

SCOPE OF WORKS

RENOVATIONS AND ADDITIONS TO
EXISTING BRICK VENEER RESIDENCE TO INCLUDE -

- X1DEMOLISH EXISTING DELAPIDATED GARAGE
- X2DEMOLISH EX. CROSSING AND DRIVEWAYS
- X3REPLACE REAR PAVING 18.6SM WITH TURF
- A
NEW DOUBLE GARAGE
- B
NEW ENTRY LAYBACK AND DRIVEWAY
TO EXISTING CUL-DE-SAC ROLLED KERB
- C
NEW ENTRY STEPS, PLANTERS AND
FEATURE DOORS TO SUB FLOOR STORE

DRAWING SCHEDULE

- 1105 - 01SCOPE, SPECIFICATION, FINISHES SCHEDULE
- 02SITE PLAN + SITE ANALYSIS
- 03EXISTING-DEMOLITION, DA APP'D + PROPOSED PLAN
- 04FLOOR PLAN L1 - GARAGE + ENTRY
- 05GARAGE - SOUTH + EAST ELEVATIONS
- 06GARAGE WEST ELEVATION + SECTIONS
- 07ENTRY SECTIONAL ELEVATIONS
- 08ROOF PLAN
- 09DRAINAGE PLAN - CONCEPTUAL
- 10DRIVEWAY PLAN - CONCEPTUAL
- 11LANDSCAPE
- 12EROSION & WASTE PLAN

- 142759SURVEY - A
- S#142759SURVEY - IDENT

FOR REFERENCE CDC-2395622 FLOOR PLANS

- 1084 - 05FLOOR PLAN - LIVING LEVEL
- 06FLOOR PLAN - BEDROOM LEVEL
- SW101-102STORMWATER DRAINAGE PLAN

N O T E

- Contractor must verify all dimensions on site prior to the commencement of any construction work or shop drawings.
- Only figured dimensions to be used.
- All scaled dimensions must be verified.
- Copyright Paul Carrick & Associates (PC&A)
This drawing is copyright and the property of PC&A and must not be retained, used or copied for other projects without the prior written consent of PC&A.

SPECIFICATION

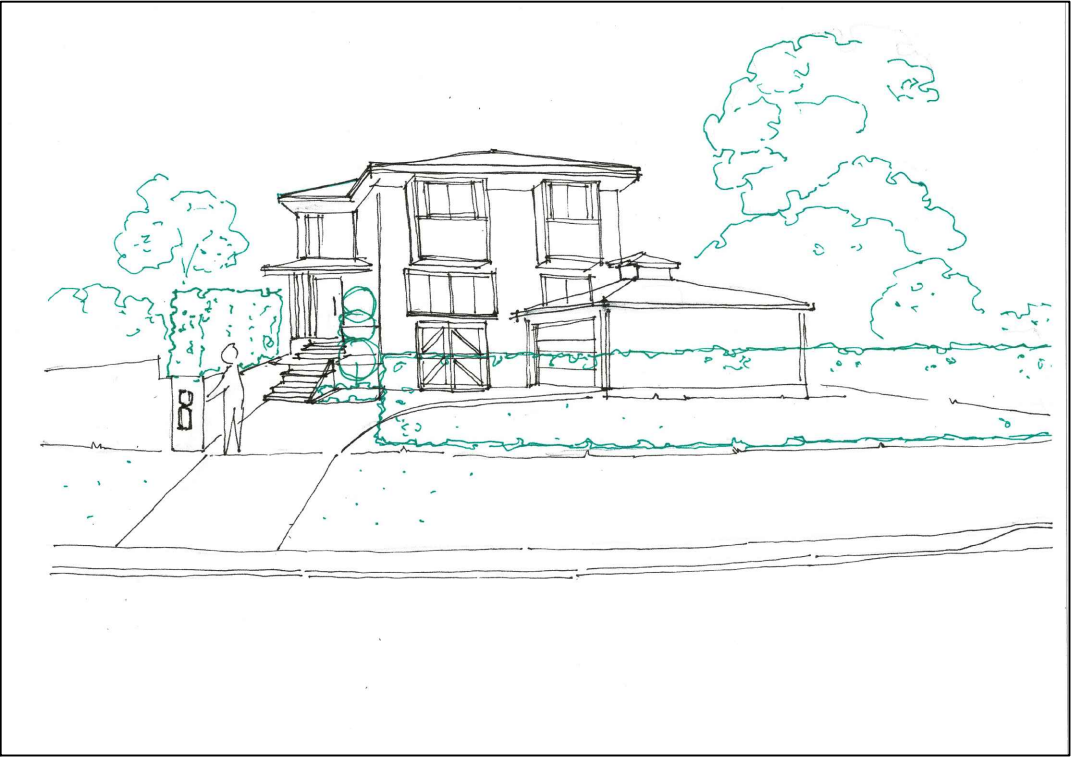
- DEMOLITION
TO AS 2601 - 2001
THE DEMOLITION OF STRUCTURES
- TREE PROTECTION
TO AS 4970-20096 - LEVEL 5 ARBORIST REPORT
- STRUCTURAL DETAILS
TO A.S.2870 - RESIDENTIAL SLAB AND FOOTINGS CODE
STRUCTURAL DETAILS TO ENGINEERS DESIGN.
- CONCRETE
TO AS.3600 - CONCRETE CODE.
- TIMBER
TO AS.1684.2 - TIMBER FRAME CODE.
- SUB FLOOR VENTILATION & CLEARANCE
TO BCA 3.4.1
150 CLEAR MIN UP TO 2M FROM EXTNL WALLS
400 CLEAR MIN ELSEWHERE
AIR VENT MIN FLOW - 7500 mm² / M
- TERMITES
TO AS.3660 - PROTECTION OF BUILDINGS
FROM SUBTERRANEAN TERMITES
- DRAINAGE
TO AS.3500.3 - STORMWATER & DRAINAGE CODE
AND TO COUNCIL REQUIREMENTS.
- WATER RECIRCULATION
TO AS.1926.3
- ELECTRICAL
TO AS.3000 - WIRING RULES.
OUTLETS AND SERVICES AS DIRECTED BY OWNER.
- SMOKE ALARMS
TO AS 3786
- WATERPROOFING
TO AS 3740
- FIRE SEPARATION
BCA/NCC 2019 3.7.2 - COMPLIANCE WITH
- SWIMMING POOL
TO AS 1926.1 - SWIMMING POOL SAFETY STANDARDS
TO AS 1926.3 - SWIMMING POOL/SPA WATER RECIRCULATION
TO SWIMMING POOL REGULATIONS 2018
TO SWIMMING POOL ACT
- INSULATION
REFER BASIX CERTIFICATE
- GENERAL

VERIFY ALL SCHEDULES & DIMENSIONS ON SITE BEFORE
COMMENCEMENT OF WORKS OR ORDERING OF MATERIALS.

ALL WORKS IN ACCORDANCE WITH PROVISIONS OF
BUILDING CODE OF AUSTRALIA, ANY AUSTRALIAN STANDARD,
COUNCIL REQUIREMENTS AND IN A TRADESMAN LIKE MANNER.

SCHEDULE OF FINISHES

ITEM	MATERIAL	FINISH	COLOUR
SLABS	CONCRETE	NATURAL	
WALLS	WEATHERTEX PRIMELOK MASONRY	PAINT BRICK	SHALE GREY SHALE GREY
ROOF GUTTERS	CUSTOM ORB SHEET	COLORBOND	BASALT
DOOR	COLORBOND PANELIFT		WHITE



title
SCOPE OF WORKS, SPECIFICATION, DRAWING SCHEDULE
SCHEDULE OF FINISHES

revision
A

A	DA Submission	JUNE 2023
Issue	Amendment	Date

LOT 166
DP 35319
763.9 sm

PAUL CARRICK
ASSOCIATES



building designers
04122 41514
pcadesign@ozemail.com.au

date
JUNE 2023
scale
1:100 @ A3

project no.
1105
revision
A

project
PROPOSED DOUBLE GARAGE
DRIVEWAY + CROSSING

client
N.REZAI + J.JUNGBLUT
address
8 ARABANOO ST. SEAFORTH

sheet
01

CALCULATIONS

LAND	763.9 SM
OPEN SPACE	
OS3 55% = 420min	WIDTH >3M
L0 FRONT OS1	73
L1 SIDE W / REAR OS2	372
L1 SIDE EAST OS3	24
TOTAL	469sm
	61.4%
	COMPLIES

LANDSCAPE	
WIDTH >3M	35% OF OS = 147sm
PROPOSED	
L1 FRONT LS1	73
L2 SIDE W / REAR LS2	205
INC. X3 28SM REAR PAVING REMOVED	
L2 EXC. POOL 36	
TOTAL	278sm
	COMPLIES

