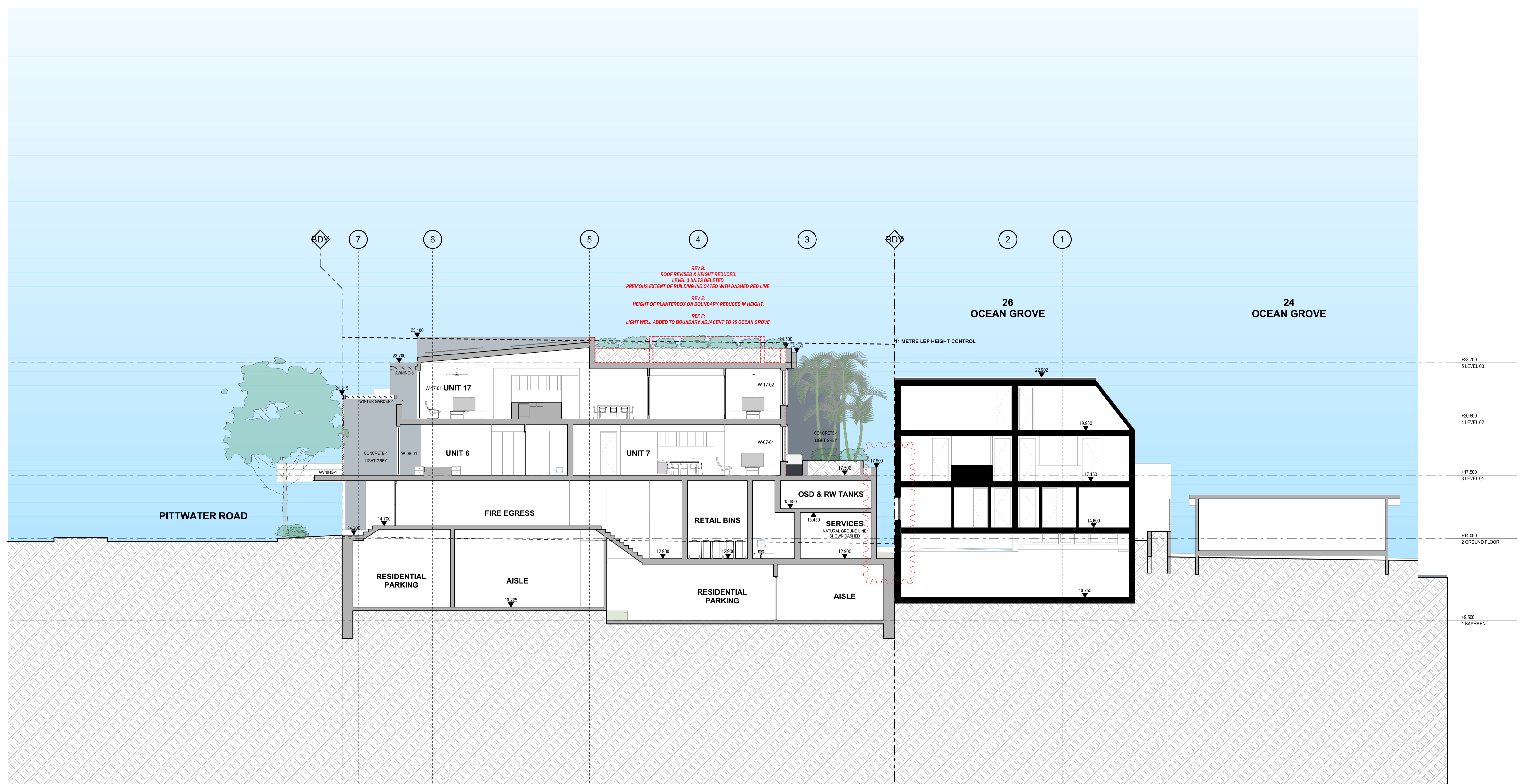
SECTION B

1:100



SECTION C

1:100



SECTION D

1:100

PITTWATER ROAD

26 OCEAN GROVE

24 OCEAN GROVE

11 METRE LEP HEIGHT CONTROL

7 6 5 4 3 2 1

BD

BD

BD

REV B: ROOF REVISED & HEIGHT REDUCED. LEVEL 3 UNITS DELETED. PREVIOUS EXTENT OF BUILDING INDICATED WITH DASHED RED LINE. COMMUNAL OPEN SPACE ADDED.

REV F: PLANTERBOXES ADDED TO EAST FACADE.

REV D: UNIT 04, 09, 15 & 18 REVISED. LIGHTWELL REVISED. AWNING ABOVE COMMUNAL OPEN SPACE REVISED.

REV E: EXTENT OF BASEMENT REDUCED TO MAXIMISE TPZ OF TREE T12. EXTENT OF GROUND FLOOR CAR PARKING REDUCED. PLANTERBOX DELETED FROM LEVEL 1 EAST FACADE.

