
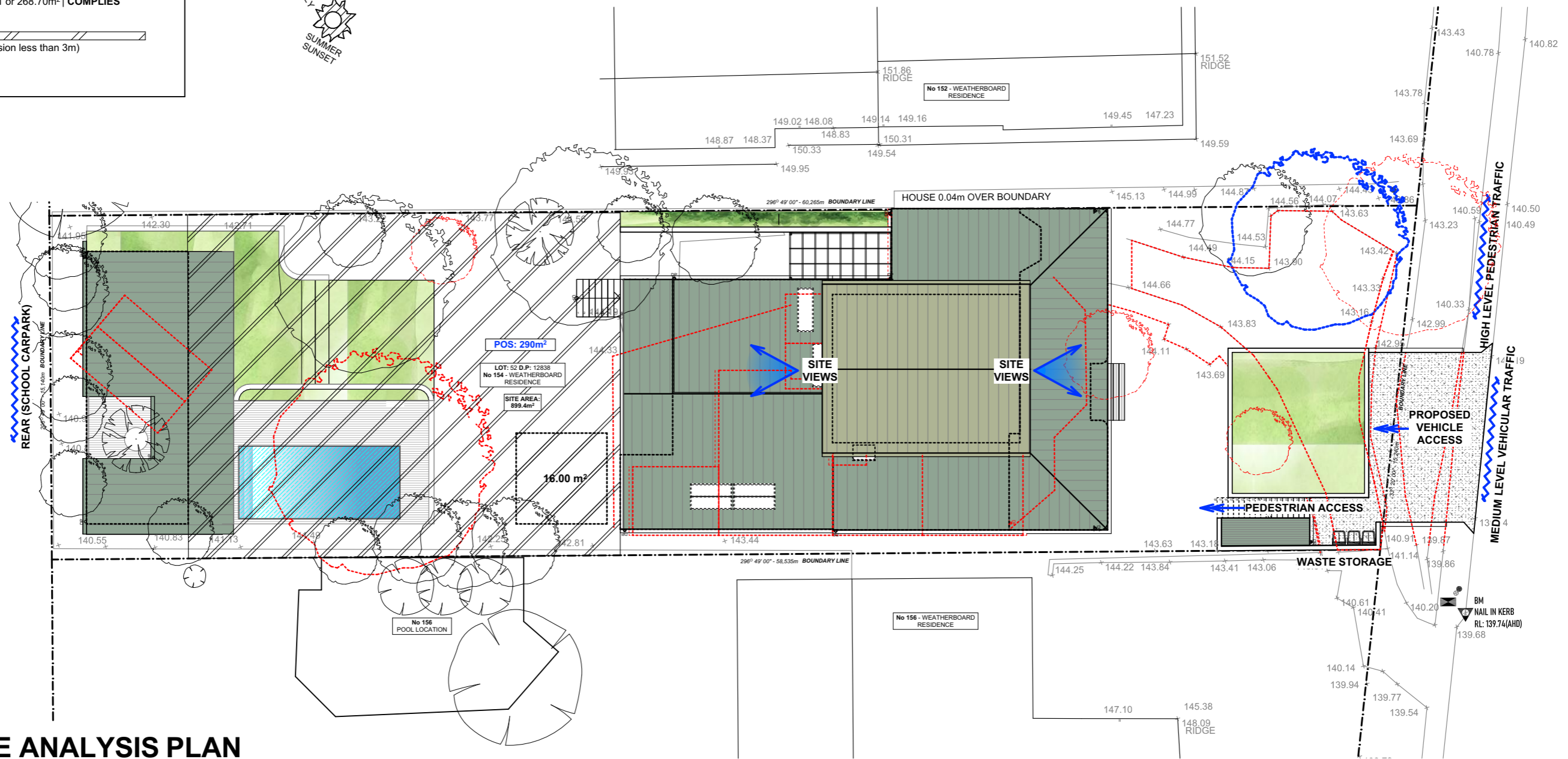
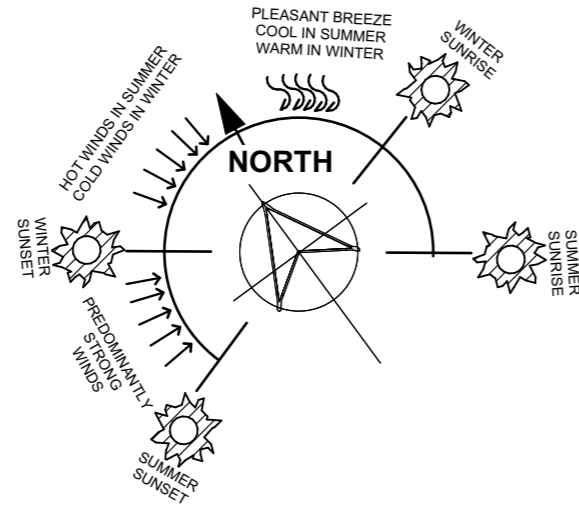


