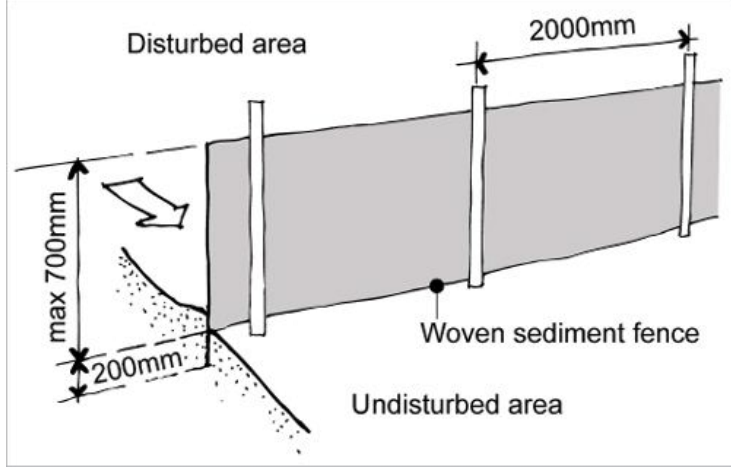


- Legend**
- MULCH AREA
  - TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
  - UNIT PAVING
  - STAIRS
  - PEBBLE
  - GRAVEL
  - COBBLESTONE
  - TIMBER
  - WATER
  - MASONRY RETAINING WALL
  - STONE RETAINING WALL
  - TIMBER RETAINING WALL
  - BOULDER RETAINING WALL
  - SITE OR WORKS BOUNDARY
  - PROPOSED LEVEL
  - TOP OF WALL LEVEL
  - MATERIAL NAME
  - SURFACE FALL DIRECTION
  - SURFACE DRAINS
  - SURVEY (50% GREY LINES)
  - EXISTING TREE TO RETAIN
  - EXISTING TREE TO REMOVE
  - EXISTING ROCK OUTCROP



Sedimentation Control Fence  
Not to scale.  
Source: www.yourhome.gov.au

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	549.37	
Existing Landscape total as per DCP	204.64	37.25%
Proposed Landscape total as per DCP	204.64	37.25%

FLOOR SPACE CALCULATION		
	AREA (m2)	PERCENTAGE
Site	549.37	
Existing Floor Space	232.61	42.34%
Proposed Floor Space	293.26	53.38%

F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

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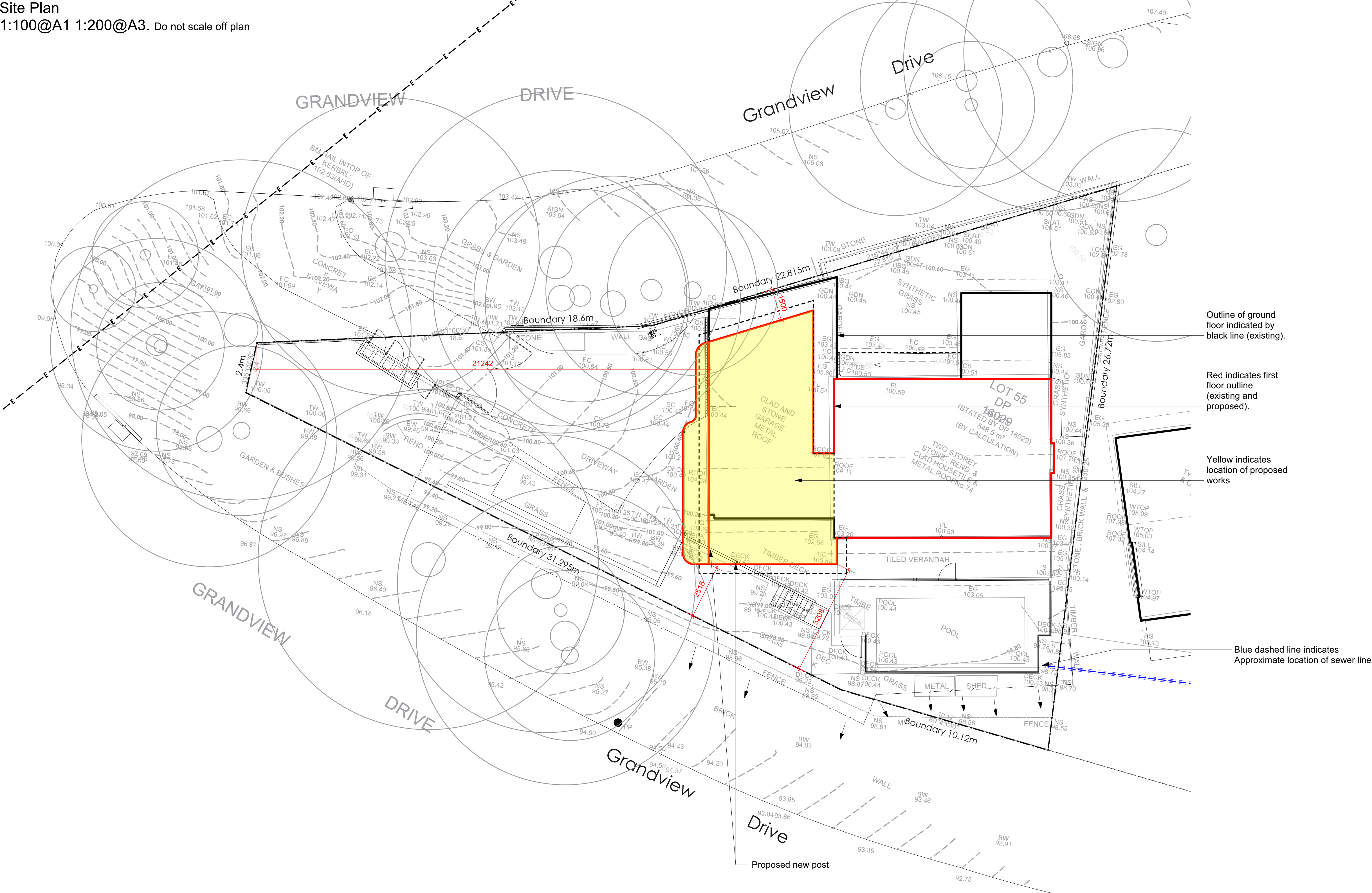


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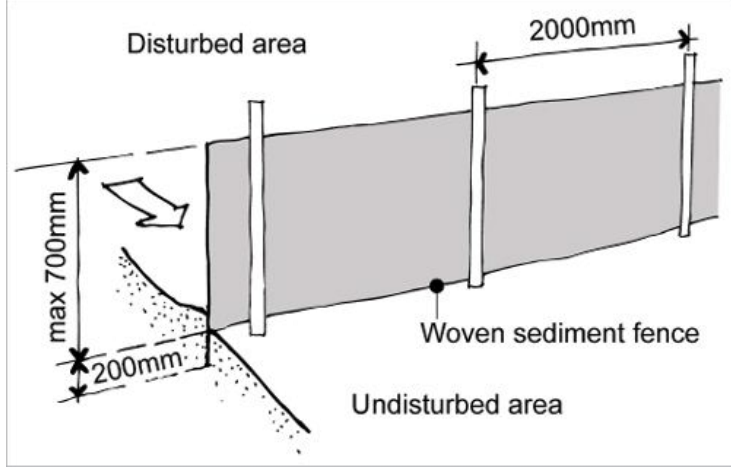
PROJECT	74 Grandview Drive, Newport	PROJECT #	25041
CLIENT	HSU	DATE #	See above
DWG	Site Plan	SCALE @ A1	See Plan
CHKD	JK	DRAWN	WPS
		REVISION	

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- Legend**
- MULCH AREA
  - TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
  - UNIT PAVING
  - STAIRS
  - PEBBLE
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  - SURVEY (50% GREY LINES)
  - EXISTING TREE TO RETAIN
  - EXISTING TREE TO REMOVE
  - EXISTING ROCK OUTCROP



Sedimentation Control Fence  
Not to scale.  
Source: www.yourhome.gov.au

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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

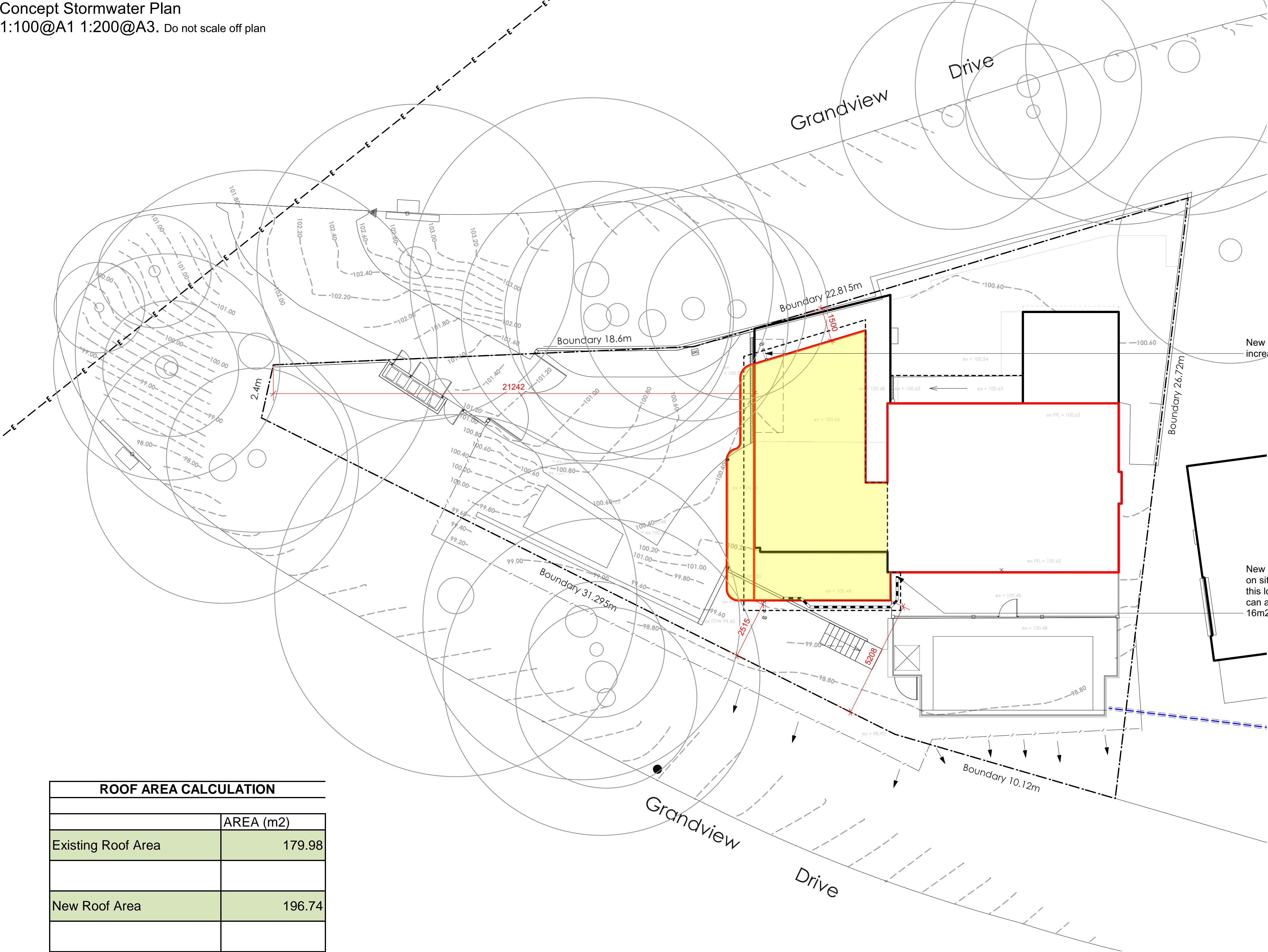
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above	DWG #
DWG	Site Plan	DRAWN WPS	Sht-102
CHKD	JK	REVISION	



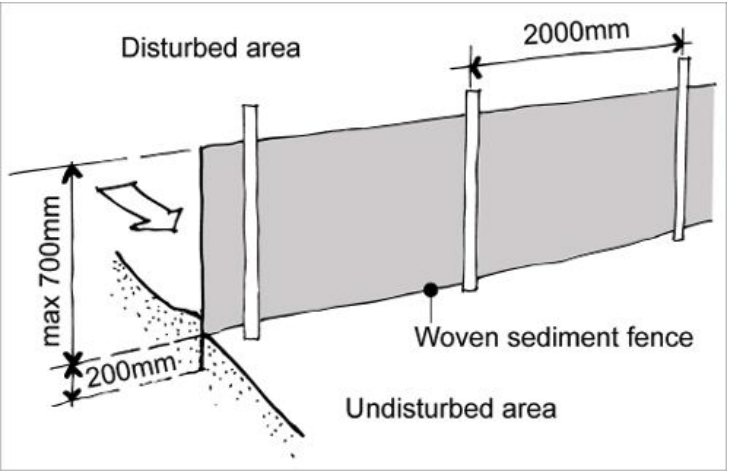
JAMIE KING  
LANDSCAPE ARCHITECT  
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ROOF AREA CALCULATION	
	AREA (m2)
Existing Roof Area	179.98
New Roof Area	196.74
Increase in Roof Area	16.76

