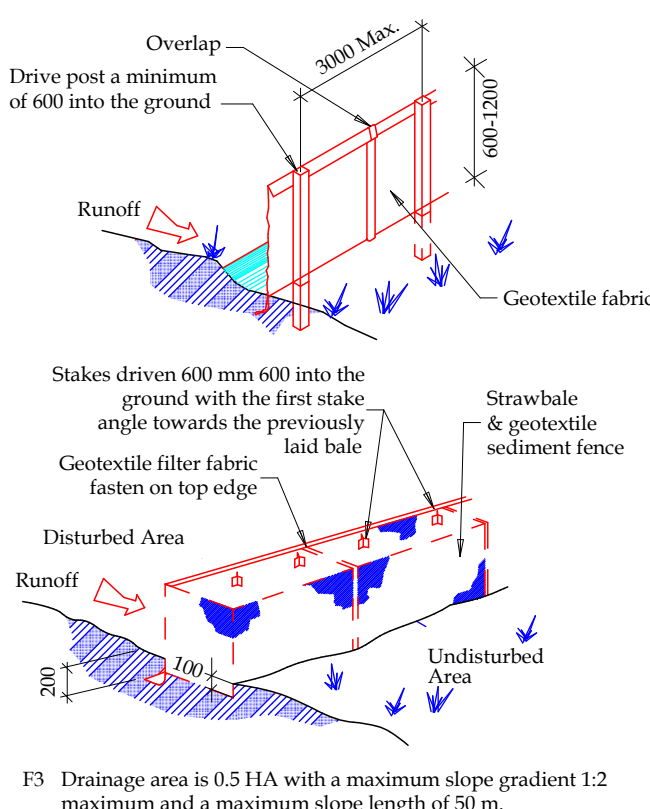


**Sediment and Erosion control fences:**

The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

**SEDIMENT FENCE**

- F1 Provide sediment fence on down slope boundary as shown on plan.
- F2 Geotextile fabric to be buried 200 mm below ground at the lower edge.



**SITE RATIO'S - EXISTING:**

SITE AREA	961.1m <sup>2</sup>
SITE AREA LESS ACCESS HANDLE	813.1m <sup>2</sup>
BUILDING FOOTPRINT	172m <sup>2</sup>
GARAGE FOOTPRINT	36.5m <sup>2</sup>
DRIVEWAY	65m <sup>2</sup>
COURTYARD	48m <sup>2</sup>
DECK	36m <sup>2</sup>
PAVED AREAS	36m <sup>2</sup>
POOL SURROUNDS	67m <sup>2</sup>
AREAS UNDER 2m WIDE	33.5m <sup>2</sup>
SUM TOTAL	493m <sup>2</sup>
EXISTING LANDSCAPED AREA	320.1m <sup>2</sup>
	39.3%

**SITE RATIO'S - PROPOSED:**

SITE AREA	961.1m <sup>2</sup>
SITE AREA LESS ACCESS HANDLE	813.1m <sup>2</sup>
BUILDING FOOTPRINT	192.5m <sup>2</sup>
GARAGE FOOTPRINT	36.5m <sup>2</sup>
DRIVEWAY	65m <sup>2</sup>
COURTYARD	48m <sup>2</sup>
DECK	26m <sup>2</sup>
PAVED AREAS	22m <sup>2</sup>
POOL SURROUNDS	57m <sup>2</sup>
AREAS UNDER 2m WIDE	35m <sup>2</sup>
SUM TOTAL	482m <sup>2</sup>
PROPOSED LANDSCAPED AREA	331.1m <sup>2</sup>
	40.7%

**LEGEND**

- +26.23 Denotes spot height.
- +25.37 TK Denotes height on top of kerb.
- T-0.2/5/4 Denotes tree-diameter/spread/height.
- Denotes overhead power wires.
- Denotes Sydney Water Sewer.
- (Plotted approx vide DBYD Sequence No.69266494)
- Denotes flow direction of roof waters.
- Denotes ridge and levels.
- Denotes gutter and levels.
- Denotes level on top of Brick Wall.
- Denotes window and levels.

**ENCUMBRANCES NOTED ON TITLE FOLIO 83/239216**

1. LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANTS
2. APPURTENANT EASEMENT TO DRAIN WATER (D.P.536625)
3. RESTRICTIONS ON THE USE OF LAND (D.P.239216)
4. EASEMENT TO DRAIN WATER (D.P.239216)
5. EXCEPTING LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES

**NOTES:**  
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.  
  
Finished ground levels on the plan are subject to the site conditions.

