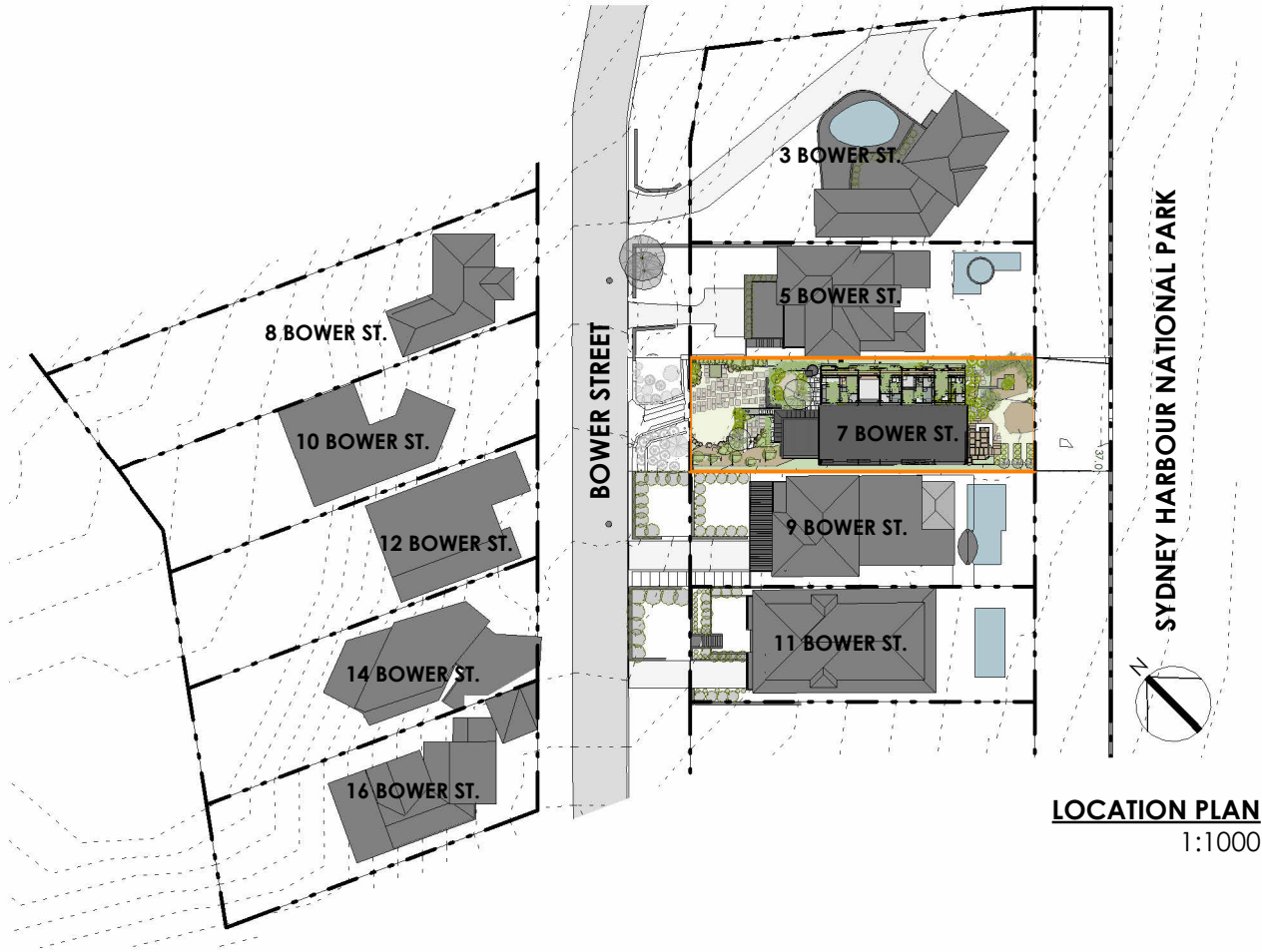


DEVELOPMENT APPLICATION DRAWING LIST

SHEET NUMBER SHEET NAME

- DA 000 COVER PAGE & DRAWING REGISTER
- DA 002 PROPOSED SITE PLAN
- DA 003 PROPOSED GARAGE FLOOR PLAN
- DA 004 PROPOSED GROUND FLOOR PLAN
- DA 005 PROPOSED FIRST FLOOR PLAN
- DA 006 PROPOSED ROOF PLAN
- DA 007 ELEVATION - NORTH-WEST
- DA 008 ELEVATION - NORTH-EAST
- DA 009 ELEVATION - SOUTH-EAST
- DA 010 ELEVATION - SOUTH-WEST
- DA 011 SECTION A - MAIN HOUSE
- DA 012 SECTION B - POOL, HOME OFFICE & GARAGE
- DA 013 SECTION C - GARAGE AND LIVING
- DA 020 EXTERNAL FINISHES & MATERIALS



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PROJECT  
19-030 HOLOCENE HOUSE

PROJECT ADDRESS  
7 BOWER STREET  
MANLY, 2095

CLIENT  
JURGEN SPANGL & KARIN  
MUNDSPERGER

PROJECT CONTACT  
CARMEN CHAN (PROJECT ARCHITECT)  
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DOCUMENTS BY OTHER CONSULTANTS

- SURVEY PLAN BY C.M.S. SURVEYORS
- BASIX CERTIFICATE BY CERTIFIED ENERGY
- STATEMENT OF ENVIRONMENTAL EFFECTS BY WILLANA URBAN
- LANDSCAPE PLAN BY DUNCAN GIBBS
- STORMWATER MANAGEMENT PLANS BY STELLEN CONSULTING
- GEOTECHNICAL REPORT BY WITT CONSULTING
- BUSHFIRE REPORT BY BUSHFIRE PLANNING SERVICES
- ECOLOGICAL IMPACT STATEMENT BY ACS ENVIRONMENTAL