- Legend**
- MULCH AREA
  - TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
  - UNIT PAVING
  - STAIRS
  - PEBBLE
  - GRAVEL
  - COBBLESTONE
  - TIMBER
  - WATER
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Sedimentation Control Fence  
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Source: www.yourhome.gov.au

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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

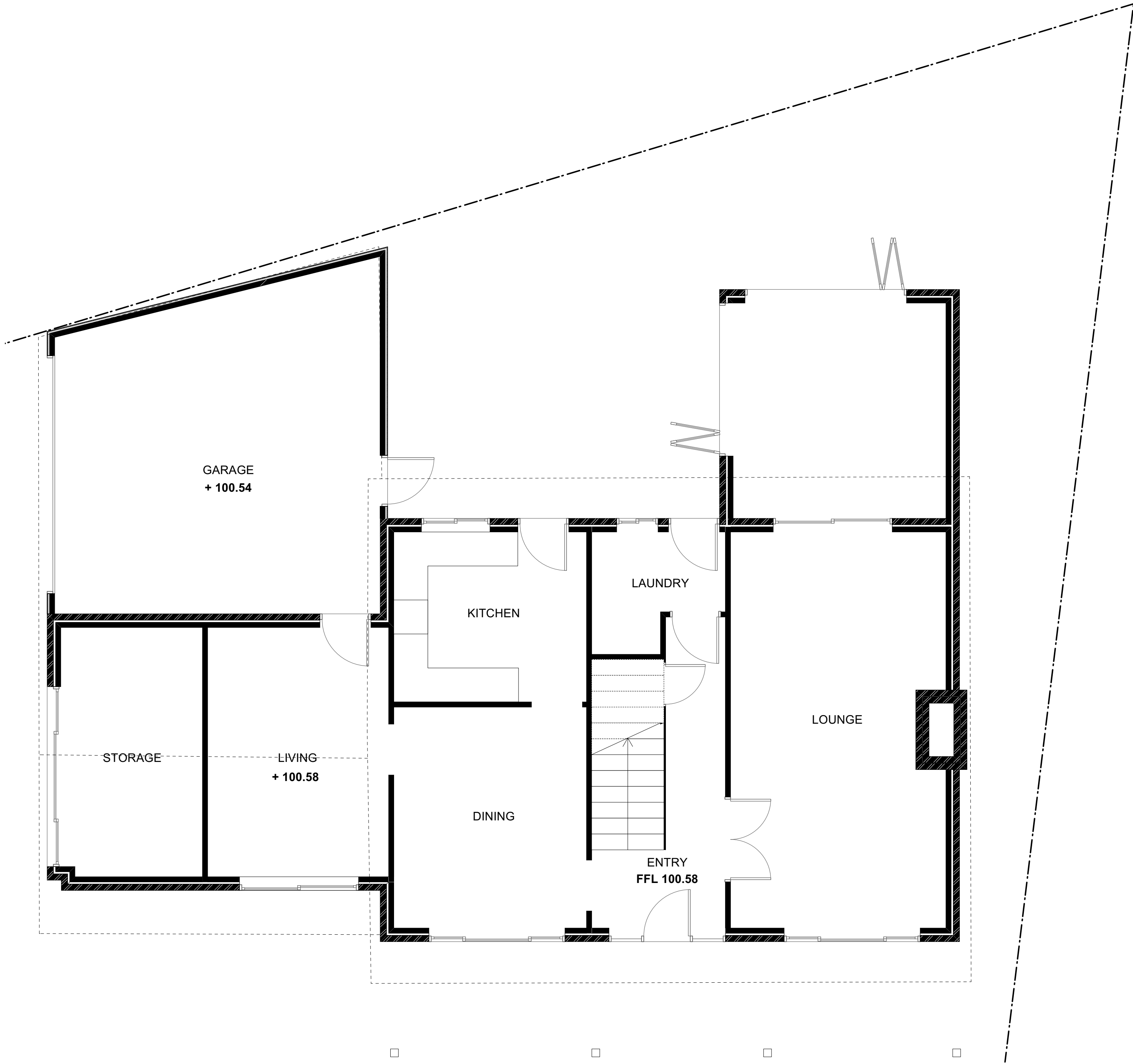
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ISSUE	DATE	REVISION			PROJECT #
PROJECT	74 Grandview Drive, Newport				25041
CLIENT	HSU		DATE #	See above	DWG #
DWG	Concept Storm Water		SCALE @ A1	See Plan	Sht-10
			DRAWN	WPS	
			CHKD	JK	
			REVISION		

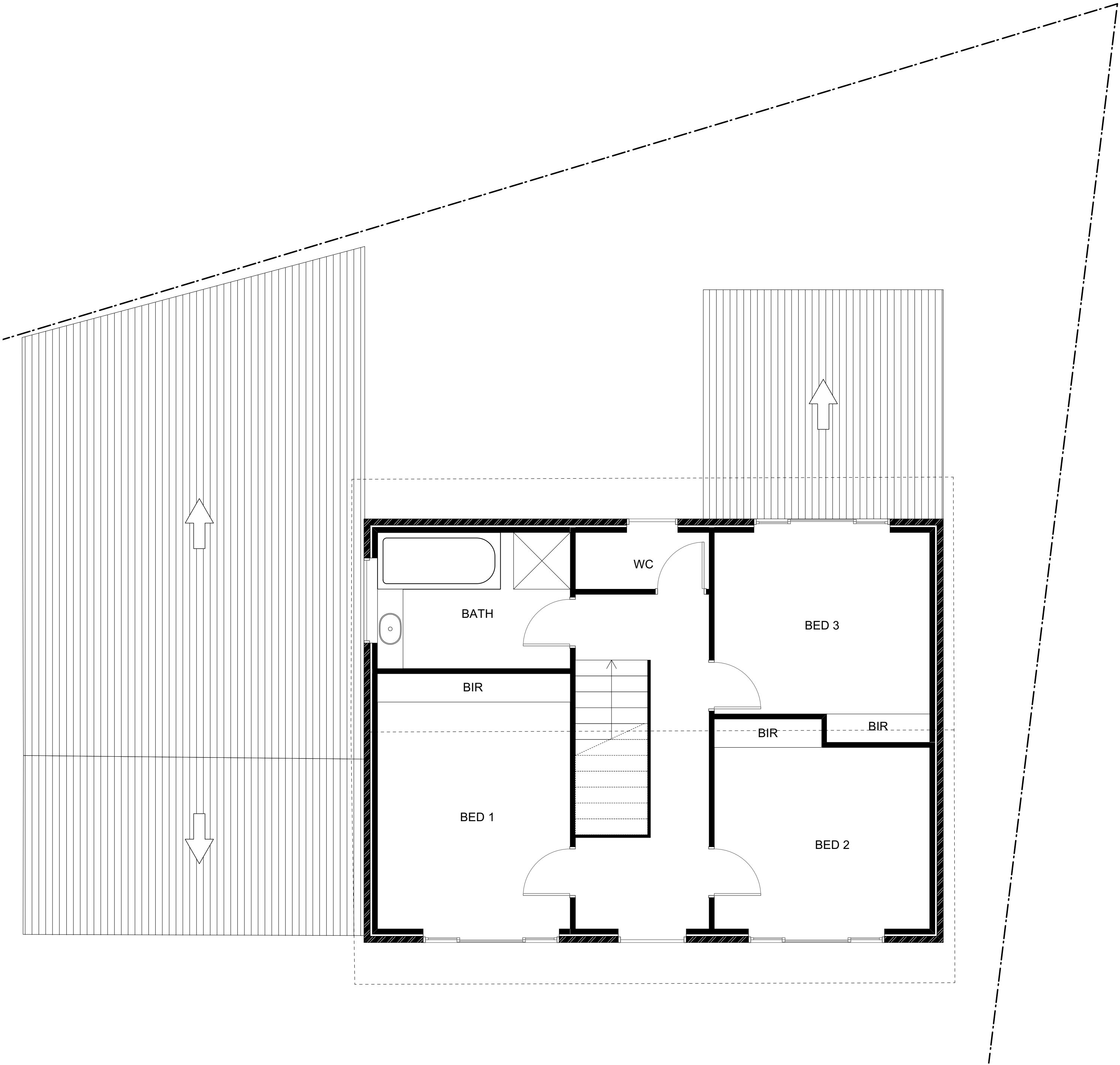


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Existing Ground Floor Plan  
1:50@A1 1:100@A3. Do not scale off plan



Existing Upper Floor Plan  
1:50@A1 1:100@A3. Do not scale off plan



F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

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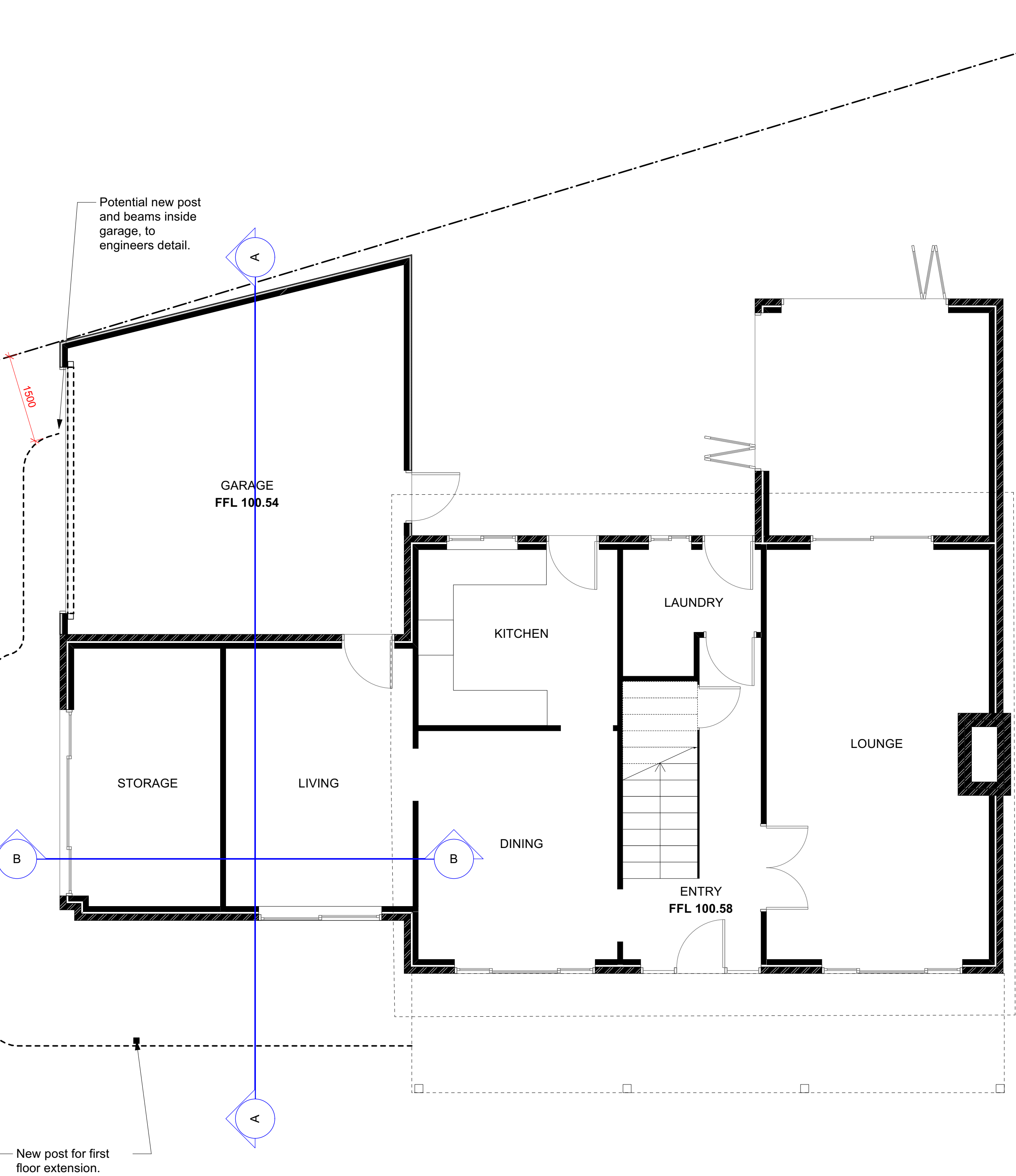
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PROJECT		74 Grandview Drive, Newport		PROJECT #	25041
CLIENT		HSU	DATE #	See above	DWG #
DWG		Existing Floor Plan	SCALE @ A1	See Plan	Sht-104
CHKD		JK	DRAWN	SA	
			CHKD	JK	REVISION