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**HOT WATER SYSTEM:**  
The existing hot water system shall remain

**INSULATION REQUIREMENTS:**  
Concrete slab on ground: Nil  
Floor above existing dwelling or building: Nil  
External walls: The external walls shall meet minimum R 1.70 (including construction)  
Ceilings: The new ceilings shall meet minimum R 2.50 (up)  
Roof: The roof shall have a foil / sarking and be of dark colour (solar absorption > 0.70)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate.  
Shading devices: Shading devices shall be installed in accordance with the Basix certificate  
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

**SKYLIGHTS:**  
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
All new skylights shall meet the requirements of the Basix certificate

**Modification - 4.55**  
Change entry walkway roof to flat roof instead of the 4.55 Mod 2019/0333 approved pitched roof and a 60/60/60 Fire rated wall

**LIFESTYLE HOME DESIGNS**  
LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client  
**MR & MRS STRIZIC**  
Project Name  
**Alterations & Additions**  
**4 TALLARA PLACE**  
**LOT 83, D.P. 239216**  
**TERRY HILLS N.S.W. 2084**

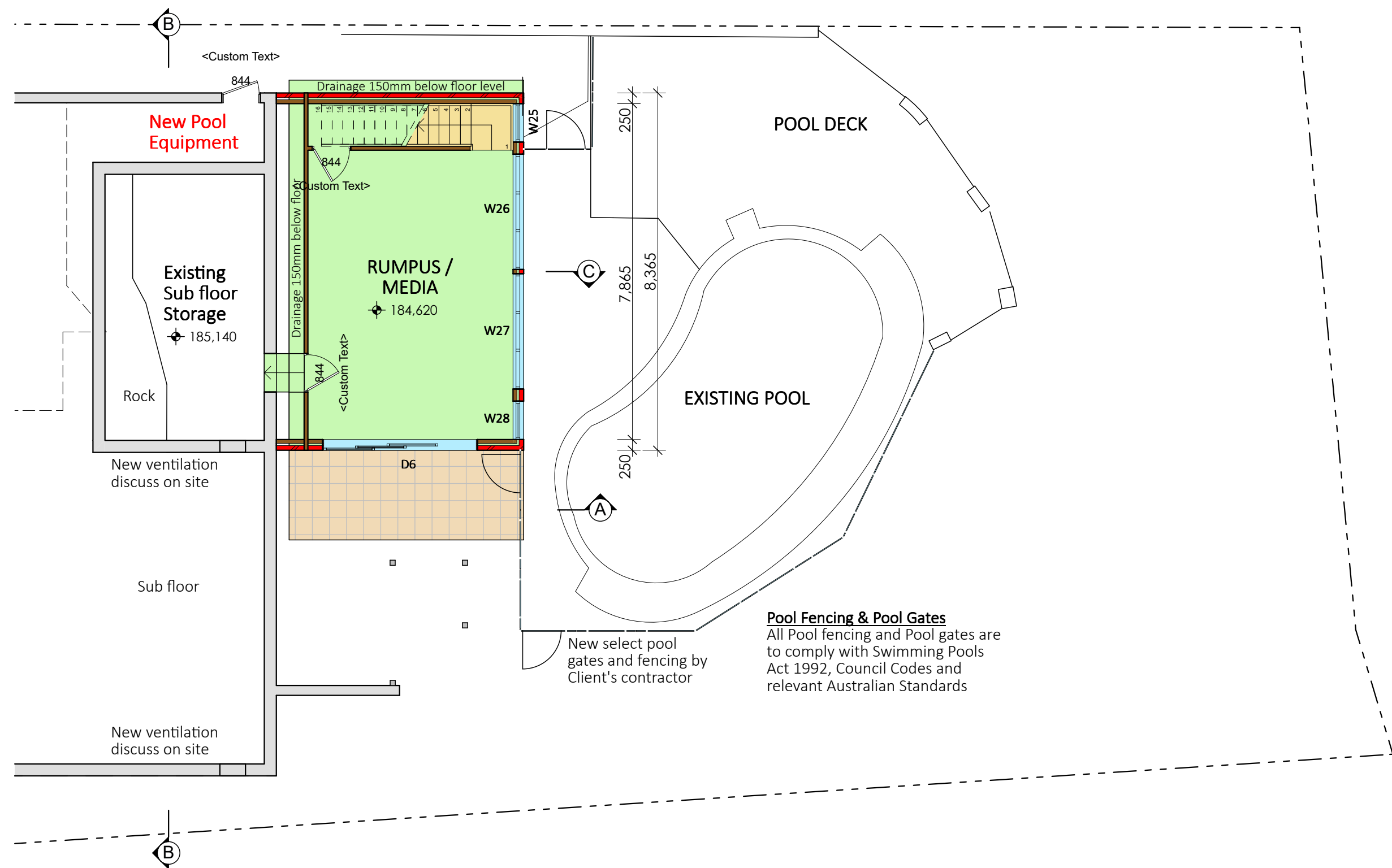
Drawing Title:	
<b>SITE PLAN</b>	
Scale: 1:100 (A1)	Date: FEBRUARY 2021
Council: NORTHERN BEACHES	Checked By: J. Adams
Project No: 1719	Drawing No: 4.55 01
ANNEXURE "A"	
Plot Date: 23/02/2021	