FOR SECTION 4.55

DRAWING TITLE		
COVER PAGE & DRAWING REGISTER		
REVISION DATE	REVISION	DRAWING NUMBER
04/04/2022	2	DA 000



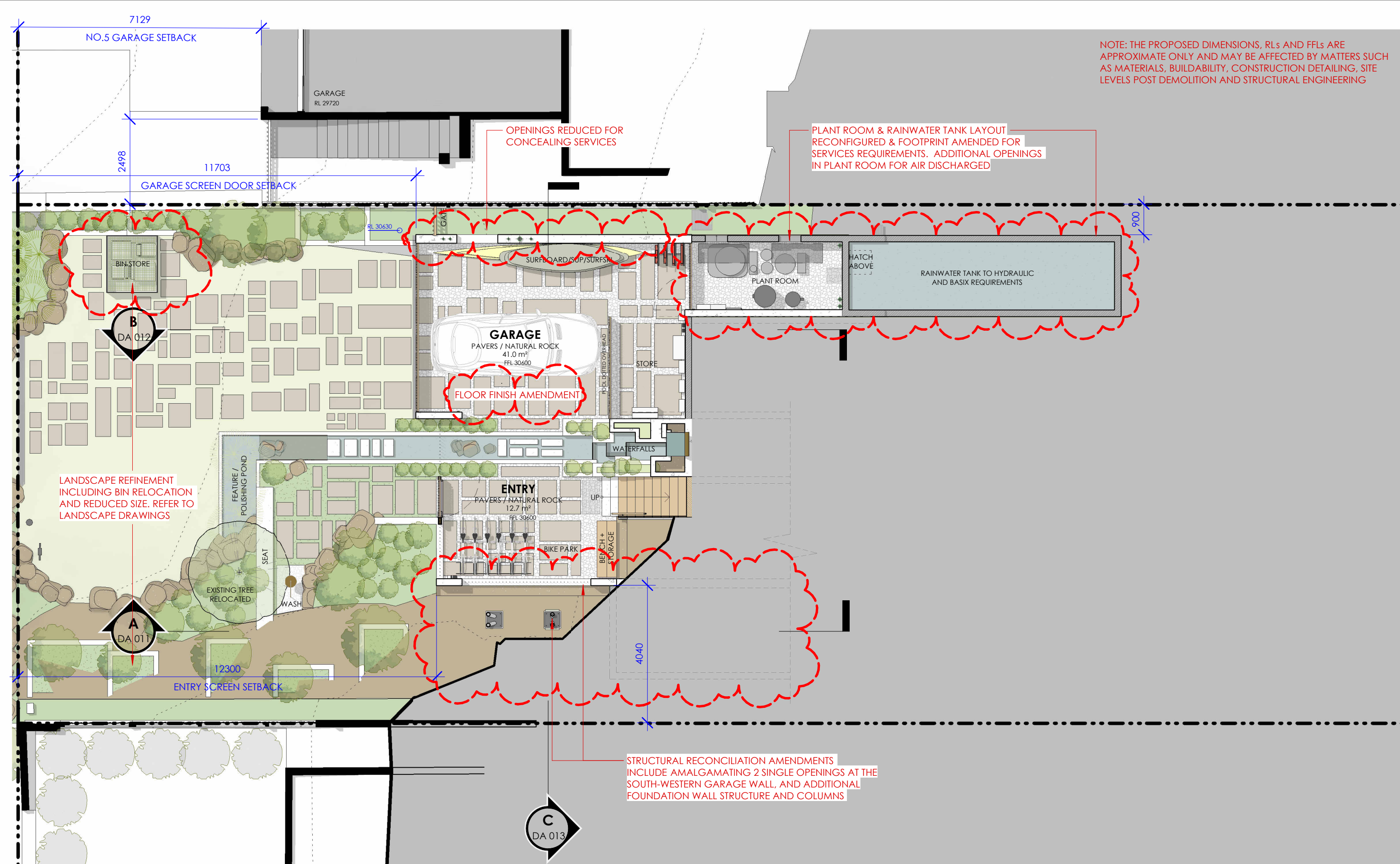
VIEW FROM BOWER STREET















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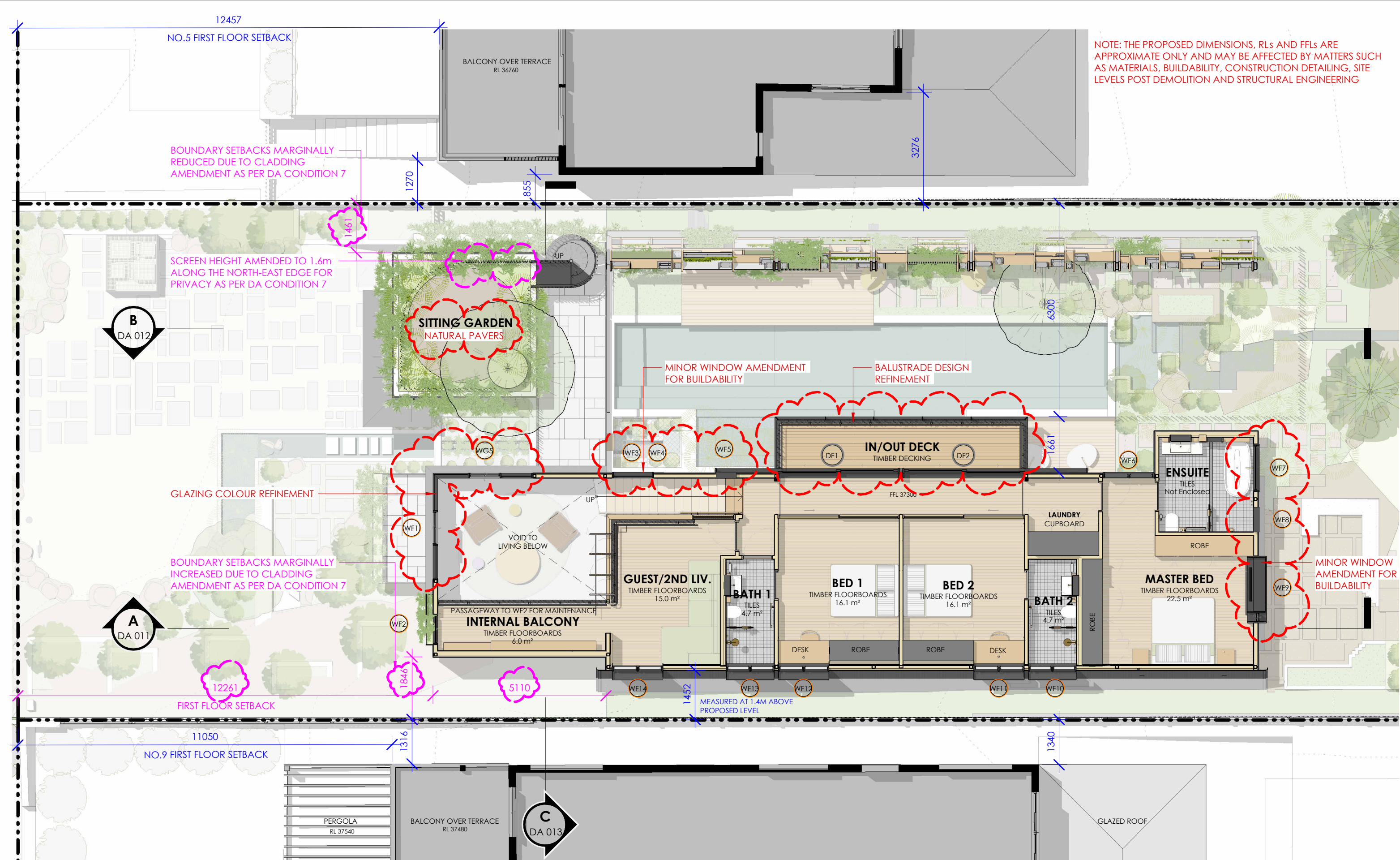





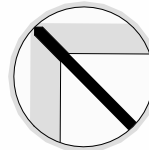
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				PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR  REVIEWED BY CC	REVISION DATE  04/04/2022	REVISION  2	DRAWING NUMBER  <b>DA 004</b>





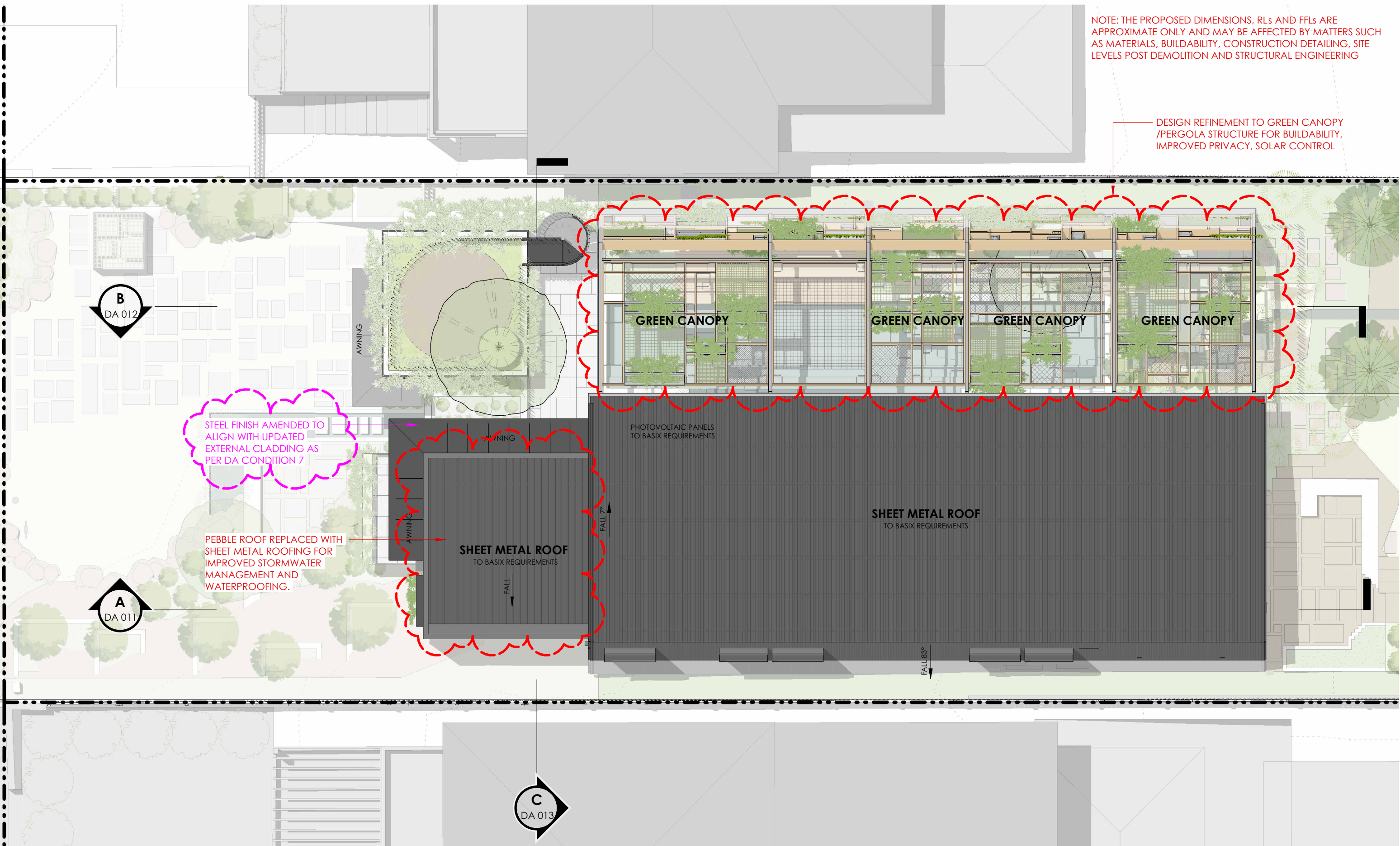
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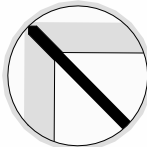