**LOCAL AUTHORITY:** NORTHERN BEACHES COUNCIL  
**ADDRESS:** 154 PLATEAU RD, BILGOLA PLATEAU, NSW, 2065  
**SITE AREA:** 899.4m<sup>2</sup>  
**LAND ZONE:** C4 ENVIRONMENTAL LIVING  
**MAX BUILDING HEIGHT:** 8.5m

HERITAGE: N/A  
FLOOD ZONE: N/A  
FIRE ZONE: N/A

**PRIVATE OPEN SPACE [POS]:**   
 REQUIRED: 80m<sup>2</sup> (with no dimension less than 3m)  
 PRINCIPLE AREA OF 16m<sup>2</sup>  
 ACHIEVED: 290m<sup>2</sup> | **COMPLIES**



1:200

**Plot Date:** Wednesday, 14 May 2025

[illegible]

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**LOT:52 DP:12838**  
154 PLATEAU RD  
BILGOLA PLATEAU, NSW 2107

<b>JOB No:</b> 1962024	<b>SHEET SIZE:</b> A3	<b>SHEET No:</b> 1 of 30
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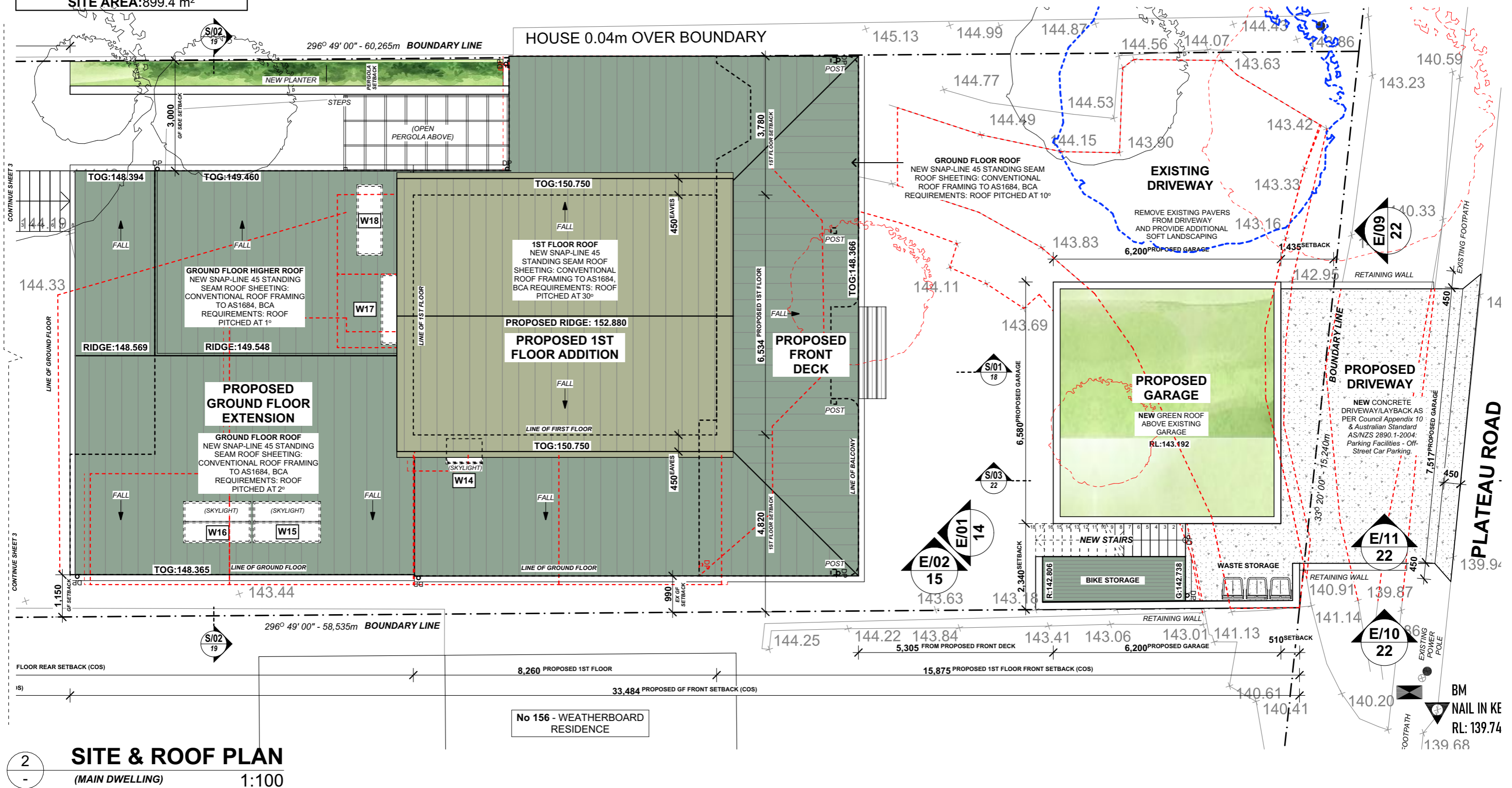
**ADDRESS:**154 PLATEAU RD  
BILGOLA PLATEAU, NSW 2107  
**LOT:**52 | **DP:**12838  
**SITE AREA:**899.4 m<sup>2</sup>

# DIAL1100

BEFORE YOU DIG

 EXISTING STRUCTURES TO REMAIN  
 EXISTING STRUCTURES TO BE DEMOLISHED  
 NEW STRUCTURES TO BE BUILT  
 PROPOSED EXTERIOR ALTERATION / ADDITIONS IN COLOUR

**DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001, The Demolition of Structures)Part 7.2(1)(a)**  
**ALL SERVICES ARE TO BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES**



**Plot Date:** Wednesday, 14 May 2025



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### SITE & ROOF PLAN (Main Dwelling)