	PLD-1	00/00/0001
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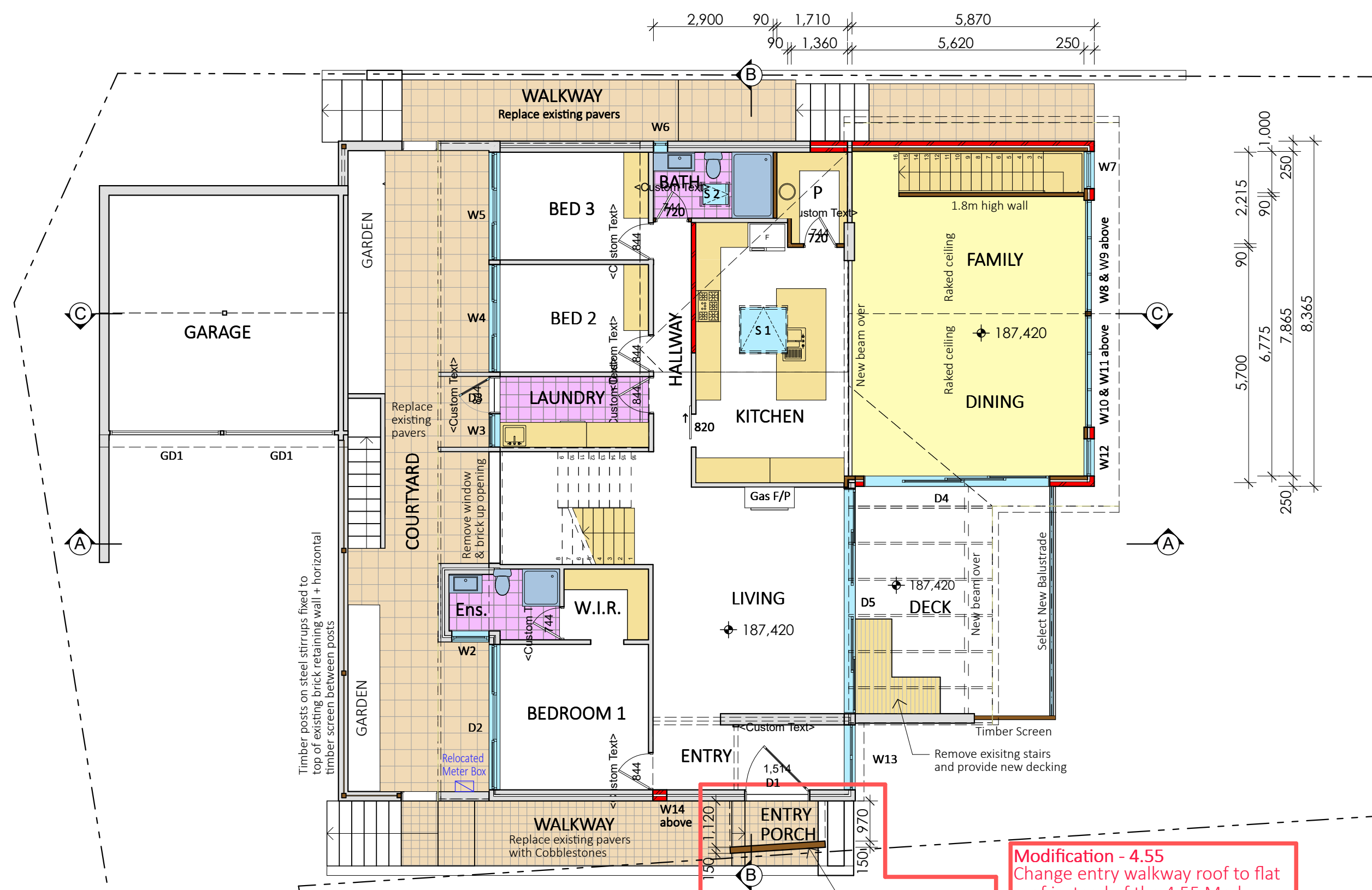
1 PROPOSED LOWER GROUND FLOOR 1:100