FLOOR SPACE RATIO	
FSR_001 C 45%	= 343 sm

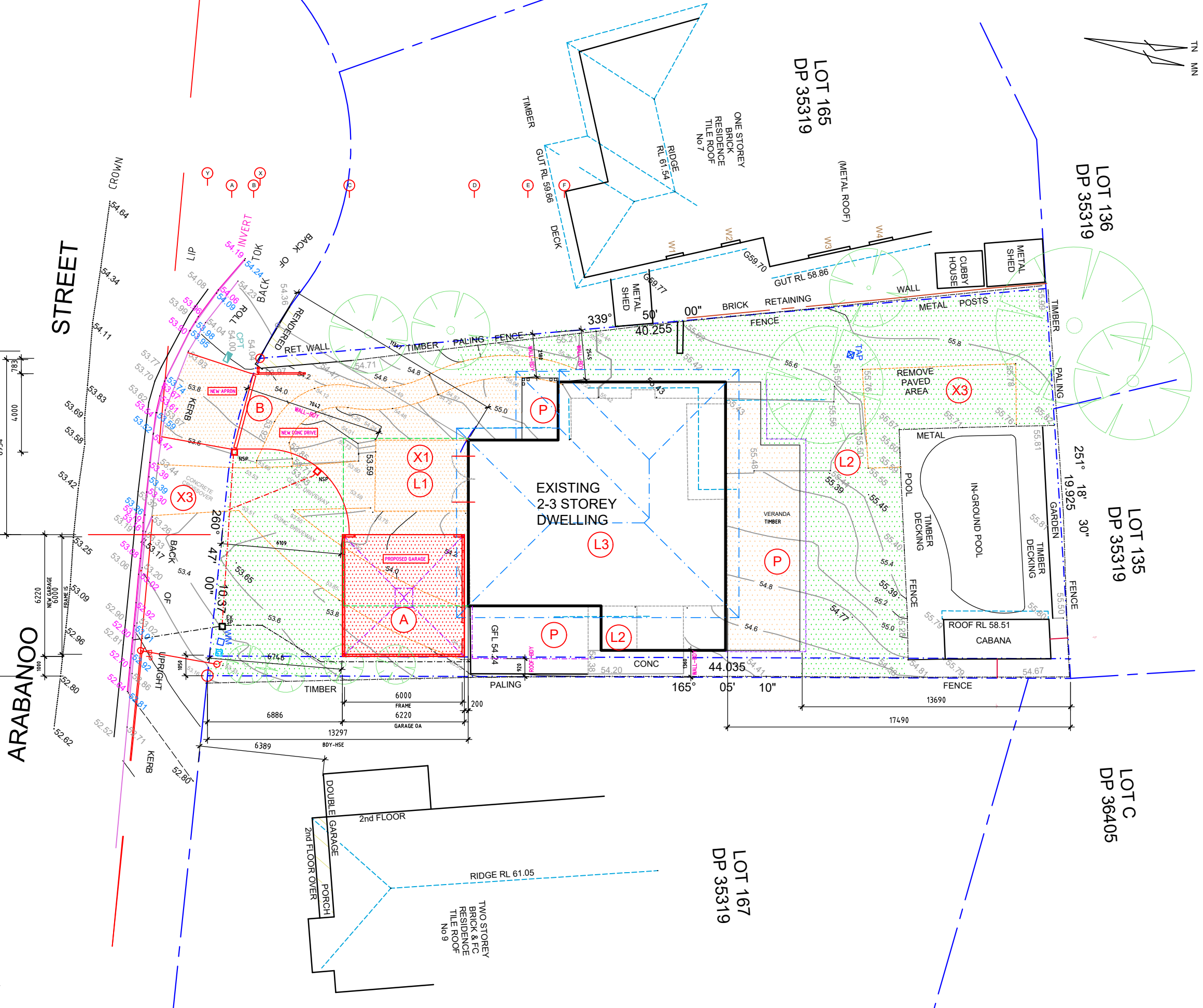
	EXISTING	PROPOSED	TOTAL
L1 GARAGE	17.2	39	9
L2 LIVING	145	-ALLOWANCE 30	145
L3 BEDROOMS	130		130
			284 sm
			COMPLIES
			37%

OSD CALCULATION	
763.9sm	SITE AREA
	IMPERVIOUS
	60% max = 459sm
	EXISTING 351 sm
	PROPOSED 370 sm
	INCREASE 19 sm

SCOPE OF WORKS

- RENOVATIONS AND ADDITIONS TO EXISTING BRICK VENEER RESIDENCE TO INCLUDE -
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 - C NEW ENTRY STEPS, PLANTERS AND FEATURE DOORS TO SUB FLOOR STORE

LEGEND	
DEMOLISH	ESP EX. STORMWATER PIT
EXISTING	NSP NEW STORMWATER PIT
PROPOSED	P VERANDA / PATIO
UNDER NEW	RW RETAINING WALL
UNDER EX.	SP STORMWATER PIT
OVER	
GLASS	



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DP 35319
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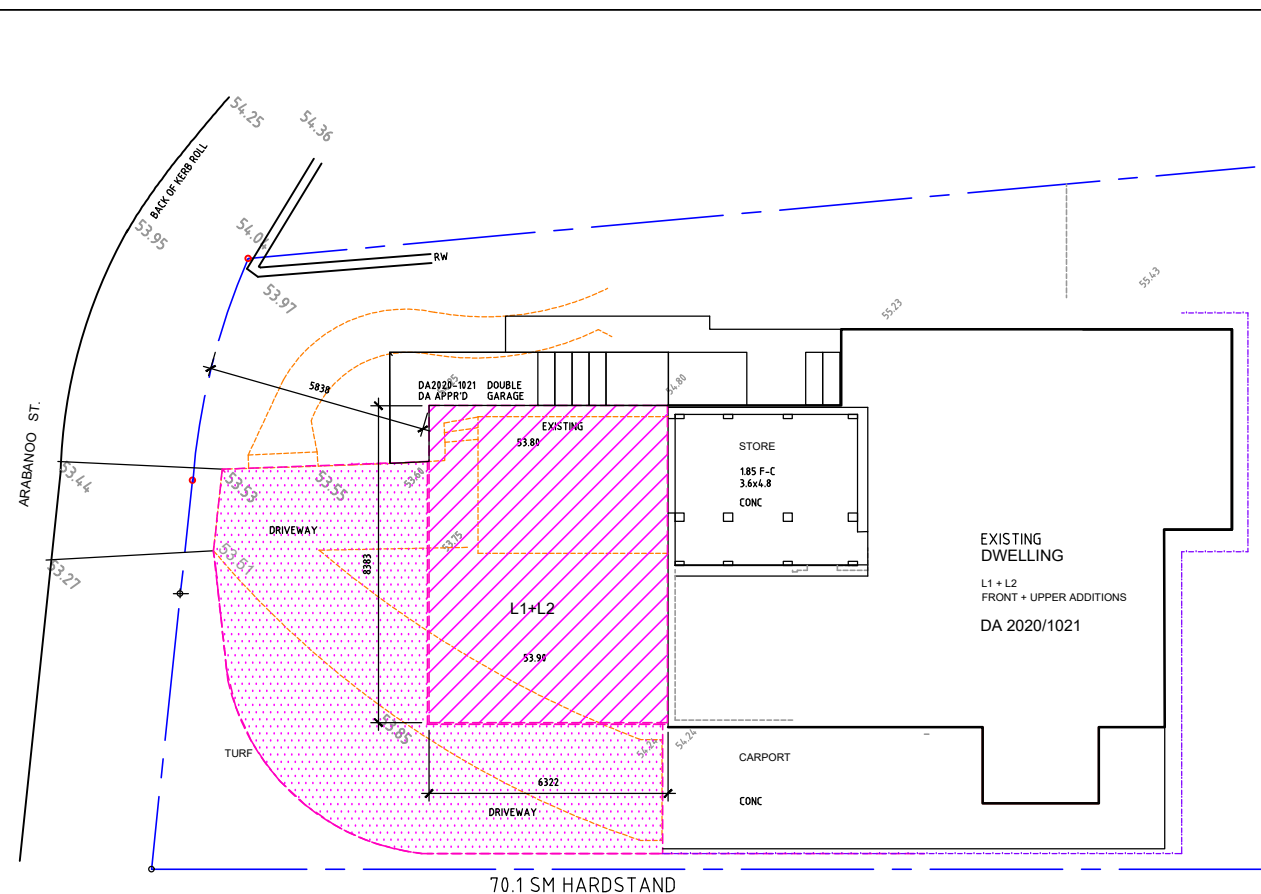
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MAY 2023
scale
1:200 @ A3