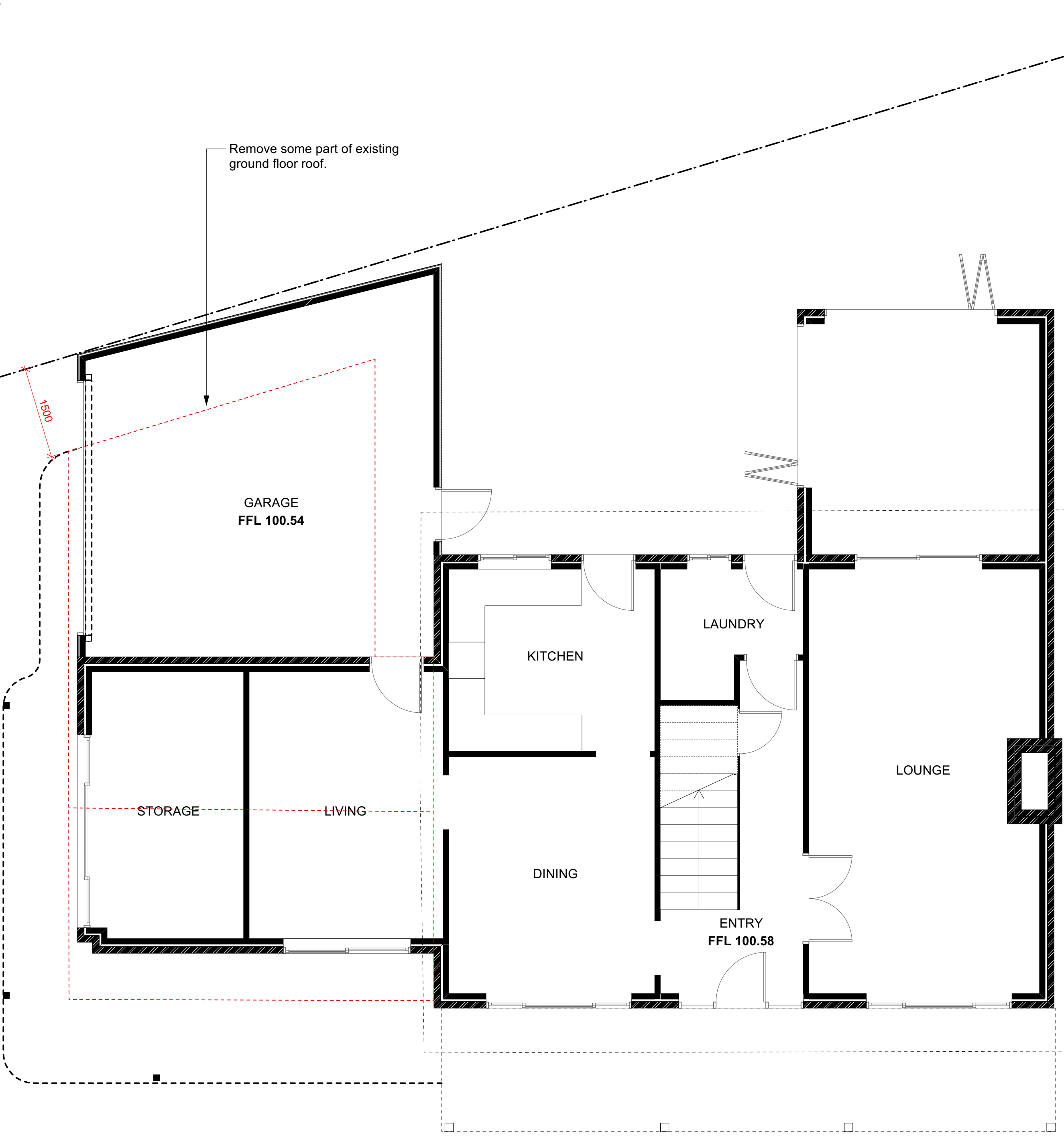
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T: 0421 517 991  
E: jamie@jamieking.com.au



Proposed Ground Floor Plan  
1:50@A1 1:100@A3. Do not scale off plan



Proposed Ground Floor Demo Plan  
1:50@A1 1:100@A3. Do not scale off plan



F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
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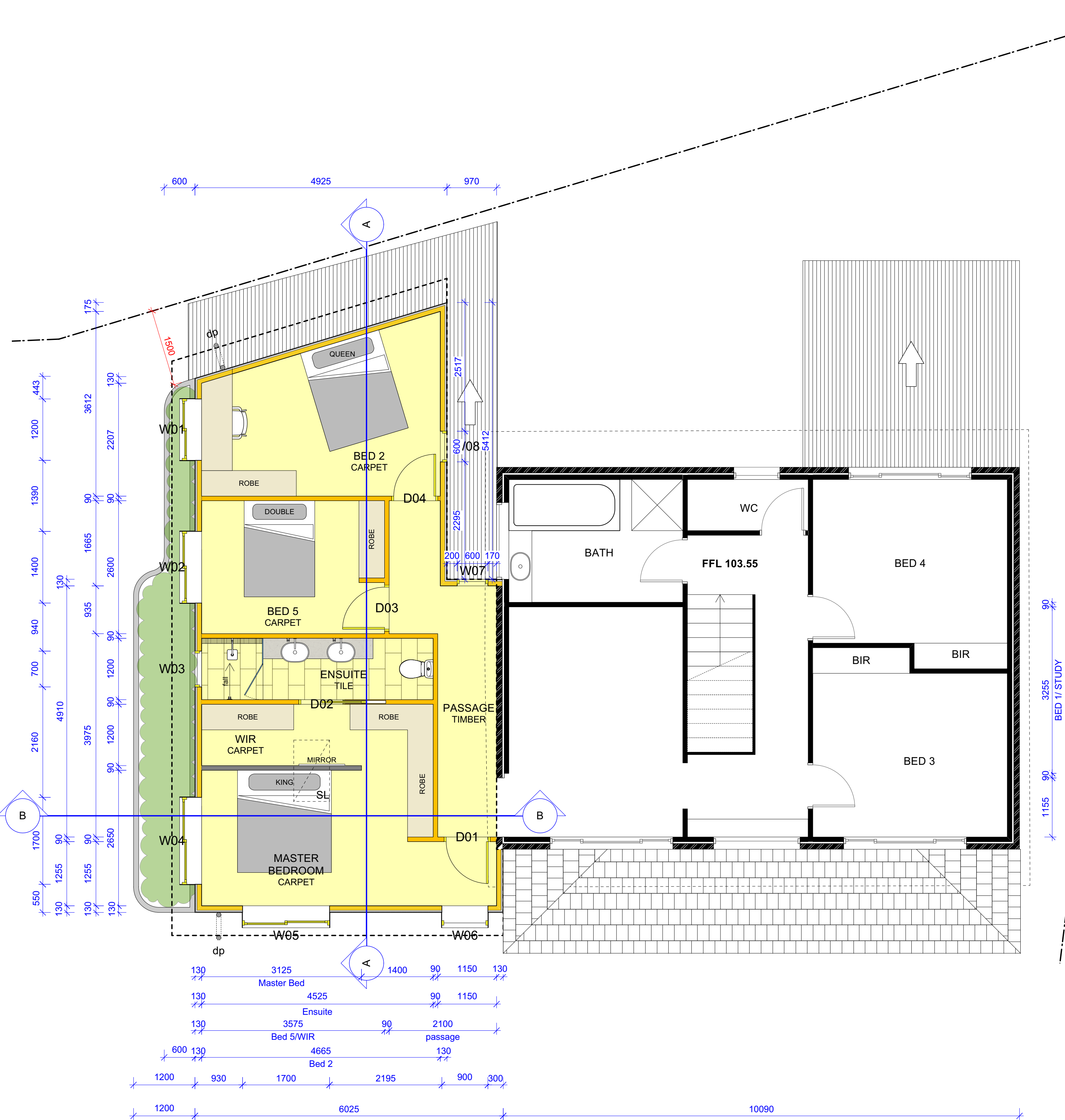
ISSUE	DATE	REVISION	PROJECT	DATE #	See above	DWG #
			74 Grandview Drive, Newport	SCALE @ A1	See Plan	25041
			CLIENT	HSU	DRAWN	SA
			DWG	Proposed Ground Floor Plan	CHKD	JK
			REVISION			



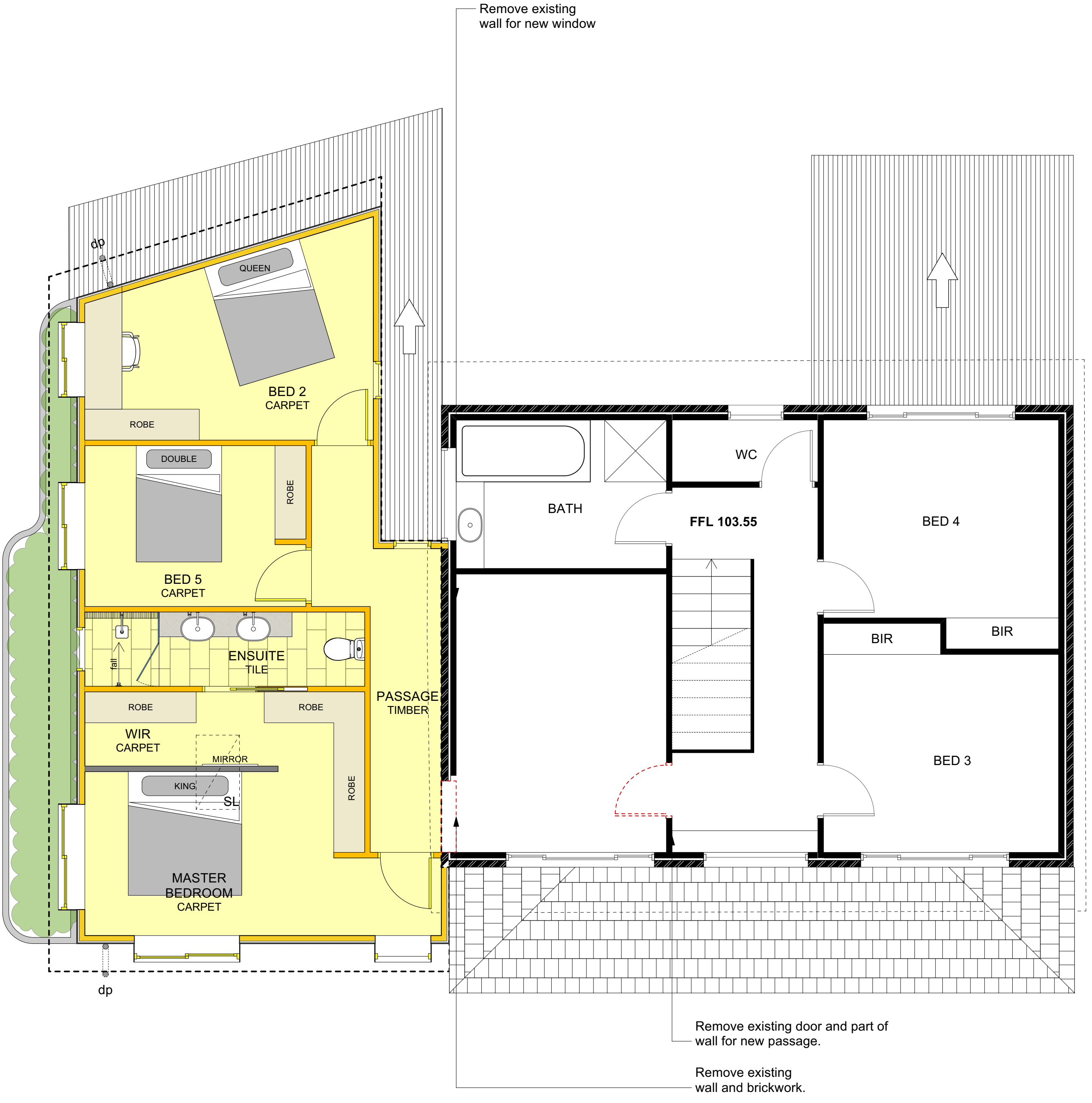
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Proposed Upper Floor Plan  
1:50@A1 1:100@A3. Do not scale off plan



Proposed Upper Floor Demolition Plan  
1:50@A1 1:100@A3. Do not scale off plan



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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review