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DESIGN REFINEMENT TO GREEN CANOPY /PERGOLA STRUCTURE FOR BUILDABILITY, IMPROVED PRIVACY, SOLAR CONTROL

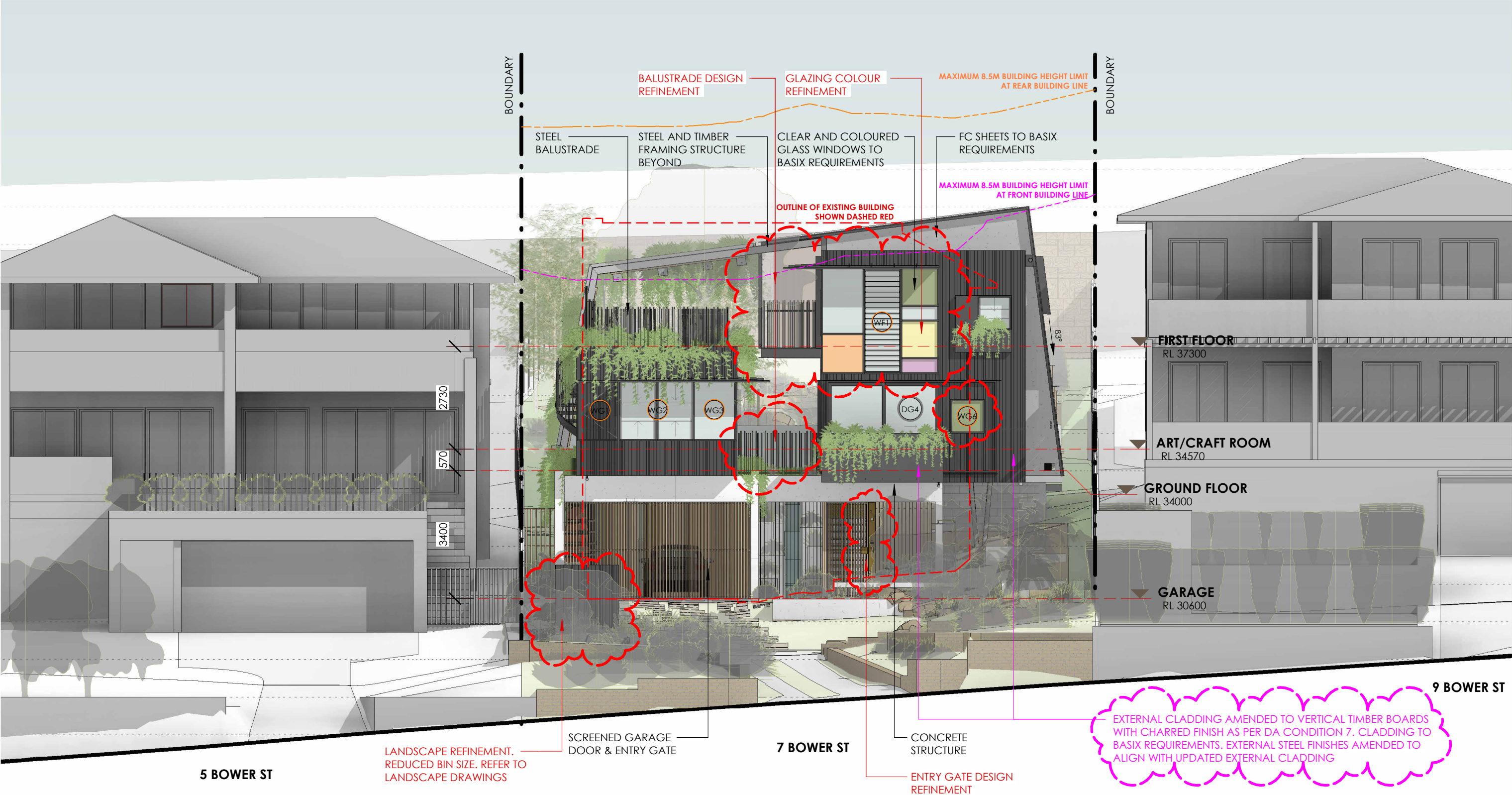


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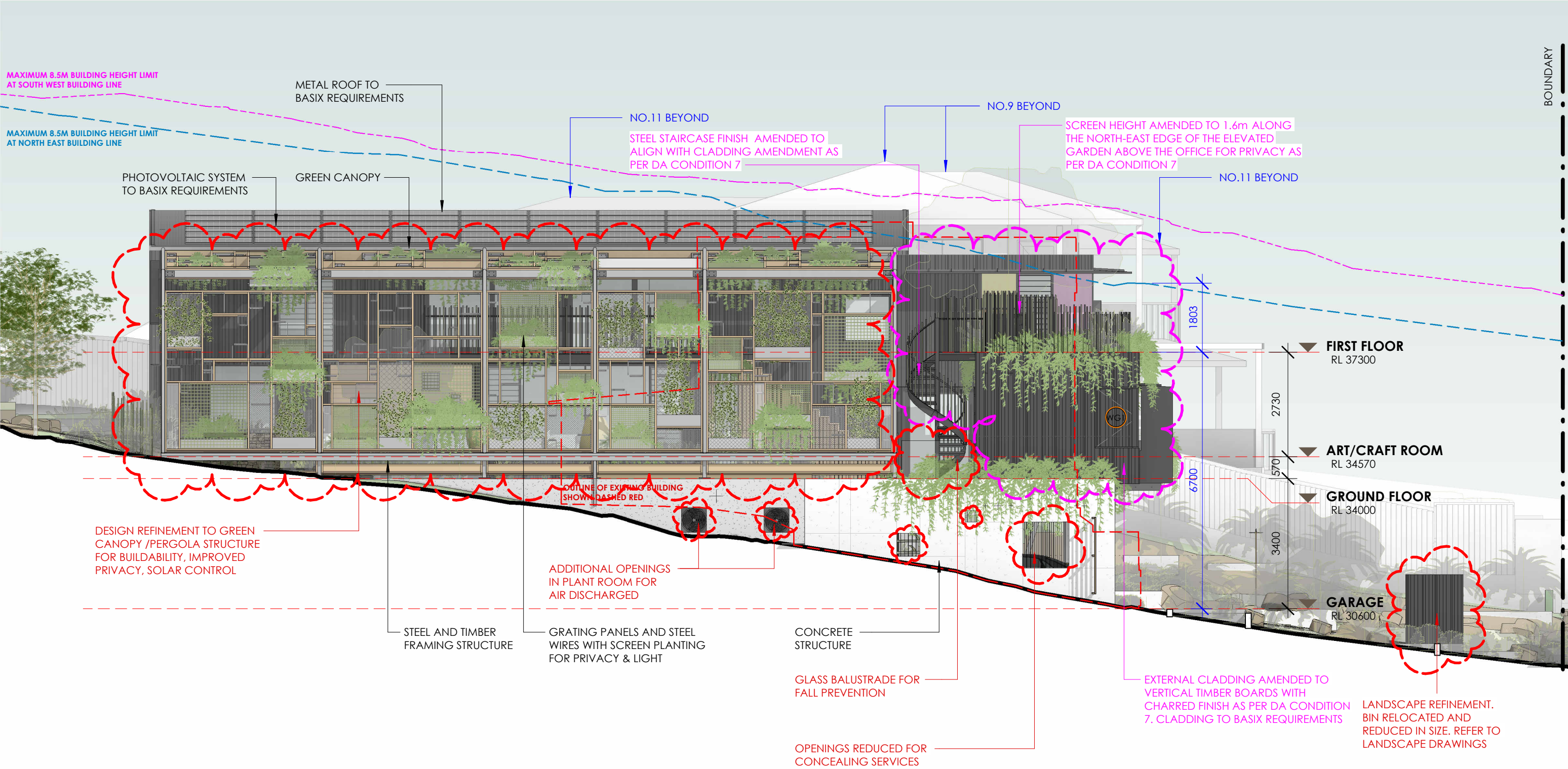


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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR  REVIEWED BY CC	REVISION DATE  04/04/2022	REVISION  2	DRAWING NUMBER  DA 007