UNIT 15

UNIT 4

LIGHT WELL

UNIT 18

UNIT 09

RETAIL 2

LOBBY

RETAIL PARKING

RESIDENTIAL PARKING

RESIDENTIAL PARKING

RESIDENTIAL PARKING

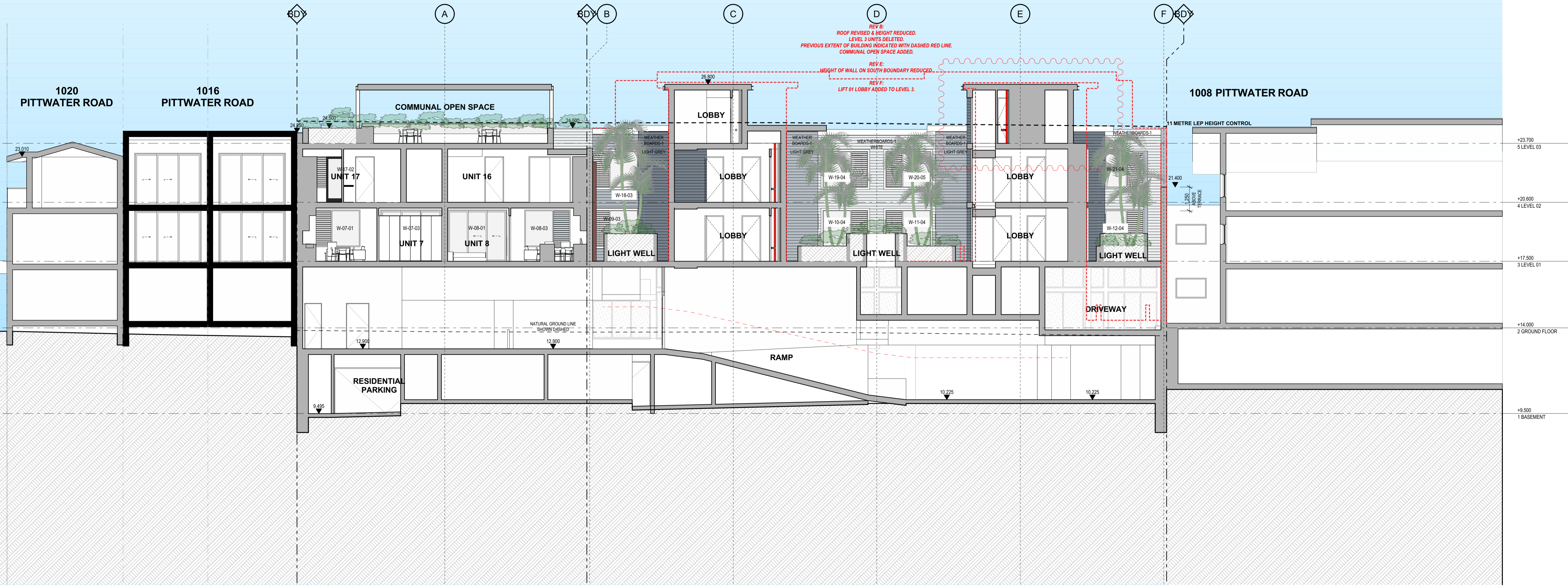
RESIDENTIAL PARKING

+23.700 5 LEVEL 03
+20.600 4 LEVEL 02
+17.500 3 LEVEL 01
+14.000 2 GROUND FLOOR
+9.500 1 BASEMENT

SECTION E

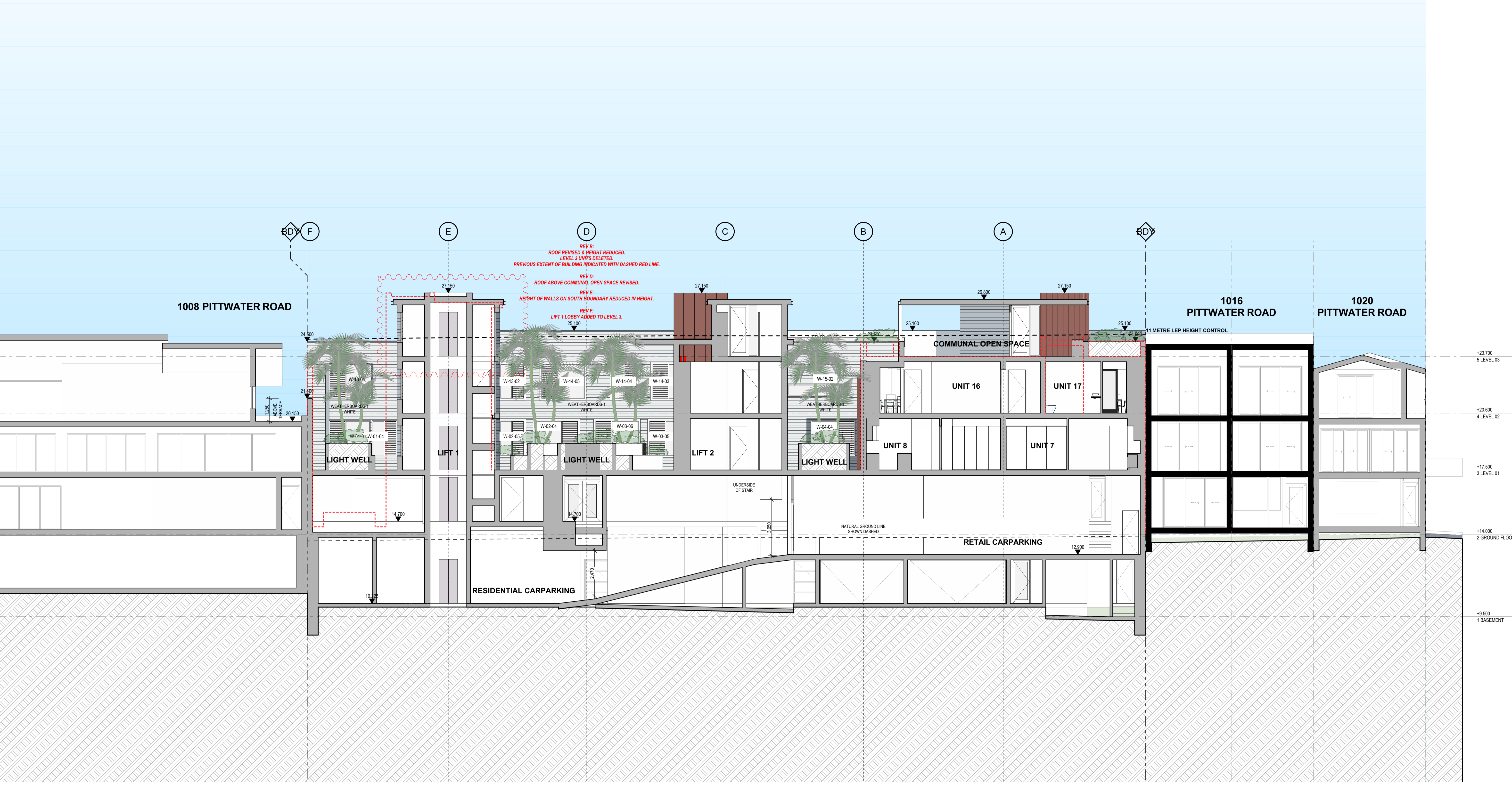
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Rev	Change Name
B1	REVISIONS TO DA DRAWINGS AS CLOUDED.
B	REVISIONS TO DA DRAWINGS AS CLOUDED.
C	REVISIONS TO DA DRAWINGS AS CLOUDED.
D	REVISIONS TO DA DRAWINGS AS CLOUDED.
E	REVISIONS TO DA DRAWINGS AS CLOUDED.
F	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NBLPP.