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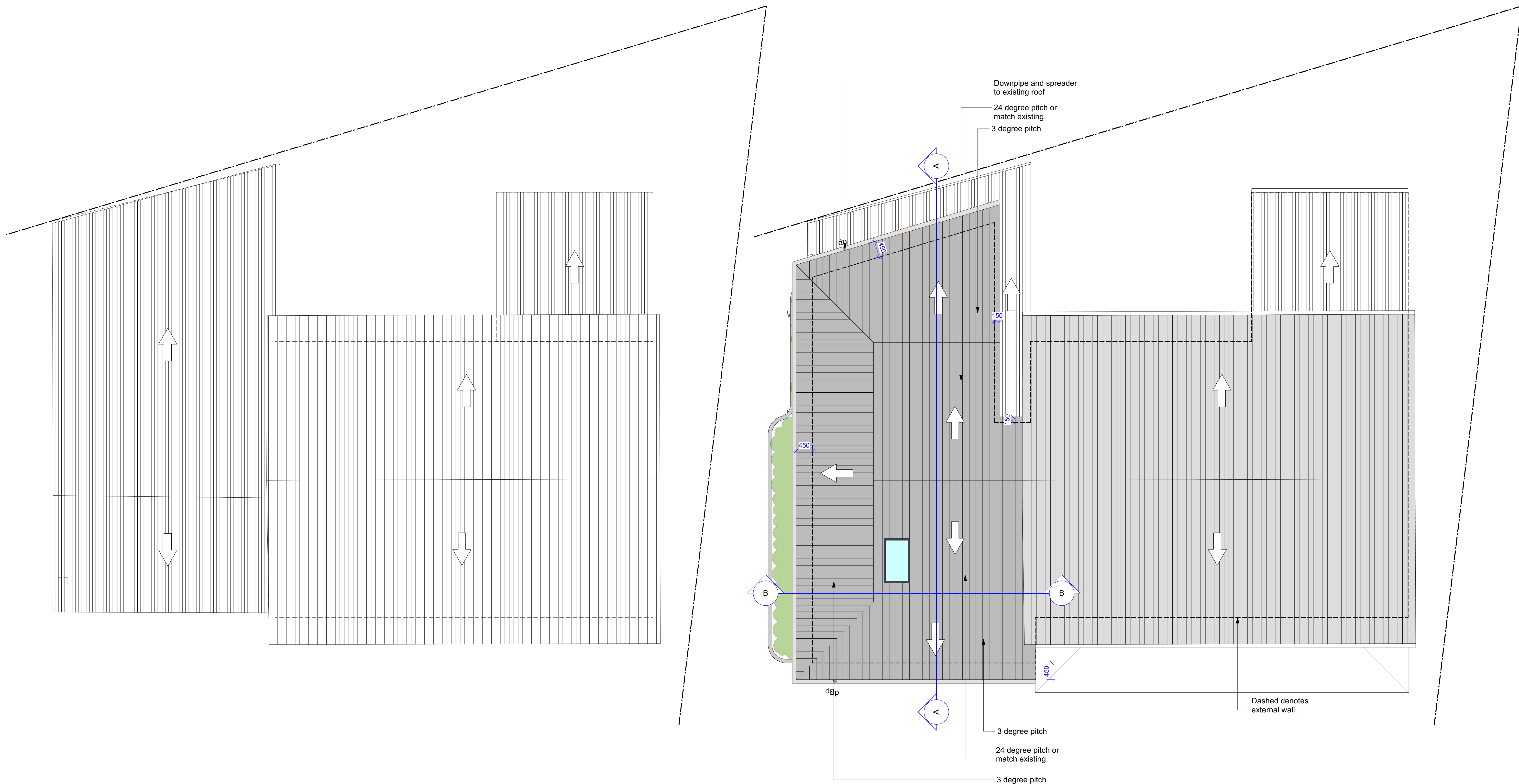
PROJECT 74 Grandview Drive, Newport		PROJECT # 25041	
CLIENT HSU	DATE # See above	DWG # See Plan	<b>Sht-106</b>
DWG Proposed Upper Floor Plan	DRAWN SA	CHKD JK	
REVISION			

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1:50@A1 1:100@A3. Do not scale off plan

1:50@A1 1:100@A3. Do not scale off plan



F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

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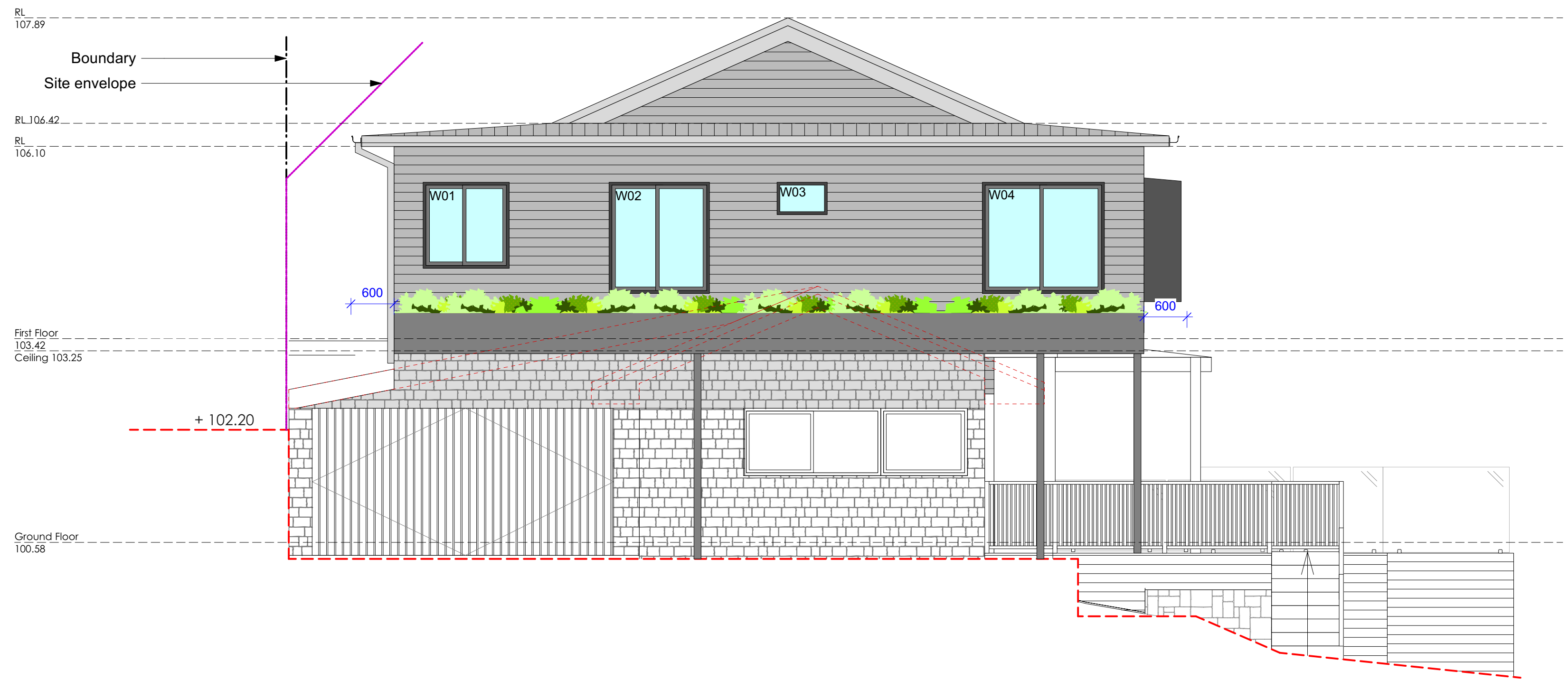
ISSUE	DATE	REVISION		
PROJECT	74 Grandview Drive, Newport		PROJECT # 25041	
CLIENT	HSU	DATE #	See above	DWG #
DWG	Roof Plan	SCALE @ A1	See Plan	Sht-107
		DRAWN	SA	
		CHKD	J.K	REVISION

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84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 E: [jamie@jamieking.com.au](mailto:jamie@jamieking.com.au)

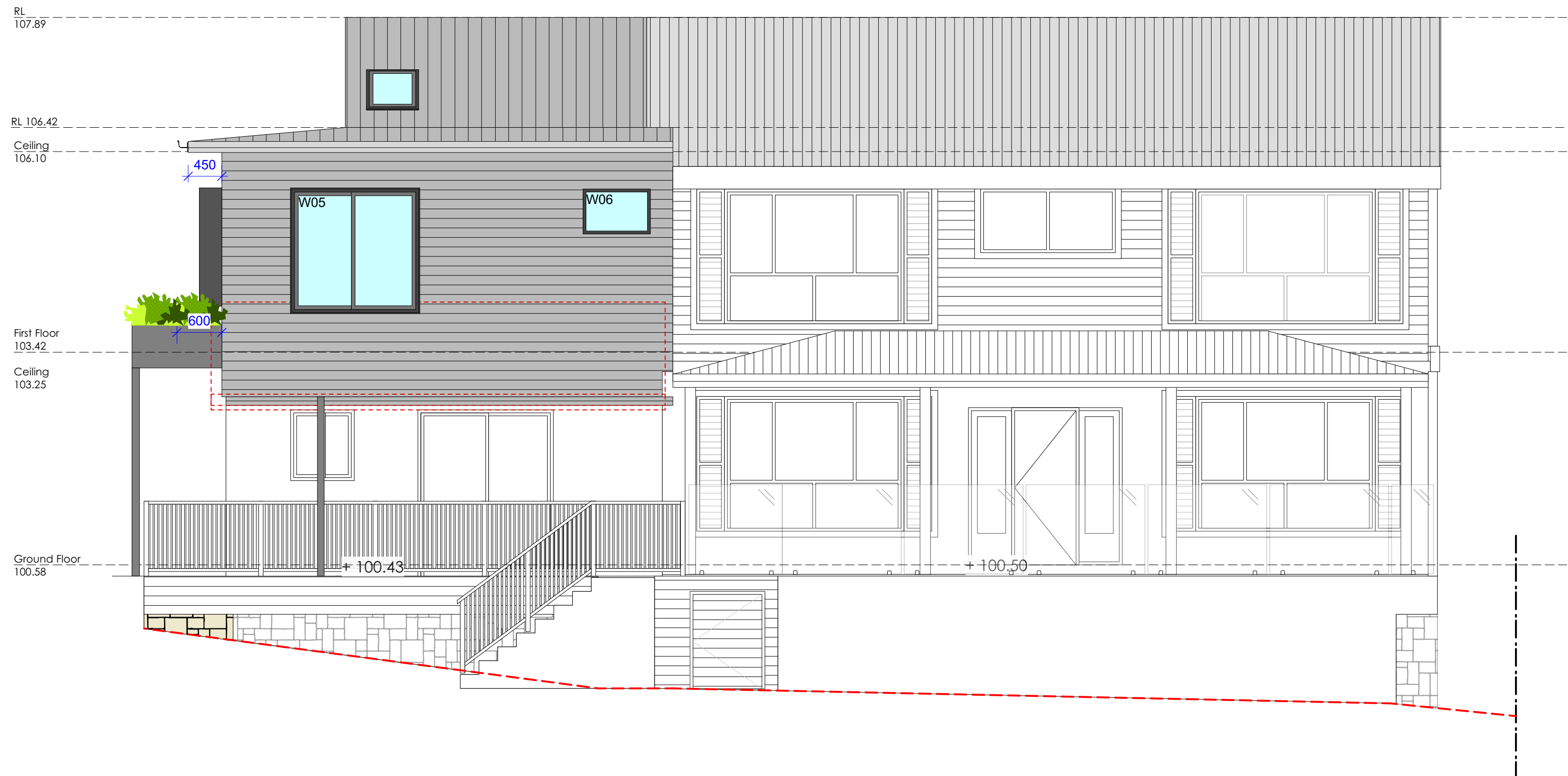


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Elevation West  
1:50@A1 1:100@A3. Do not scale off plan