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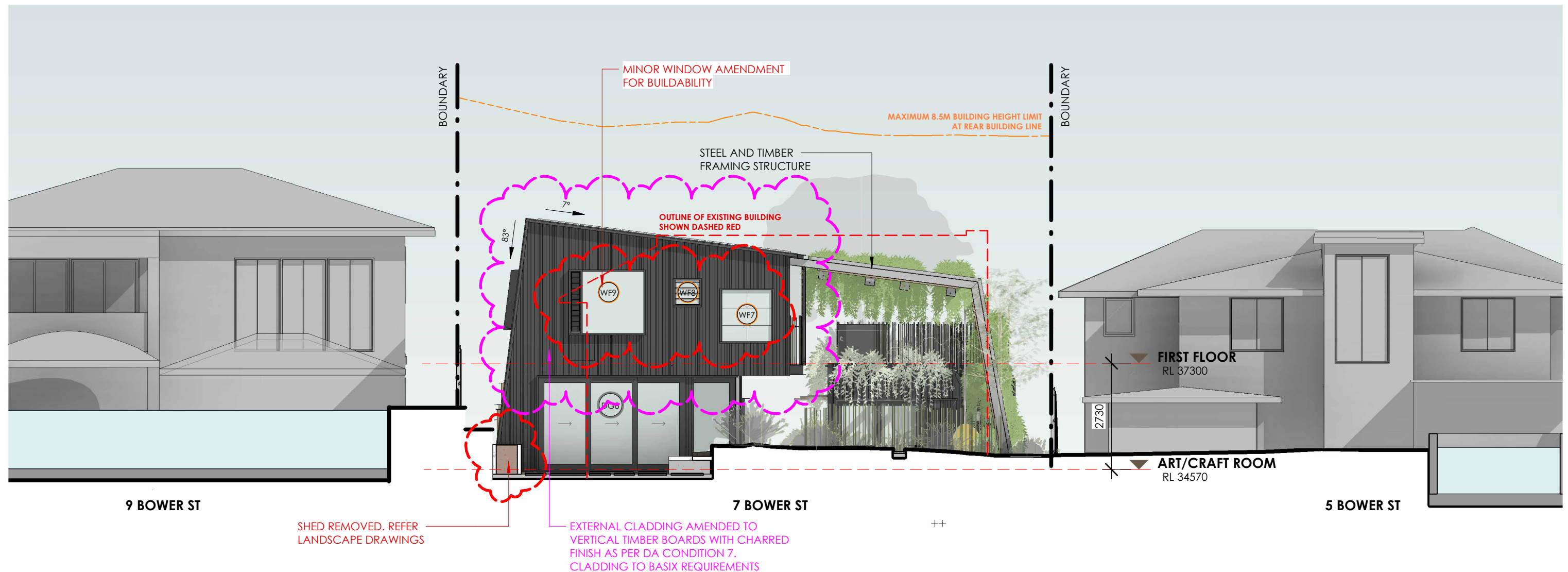


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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR  REVIEWED BY CC	REVISION DATE  04/04/2022	REVISION  2	DRAWING NUMBER  DA 008



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PROJECT  
19-030 HOLOCENE HOUSE

PROJECT ADDRESS  
7 BOWER STREET  
MANLY, 2095

CLIENT  
JURGEN SPANGL & KARIN  
MUNDSPERGER

SCALE  
1 : 100 @ A3

	DRAWN BY RN/CAR
	REVIEWED BY CC

DRAWING TITLE  
**ELEVATION - SOUTH-EAST**

REVISION DATE	04/04/2022
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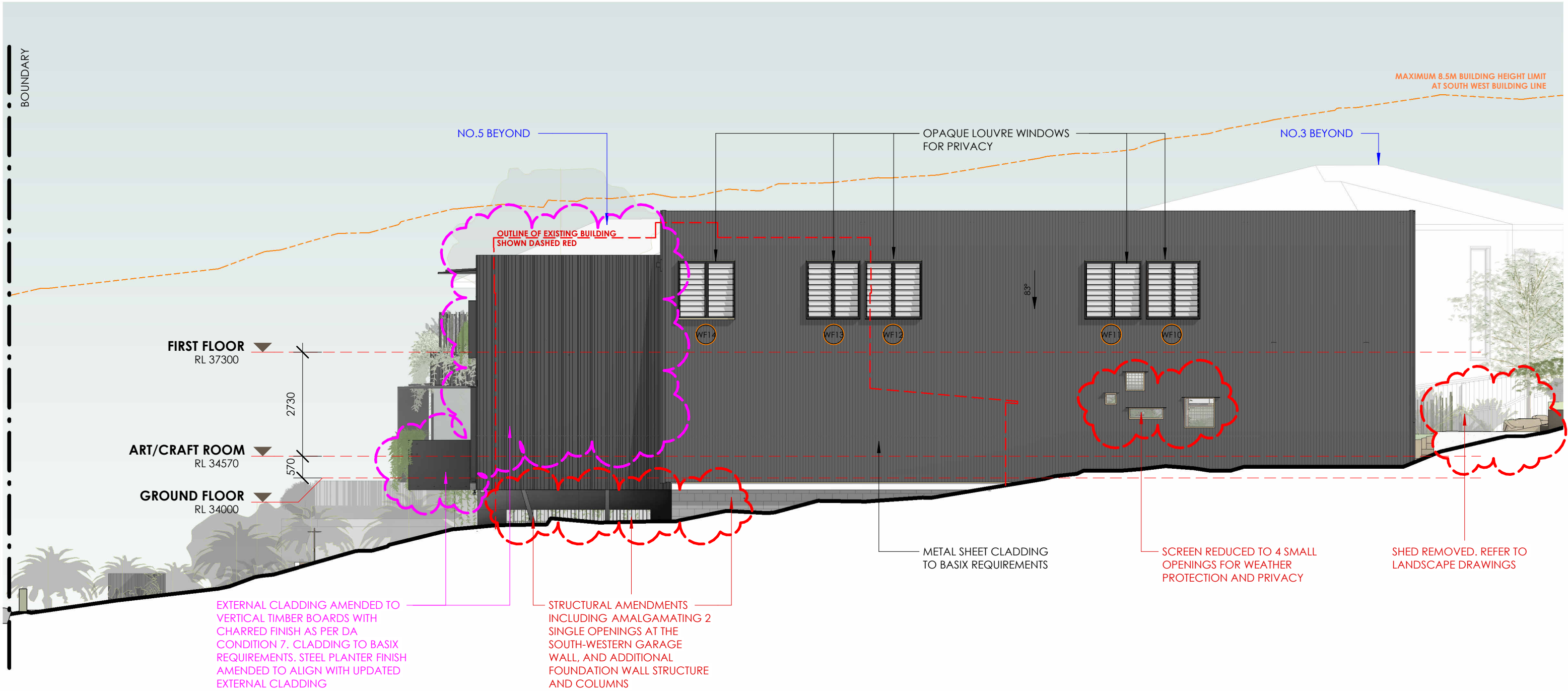
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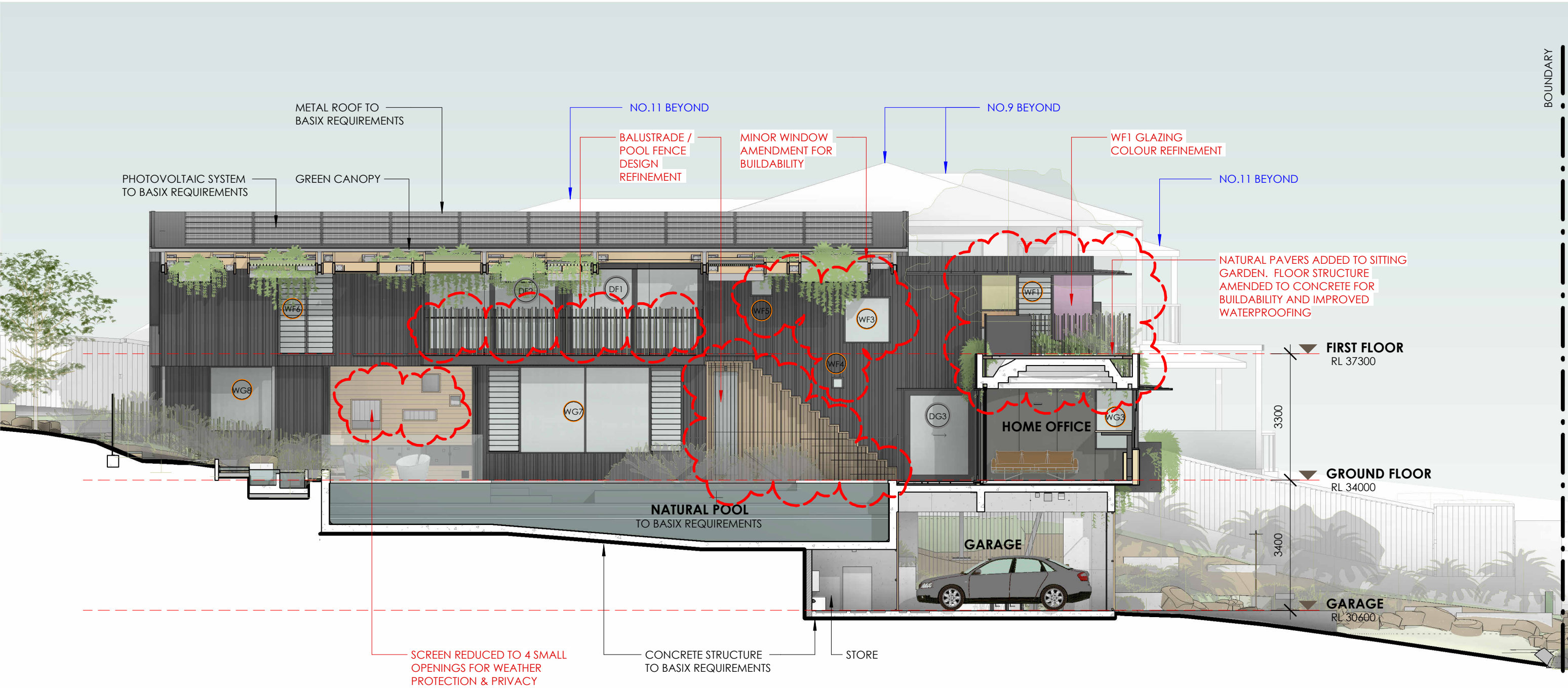