**LOT:52 DP:12838**  
154 PLATEAU RD  
BILGOLA PLATEAU, NSW 2107

CLIENT: **JENNY & JANNIS KEARNEY BOTT**

**LGA:** NORTHERN BEACHES COUNCIL





**DESIGN:** ALTS & ADDS TO EX SINGLE STOREY DWELLING

<b>JOB No:</b> 1962024	<b>SHEET SIZE:</b> A3	<b>SHEET No:</b> 2 of 30
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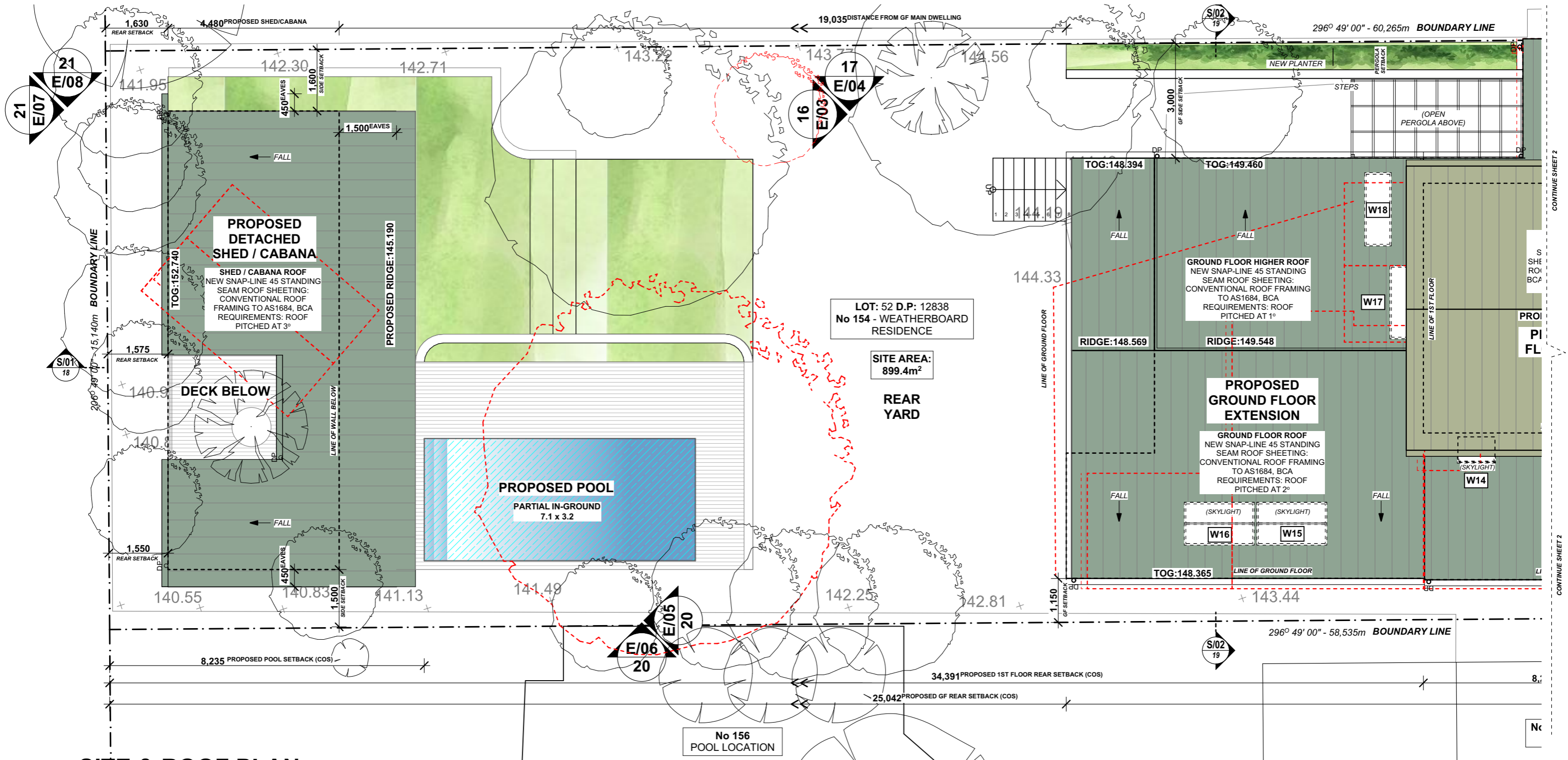
**ADDRESS:**154 PLATEAU RD  
BILGOLA PLATEAU, NSW 2107  
**LOT:**52 | **DP:**12838  
**SITE AREA:**899.4 m<sup>2</sup>



**LEGEND:**

	EXISTING STRUCTURES TO REMAIN
	EXISTING STRUCTURES TO BE DEMOLISHED
	NEW STRUCTURES TO BE BUILT
	PROPOSED EXTERIOR ALTERATION / ADDITIONS IN COLOUR

DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE  
WITH AS 2601-2001, The Demolition of Structures)Part 7.2(1)(a)  
ALL SERVICES ARE TO BE DISCONNECTED IN ACCORDANCE WITH  
THE REQUIREMENTS OF THE RELEVANT AUTHORITIES