### WINDOW / DOOR SCHEDULE

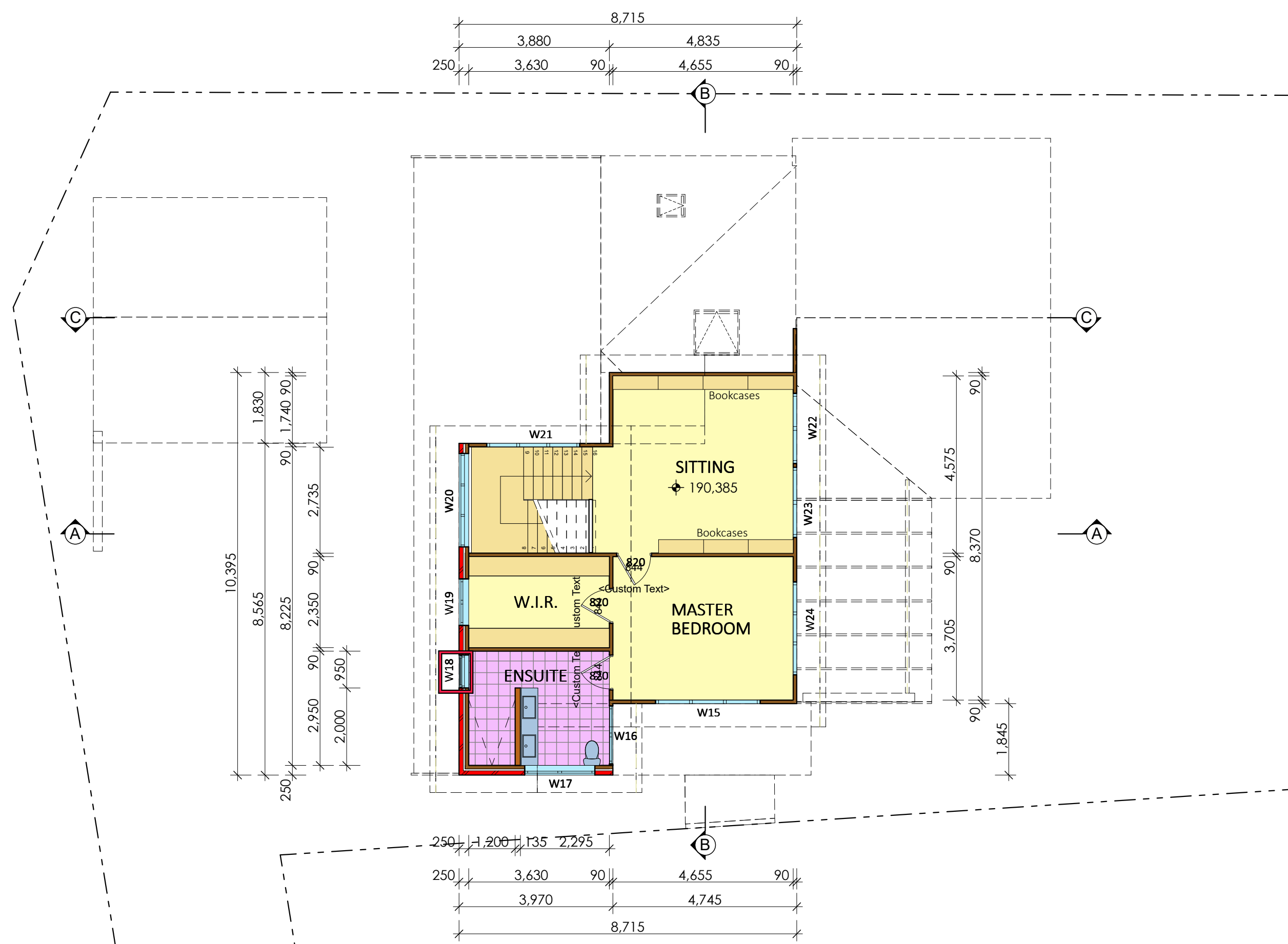
NOTE: The Builder shall source all windows and doors from "Trend Quantum"