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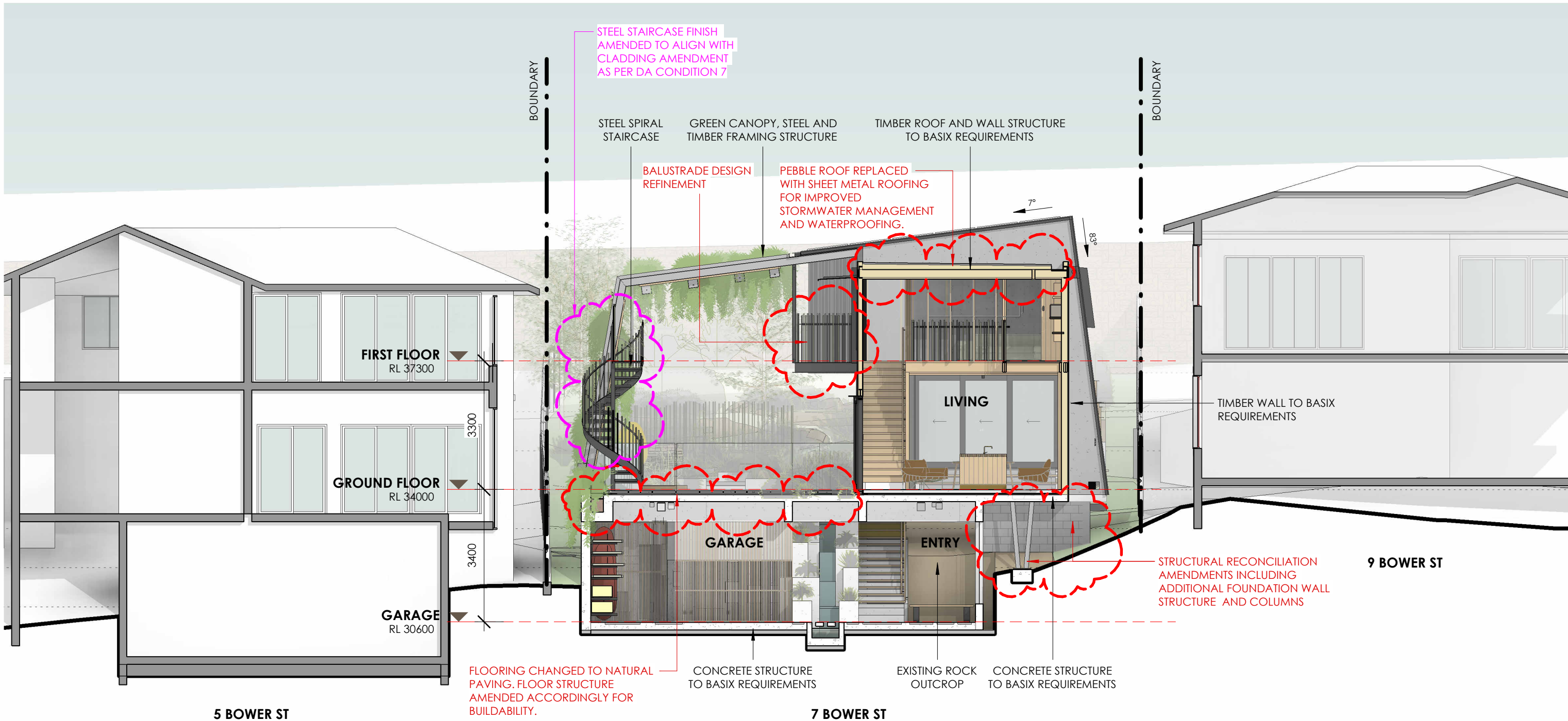


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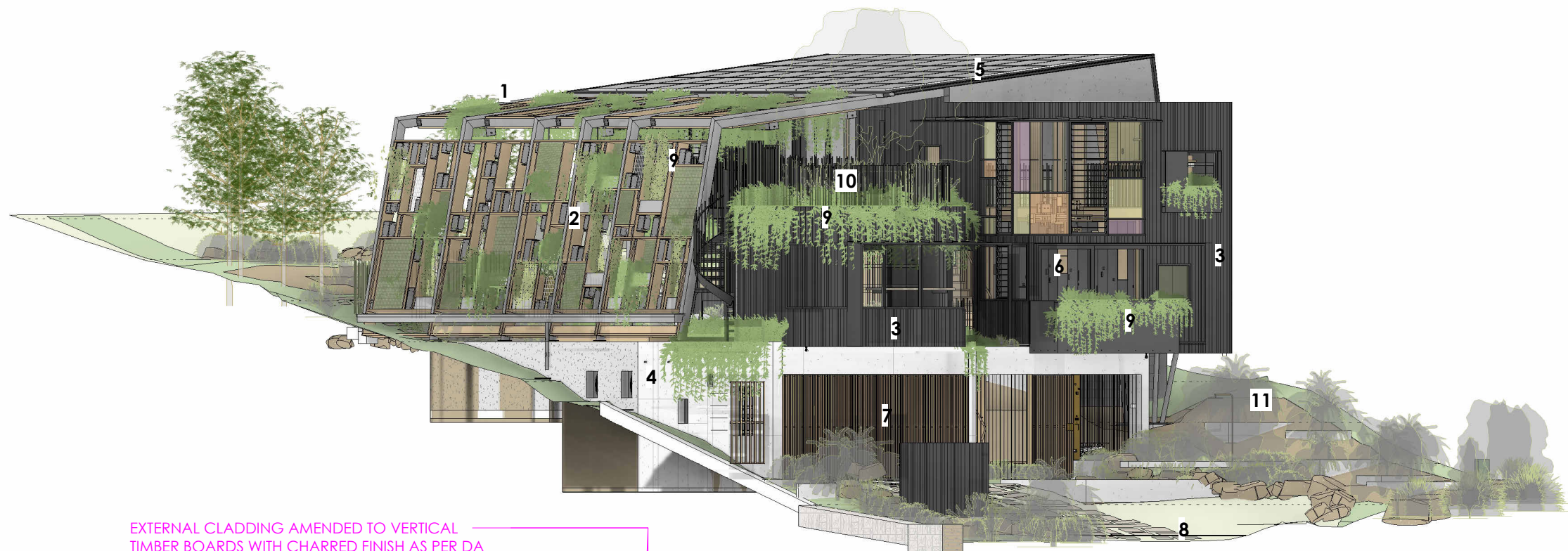
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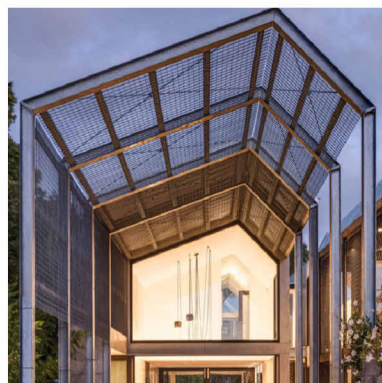
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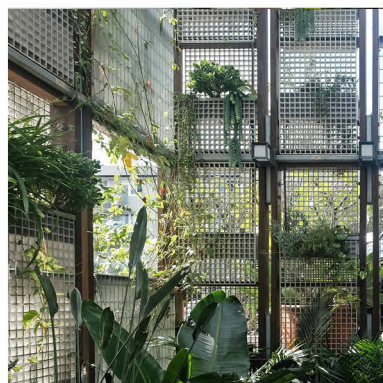