# SITE & ROOF PLAN

(DETACHED CABANA/SHED) 1:100

***Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.***



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**DRAWING:**

### **SITE & ROOF PLAN (Detached Cabana/Shed)**

**LOT:52 DP:12838**  
154 PLATEAU RD  
BILGOLA PLATEAU, NSW 2107

CLIENT: **JENNY & JANNIS KEARNEY BOTT**

**LGA:** NORTHERN BEACHES COUNCIL

**DESIGN:** ALTS & ADDS TO EX SINGLE STOREY DWELLING

<b>JOB No:</b> 1962024	<b>SHEET SIZE:</b> A3	<b>SHEET No:</b> 3 of 30
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**Plot Date:** Wednesday, 14 May 2025

NORTHERN BEACHES COUNCIL REQUIREMENTS: PITTWATER


LOCAL AUTHORITY: NORTHERN BEACHES COUNCIL  
ADDRESS: 154 PLATEAU RD, BILGOLA PLATEAU, NSW, 2065  
SITE AREA: 899.4m²  
LAND ZONE: C4 ENVIRONMENTAL LIVING  
MAX BUILDING HEIGHT: 8.5m

5,790mm EXISTING MAX HEIGHT |  
8,460mm PROPOSED MAX HEIGHT | **COMPLIES**

HERITAGE: N/A  
FLOOD ZONE: N/A  
FIRE ZONE: N/A

FLOOR SPACE RATIO: N/A  
EXISTING GROUND FLOOR: 0.14:1 or 129.45m²  
**TOTAL EXISTING GFA** = 0.14:1 or 129.45m²

PROPOSED GROUND: 0.20:1 or 183.90m²  
PROPOSED 1ST FLOOR: 0.05:1 or 44.60m²  
OUTBUILDING (Detached Pool/ Workshop) : 0.04:1 or 40.20m²  
**TOTAL PROPOSED GFA** = 0.29:1 or 268.70m² | **COMPLIES**  
(GFA Excludes Garage)

PRIVATE OPEN SPACE [POS]:   
REQUIRED: 80m² (with no dimension less than 3m)  
PRINCIPLE AREA OF 16m²  
ACHIEVED: 290m² | **COMPLIES**

LANDSCAPING REQUIREMENTS:  
(MINIMUM 60% OF SITE AREA) = 0.60:1 or 539.64m²

LANDSCAPING AREA: 

EXISTING: 0.58:1 or 528.77m² **EXISTING NON-COMPLIANCE**  
PROPOSED: 0.53 or 478.35m² + (E4 Environmental Living + 6% Allowance of the total site area 54m²) = 0.59:1 or 532.35m²  
**NON-COMPLIANCE (IMPROVED)**

IMPERVIOUS AREA:  
EXISTING: 0.41:1 or 373.47m²  
PROPOSED: 0.46:1 or 420.9m²

SITE SETBACKS:

MAIN DWELLING:

SE (Front) : PROPOSED PIMRARY GF SETBACK (15,875mm)  
PROPOSED PRIMARY 1<sup>st</sup> FLOOR SETBACK (15,875mm) | **COMPLIES**

SW (Side):  
PROPOSED GROUND FLOOR 'REAR' SIDE SETBACK (1,150mm)  
PROPOSED 1<sup>st</sup> FLOOR SIDE SETBACK (4,820mm)  
| **COMPLIES**

NW (Rear) :  
PROPOSED GROUND FLOOR 'REAR' SETBACK (25,042mm)  
PROPOSED 1<sup>st</sup> FLOOR 'REAR' SETBACK (34,396mm)| **COMPLIES**

NE (Side) : EXISTING GROUND 'FRONT' BED 3 SETBACK  
(BUILT 0.04m OVER BOUNDARY) | **(NO CHANGE) EXISTING**  
PROPOSED GROUND 'REAR' SETBACK (3,000mm)  
PROPOSED 1<sup>st</sup> FLOOR SETBACK (3,836mm)| **COMPLIES**