project no.
1084
revision
A

project
REZAI + JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
SITE PLAN

sheet
02

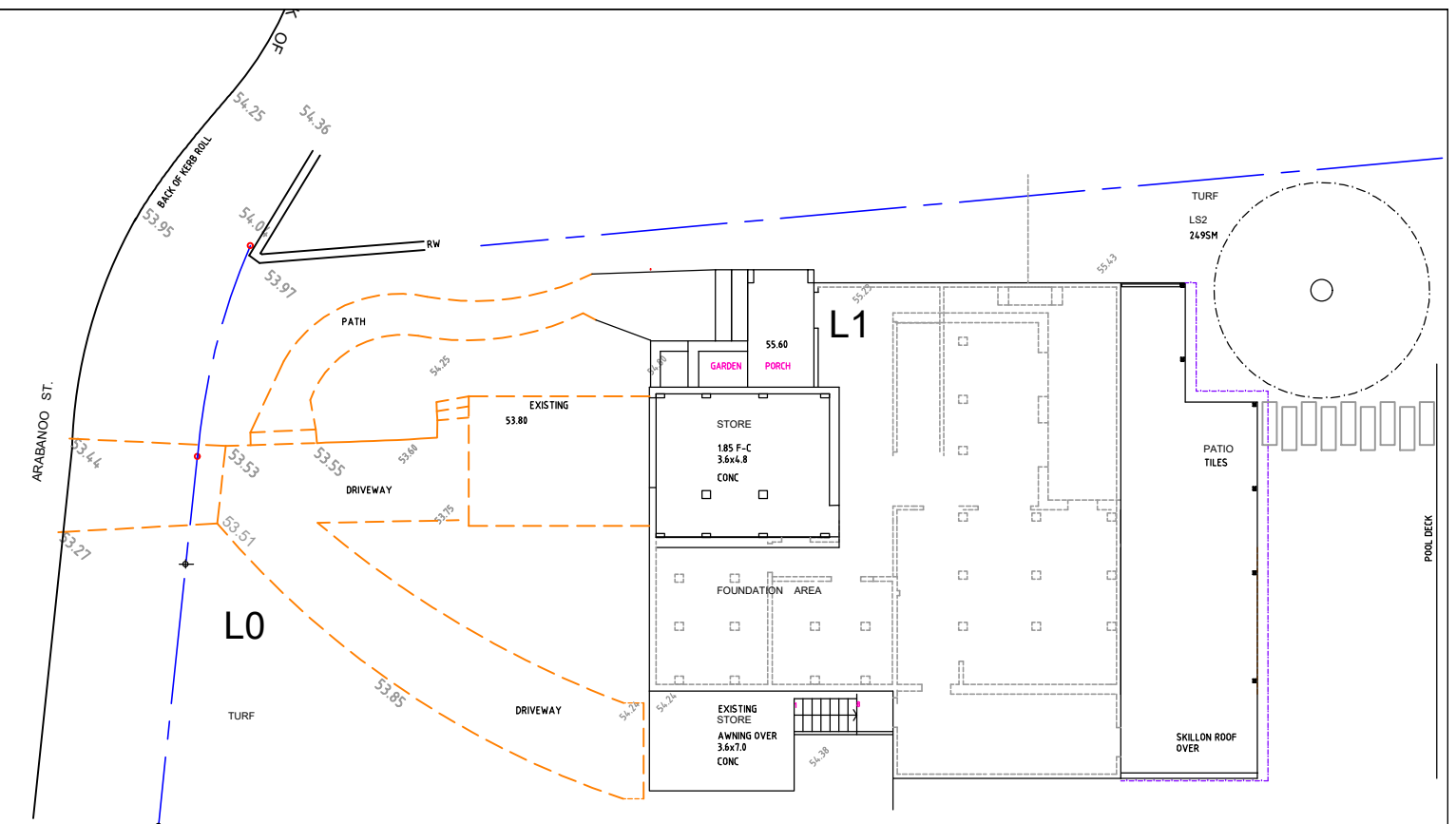


DA 2020/1021 APPROVED - NOT BUILT

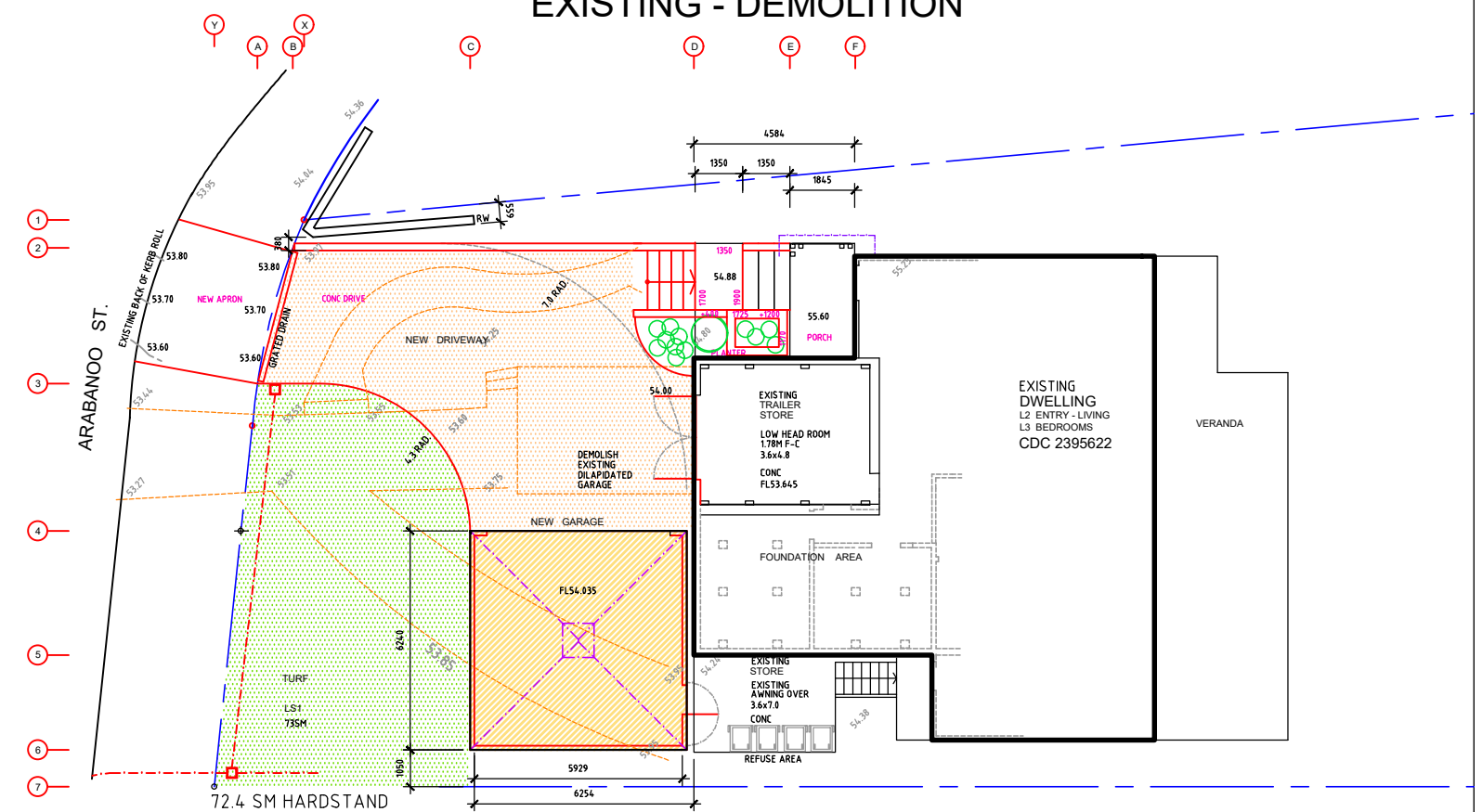
L1 + L2 ADDITIONS + DRIVEWAY

LEGEND

- DA APPD GARAGE NOT BUILT
DA2020-1021
GARAGE L1 HOUSE L2
- DA APPD DRIVEWAY NOT BUILT
DA2020-1021
- EXISTING DRIVE + GARAGE
TO BE DEMOLISHED
- PROPOSED
GARAGE