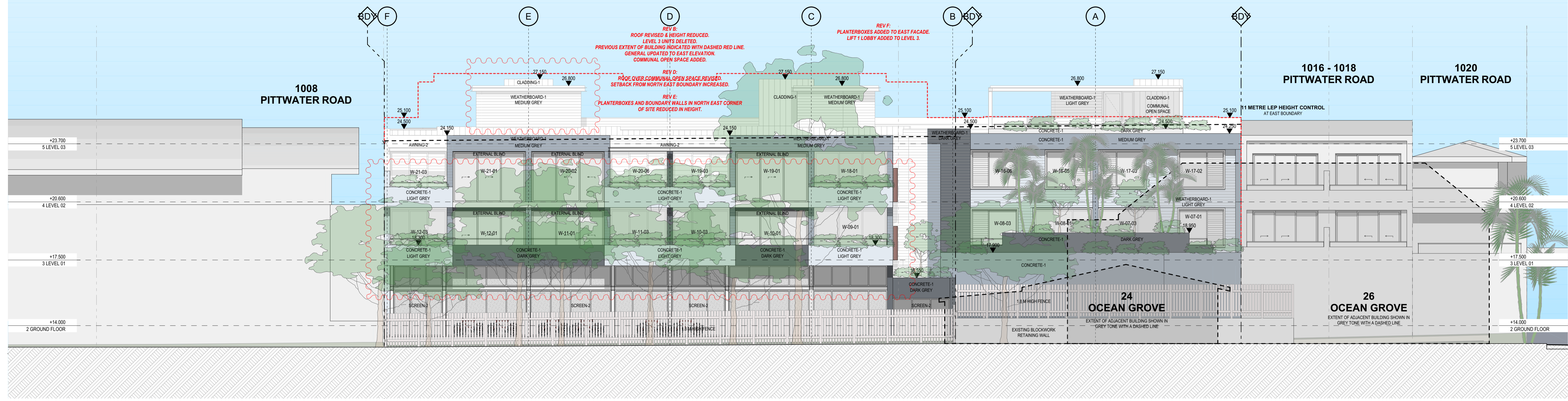
SECTION 2

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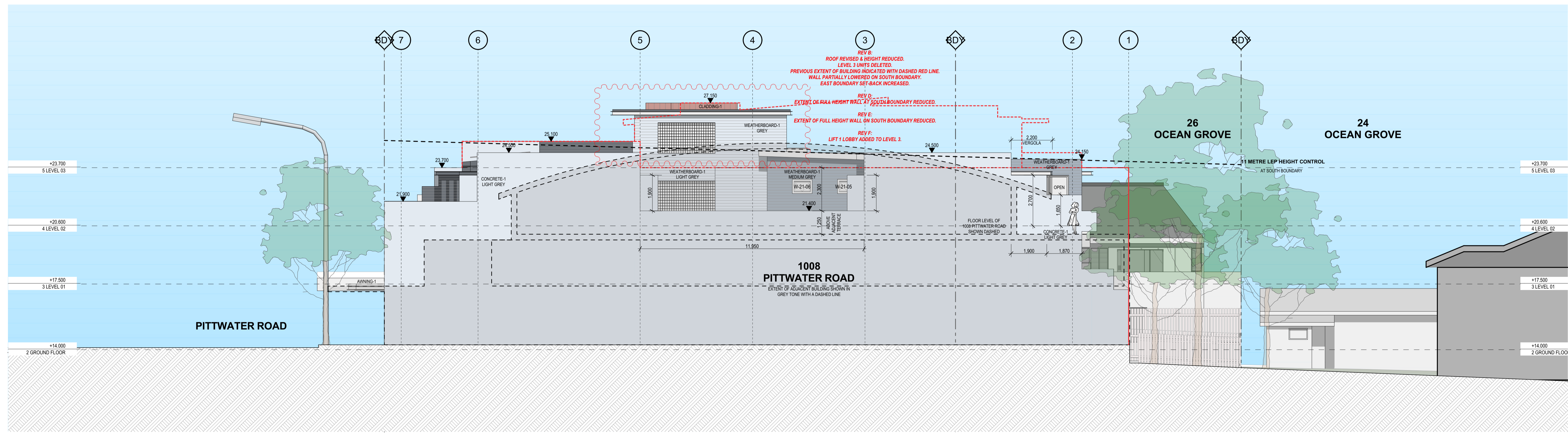
SECTION 3

1:100



EAST ELEVATION

1:100



SOUTH ELEVATION

1:100

EXTERIOR FINISHES LEGEND		LOUVRES-1		CLEAR GLASS LOUVRES TO WINTER GARDENS, ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE".		TIMBER SEAT-1		TIMBER SEAT TO RETAIL ENTRANCES.	
AWNING-1	STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (TOES OUT). PAINT FINISH, COLOUR "WHITE".	METAL ROOF DECK-1	METAL ROOF DECK, COLORBOND "MONUMENT".	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "WHITE".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".	WEATHERBOARD-1	HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED.	STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".	
AWNING-2	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE".	SCREEN-1	HORIZONTAL LOUVRE (PLANTATION SHUTTERS) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".	WEATHERBOARD-1			