Elevation South  
1:50@A1 1:100@A3. Do not scale off plan



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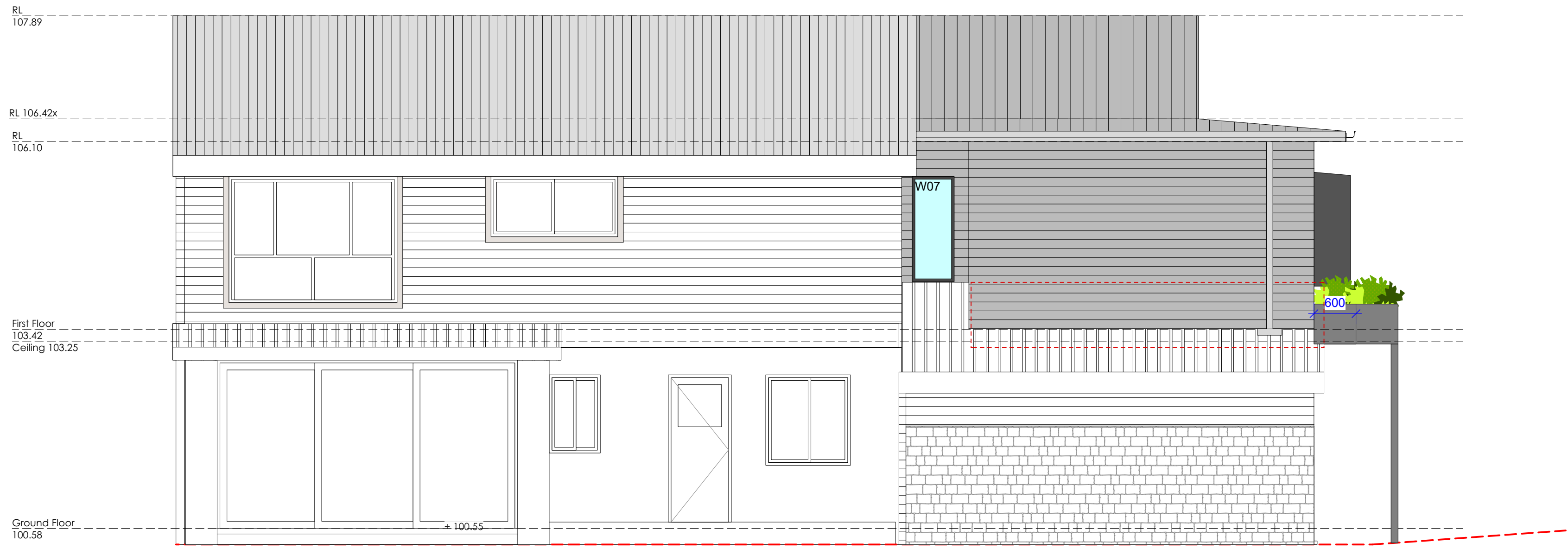
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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

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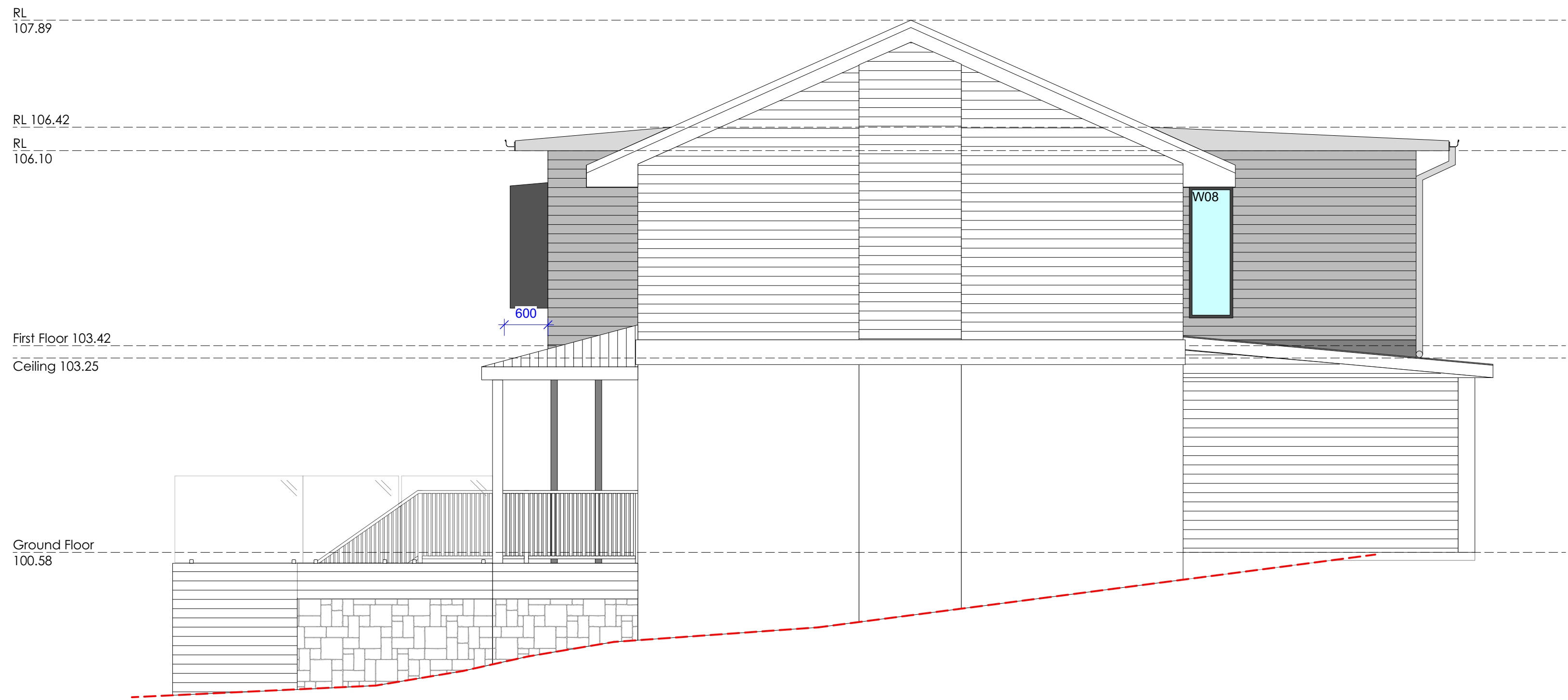
ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG # Sht-108
DWG	Elevation	DRAWN WPS CHKD JK	REVISION

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Elevation North  
1:50@A1 1:100@A3. Do not scale off plan



Elevation East  
1:50@A1 1:100@A3. Do not scale off plan

F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
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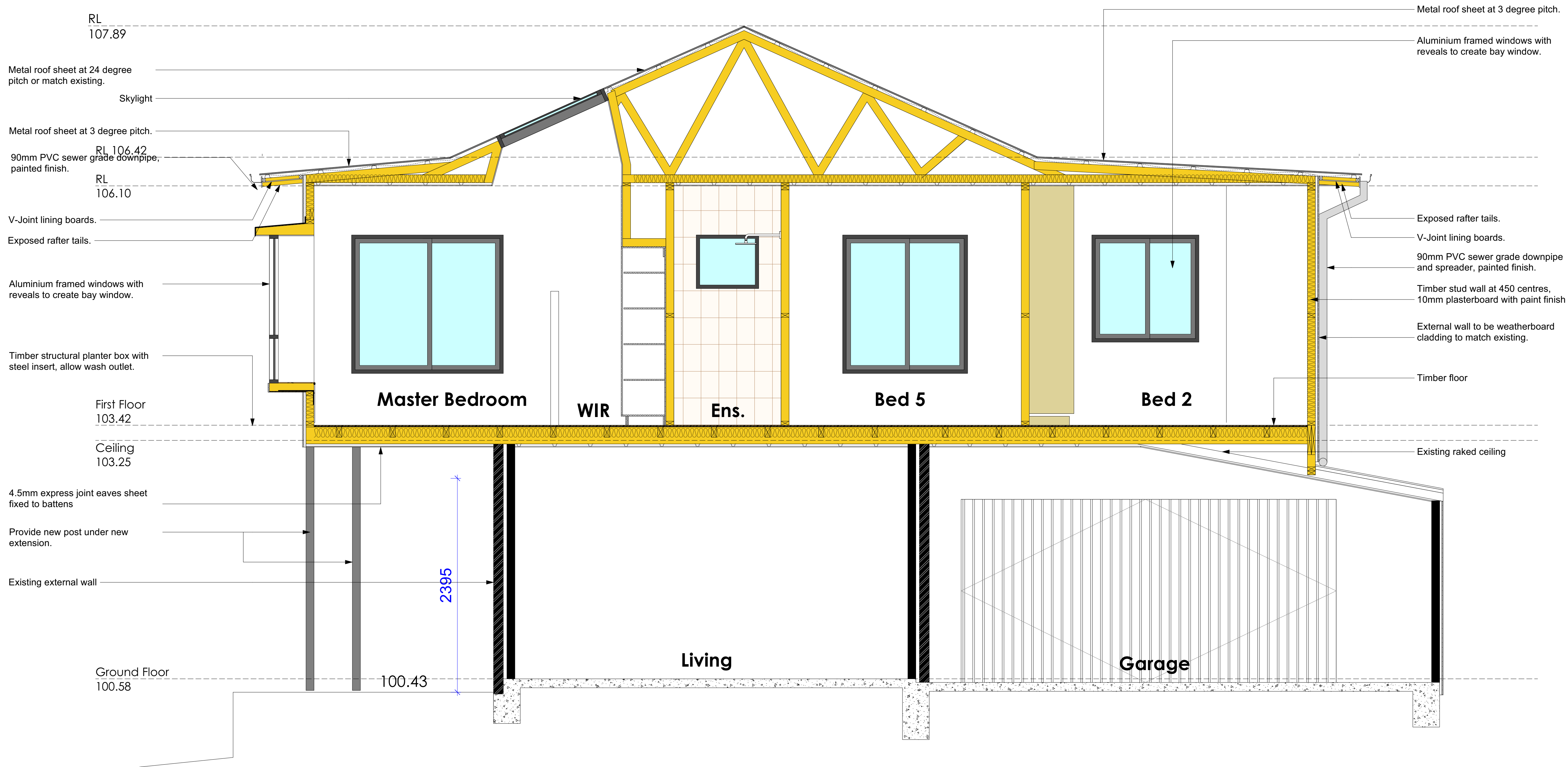


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ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG #
DWG	Elevation	DRAWN WPS CHKD JK	Sht-109
			REVISION

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Section AA  
1:25@A1 1:50@A3. Do not scale off plan



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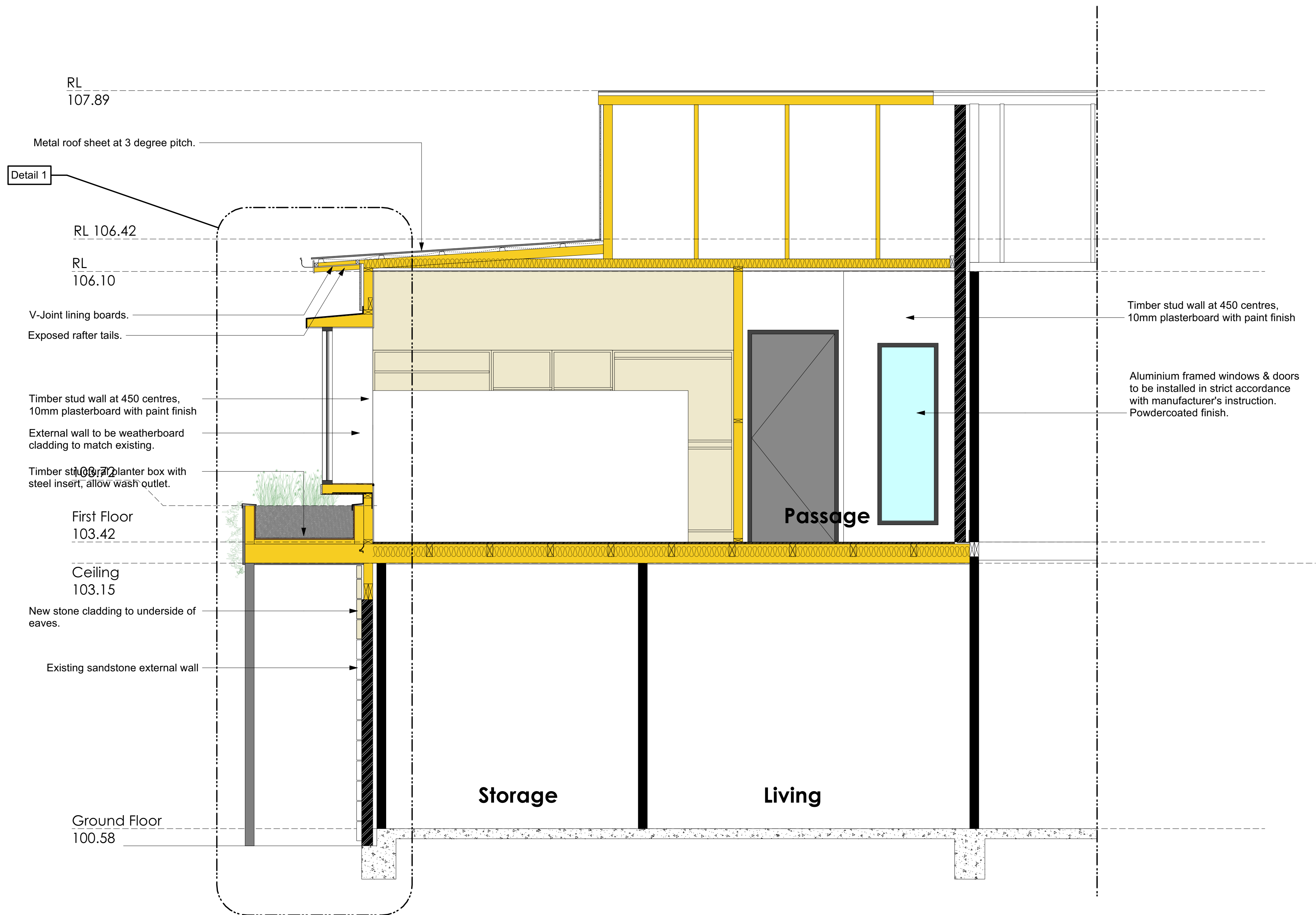
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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG #
DWG	Section A	DRAWN SA	Sht-110
CHKD	JK	REVISION	