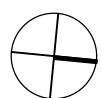
EXISTING - DEMOLITION



PROPOSED DOUBLE GARAGE - NEW DRIVEWAY

LEGEND

- DEMOLISH
- EXISTING
- PROPOSED
- UNDER NEW
- UNDER EX.
- OVER
- GLASS



LOT 166
DP 35319
763.9 sm

PAUL CARRICK
ASSOCIATES



building designers
04122 41514
pcdesign@ozemail.com.au

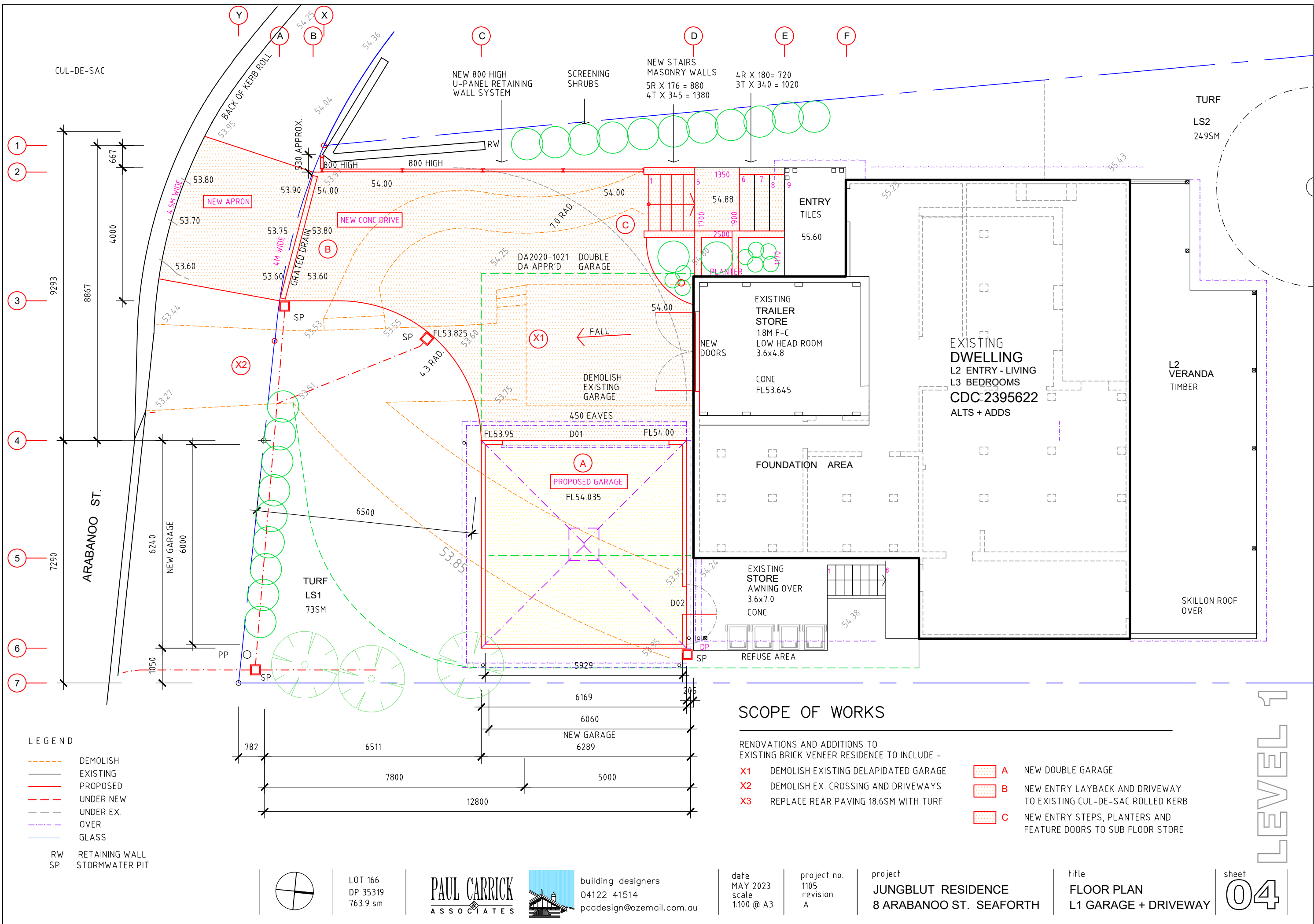
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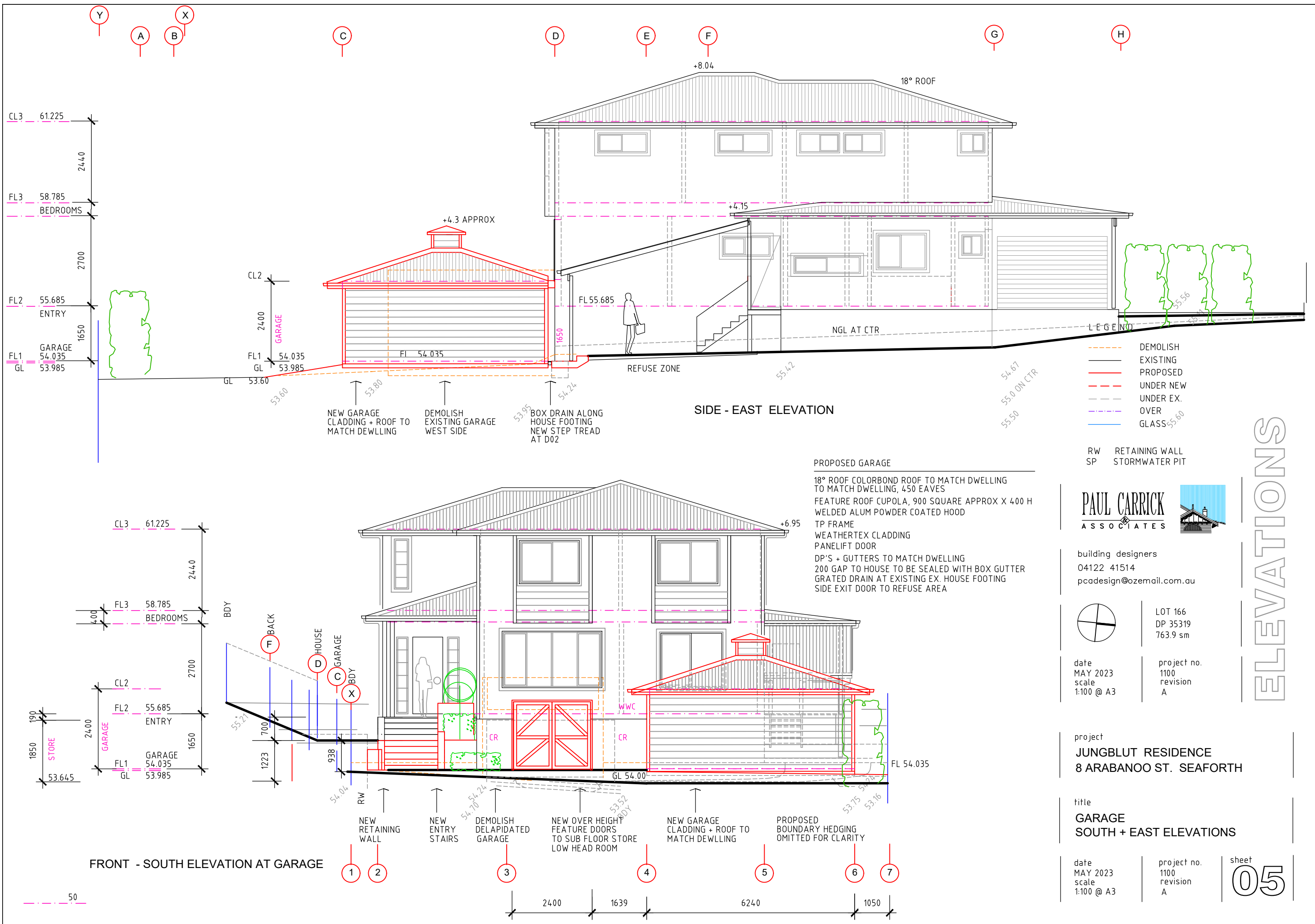
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1100
revision
A

project
REZAI + JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
**EXISTING - DEMOLITION,
APPROVED DA, PROPOSED**

