

GARDEN STREET

MULLET CREEK

NOTES

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREAS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (A.H.D.) USING PM 5276 R.L. 11.531m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m

ADJOINING DWELLINGS, BUILDINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY. NO WINDOWS WERE SURVEYED.

CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

CONTOUR INTERVALS 0.2m.

B	18.08.19	REMOVAL OF TREES AND METAL SHED	
A	23.11.17	INITIAL ISSUE	

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✱ DRAWING STATUS ✱
UNLESS THERE IS AN APPROVED SIGNATURE IN THE BOX PROVIDED THIS PLAN IS NOT VERIFIED AND IS NOT FOR CONSTRUCTION.

✱ CAUTION ✱
THE INFORMATION SHOWN ON THIS PLAN MAY BE INSUFFICIENT FOR SOME TYPES OF DETAILED DESIGN. RGM PROPERTY SURVEYS SHOULD BE CONSULTED AS TO THE SUITABILITY OF THE INFORMATION SHOWN HEREIN PRIOR TO THE COMMENCEMENT OF ANY DESIGN WORKS.



ABN 37 145 495 825

SCALE 1 : 100 @ A1	SURVEYED BY M.W.	DRAWN BY N.N.	CLIENT BEN PRICE
LOCAL GOVERNMENT AREA NORTHERN BEACHES	LEVEL BK	DESIGNED BY	
	DATE OF SURVEY 18.11.17	CHECKED BY R.M.	
HUY THAI - REGISTERED SURVEYOR	HEIGHT ORIGIN AHD	APPROVED BY H.T.	

PROJECT TITLE 133 GARDEN STREET, NORTHERN BEACHES	CAD REFERENCE C:\ 190916.dwg
DRAWING TITLE PLAN SHOWING LEVELS & DETAIL OVER LOT 4 IN DP 20524	DRAWING NO 190916-001
JOB NAME 133 Garden	REV B

PROJECT TITLE 133 GARDEN STREET, NORTHERN BEACHES	CAD REFERENCE C:\ 190916.dwg
DRAWING TITLE PLAN SHOWING LEVELS & DETAIL OVER LOT 4 IN DP 20524	DRAWING NO 190916-001
JOB NAME 133 Garden	REV B