EXTERNAL CLADDING AMENDED TO VERTICAL TIMBER BOARDS WITH CHARRED FINISH AS PER DA CONDITION 7. CLADDING TO BASIX REQUIREMENTS. EXTERNAL STEEL FINISHES AMENDED TO ALIGN WITH UPDATED EXTERNAL CLADDING



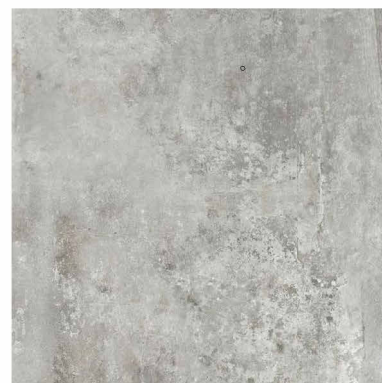
1 STEEL AND TIMBER FRAME STRUCTURE



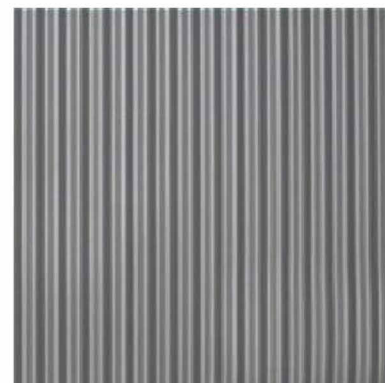
2 GRATING PANELS AND STEEL WIRES WITH SCREEN PLANTING



3 LIGHTWEIGHT CLADDING



4 CONCRETE STRUCTURE



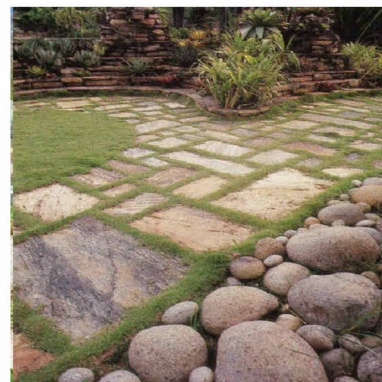
5 METAL ROOFING



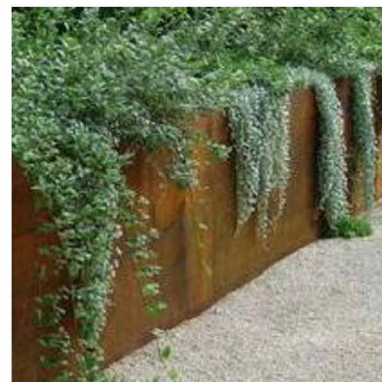
6 TIMBER FRAMED DOORS & WINDOWS



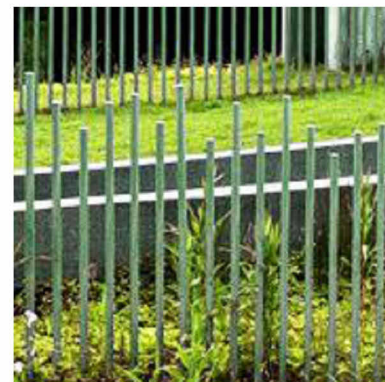
7 TIMBER BATTENS AND STEEL CABLE WIRES



8 INTEGRATED STONE PAVERS



9 CREEPING AND CASCADING PLANTS

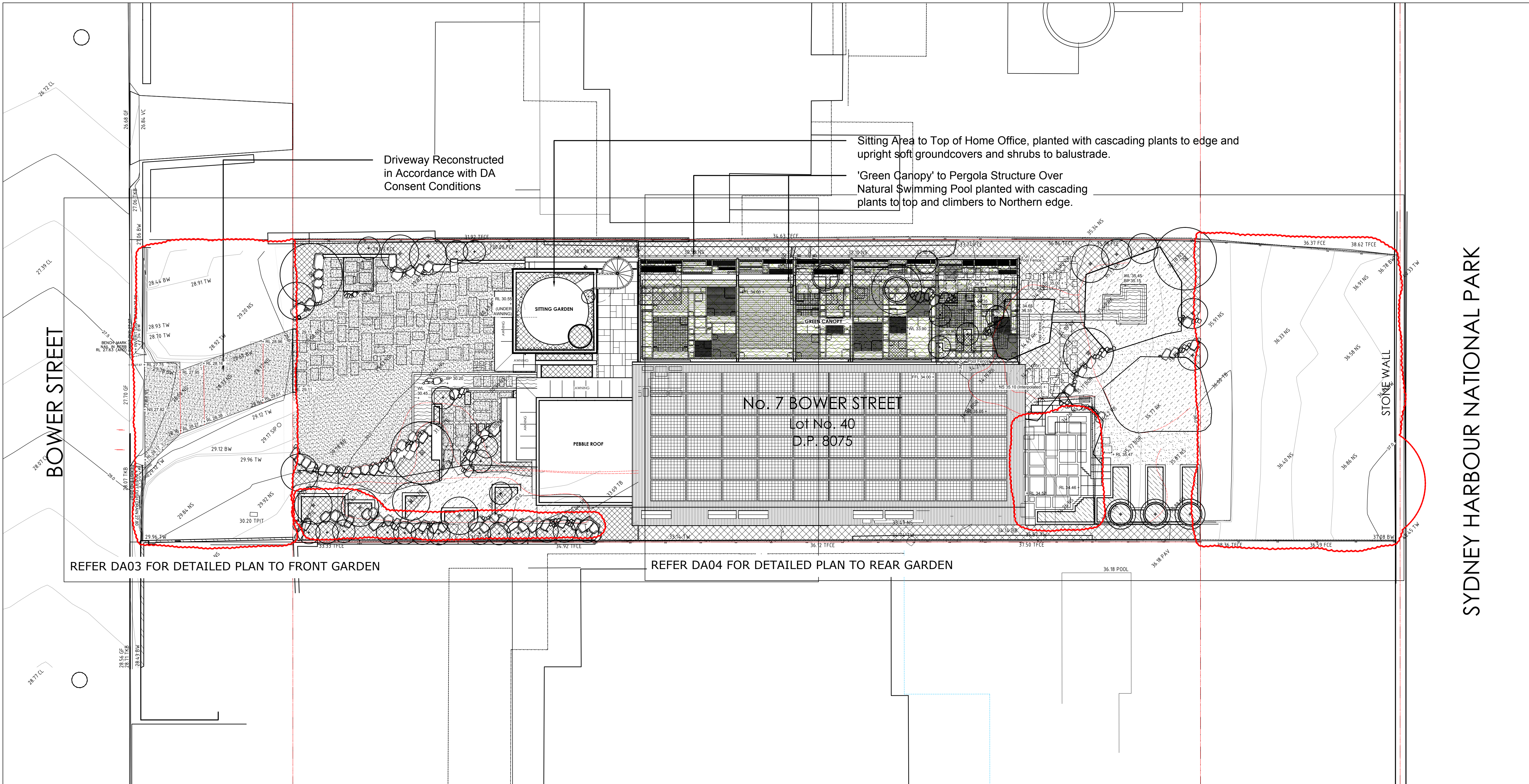


10 STEEL BALUSTRADE



11 EXISTING ROCK OUTCROP





## CONCEPT LANDSCAPE PLAN (SITE PLAN): Scale 1:100

### GENERAL STATEMENT OF LANDSCAPE INTENT

The landscape design is figured to build upon the spatial parti & organising aesthetic principles of the proposed house design by C+C Architectural Workshop, by providing opportunities for the landscape and architecture to intermingle via the various structures and spaces, as well as celebrate the flora indigenous to the Manly Coastline & be ecologically connected to North Head section of Sydney Harbour National Park.

Overall the scheme proposes to make as few changes to the natural levels other than those spaces that directly adjoin the front & back of the house where re-grading is required to join into the proposed finished floor levels, or the smaller 'incisions' to accommodate the series of polishing ponds upstream and downstream of the proposed natural swimming pool. The existing sandstone outcrops will be retained and allowed to abut the house, or be carefully carved into to symbolically mimic the sandstone lined gullies of the Sydney Harbour and coastline.

Recycling as much of the existing house for use in the landscape will form an element in the handscape construction process, from bricks, to roof tiles, and old house timbers to both add character & reduce the embodied energy required in the construction. Any sandstone boulders that are excavated intact during construction these will also be stockpiled for reuse in the gardens where rockwork is indicated.

#### LONG-NOSED BANDICOOTS

The proposed garden is designed as both human and fauna friendly habitat. Lawns are to be maintained on as much natural surface as possible, whilst providing a strong reintroduction of indigenous species that occur in the nearby North Head section of Sydney Harbour National Park. Two significant links are formed either side of the house, between the front & back of the lot provide corridors for Bandicoots and other fauna to move as feeling as possible. Pool fencing is to be kept clear of these paths & side security gates will have a reasonable space under them for the unimpeded passage of fauna.