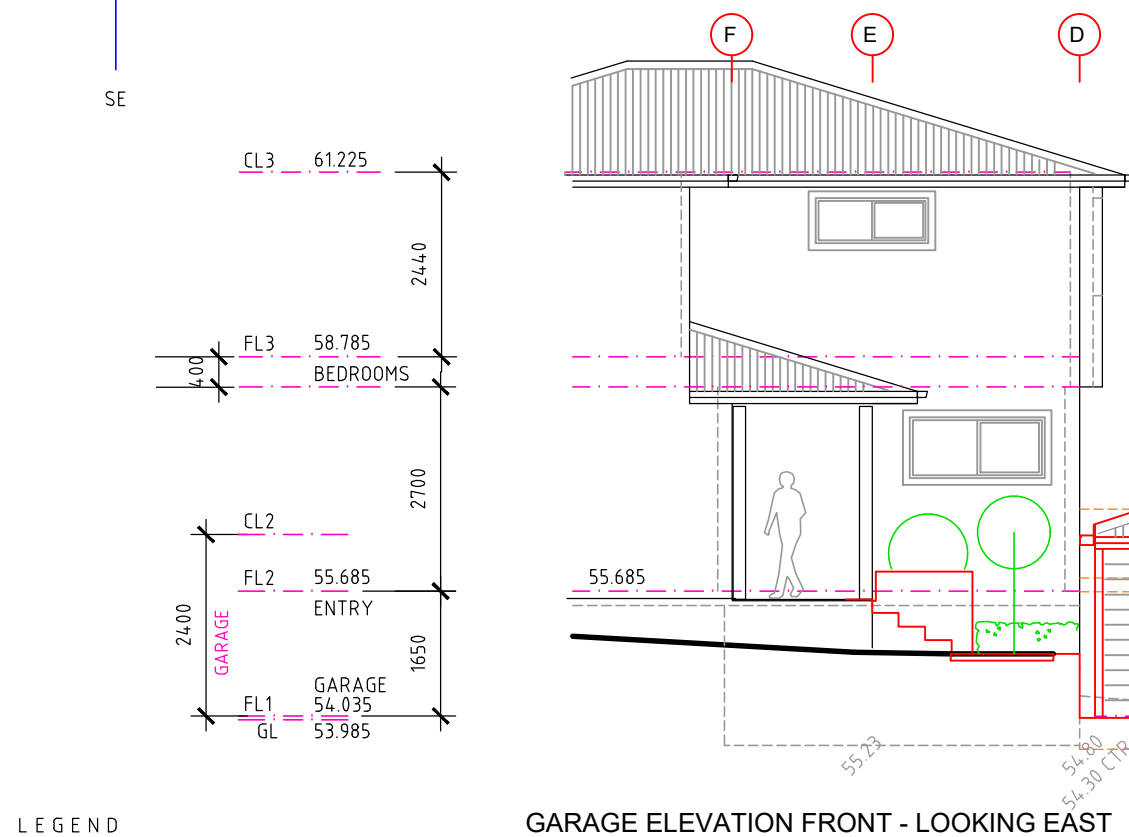
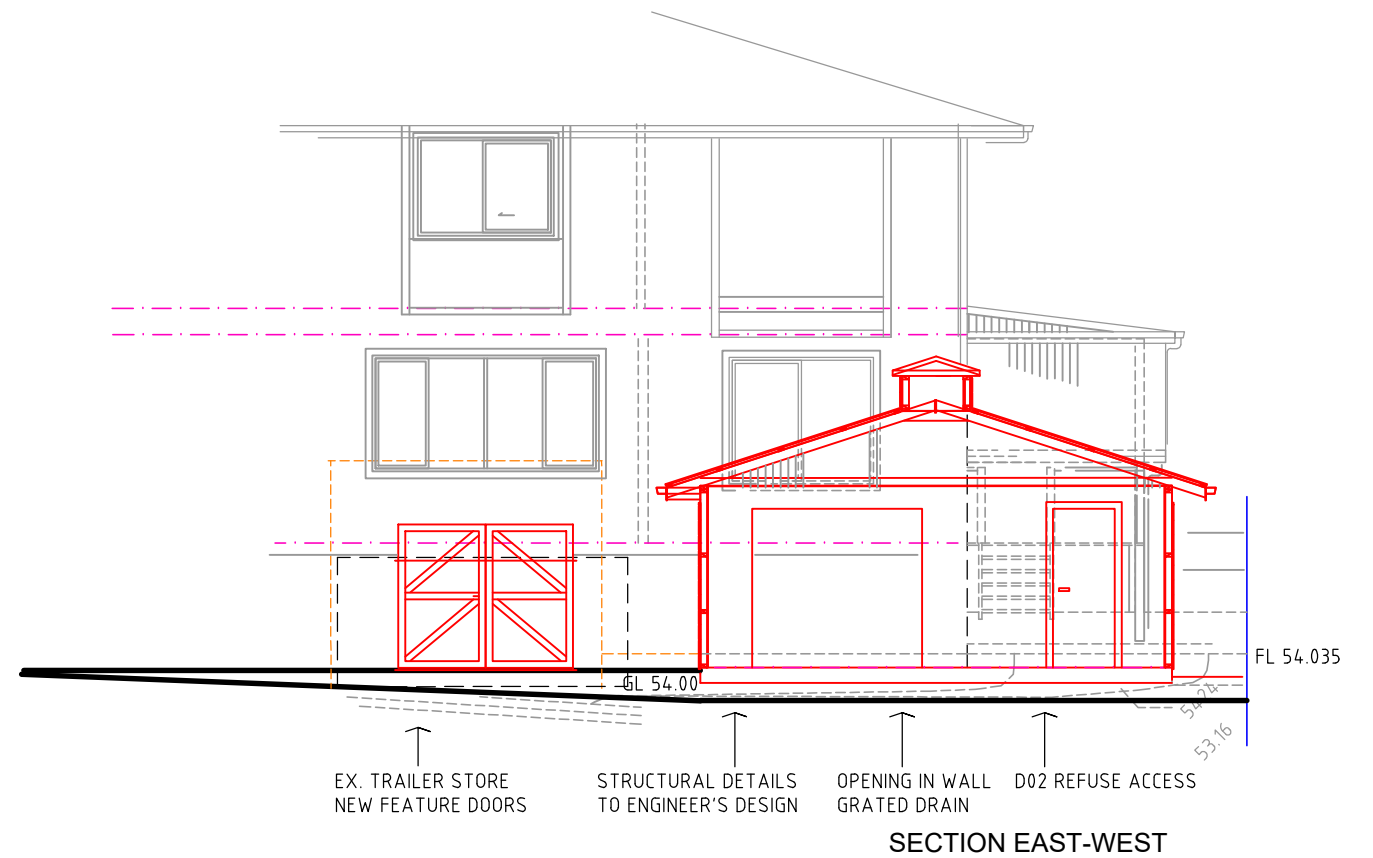
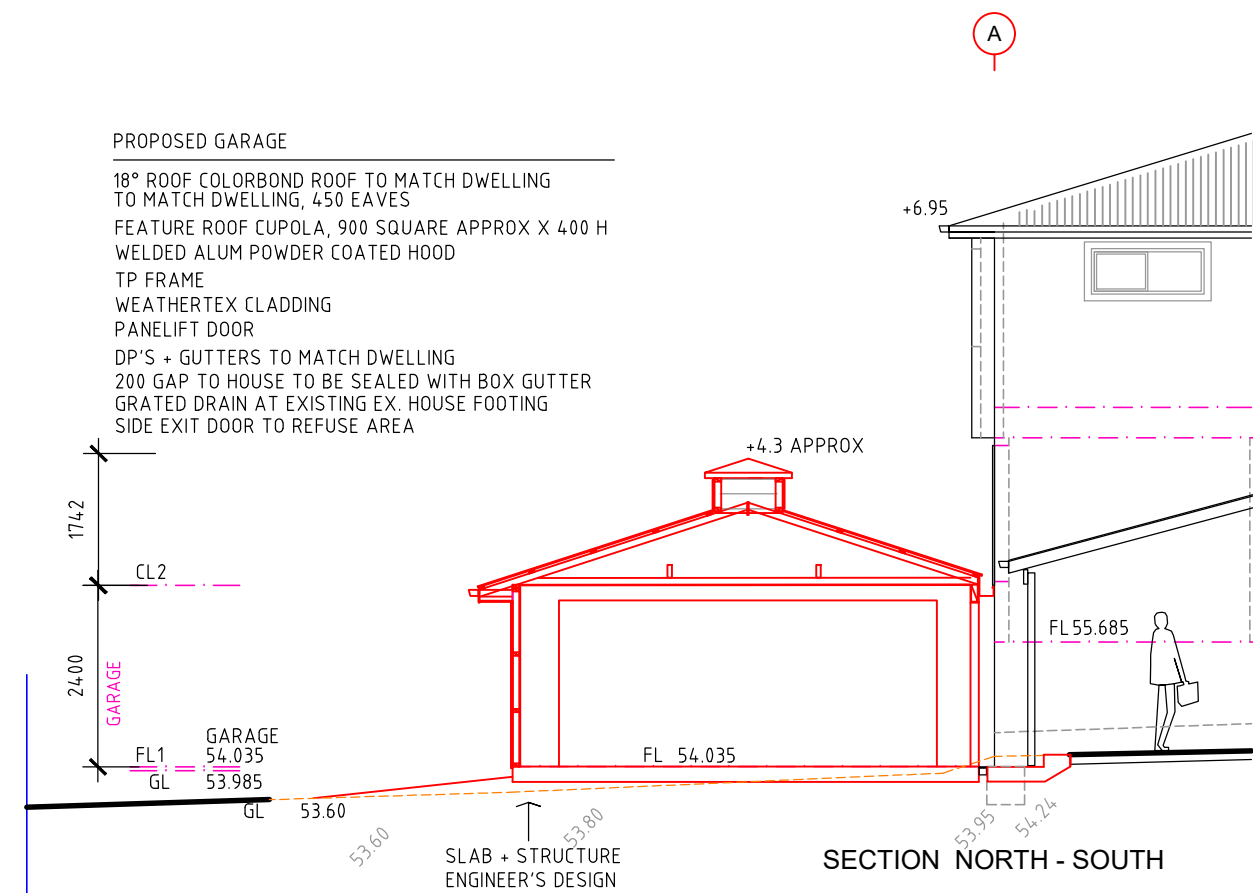
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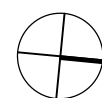
PROPOSED GARAGE

