

DP1015218

Registered:

23/6/2000

This is sheet 2 of my plan in 2 sheets
dated 17/3/2000

Surveyor registered under the Surveyors Act 1929

This is sheet 2 of my plan of 2 sheets
covered by subdivision certificate No. 10247
of 7.6.2000

Authorised Person/General Manager/Assessment-Generator

For use where space is insufficient in any panel
on Plan Form 2.

- (A) - EXISTING RIGHT OF ACCESS 3.59, 5.3 & 7 WIDE VIDE
D.P.5681501
- (B) - EXISTING EASEMENT TO DRAIN WATER 0.6 WIDE VIDE
D.P.649359
- (C) - RIGHT OF FOOTWAY AND RIGHT OF ACCESS 0.3 WIDE AND
VARIABLE WIDTH LIMITED IN HEIGHT TO R.L. 6.1 A.H.D. IN AREA
H'-J'-K'-L'-M' UNLIMITED IN DEPTH
- (D) - RIGHT OF FOOTWAY 0.6 WIDE & VARIABLE WIDTH
LIMITED IN HEIGHT TO R.L. 6.1 A.H.D. IN AREA
M'-N'-O'-P'-Q'-R'-S' UNLIMITED IN DEPTH
- (E) - RIGHT OF FOOTWAY 0.93 WIDE LIMITED IN DEPTH TO
R.L.2.65 A.H.D. ON AN INCLINED PLANE TO R.L. 6.1 A.H.D. AND
IN HEIGHT TO R.L. 8.75 A.H.D. IN AREA N'-O'-S'-T'-
U'-V'-W'-X'-Y'-Z'
- (F) - RIGHT OF FOOTWAY VARIABLE WIDTH LIMITED IN DEPTH
TO R.L. 6.1 A.H.D. AND IN HEIGHT TO R.L. 8.75 A.H.D. IN
AREA S'-T'-U'-V'-W'
- (G) - EASEMENT FOR ELECTRICITY PURPOSES 0.25 WIDE

D.P. 206285

D.P. 57807

D.P. 76148

D.P. 502842

DIAGRAM A

R:R 1:200

DIAGRAM B

NOT TO SCALE

DIAGRAM C

NOT TO SCALE

Reduction Ratio 1: AS SHOWN

SURVEYOR'S REFERENCE 2754 L ISSUE A

Plan Drawing only to appear in this space

SIGNATURES AND SEALS ONLY

THE COMMON SEAL OF
WHEELER HOLDINGS (NSW) PTY. LTD.
WAS HERETOBY AFFIXED BY
AUTHORITY OF THE DIRECTOR
PREVIOUSLY GIVEN AND IN THE
PRESENCE OF



A. Wheeler
SECRETARY

J. Wheeler
DIRECTOR

SURVEYORS (PRACTICE) REGULATION 1996: CLAUSE 32(2)				
ISG COORDINATES				
MARK	EAST	NORTH	ZONE	ACCY.
SSM 2198	327 563.984	1 268 160.013	561	2
P.M. 4037	327 445.594	1 268 185.652	561	2
SSM 20913	327 611.839	1 268 269.622	561	2

SOURCE: ISG COORDINATES ADOPTED
FROM SCIMS ON 25/5/2000
LINE SCALE FACTOR = 0.99994

(A) - EXISTING RIGHT OF ACCESS 3.59, 5.1 & 7 WIDE VIDE
D.P.5681501

(B) - EXISTING EASEMENT TO DRAIN WATER 0.6 WIDE VIDE
D.P.649359

WELLINGTON

STREET

STREET

DP1015218

Registered: *23/6/2000*
C.A.: SEE CERTIFICATE
Title System: TORRENS
Purpose: SUBDIVISION
Ref. Map: U2747-73
Last Plan: DP 84651

PLAN OF SUBDIVISION OF
LOT 1 IN D.P. 84851

Lengths are in metres. Reduction Ratio 1:400

L.G.A. WARRINGAH
Locality: NARRABEEN
Parish: MANLY COVE
County: CUMBERLAND

This is sheet 1 of my plan in 2 sheets.
(Delete if inapplicable)

Surveyors (Practice) Regulation 1996
I, **JOHN BARRY BYRNE**
of 63 WATERLOO STREET, NARRABEEN
a Surveyor registered under the Surveyors Act 1929,
herby certify that the survey represented in this plan
is accurate, has been made in accordance with the
Surveyors (Practice) Regulation 1996 and was completed
on 17/3/2000.
The survey relates to

(Here specify the land actually surveyed, or specify any land
shown in the plan that is not the subject of the survey)
Datum Line of Azimuth "X" - "Y"
Zone: Suburban-Country
Signature: *[Signature]*
Surveyor registered under Surveyors Act, 1929