AWNING-3	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY".	SCREEN-2	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".			WEATHERBOARD-1			
BALUSTRADE-1	CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS.	SUNHOOD-1	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".			WEATHERBOARD-1			
CONCRETE-1	CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS.	SUNHOOD-2	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".			WEATHERBOARD-1			
CLADDING-1	METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.					WEATHERBOARD-1			

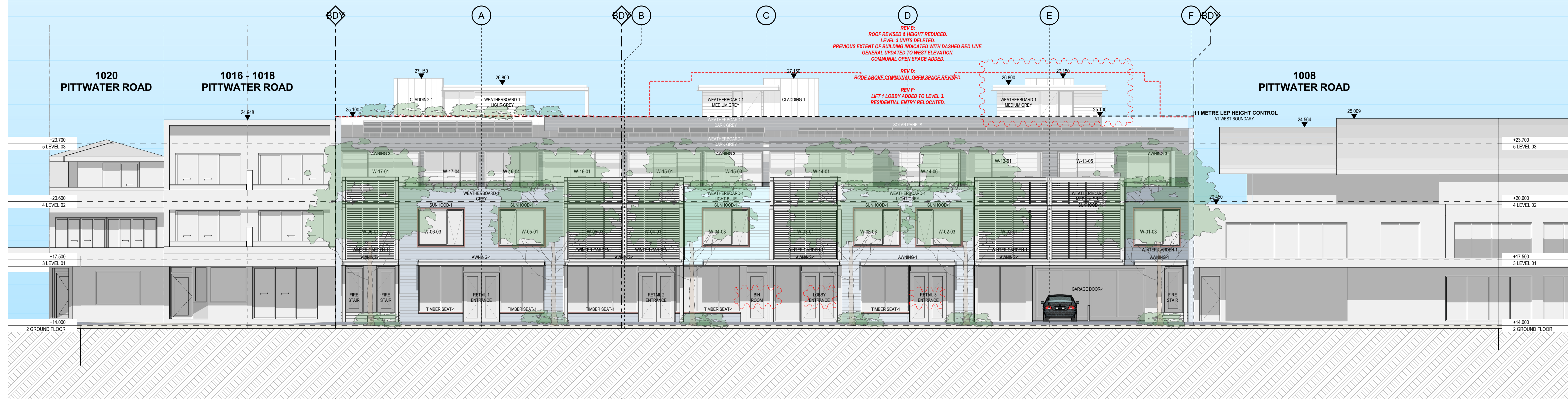
GARTNEROVATO
 HEAD ARCHITECT: GUY GARTNEROVATO
 ARCHITECTS: GUY GARTNEROVATO, JESSICA HAYES, HANNA VALE, NINA STILES, PAUL D. SMYTH, ANDREW J. SMYTH, ANDREW J. SMYTH
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Rev	Change Name	DATE
A	ISSUED FOR PERMIT	22/02/2024
B	REVISIONS TO DA DRAWINGS AS CLOUDED.	20/03/2024
C	REVISIONS TO DA DRAWINGS AS CLOUDED.	12/04/2024
D	REVISIONS TO DA DRAWINGS AS CLOUDED.	05/07/2024
E	REVISIONS TO DA DRAWINGS AS CLOUDED.	05/08/2024
F	GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NLRPP.	28/10/2024