18° ROOF COLORBOND ROOF TO MATCH DWELLING
TO MATCH DWELLING, 450 EAVES
FEATURE ROOF CUPOLA, 900 SQUARE APPROX X 400 H
WELDED ALUM POWDER COATED HOOD
TP FRAME
WEATHERTEX CLADDING
PANELIFT DOOR
DP'S + GUTTERS TO MATCH DWELLING
200 GAP TO HOUSE TO BE SEALED WITH BOX GUTTER
GRADED DRAIN AT EXISTING EX. HOUSE FOOTING
SIDE EXIT DOOR TO REFUSE AREA



LEGEND

---	DEMOLISH	RW	RETAINING WALL
---	EXISTING	SP	STORMWATER PIT
---	PROPOSED		
---	UNDER NEW		
---	UNDER EX.		
---	OVER		
---	GLASS		



LOT 166
DP 35319
763.9 sm

PAUL CARRICK
ASSOCIATES



building designers
04122 41514
pcdesign@ozemail.com.au

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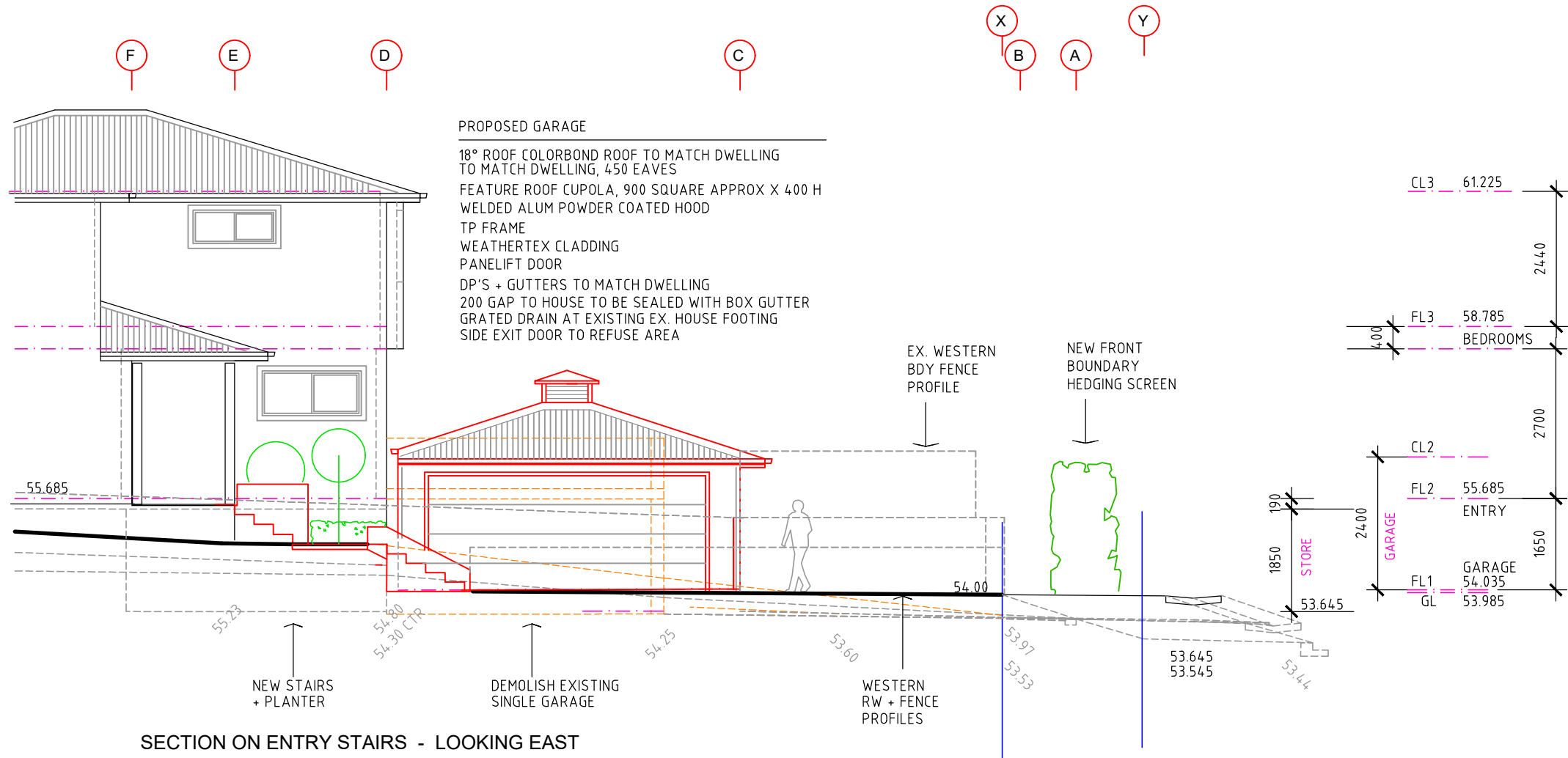
project no.
1100
revision
A

project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

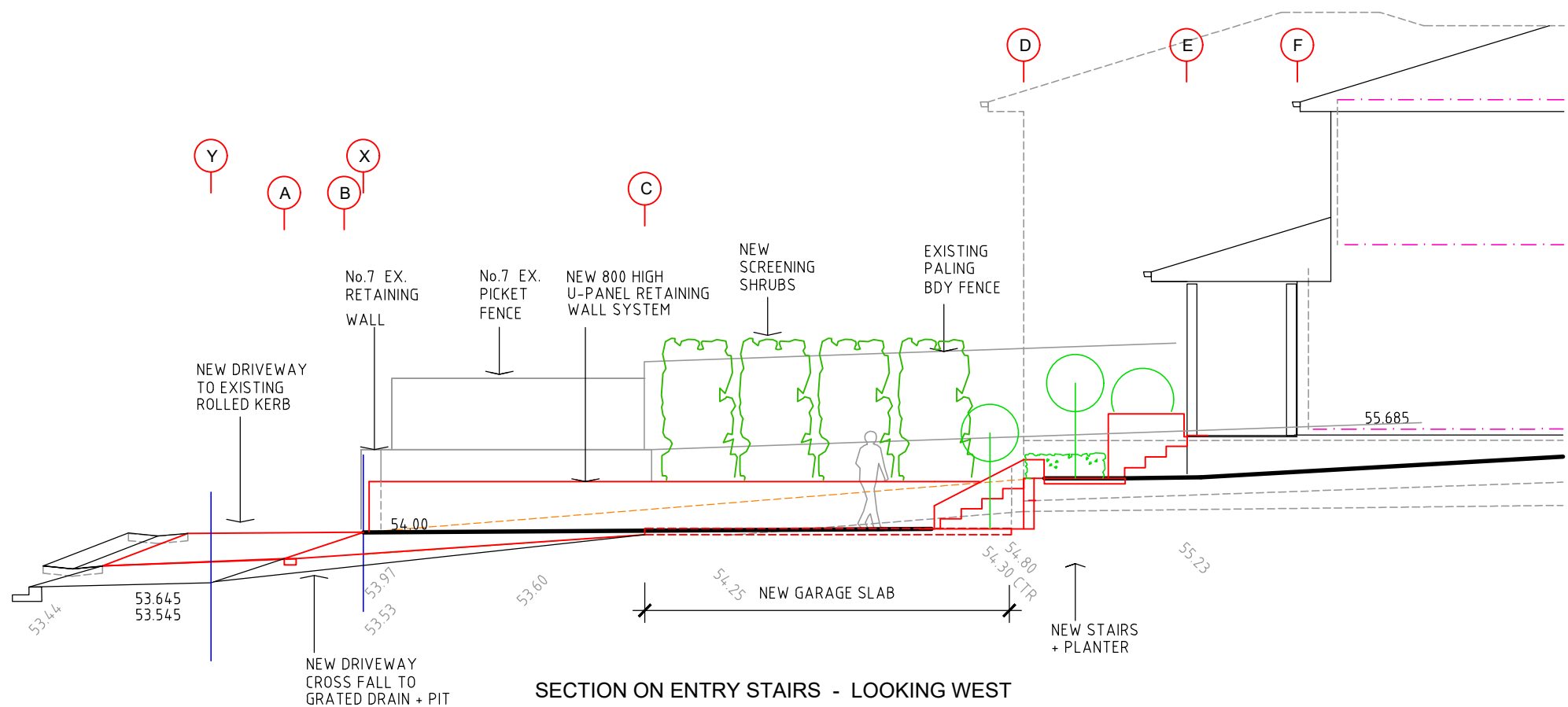
title
GARAGE WEST
ELEVATION + SECTIONS

sheet
06

GARAGE
SECTIONS



SECTION ON ENTRY STAIRS - LOOKING EAST



SECTION ON ENTRY STAIRS - LOOKING WEST

LEGEND

- DEMOLISH
- EXISTING
- PROPOSED
- UNDER NEW
- UNDER EX.
- OVER
- GLASS

RW RETAINING WALL
SP STORMWATER PIT

PAUL CARRICK ASSOCIATES

building designers
04122 41514
pcadesign@ozemail.com.au

LOT 166
DP 35319
763.9 sm

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MAY 2023
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project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