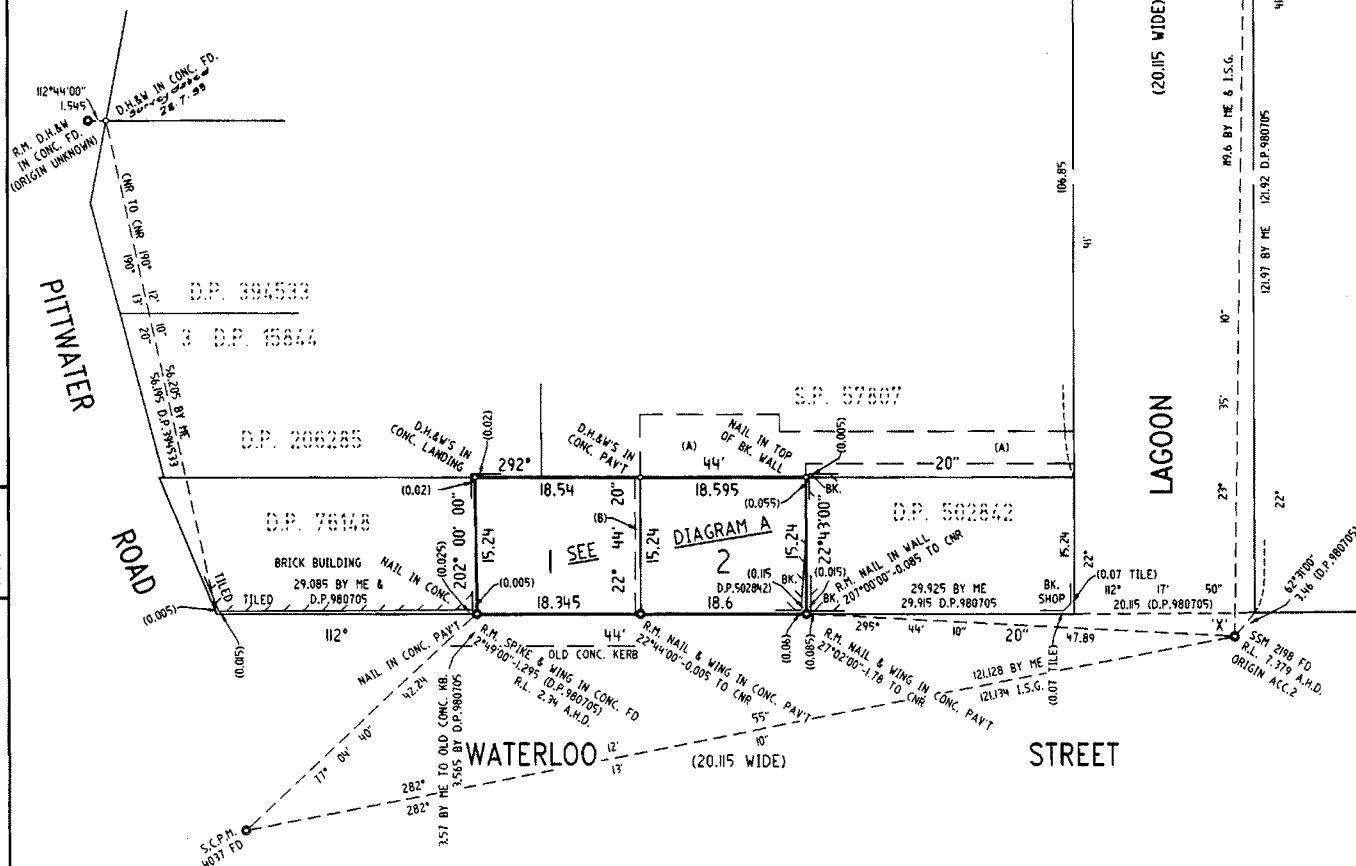
Plans used in preparation of survey/compilation:
D.P.'s 15844, 76148, 224443, 349531, 502842,
5681501, 649359, 980705, 100669 & S.P. 57807

PANEL FOR USE ONLY for statements of
intention to dedicate public roads or to create
public reserves, drainage reserves, easements,
restrictions on the use of land or positive
covenants.

PURSUANT TO SECTION 88B OF THE
CONVEYANCING ACT 1919, IT IS INTENDED TO
CREATE:-

1. RIGHT OF FOOTWAY AND RIGHT OF ACCESS
0.3 WIDE AND VARIABLE WIDTH LIMITED IN
HEIGHT
2. RIGHT OF FOOTWAY 0.6 WIDE AND VARIABLE
WIDTH LIMITED IN HEIGHT
3. RIGHT OF FOOTWAY 0.91 WIDE LIMITED IN
DEPTH AND HEIGHT
4. RIGHT OF FOOTWAY VARIABLE WIDTH
LIMITED IN DEPTH AND HEIGHT
5. EASEMENT FOR ELECTRICITY PURPOSES 0.25
WIDE

"and as set out in the accompanying
instrument signed by the
parties to the plan"



Crown Lands Office Approval
PLAN APPROVED _____
Land District _____
Paper No. _____
Field Book _____ pages

Subdivision Certificate
I certify that the provisions of s. 109J of the Environmental
Planning and Assessment Act 1979 have been satisfied in relation
to the proposed
SUBDIVISION set out herein
"Insert Subdivision or new road"
"Authorized Person/General Manager/Accredited Geomatics"
Consent Authority: **WARRINGAH COUNCIL**
Date of Endorsement: **7.6.2000**
Accreditation no.: **10287**
Subdivision Certificate no.: **56.9258**
File no.: **56.9258**

Note:
When the plan is to be lodged electronically in the Land Titles
Office, it should include a signature in an electronic or digital
format approved by the Registrar-General.
* Delete whichever is inapplicable.