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Section BB  
1:25@A1 1:50@A3. Do not scale off plan

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ISSUE	DATE	REVISION
F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

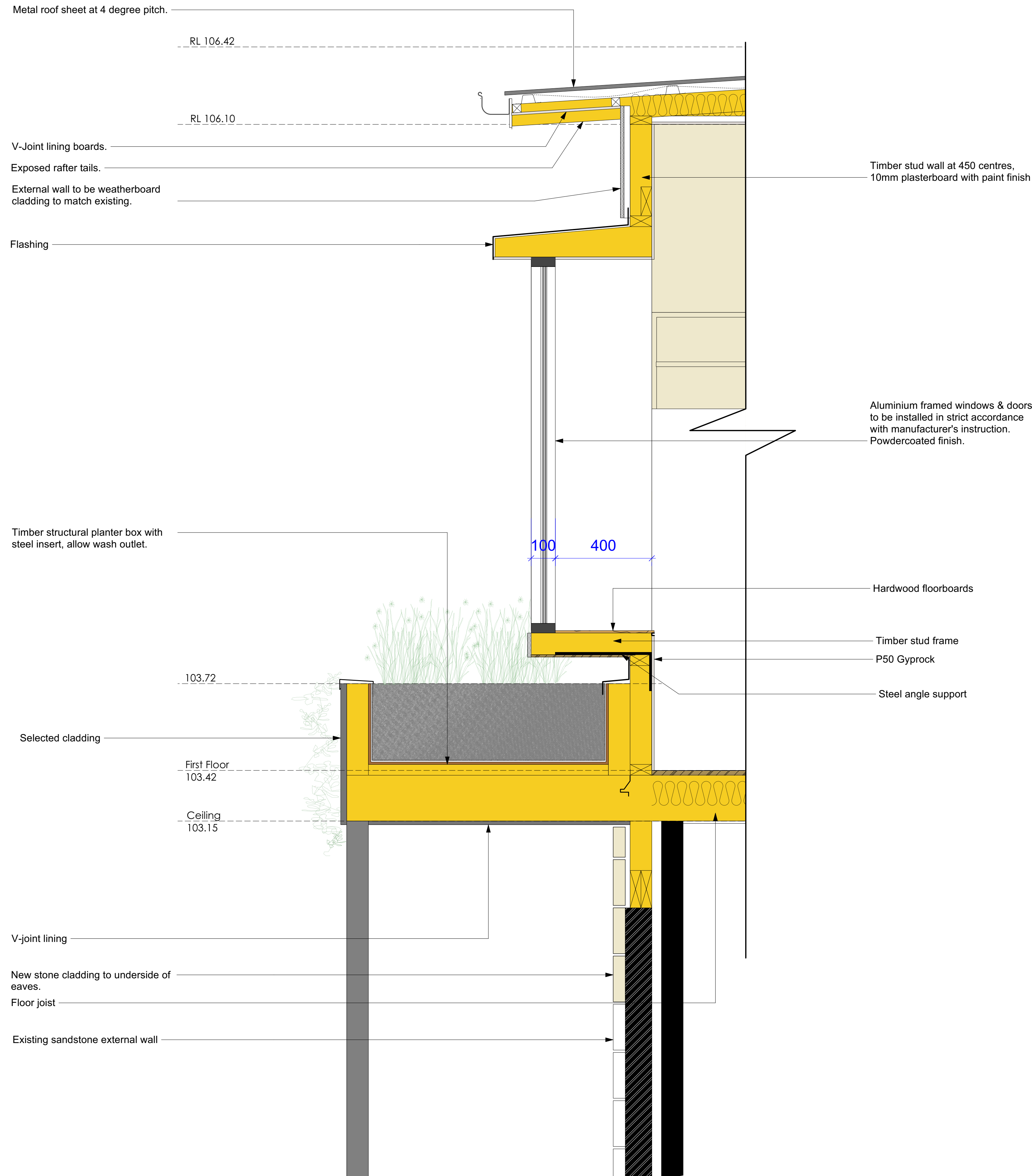
PROJECT		74 Grandview Drive, Newport		PROJECT #	25041
CLIENT		HSU		DATE #	See above
DWG		Section B		SCALE @ A1	See Plan
				DRAWN	SA
				CHKD	JK
				REVISION	

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Detail 1  
1:10@A1 1:5@A3. Do not scale off plan



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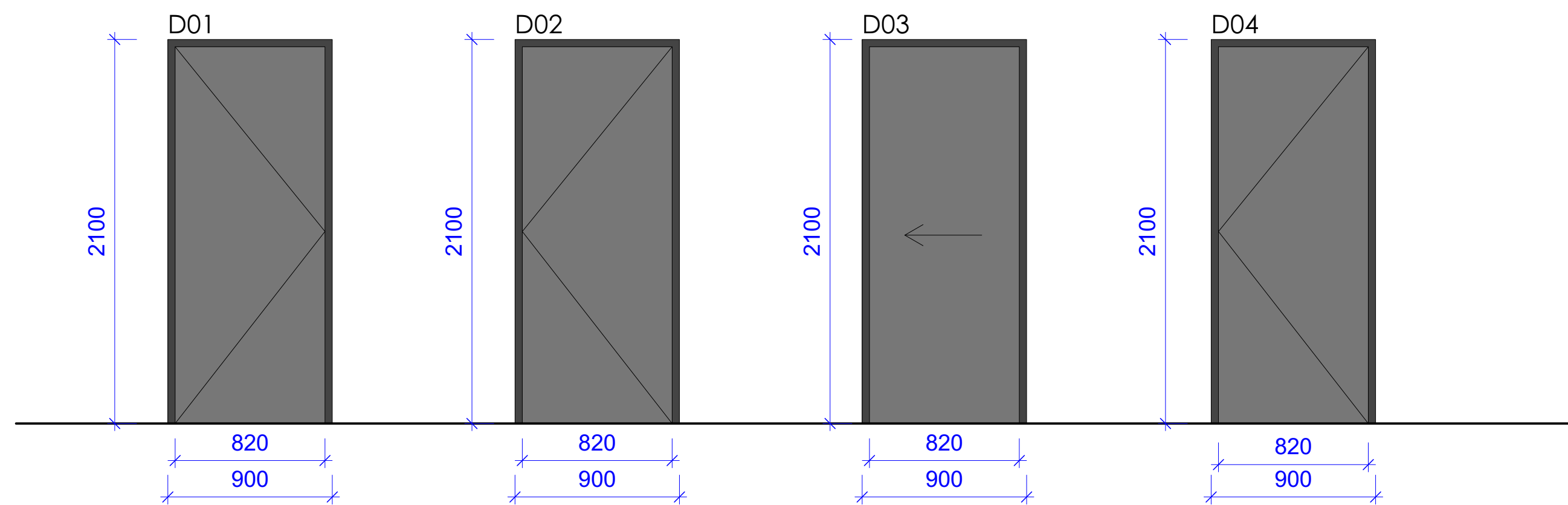
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E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
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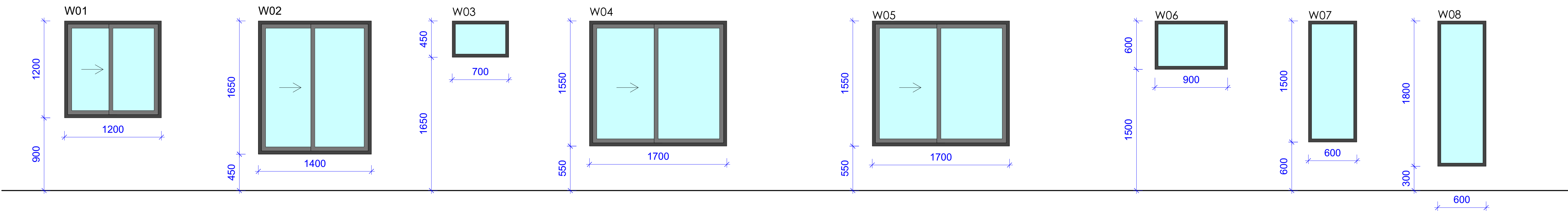
ISSUE	DATE	REVISION	PROJECT	PROJECT #
PROJECT	74 Grandview Drive, Newport			25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG #	Sht-112
DWG	Detail	DRAWN SA		
CHKD	JK	REVISION		

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Door Schedule  
1:25@A1 1:50@A3. Do not scale off plan



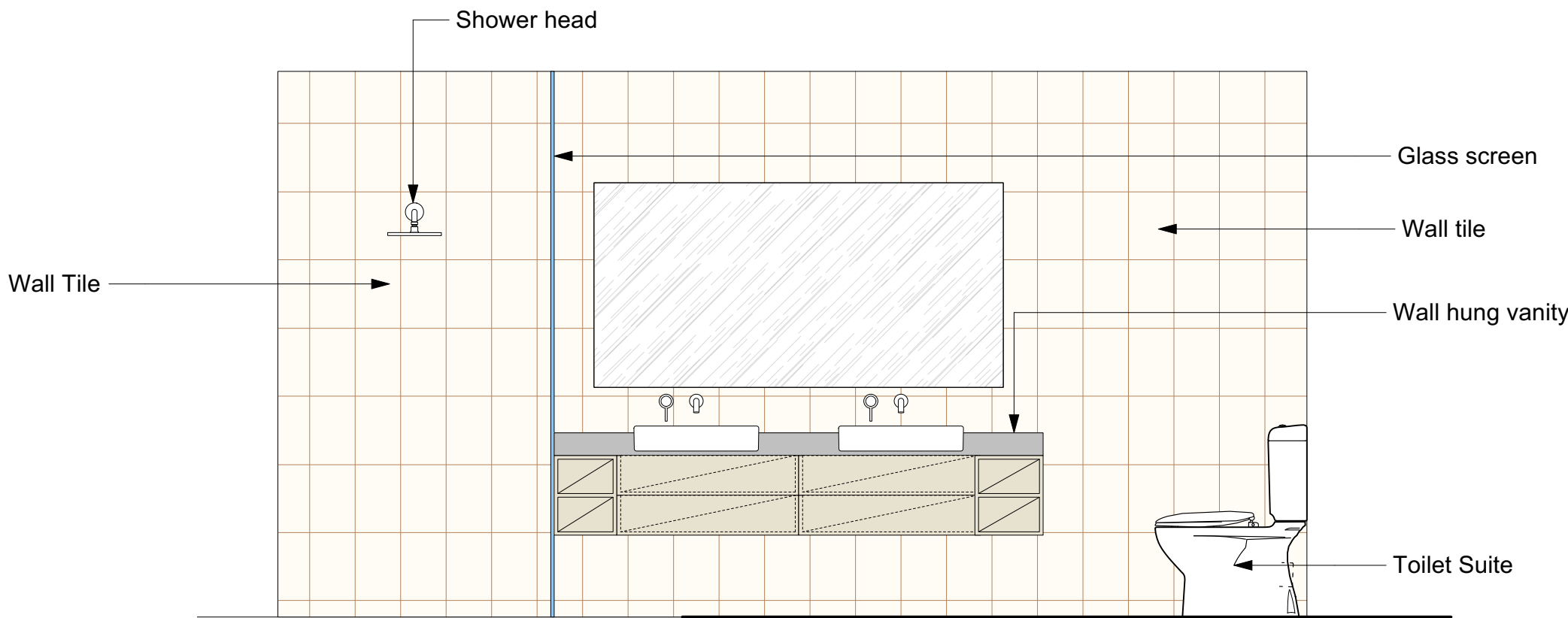
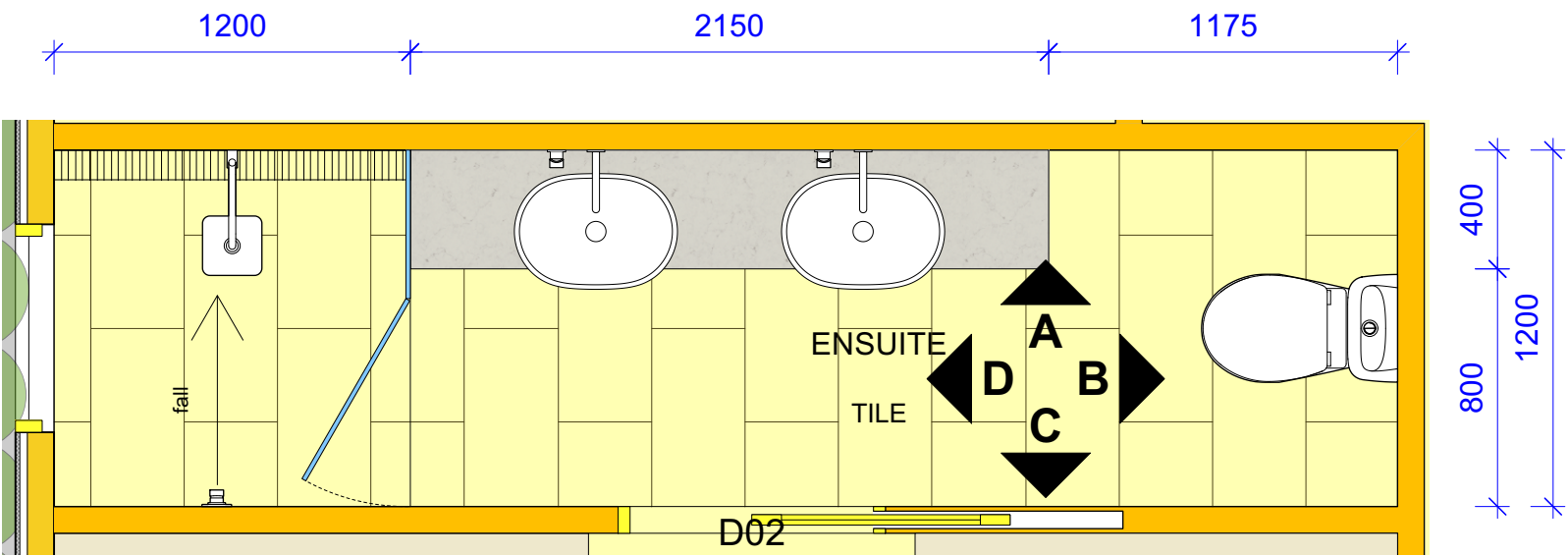
Window Schedule  
1:25@A1 1:50@A3. Do not scale off plan