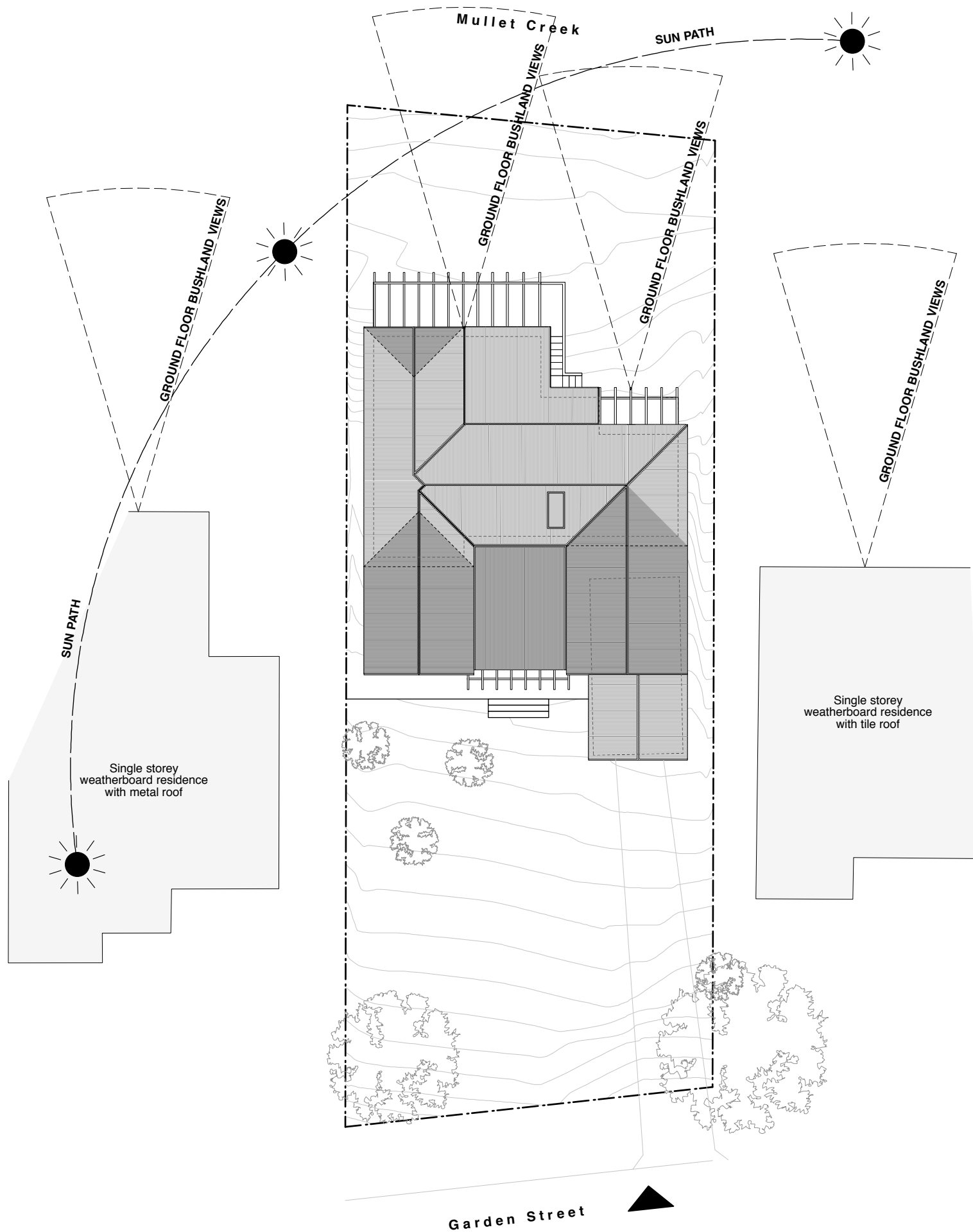
LEGEND

- WATER METER
- BENCH MARK
- COMMUNICATION PIT
- POWER POLE
- SEWER MANHOLE
- GAS METER
- SEWER INSPECTION POINT

ELECTRICITY POWER LINE ——— E ———
GUT : TOP OF GUTTER
WT : WINDOW TOP
WS : WINDOW SILL

S:3 (SPREAD)
D:0.3 (DIAMETER)
H:10 (HEIGHT)

SHRUB



Location Plan 133 Garden Street, North Narrabeen

Drawing List

- DA.01 Site Analysis Plan
- DA.02 Proposed Site and Roof Plan
- DA.03 Lower Ground Floor Plan
- DA.04 Grounder Floor Plan
- DA.05 Elevations
- DA.06 Elevations
- DA.07 Section
- DA.08 Shadow Diagram
- DA.09 Shadow Diagram
- DA.10 Shadow Diagram

Area Calculations

Site area	613.3sqm
Existing site coverage	235.6sqm [38.0%]
Proposed site coverage	306.0sqm [50.0%]
Allowable site coverage	≤ 306.7sqm [50.0%]