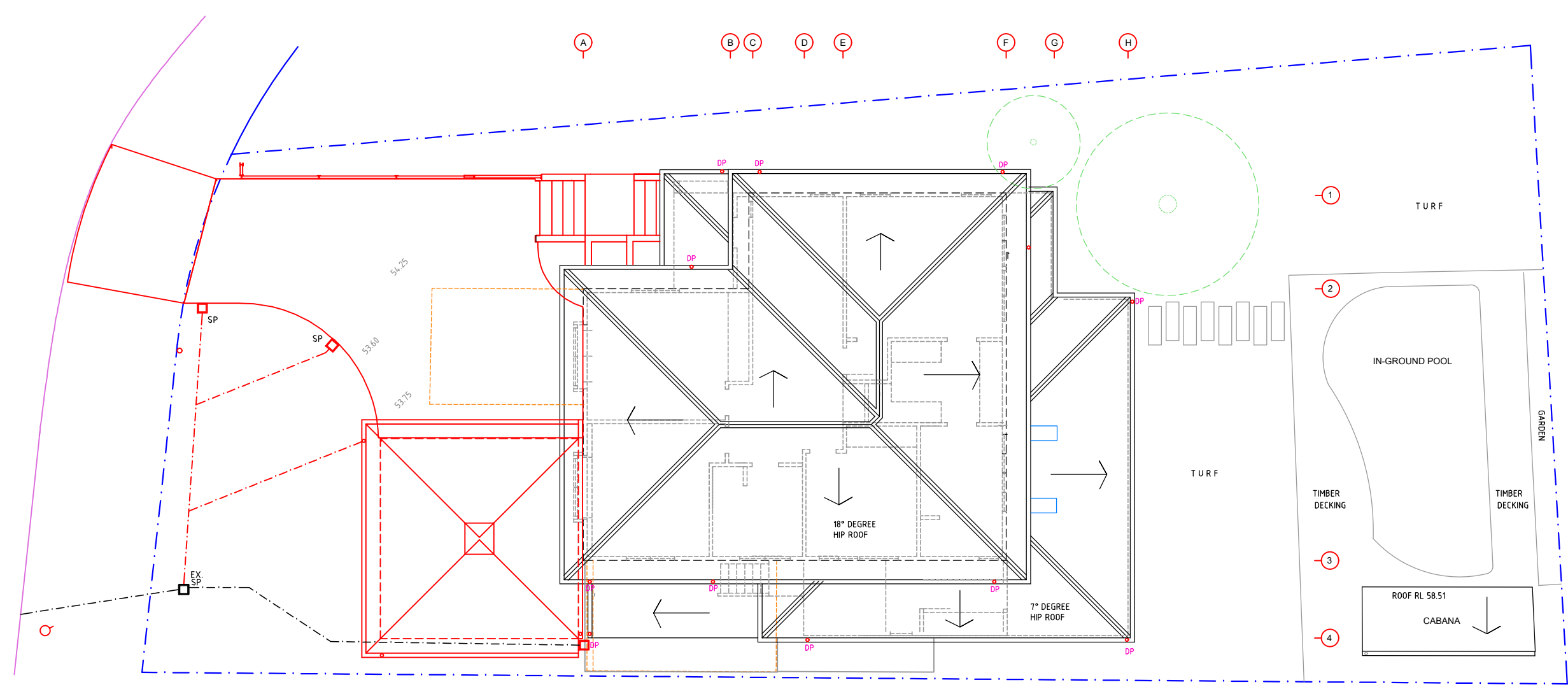
title
SECTIONAL ELEVATIONS
ENTRY EAST + WEST

date
MAY 2023
scale
1:100 @ A3

project no.
1100
revision
A

sheet
07

DRIVEWAY ELEVATIONS

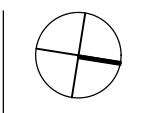


PROPOSED GARAGE

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TO MATCH DWELLING, 450 EAVES
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200 GAP TO HOUSE TO BE SEALED WITH BOX GUTTER
GRATED DRAIN AT EXISTING EX. HOUSE FOOTING
SIDE EXIT DOOR TO REFUSE AREA

ROOF PLAN AREA		
L2 +L3	EXISTING	237
L1	NEW GARAGE	50
TOTAL		287

- LEGEND
- DEMOLISH
 - EXISTING
 - PROPOSED
 - UNDER NEW
 - UNDER EX.
 - OVER
 - GLASS



LOT 166
DP 35319
763.9 sm

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ASSOCIATES



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04122 41514
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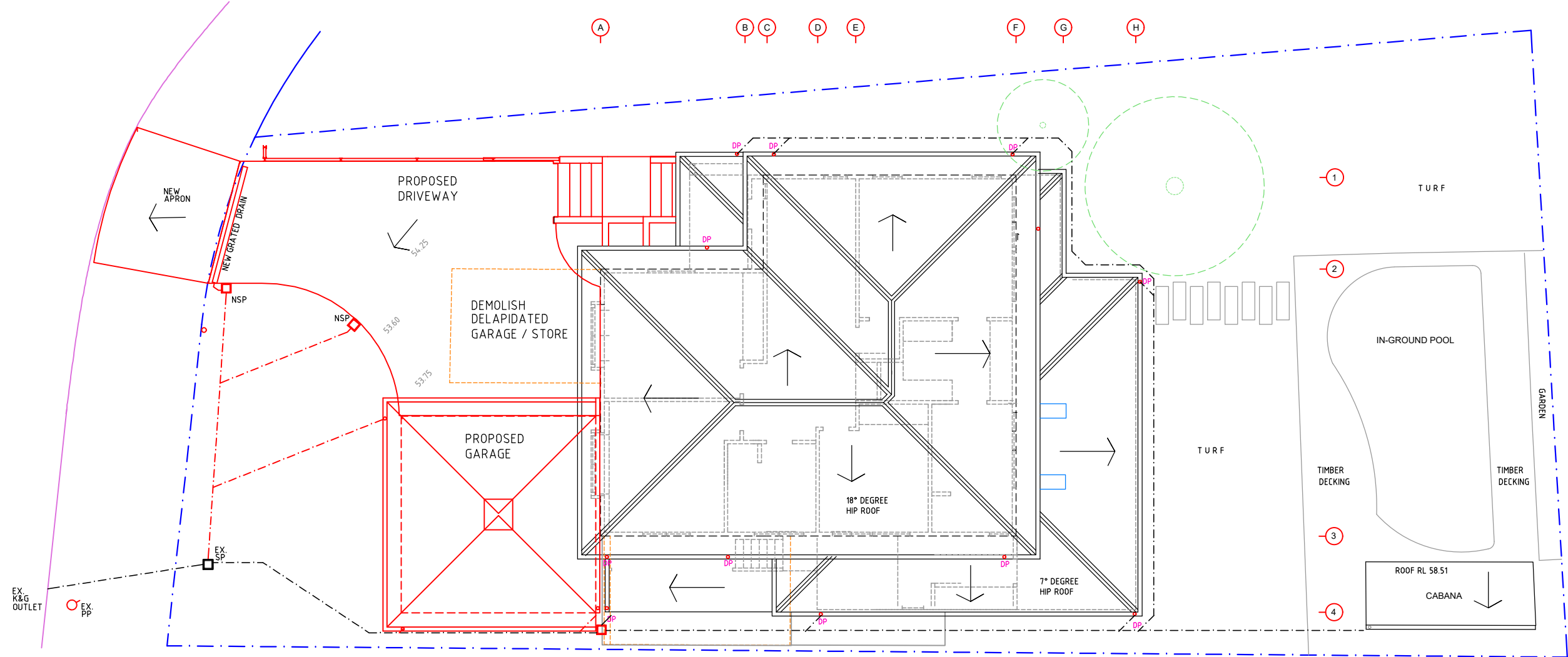
project no.
1084
revision
A

project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
ROOF PLAN

sheet
08

ROOF



CALCULATIONS

PROPOSED GARAGE

18° ROOF COLORBOND ROOF TO MATCH DWELLING
TO MATCH DWELLING, 450 EAVES
FEATURE ROOF CUPOLA, 900 SQUARE APPROX X 400 H
WELDED ALUM POWDER COATED HOOD
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ROOF PLAN AREA			
L2 +L3	EXISTING	237	
L1	NEW GARAGE	50	
TOTAL		287	

LAND		763.9 SM
OPEN SPACE		
OS3	55% = 420min	WIDTH >3M

L0	FRONT	OS1	73
L1	SIDE W / REAR	OS2	372
L1	SIDE EAST	OS3	24
TOTAL			469sm
			61.4%
			COMPLIES

LANDSCAPE			
WIDTH >3M		35% OF OS	= 147sm
PROPOSED			
L1	FRONT	LS1	73
L2	SIDE W / REAR	LS2	205
INC. X3 28SM REAR PAVING REMOVED			
L2	EXC. POOL	36	
TOTAL			278sm
			COMPLIES