Overall the quality of the habitat for native wildlife and foraging areas within the garden will be greatly improved.

#### BUSHFIRE MANAGEMENT

Whilst the Bushfire Risk Assessment notes that the whole property is to be managed as an Asset Protection Zone (APZ) this should not be seen as incompatible with the aims of provision of cover, habitat and foraging areas for Long-nosed Bandicoots. The majority of planting about the garden & nearer to the building is to be managed as low groundcovers, consisting indigenous species that require little water with non-contiguous sections of shrub and smaller tree plantings throughout so that the requirement of the APZ are maintained (30% tree & 20% shrub canopy).

Due to the complex geology of the site that contains extensive rock outcrops and probable shallow soils in many locations the full extent of where shrubs and trees can be located are indicative only & will be determined on site during construction. Bushfire resistant species will be located in proposed plantings close to the house. A Storz valve is proposed for a location adjacent to the bin enclosure, supplied by a 100mm pipe from the proposed natural pool.

#### PLANTING:

Indigenous species to the North Head/Manly coastal environment are to be used almost exclusively as shown in the Indicative Planting Schedule, maximising the opportunity to showcase this wonderful & much under-utilised planting palette, as well as tell the story of the ecosystems of the salt & windswept Manly Coastline: Dunes, wetlands, grasslands, heaths, and littoral rainforest, within the palette of plants that will withstand this exposed location. The only exception will be the stockpiling and replanting of the existing Frangipani in the Front Garden, the minimal use of variegated native species, like Dichodra 'Silver Falls' to reliably add to cascade plantings and the inclusion of vegetables and fruit trees to the Vegetable Garden Beds in the Rear Garden.

The proposed scheme has three main landscape spaces & two adjoining spaces:

1. THE FRONT GARDEN: The design for the front yard is two-fold: As an entry space it has to function to provide the normal ability to drive cars in and out, maintain views to the Pacific Ocean, and provide for a degree of passive surveillance of the street from the house. It also must increase the connectivity for Long-nosed Bandicoots via the provision of low ground covers, natural boulders with small planted 'pathways' set between to enable the free passage of fauna. A bin enclosure, a long bench, & a smaller pond associated with the Natural Pool in the Rear Garden are the only structures proposed for this Garden.



2. THE REAR GARDEN: This area is dominated by a series of natural sandstone rock outcrops that are to be maintained in their natural state aside from the terrace area outside the Art Room where the rock will be left exposed where practicable as a garden wall, & the two outcrops nearer to the boundary with Number 5 which will remain largely intact aside from having polishing ponds carved into them for the natural pool. All ponds (in both front & rear gardens) are proposed to be stepped to allow easy egress for any wildlife that uses the ponds to swim in.

3. SITTING AREA AND GREEN CANOPY: These two spaces, one above the study at the front & the other over the pool suspended from a steel framed pergola are to be planted with indigenous & native variegated species that will cascade down softening the overall form of the proposed house.

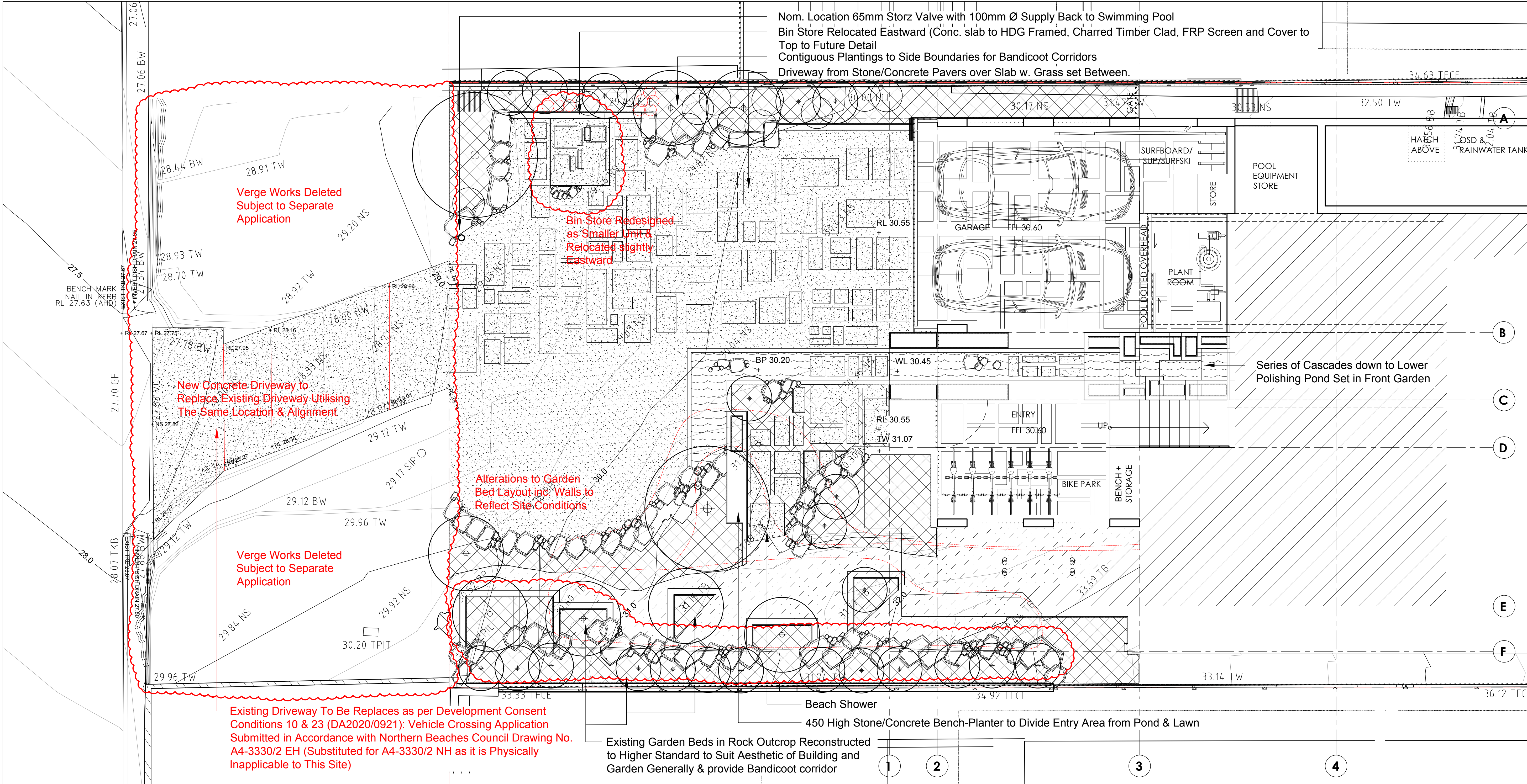
4. CROSSING & DRIVEWAY: As conditioned in the Notice of Determination (DA2020/0921, 1st October 2020, Clause 10) a Vehicle Crossings Application has been made for the replacement & compliance of the existing driveway utilising the same location/alignment.

### LEGEND

	Lawn
	Natural Rock Outcrops
	Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)
	Spot Levels (Ref. Codes below).
	Proposed Mass Plantings of Indigenous Groundcovers
	Proposed Vegetable Beds
	Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)
SPOT LEVEL CODES:	
BP: Bottom of Pond	SMH: Sewer Man Hole
BW: Bottom Wall	SVE: Sewer Vent
DD: Dish Drain	TKB: Top of Kerb
FFL: Floor Level	TW: Top of Wall
GM: Gas Meter	WM: Water Meter
NS: Natural Surface	WL: Water Level
PP: Power Pole	
RK: Rock	
RL: Relative Level	
SIP: Sewer Inspection Pit	

29/03/22	MINOR ALTERATIONS TO LAYOUT & DELETIONS TO ITEMS NOT APPROVED IN DA INCLUSION OF CROSSING APPLICATION NOTES & MINOR ALTERATIONS TO INTENT STATEMENT		
DATE	ITEMS		
AMENDMENTS			
 <b>duncan gibbs</b> landscape architect			
PROJECT 7 Bower St Manly: Concept Garden Design for Development Application			
CLIENT Jürgen Spangl and Karin Mundsparger		 JOB NUMBER J0819	
DRAWING Concept Landscape Plan for DA: Site Plan & Statement of Landscape Intent			
DRAWING NUMBER J0819-DA01	REVISION B	DATE 10.07.20	
SCALE 1:100 @ A1, 1:200@A3	DRAWN dg	CHECKED dg	
14 Glencoe Road North Arm NSW 2484 T: 61 2 6672 7112 E: d-gibbs@gdgpond.com ABN: 59 519 081 278			
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CONCEPT LANDSCAPE PLAN (FRONT GARDEN): Scale 1:50

GENERAL NOTES

- SERVICES**  
Before work is commenced, contractor is to establish the positions of all service lines and protect them from damage during construction.
- WEED ERADICATION**  
Eradicate all weeds from planting areas prior to planting operations. Apply "Roundup" or equivalent glyphosate herbicide to all weeds to manufacturer's recommendations and rates, two weeks prior to commencement of plantings. Ensure that all weed growth has failed prior to commencement of plantings and reapply herbicide as necessary. Remove all weed material from site.
- SETOUT**  
Where no centres are shown for planting, space plants evenly to best fill the planters shown.
- SOIL PREPARATION**  
Install 3 parts sandy loam : 1 part compost/humus to planting beds.
- IRRIGATION**  
An automated subsoil drip irrigation system shall be installed to all planters. System to give complete coverage to all areas. Allow to connect to site water tanks & supply/install necessary pumps & controls. Water supplied from town reticulation and connections to Architects & Engineers' Spec & Detail.