PROJECT: LONG REEF MIXED-USE
 1010 - 1014 PITTWATER ROAD
 COLLAROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

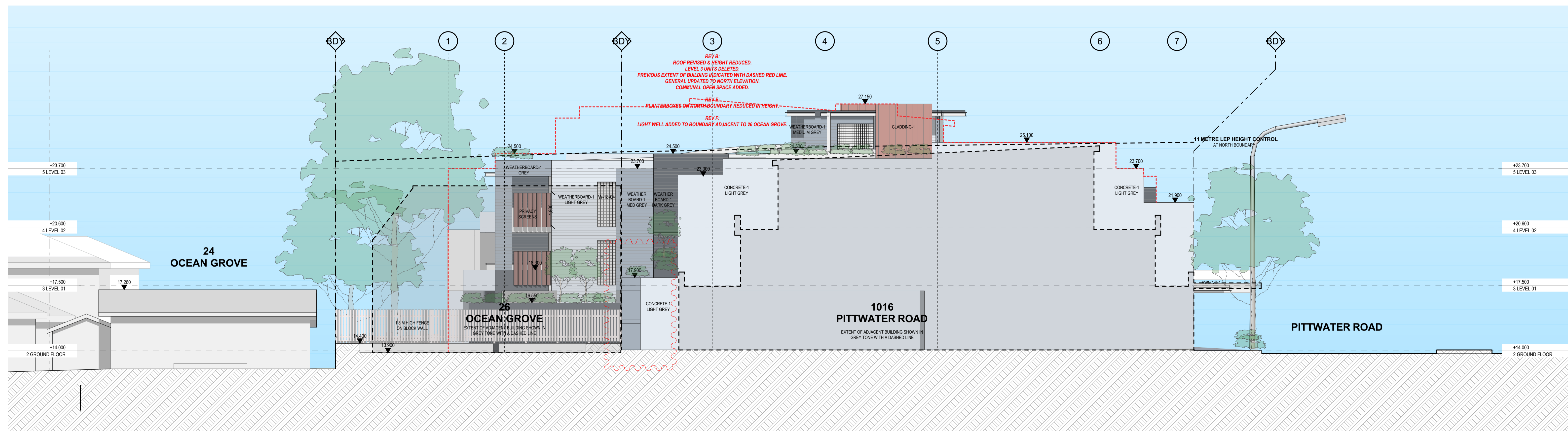
FOR COLLAROY PROJECTS PTY LTD

NORTH & EAST ELEVATIONS
 SCALE: 1:100 @ A1
 PROJECT NO: 2101
 DRAWING NO: DA-16
 DATE: 28/10/2024



WEST ELEVATION

1:100



NORTH ELEVATION

1:100

EXTERIOR FINISHES LEGEND
 AWNING-1 STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (DOES OUT). PAINT FINISH, COLOUR "WHITE".
 AWNING-2 STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE".
 AWNING-3 STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY".
 BALUSTRADE-1 CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS.
 CONCRETE-1 CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS.
 CLADDING-1 METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.

LOUVRES-1 CLEAR GLASS LOUVRES TO WINTER GARDENS. ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE".
 METAL ROOF DECK-1 METAL ROOF DECK, COLORBOND "MONUMENT".
 SCREEN-1 HORIZONTAL LOUVRE (PLANTATION SHUTTER) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".
 SCREEN-2 PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".
 SUNHOOD-1 300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".
 SUNHOOD-2 300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".

TIMBER SEAT-1 TIMBER SEAT TO RETAIL ENTRANCES.
 WEATHERBOARD-1 HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED.
 WINTER GARDEN-1 STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".

ALL WINDOWS CLEAR GLAZING WITH POWDERCOAT ALUMINIUM FRAMING, "WHITE" COLOUR.