OSD CALCULATION		ALTERATIONS
763.9sm	SITE AREA	
	IMPERVIOUS	
	60% max	= 459sm
	EXISTING	351 sm
<60%	PROPOSED	370 sm
<50sm	INCREASE	19 sm
NO OSD REQUIRED		

- LEGEND
- DEMOLISH
 - EXISTING
 - PROPOSED
 - UNDER NEW
 - UNDER EX.
 - OVER
 - GLASS



LOT 166
DP 35319
763.9 sm

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scale
1:150 @ A3

project no.
1084
revision
A

project
JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
CONCEPTUAL
DRAINAGE PLAN

sheet
09

DRAINAGE

CALCULATIONS

LAND	763.9 SM
OPEN SPACE	
OS3 55% = 420min	WIDTH >3M

L0 FRONT	OS1	73
L1 SIDE W / REAR	OS2	372
L1 SIDE EAST	OS3	24
	TOTAL	469sm
		61.4% COMPLIES

LANDSCAPE	
WIDTH >3M	35% OF OS = 147sm
PROPOSED	

L1 FRONT	LS1	73
L2 SIDE W / REAR	LS2	205
INC. X3 28SM REAR PAVING REMOVED		
L2 EXC. POOL 36		
	TOTAL	278sm
		COMPLIES

FLOOR SPACE RATIO	
FSR_001 C 45% = 343 sm	

L1 GARAGE	EXISTING 17.2	PROPOSED 39	TOTAL
L2 LIVING	DEMOLISH 145	-ALLOWANCE 30	145
L3 BEDROOMS	130		130
			284 sm
			COMPLIES
			37%

OSD CALCULATION	
763.9sm	SITE AREA
	IMPERVIOUS
	60% max = 459sm
	EXISTING 351 sm
	PROPOSED 370 sm
	INCREASE 19 sm

SCOPE OF WORKS

- RENOVATIONS AND ADDITIONS TO EXISTING BRICK VENEER RESIDENCE TO INCLUDE -
- X1 DEMOLISH EXISTING DELAPIDATED GARAGE
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 - C NEW ENTRY STEPS, PLANTERS AND FEATURE DOORS TO SUB FLOOR STORE

LEGEND

DEMOLISH	ESP	EX. STORMWATER PIT
EXISTING	NSP	NEW STORMWATER PIT
PROPOSED	P	VERANDA / PATIO
UNDER NEW	RW	RETAINING WALL
UNDER EX.	SP	STORMWATER PIT
OVER		
GLASS		

LANDSCAPING SCHEDULE - EXISTING

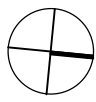
	BOTANICAL NAME	COMMON NAME	LOCATION	HEIGHT	QTY.	
○ R1	CAMELLIA SASQUANQA	CAMELLIA	E- FRONT	2-3	2	○ TO BE REMOVED
E1	CALLISTERON	BOTTLEBRUSH	REAR	8x6	1	
E2	VIBURNUM TINUS	VIBURUM	W-BDY	2.2	18	
E3	VIBURNUM TINUS	VIBURUM	N-BDY	2.3	24	

LANDSCAPING SCHEDULE - PROPOSED

	BOTANICAL NAME	COMMON NAME	LOCATION	HEIGHT	QTY.	
VT	VIBURNUM TINUS	VIBURUM	STH- FRONT	2.5	9	
VT	VIBURNUM TINUS	VIBURUM	WEST-BDY	2.5	12	
ER	ELAECARPUS RETICLATUS	BLUEBERRY ASH		4-5	5	ENDEMIC

UNDER PLANTING & PLANTERS

LIROPE	DIANELLA CAERULEA
CLIVAIAS	VIOLA HEDERACEA



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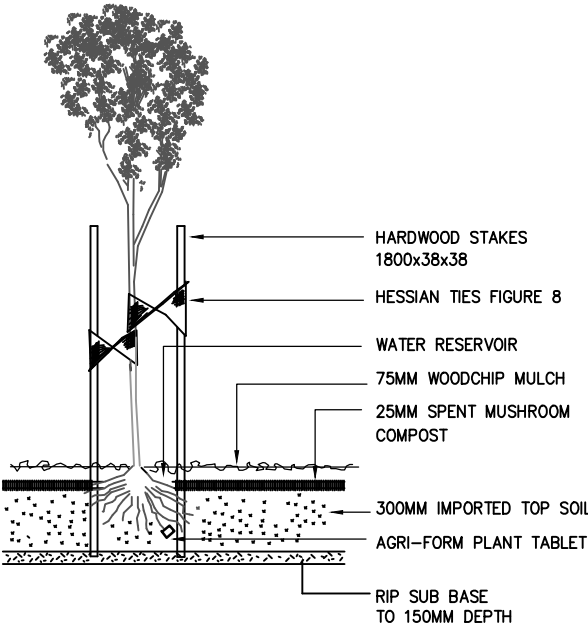
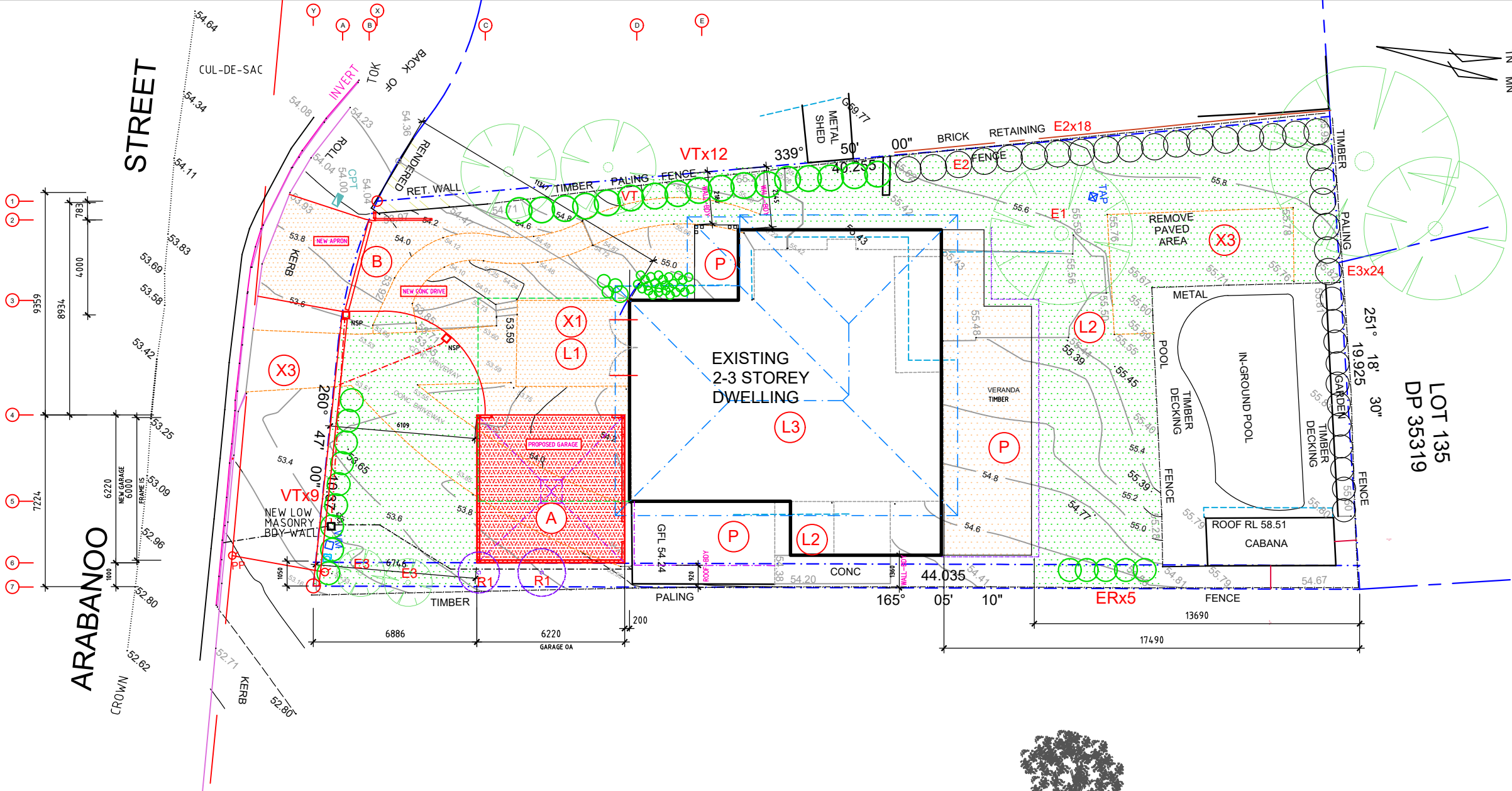
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project no.
1105
revision
A

project
REZAI + JUNGBLUT RESIDENCE
8 ARABANOO ST. SEAFORTH

title
LANDSCAPE

sheet
11



DETAIL A - TYPICAL PLANT BED

LANDSCAPE