F	08/04/24	DRAFT issue for review	<div>Notes:</div> <div>&gt;Do not scale off plan.</div> <div>&gt;Contractors to check all measurements onsite before quoting or commencing work.</div> <div>&gt;If abnormalities arise, contact the Landscape Architect.</div> <div>&gt;This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.</div> <div>All dimensions are indicative and may be adjusted onsite within the bounds of the approved document and the relevant standards and codes.</div>
E	04/03/24	DRAFT issue for review	
D	24/02/24	DRAFT issue for review	
C	14/02/24	DRAFT issue for review	
B	28/01/24	DRAFT issue for review	
A	28/11/24	DRAFT issue for review	
ISSUE		DATE	REVISION
PROJECT			
74 Grandview Drive, Newport			
CLIENT		DATE #	See above
HSU		SCALE @ A1	See Plan
DWG		DRAWN	SA
Door & Window Schedule		CHKD	JK
			REVISION
Jamie King Landscape Architect			
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		W: www.jamieking.com.au	
		E: jamie@jamieking.com.au	

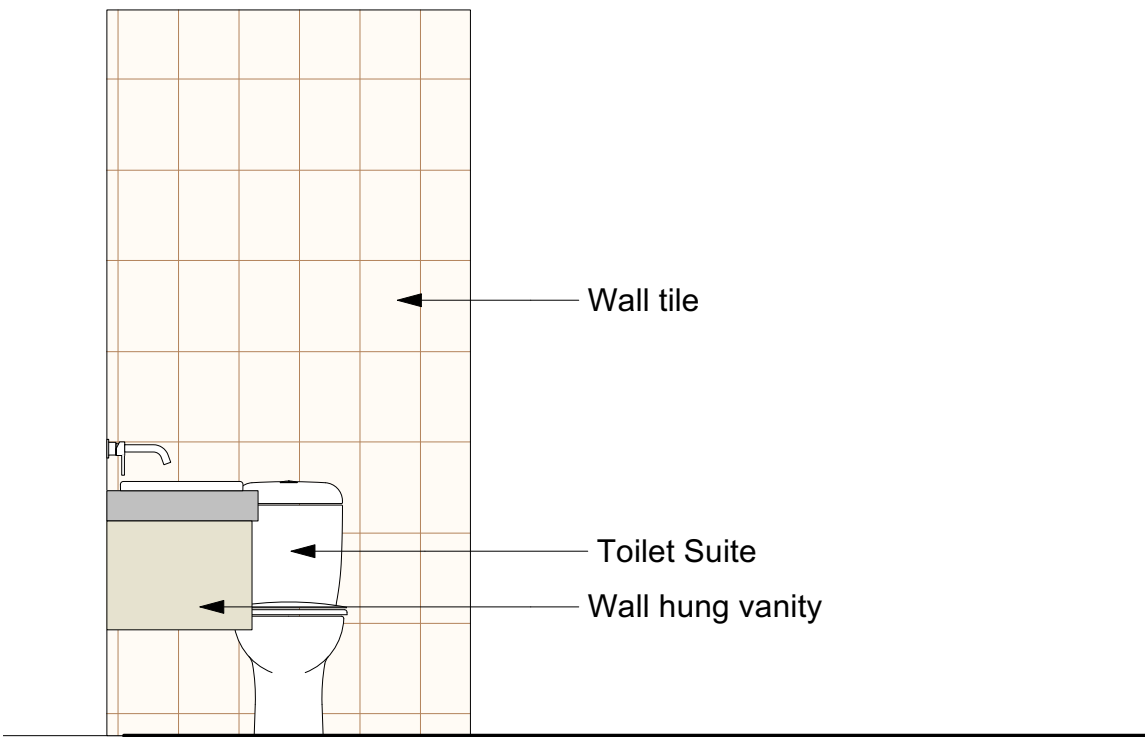


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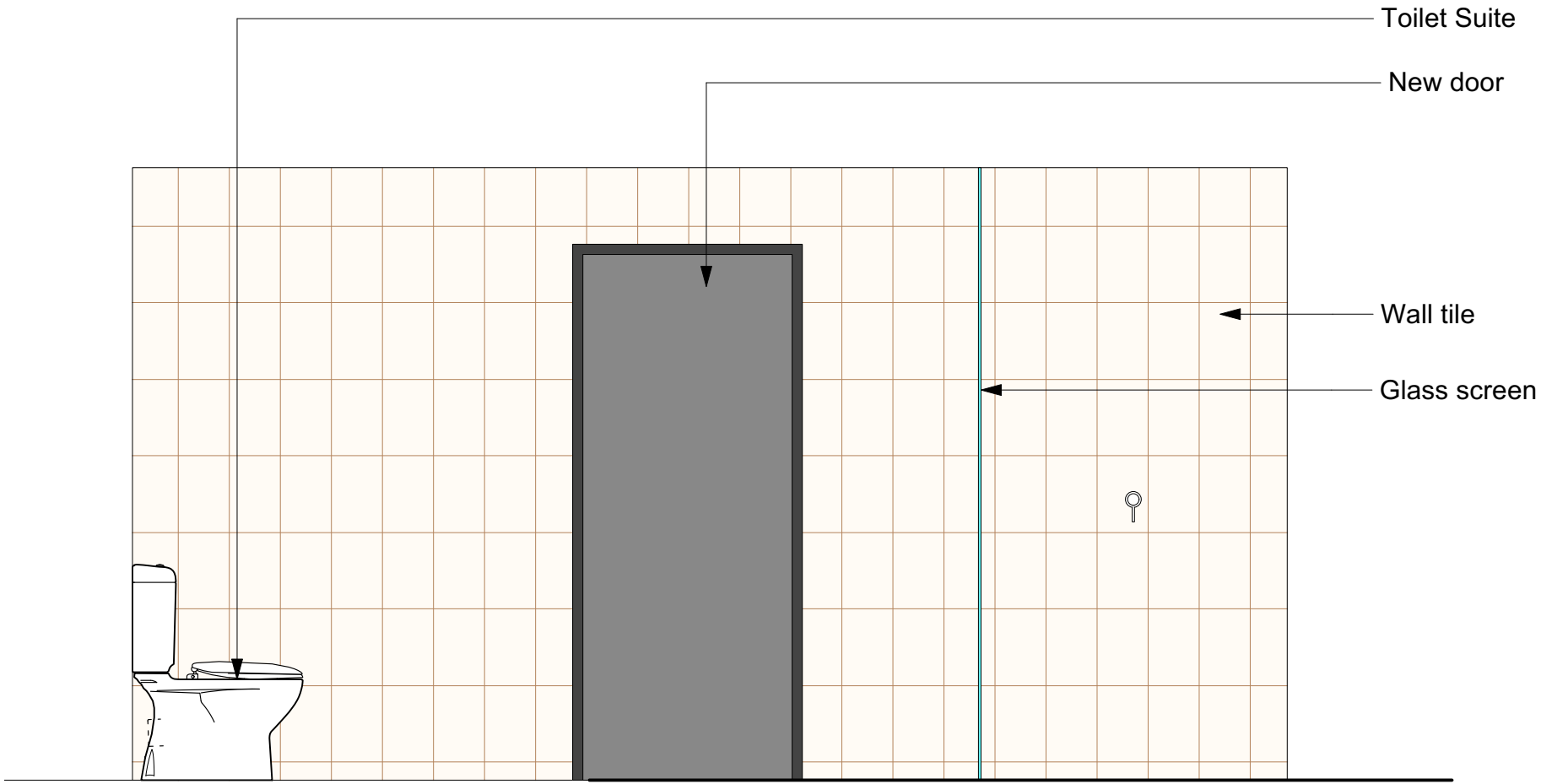
Internal Elevation Ensuite  
1:25@A1 1:50@A3. Do not scale off plan



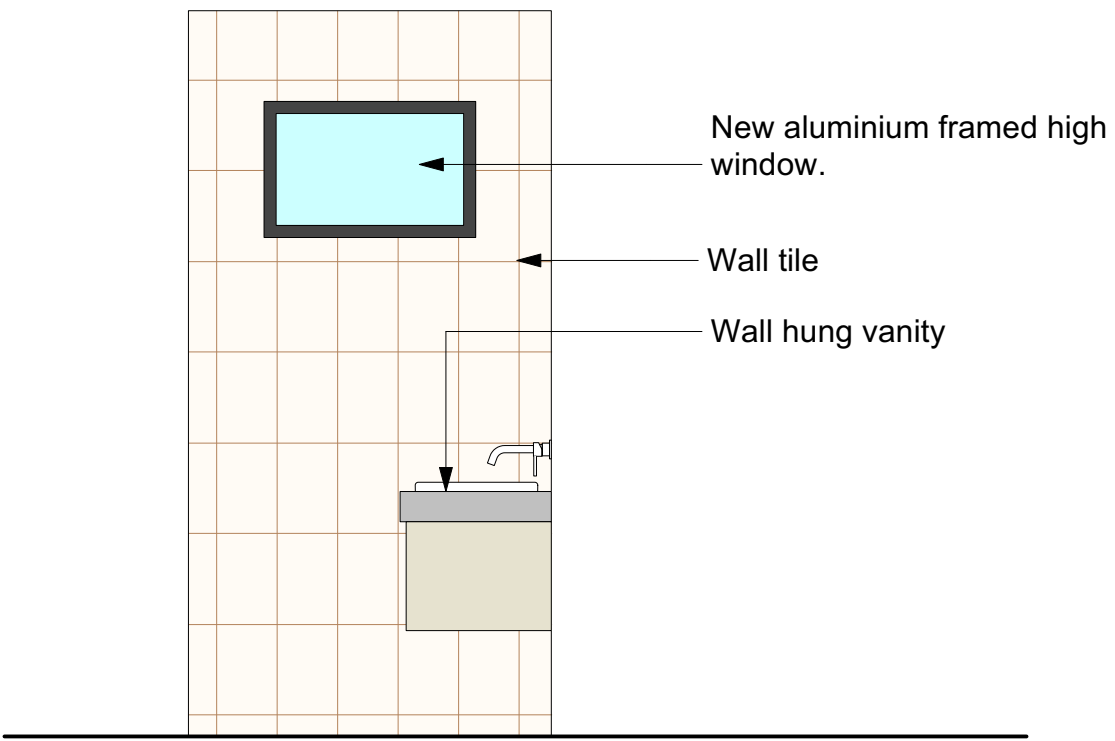
ELEVATION A - ENSUITE  
1:25@A1 1:50@A3. Do not scale off plan