COLOUR LEGEND
 WHITE "WHITE" PAINT FINISH EQUAL TO DULUX "WHITE ON WHITE" SW1E2.
 LIGHT BLUE "LIGHT BLUE" PAINT FINISH EQUAL TO DULUX "TEMPLATE QUARTER" S36H1Q.
 LIGHT GREY "LIGHT GREY" PAINT FINISH EQUAL TO DULUX "MILLER MOOD" S66D1.
 GREY "GREY" PAINT FINISH EQUAL TO DULUX "CHANSON" S66D2.
 MEDIUM GREY "MEDIUM GREY" PAINT FINISH EQUAL TO DULUX "TINKER" S66D4.
 DARK GREY "DARK GREY" PAINT FINISH EQUAL TO DULUX "OOLONG" S66D8.
 AGED COPPER DULUX ELECTRO "BURNISHED COPPER FLAT".



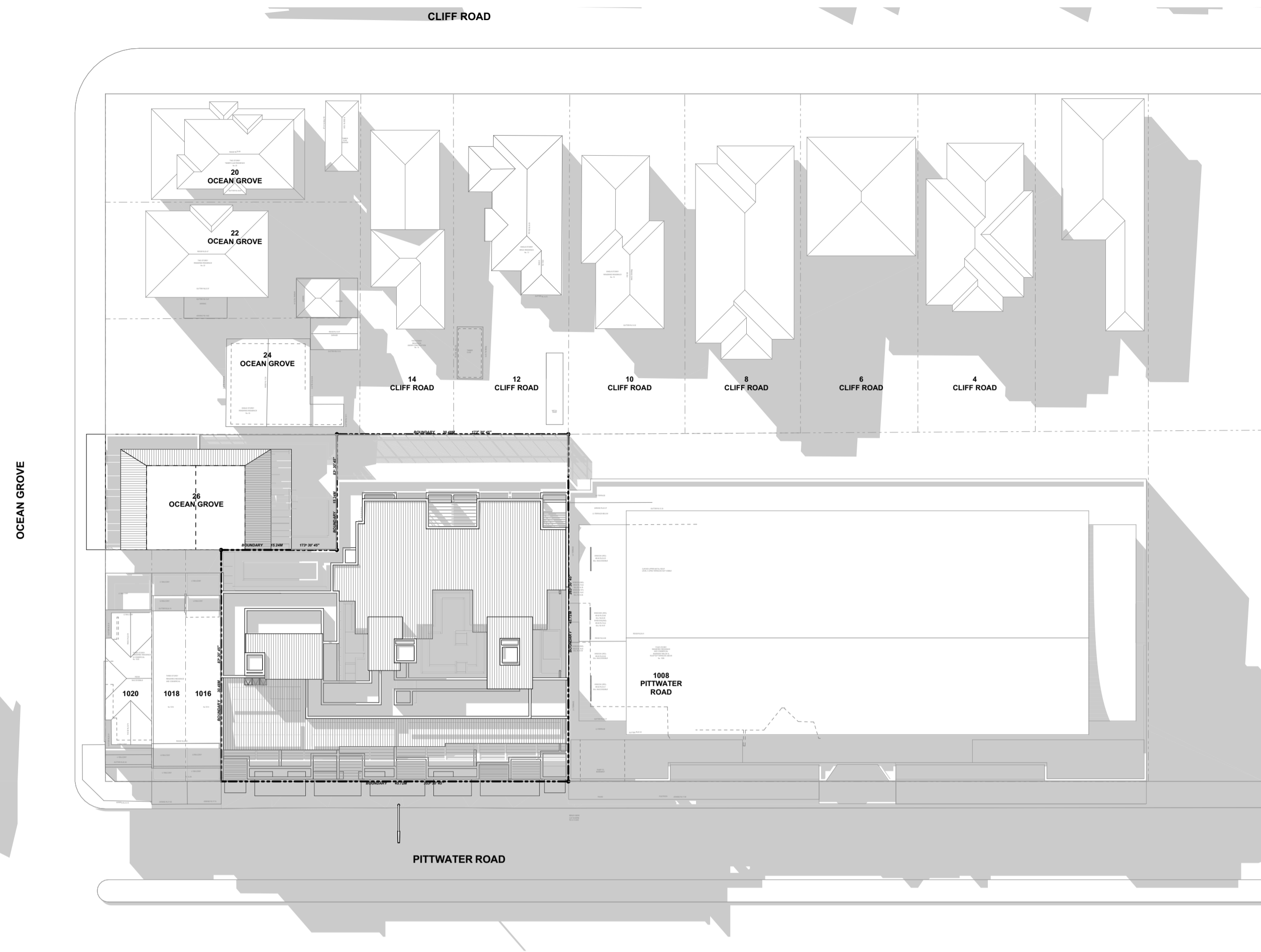
GARTNEROVATO
 BRUCE GARTNER ARCHITECTS
 1/113 OLD MARE STREET
 HOBART TASMANIA 7000
 PH: 03 6239 4411
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 WWW.GARTNEROVATO.COM.AU

Rev	Change Name
22/02/2024	B1 REVISIONS TO DA DRAWINGS AS CLOUDED.
20/03/2024	B REVISIONS TO DA DRAWINGS AS CLOUDED.
12/04/2024	C REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	D REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	E REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	F GENERAL REVISIONS TO DRAWINGS TO ADDRESS ISSUES RAISED BY NBLPP.