NOTE: The Builder shall check measure all windows and doors on site prior to order

W 1	Removed from schedule
W 2	Special Aluminium Framed Double Hung Window with Obscure Glass to fit the existing opening - measure on site
W 3	Special Aluminium Framed Awning Window with Glazing bars to fit the existing opening - measure on site
W 4	Aluminium Framed Casement / Fixed / Casement Window with Glazing bars to fit the existing opening - measure on site
W 5	Aluminium Framed Casement / Fixed / Casement Window with Glazing bars to fit the existing opening - measure on site
W 6	Special Aluminium Framed Fixed Trapezoid Window raked to suit roof with Obscure Glass to fit the existing opening - measure on site
W 7	QF 2109 Aluminium Framed Fixed Window
W 8	Aluminium Framed Fixed Window
W 9	Special 1500h x 2700w Aluminium Framed Fixed Trapezoid Window raked to suit roof - measure on site
W 10	Aluminium Framed Fixed Window
W 11	Special 1500h x 2700w Aluminium Framed Fixed Trapezoid Window raked to suit roof - measure on site
W 12	QF 2109 Aluminium Framed Fixed Window
W 13	Special Aluminium Framed Fixed Glass window with Glazing bars. Cut sill down to floor then measure on site to fit the existing opening width and new height.
W 14	Special Aluminium Framed Fixed Trapezoid Window raked to suit roof to fit the existing opening - measure on site
W 15	QC 0627 Aluminium Framed Casement Window (Client may remove)
W 16	QC 0615 Aluminium Framed Casement Window
W 17	QC 0618 Aluminium Framed Casement Window with Obscure Glass
W 18	QC 1808 Aluminium Framed Casement Window with Lowlightwith Glazing bars with Obscure Glass
W 19	QC 1812T Aluminium Framed Casement Window with Lowlight with Glazing bars with Obscure Glass
W 20	QC 1824 Aluminium Framed Casement Window with Glazing bars with Obscure Glass
W 21	QC 0924 Aluminium Framed Casement Window
W 22	QC 1218 Aluminium Framed Casement Window
W 23	QC 1216 Aluminium Framed Casement Window
W 24	QC 1224 Aluminium Framed Casement Window
W 25	Aluminium Framed Fixed Window
W 26	QF 1827 Aluminium Framed Fixed Window
W 27	QF 1827 Aluminium Framed Fixed Window
W 28	Aluminium Framed Fixed Window
D 1	Special Select Pivot Entry Door to fit the existing opening - measure on site
D 2	Special Aluminium Framed Casement window with Glazing bars to fit the combined existing door & window opening Measure on site
D 3	Special Select Hinged Laundry Door to fit the existing opening - measure on site
D 4	Special 2100h x 4500w Aluminium Framed Glass 3 Panel Stacker Doors
D 5	Special Aluminium Framed Glass Panel Sliding Doors to fit the existing opening - measure on site
D 6	QSD 2136 Aluminium Framed Glass 3 Panel Stacker Doors
GD 1 x 2	Special Select Panel Lift Garage Doors to fit the existing openings
S 1	Select 1140 x 1180mm "Velux" Skylight - Kitchen
S 2	Select 550 x 700mm "Velux" Skylight - Bathroom
S 3 x 2	Select 780 x 1400mm "Velux" Skylight - Deck



2 PROPOSED GROUND FLOOR 1:100



3 PROPOSED FIRST FLOOR 1:100

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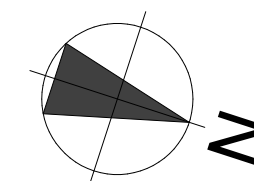
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Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client

**MR & MRS STRIZIC**

Project Name

**Alterations & Additions**

**4 TALLARA PLACE**

**LOT 83, D.P. 239216**

**TERRY HILLS N.S.W. 2084**

Drawing Title:

### PROPOSED FLOOR PLANS

Scale: 1:100 (A1) Date: FEBRUARY 2021

Council: NORTHERN BEACHES Checked By: J. Adams

Project No: 1719 Drawing No.: 4.55 03

ANNEXURE "A" Plot Date: 23/02/2021