**DETACHED DEVELOPMENT:** (Cabana, Cubby house, Fernery, Garden shed, Gazebo or greenhouse)

**Side & Rear Setbacks**  
NW (Rear): PROPOSED 'REAR' SETBACK (1,550~1,630mm) |  
**on Merit refer to SEE**

NE (Side): PROPOSED 'SIDE' SETBACK (1,580~1,600mm)  
| **COMPLIES**

**Max building height:**  
ACHIEVED: 4.5m | **COMPLIES**

DETACHED DOUBLE GARAGE:

**INTERNAL DIMENSIONS:**  
5.7 x 6 = **COMPLIES**

**Side & Front Setbacks**  
SE (Front) : PROPOSED PRIMARY SETBACK (750~1,435mm)

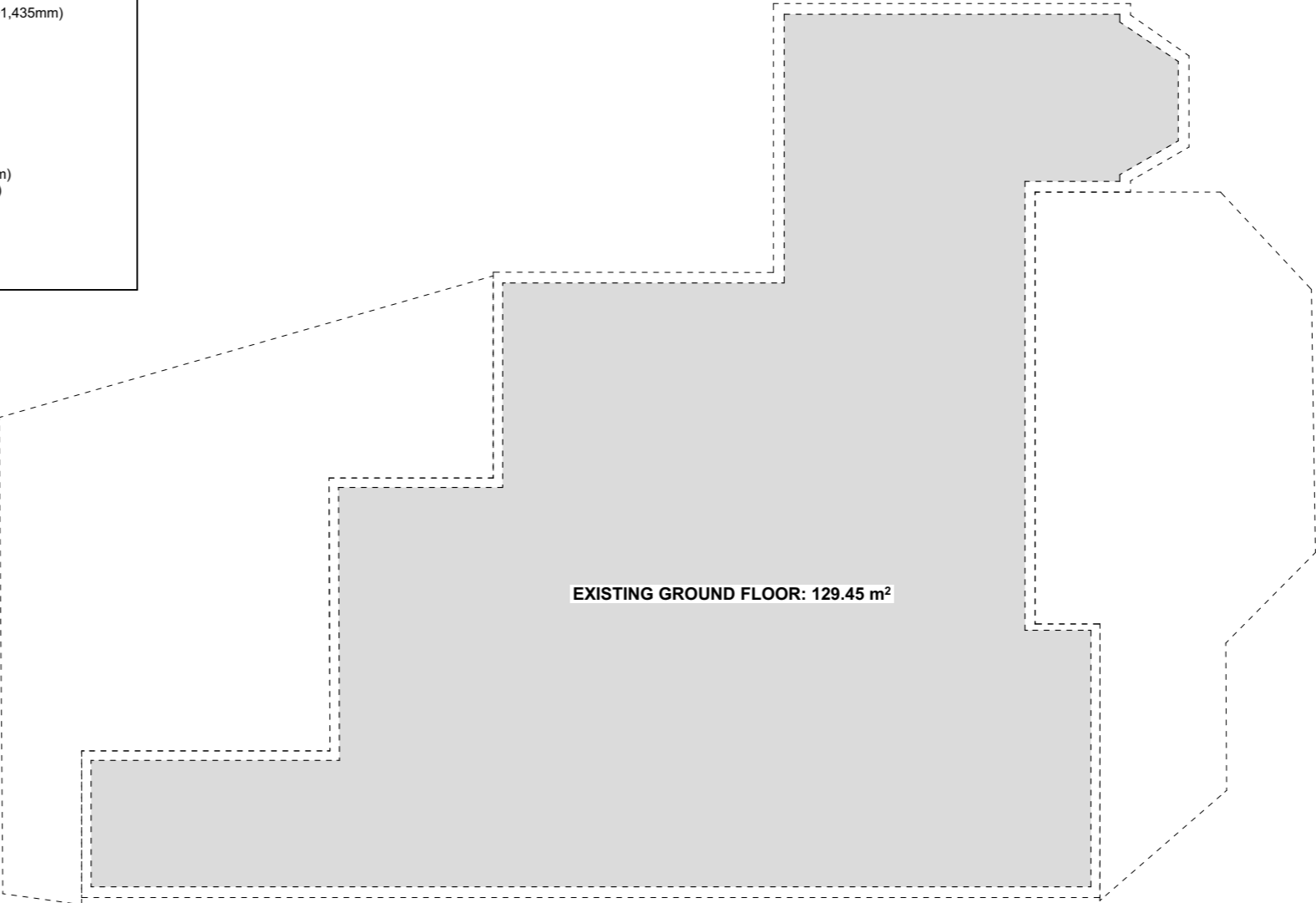
SW (Side):  
PROPOSED SIDE SETBACK (2,340mm)