LONG REEF MIXED-USE
 1010 - 1014 PITTWATER ROAD
 COLLARROY NSW 2097
 LOTS 3 & 4 SECTION 1 IN D.P. 6777 & LOT 2 IN D.P. 314645

SOUTH & WEST ELEVATIONS
 SCALE: 1:100 @ A1
 DRAWING NO: DA-17
 PROJECT NO: 2101

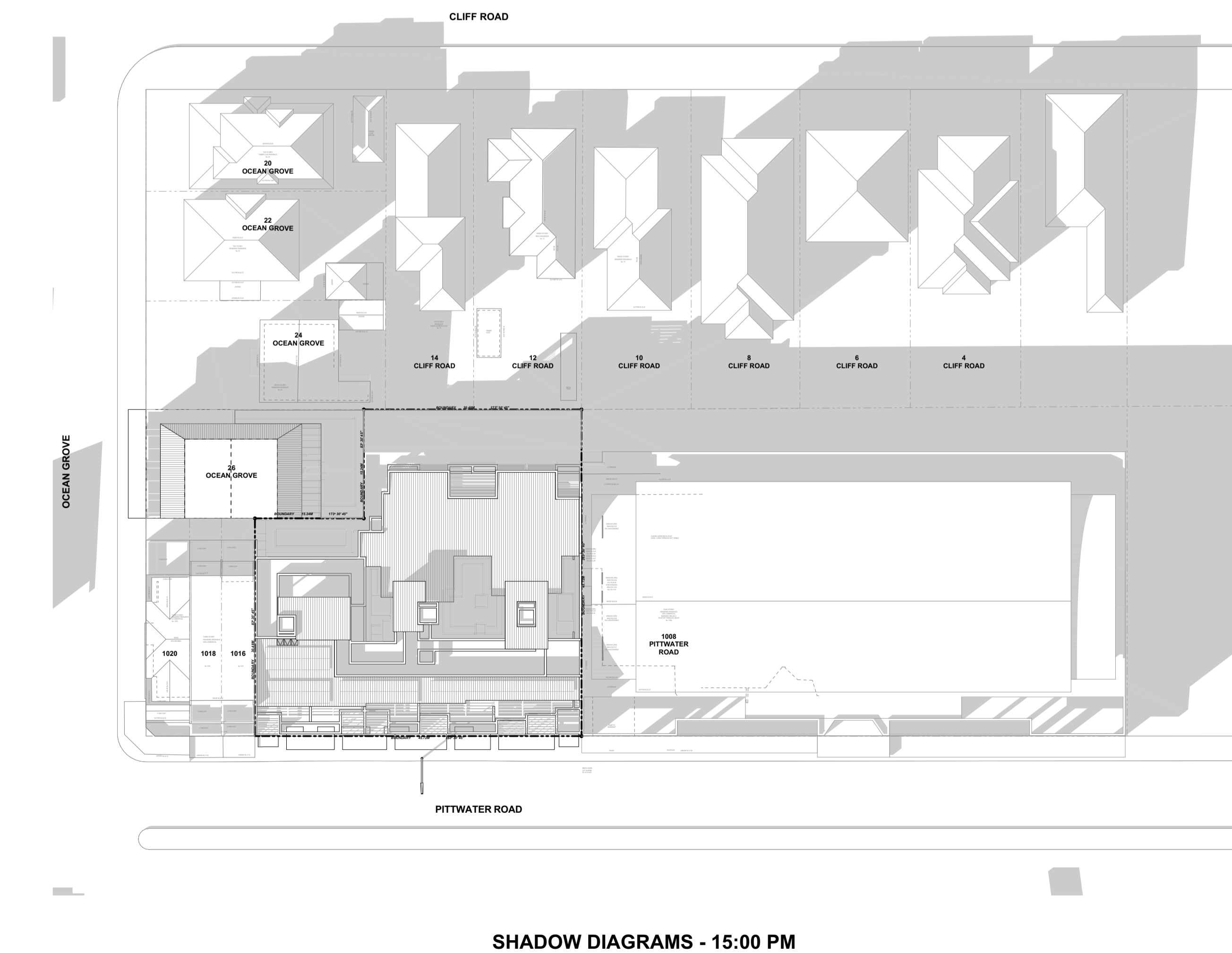
DATE: 28/10/2024
 DRAWN BY: SG / AW
 CHECKED BY: SG / AW
 PROJECT NO: 2101
 DRAWING NO: DA-17