ELEVATION B - ENSUITE  
1:25@A1 1:50@A3. Do not scale off plan



ELEVATION C - ENSUITE  
1:25@A1 1:50@A3. Do not scale off plan



ELEVATION D - ENSUITE  
1:25@A1 1:50@A3. Do not scale off plan



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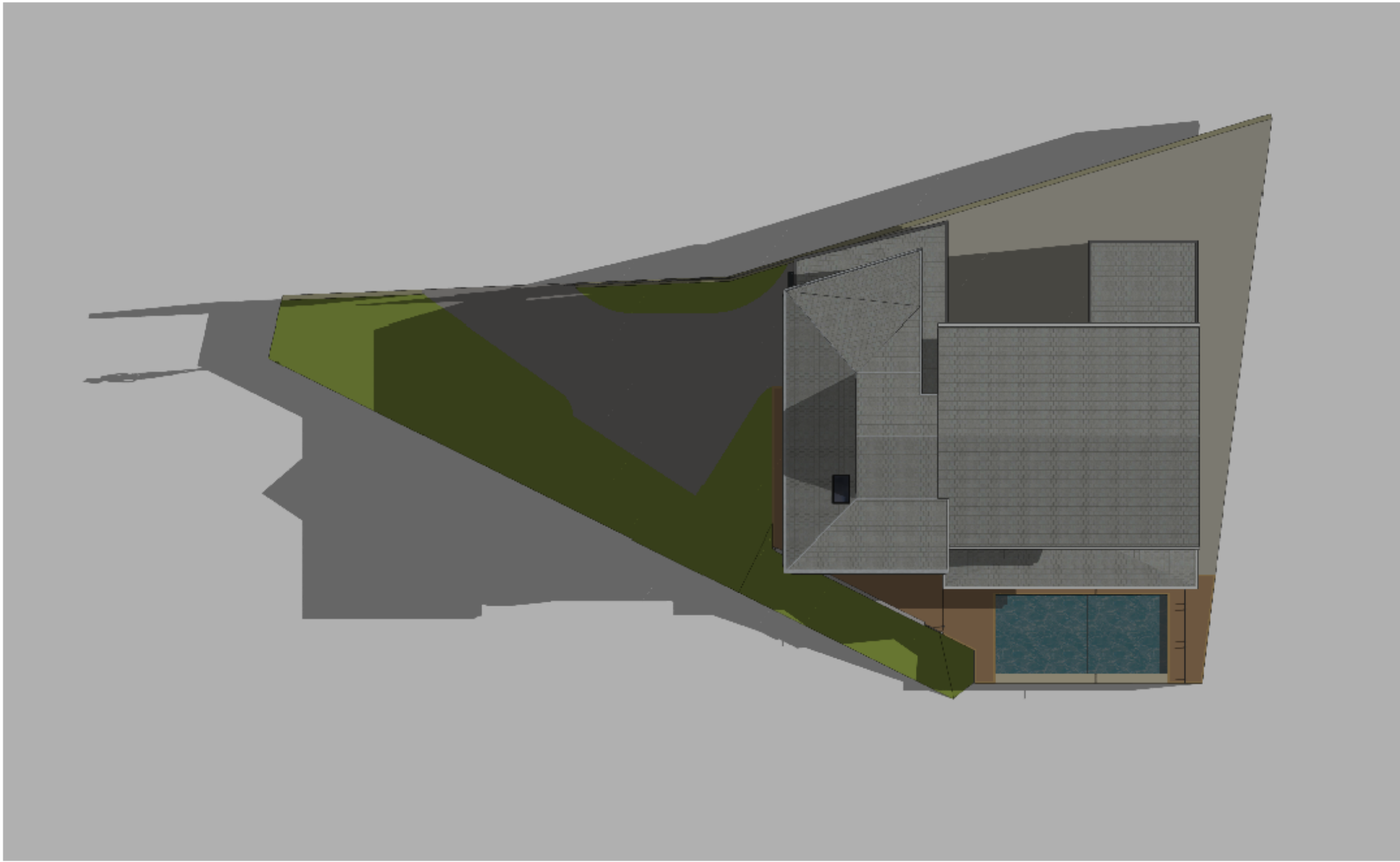
F	08/04/24	DRAFT issue for review
E	04/03/24	DRAFT issue for review
D	24/02/24	DRAFT issue for review
C	14/02/24	DRAFT issue for review
B	28/01/24	DRAFT issue for review
A	28/11/24	DRAFT issue for review

ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG #
DWG	Internal Elevation	DRAWN SA CHKD JK	Sht-114

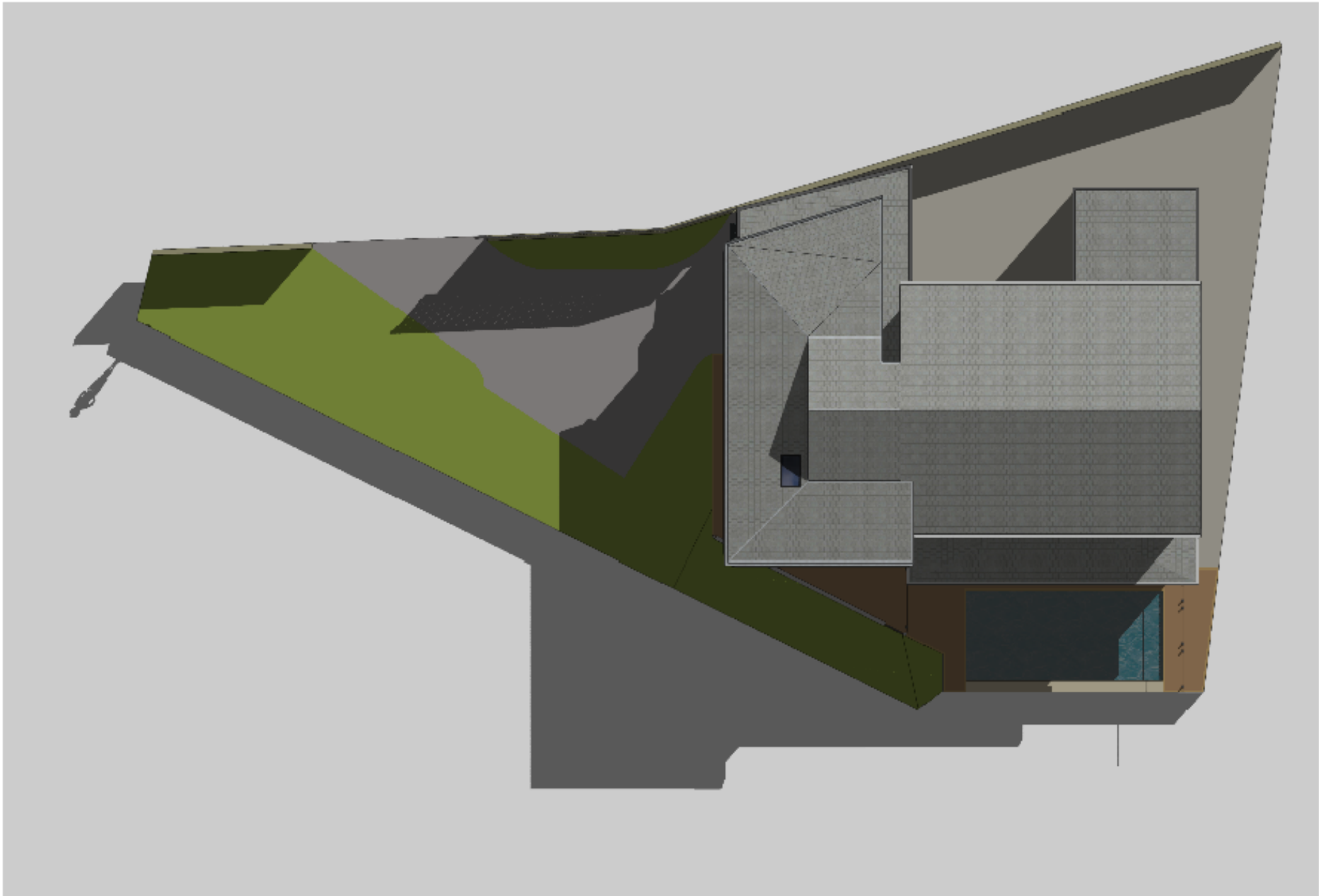
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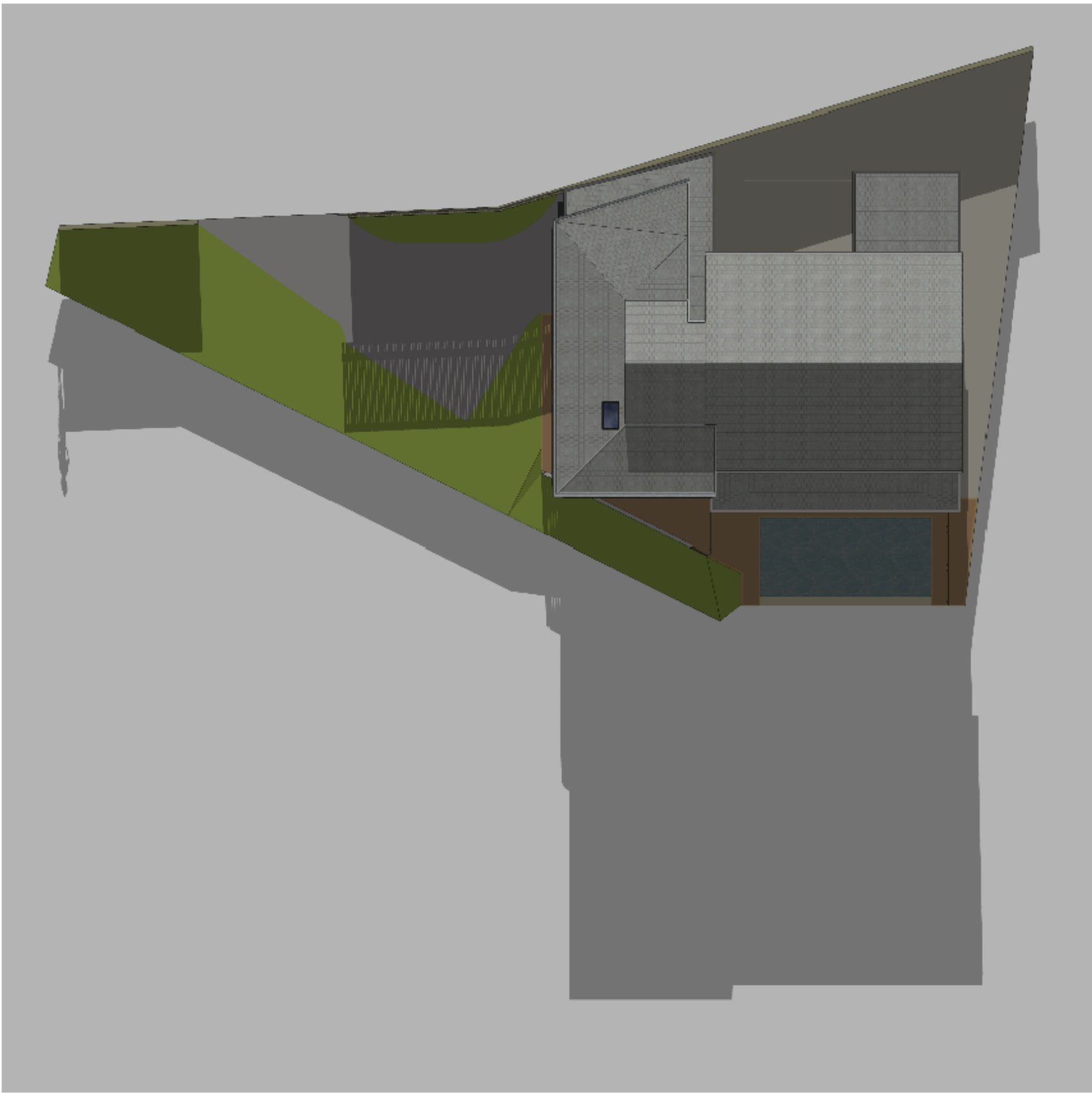




Shadow Diagram  
June 20th, 09.00 am



Shadow Diagram  
June 20th, 12.00 pm



Shadow Diagram  
June 20th, 03.00 pm



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ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above	DWG #
DWG	Shadow Diagram	SCALE @ A1 See Plan	Sht-115
CHKD	JK	REVISION	

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Alterations and Additions

Certificate number: A1786901

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 11 March 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	147625 - 74 Grandview Drive, Newport, NSW, 2106
Street address	74 GRANDVIEW Drive NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP16029
Lot number	55
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: BRIAN TEPLICANEK	
ABN (if applicable): 58867627002	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✔	✔	✔
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor above garage: framed (R0.7).	nil	N/A	
floor above existing dwelling or building.	nil	N/A	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✔	✔
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✔	✔
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✔	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✔	✔	✔
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✔	✔
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✔	✔



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ISSUE	DATE	REVISION	PROJECT #
PROJECT	74 Grandview Drive, Newport		25041
CLIENT	HSU	DATE # See above SCALE @ A1 See Plan	DWG #
DWG	BASIX	DRAWN SA	Sht-116
CHKD	JK	REVISION	

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W05	SE	2.81	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	SE	0.54	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	NE	1.08	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	SW	1.44	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	SW	2.31	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning Industry And Environment

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W03	SW	0.32	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W04	SW	2.81	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	NW	0.9	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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74 Grandview Drive, Newport				25041
CLIENT	DATE #	See above	DWG #	
HSU	SCALE @ A1	See Plan		
DWG	DRAWN	SA		
BASIX	CHKD	JK	REVISION	

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