All pipework and control cable shall be trench in planters and installed under paving with connection risers around edge of courtyards and podium slabs.

No exposed pipework/cable will be allowed. All Pipework to be high density UV stabilised poly-pipe, or copper plumbing pipe. Contractor to provide conduits under all on grade paved areas to allow for irrigation installation.

SEDIMENT CONTROL NOTES

- Topsoil stockpiles are to be protected by catch drains on the upper side and sediment fences on the lower side.
- Sediment control structures are to be cleaned and maintained regularly. Eroded soils shall be stockpiled as directed.
- Disturbance to existing vegetation outside the work area is to be kept at a minimum.
- Sediment control structures shall be removed upon completion and the establishment of grass and landscaping and as directed.
- The exact location of all sediment control structures to be determined on site by the superintendent.
- All sediment control structures are to be installed in accordance with the requirements of all applicable Northern Beaches City Council sediment control works specifications.

LEGEND

- |  |  |
|--|--|
|  | Lawn   |
|  | Natural Rock Outcrops  |
|  | Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone) |
|  | Spot Levels (Ref. Codes below).  |
|  | Proposed Mass Plantings of Indigenous Groundcovers   |
|  | Proposed Vegetable Beds  |
|  | Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)                    |
- SPOT LEVEL CODES:
- |                           |                     |
|---------------------------|---------------------|
| BP: Bottom of Pond        | SMH: Sewer Man Hole |
| BW: Bottom Wall           | SVE: Sewer Vent     |
| DD: Dish Drain            | TKB: Top of Kerb    |
| FFL: Floor Level          | TW: Top of Wall     |
| GM: Gas Meter             | WM: Water Meter     |
| NS: Natural Surface       | WL: Water Level     |
| PP: Power Pole            |                     |
| RK: Rock                  |                     |
| RL: Relative Level        |                     |
| SIP: Sewer Inspection Pit |                     |

29/03/22 MINOR ALTERATIONS TO LAYOUT & DELETIONS TO ITEMS NOT APPROVED IN DA

DATE	ITEMS

AMENDMENTS

**duncan gibbs**  
landscape architect

PROJECT  
**7 Bower St Manly: Concept Garden Design for Development Application**

CLIENT  
Jurgen Spangl and Karin Mundspurger

JOB NUMBER  
**J0819**

DRAWING  
Concept Landscape Plan for DA: Front Garden, General Notes, Detail Isometric View

DRAWING NUMBER	REVISION	DATE
J0819-DA03	B	10.07.20

SCALE  
**1:50 @ A1, 1:100@A3**

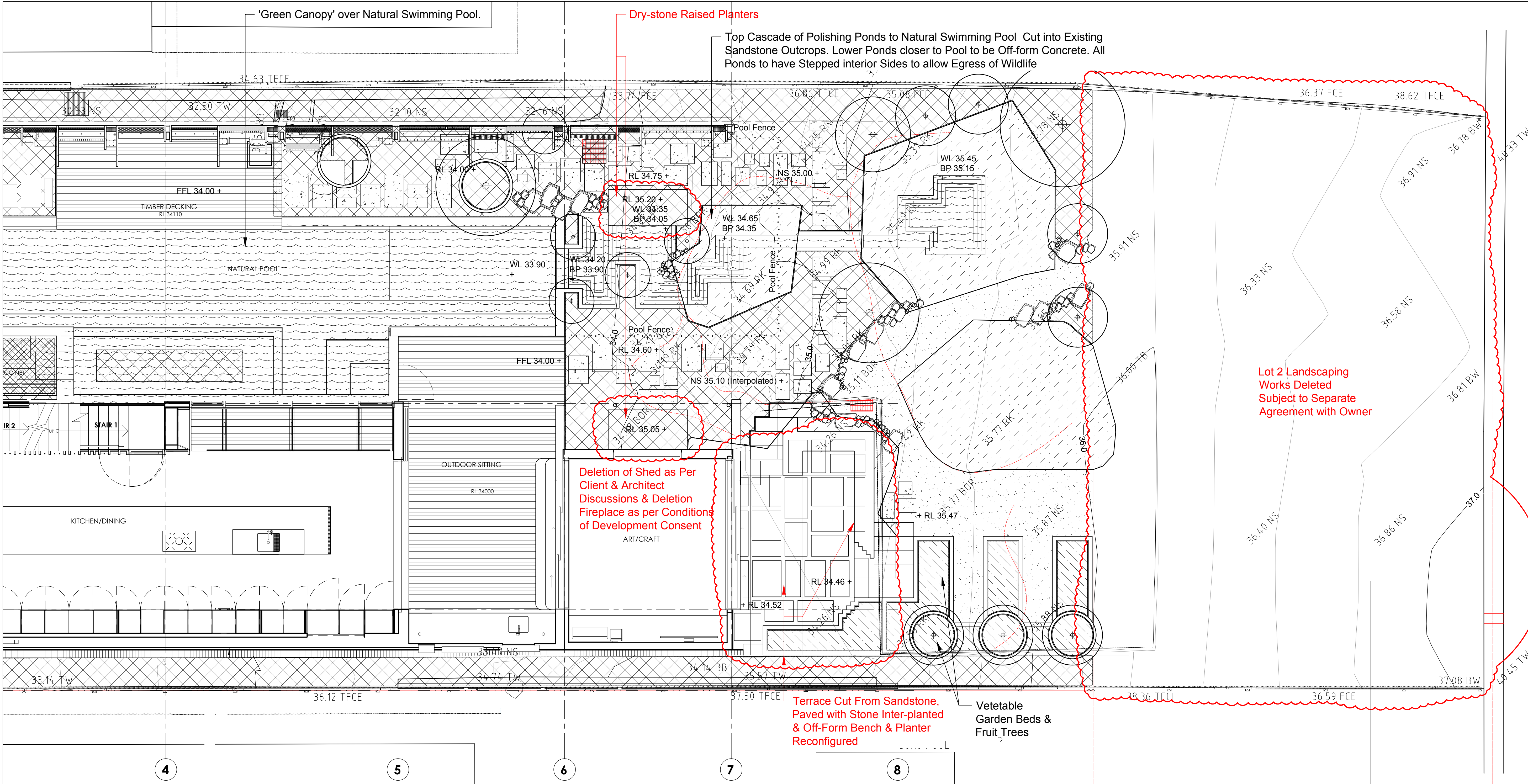
DRAWN  
**dg**

CHECKED  
**dg**

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CONCEPT LANDSCAPE PLAN (REAR GARDEN): Scale 1:50

**LEGEND**

Lawn  
Natural Rock Outcrops

Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)

Spot Levels (Ref. Codes below)

Proposed Mass Plantings of Indigenous Groundcovers

Proposed Vegetable Beds

Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)

**SPOT LEVEL CODES:**

BP: Bottom of Pond  
BW: Bottom Wall  
DD: Dish Drain  
FFL: Floor Level  
GM: Gas Meter  
NS: Natural Surface  
PP: Power Pole  
RK: Rock  
RL: Relative Level  
SIP: Sewer Inspection Pit

SMH: Sewer Man Hole  
SVE: Sewer Vent  
TKB: Top of Kerb  
TW: Top of Wall  
WM: Water Meter  
WL: Water Level

30/03/22 MINOR ALTERATIONS TO NOTES ON CHANGES  
29/03/22 MINOR ALTERATIONS TO LAYOUT & DELETIONS TO ITEMS NOT APPROVED IN DA  
DATE ITEMS

AMENDMENTS

**duncan gibbs**  
landscape architect

PROJECT  
7 Bower St Manly: Concept Garden Design for Development Application

CLIENT  
Jürgen Spangl and Karin Mundsparger

JOB NUMBER  
J0819

DRAWING  
Concept Landscape Plan for DA: Rear Garden & Detail Isometric Views

DRAWING NUMBER  
J0819-DA04

REVISION  
C

DATE  
10.07.20

SCALE  
1:50 @ A1, 1:100@A3

DRAWN  
dg

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dg

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