SHADOWS DIAGRAMS - 9:00 AM



SHADOW DIAGRAMS - 12:00 NOON



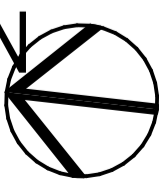
SHADOW DIAGRAMS - 15:00 PM

PROPOSED SHADOW
 EXISTING SHADOW

Certification of Shadow Diagrams

I hereby certify that the shadow diagrams submitted with the proposal
 a) are in accordance with the survey
 b) indicate shadows cast at 9 am, 12 noon and 3 pm on 21 June
 c) indicate shadows cast by existing structures

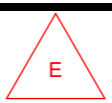
Sean Gartner
 (Registered Architect #6072 NSW)





Dulux White on White™ SW1E2		Dulux Template Quarter A311 E3611Q	
"WHITE"		"LIGHT BLUE"	
	Dulux Miller Mood SG6D1		
	"LIGHT GREY"		
Dulux Chanson SG6D2			
"GREY"		"AGED COPPER"	
	Dulux Tinker SG6D4		Dulux Colorbond® Monument® C20
	"MEDIUM GREY"		"MONUMENT"
Dulux Chasing SG6D8			
"DARK GREY"			

EXTERIOR FINISHES LEGEND		COLOUR LEGEND	
AWNING-1	STEEL FRAMED AWNING WITH METAL DECK ROOF AND PFC FACIA (TOES OUT). PAINT FINISH, COLOUR "WHITE".	WHITE	"WHITE" PAINT FINISH EQUAL TO DULUX "WHITE ON WHITE" SW1E2.
AWNING-2	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "WHITE".	LIGHT BLUE	"LIGHT BLUE" PAINT FINISH EQUAL TO DULUX "TEMPLATE QUARTER" S36H1Q.
AWNING-3	STEEL PFC FRAMED PERGOLA WITH MOTORISED LOUVRES. ALL STEEL PAINT FINISH, COLOUR "DARK GREY".	LIGHT GREY	"LIGHT GREY" PAINT FINISH EQUAL TO DULUX "MILLER MOOD" SG6D1.
BALUSTRADE-1	CLEAR GLASS BALUSTRADE WITH METAL HANDRAIL @ 1,050 MM ABOVE FFL. FIXED TO WALL WITH STAINLESS STEEL PATCH FITTINGS.	GREY	"GREY" PAINT FINISH EQUAL TO DULUX "CHANSON" SG6D2.
CONCRETE-1	CONCRETE WALL / SLAB EDGE / PLANTER BOX WITH RENDER & PAINT FINISH, COLOUR AS NOTED ON ELEVATIONS.	MEDIUM GREY	"MEDIUM GREY" PAINT FINISH EQUAL TO DULUX "TINKER" SG6D4.
CLADDING-1	METAL CLADDING PANEL, STANDING SEAM, AGED COPPER FINISH.	DARK GREY	"DARK GREY" PAINT FINISH EQUAL TO DULUX "OOLONG" SG6D8.
LOUVRES-1	METAL ROOF DECK-1	AGED COPPER	DULUX ELECTRO "BURNISHED COPPER FLAT".
SCREEN-1	SCREEN-2		
SUNHOOD-1	SUNHOOD-2		
CLEAR GLASS LOUVRES TO WINTER GARDENS. ALUMINIUM FRAMING WITH POWDERCOAT FINISH, COLOUR "WHITE".	METAL ROOF DECK, COLORBOND "MONUMENT".		
HORIZONTAL LOUVRE (PLANTATION SHUTTER) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".	HORIZONTAL LOUVRE (PLANTATION SHUTTER) SCREEN, POWDERCOAT FINISH, COLOUR "WHITE".		
PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".	PERFORATED METAL SCREEN WITH POWDERCOAT FINISH, COLOUR "LIGHT GREY".		
300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDERCOAT FINISH, COLOUR "AGED COPPER".		
300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".	300 MM DEEP METAL SUNHOOD AROUND PERIMETER OF WINDOW, POWDER COAT FINISH, COLOUR "WHITE".		
TIMBER SEAT-1	WEATHERBOARD-1		
WINTER GARDEN-1			
TIMBER SEAT TO RETAIL ENTRANCES.	WEATHERBOARD-1		
HORIZONTAL FIBRE CEMENT WEATHERBOARD CLADDING, PAINT FINISH, COLOUR AS NOTED.	WINTER GARDEN-1		
STEEL PFC FRAMED WINTER GARDEN. CLEAR GLASS LOUVRE SCREEN WITH ADJUSTABLE LOUVRE PERGOLA ABOVE. ALL STEEL PAINT FINISH "WHITE".			
ALL WINDOWS CLEAR GLAZING WITH POWDERCOAT ALUMINIUM FRAMING, "WHITE" COLOUR.			



Transmittal Set Date	Rev	Description
20/03/2024	B	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/07/2024	C	REVISIONS TO DA DRAWINGS AS CLOUDED.
05/08/2024	D	REVISIONS TO DA DRAWINGS AS CLOUDED.
28/10/2024	E	REVISIONS TO DRAWINGS AS CLOUDED.