To be assessed based **on Merit refer to SEE**

POOL:

**Side & Rear Setbacks** = 1m  
NW (Rear): PROPOSED 'REAR' SETBACK (8,235mm)  
SW (Side): PROPOSED 'SIDE' SETBACK (1,500mm)  
| **COMPLIES**

**Pools - Coping information**  
Max 1.4m above (existing) natural ground level  
Coping (1,100mm Max) | **COMPLIES**




SITE GFA CALCULATIONS

1:100

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date: Wednesday, 14 May 2025

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				A	14.04.25	ISSUE FOR DA - AHUJK			LGA: NORTHERN BEACHES COUNCIL		
									DESIGN: ALTS & ADDS TO EX SINGLE STOREY DWELLING		
									JOB No:1962024	SHEET SIZE: A3	SHEET No:4 of 30

NORTHERN BEACHES COUNCIL REQUIREMENTS: PITTWATER


LOCAL AUTHORITY: NORTHERN BEACHES COUNCIL  
ADDRESS: 154 PLATEAU RD, BILGOLA PLATEAU, NSW, 2065  
SITE AREA: 899.4m²  
LAND ZONE: C4 ENVIRONMENTAL LIVING  
MAX BUILDING HEIGHT: 8.5m

5,790mm EXISTING MAX HEIGHT |  
8,460mm PROPOSED MAX HEIGHT | **COMPLIES**

HERITAGE: N/A  
FLOOD ZONE: N/A  
FIRE ZONE: N/A

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EXISTING GROUND FLOOR: 0.14:1 or 129.45m²  
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PROPOSED 1ST FLOOR: 0.05:1 or 44.60m²  
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TOTAL PROPOSED GFA = 0.29:1 or 268.70m² | **COMPLIES**  
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PROPOSED: 0.53 or 478.35m² + (E4 Environmental Living + 6% Allowance of the total site area 54m²) = 0.59:1 or 532.35m²  
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MAIN DWELLING:

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PROPOSED PRIMARY 1<sup>st</sup> FLOOR SETBACK (15,875mm) | **COMPLIES**

SW (Side):  
PROPOSED GROUND FLOOR 'REAR' SIDE SETBACK (1,150mm)  
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Side & Rear Setbacks  
NW (Rear): PROPOSED 'REAR' SETBACK (1,550~1,630mm) |  
on Merit refer to SEE

NE (Side): PROPOSED 'SIDE' SETBACK (1,580~1,600mm)  
| **COMPLIES**

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ACHIEVED: 4.5m | **COMPLIES**

DETACHED DOUBLE GARAGE:

INTERNAL DIMENSIONS:  
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Side & Front Setbacks  
SE (Front) : PROPOSED PRIMARY SETBACK (750~1,435mm)

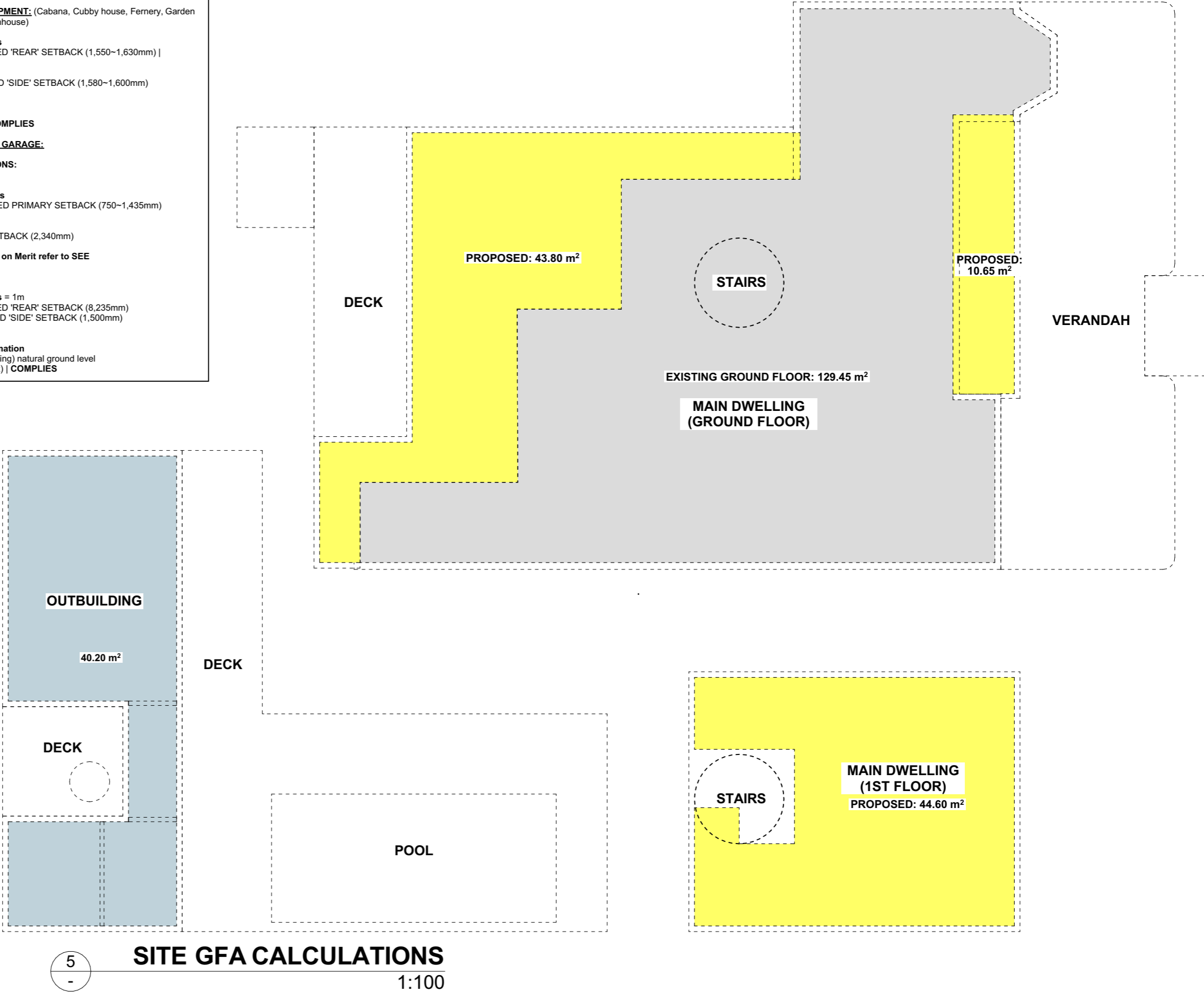
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PROPOSED SIDE SETBACK (2,340mm)

To be assessed based on Merit refer to SEE

POOL:


Side & Rear Setbacks = 1m  
NW (Rear): PROPOSED 'REAR' SETBACK (8,235mm)  
SW (Side): PROPOSED 'SIDE' SETBACK (1,500mm)  
| **COMPLIES**

Pools - Coping information  
Max 1.4m above (existing) natural ground level  
Coping (1,100mm Max) | **COMPLIES**



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

Plot Date: Wednesday, 14 May 2025

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									<div>LGA:</div> <div>NORTHERN BEACHES COUNCIL</div>		
									<div>DESIGN:</div> <div>ALTS &amp; ADDS TO EX SINGLE STOREY DWELLING</div>		
									<div>JOB No:</div> <div>1962024</div>	<div>SHEET SIZE:</div> <div>A3</div>	<div>SHEET No:</div> <div>5 of 30</div>