Legend

- Vehicle entry
- Views
- Extent of new works

A ISSUED FOR DEVELOPMENT APPLICATION 23.09.19

AMENDMENTS

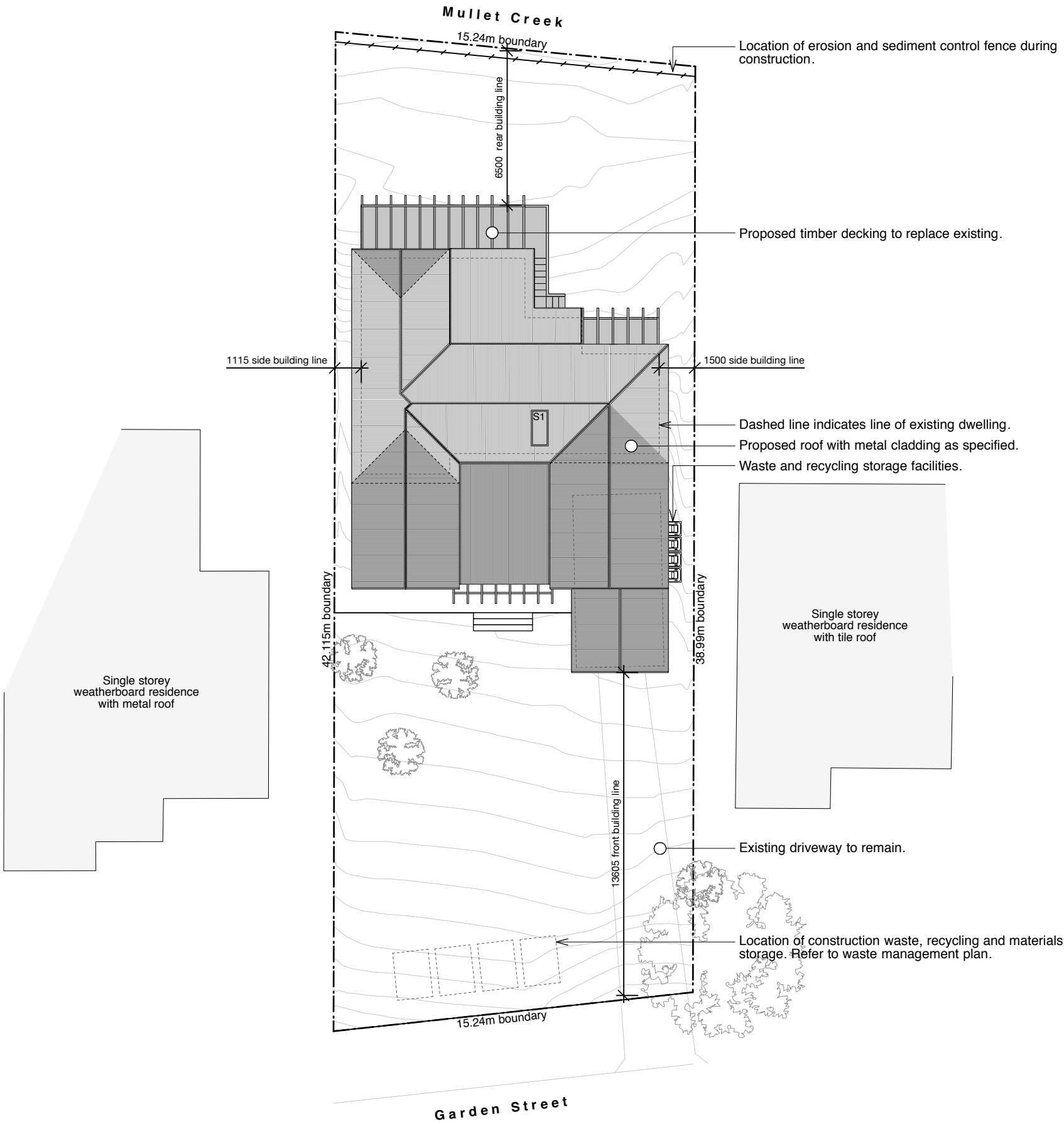
LAURACOOK

Avalon Beach NSW AUSTRALIA . laura@lauracook.com.au . +614 04 189 231

PRICE RESIDENCE
133 GARDEN STREET, NORTH NARRABEEN
DEVELOPMENT APPLICATION

SITE ANALYSIS PLAN SCALE 1:200 @ A3 DRAWN LC DA.01(A)

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.
Do not scale from drawings. Verify all dimensions on site prior to construction.



Legend

Extent of new works

Basix Requirements

Proposed hot water system to be gas instantaneous

A minimum of 40% of new or altered lighting fittings to be fitted with fluorescent, compact fluorescent, or light-emitting (LED) lamps

All new or altered taps and showerheads to have a flow rate no greater than 9 litres per minute or a 3 star water rating

All new or altered toilets to have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating

All new suspended floors with open subfloor to have a minimum R-value of R0.8 (or R1.50 including construction)

All new suspended floors with enclosed subfloor to have a minimum R-value of R0.60 (or R1.30 including construction)

All weatherboard/fibro clad framed walls to have a minimum R-value of R1.30 (or R1.70 including construction)

All new ceilings to have a minimum R-value of R3.00

All new roofs to be constructed with foil/sarking and to be medium in colour with a solar absorbance of 0.475-0.70

All new windows, glazed doors and shading devices to be installed in accordance with the specifications listed in the table below

Window	Shading Device	Frame and Glass Type
W1	eave/ pergola ≥450mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	eave/ pergola ≥900mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	eave/ pergola ≥450mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	eave/ pergola ≥900mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	external louvre/ blind (adjustable)	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
W6/7	eave/ pergola ≥900mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8/9/10	external louvre/ blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylight	Shading Device	Frame and Glass Type
S1	no shading	timber, low-E internal/argon fill/clear external, (or U value: 2.5, SHGC: 0.456)

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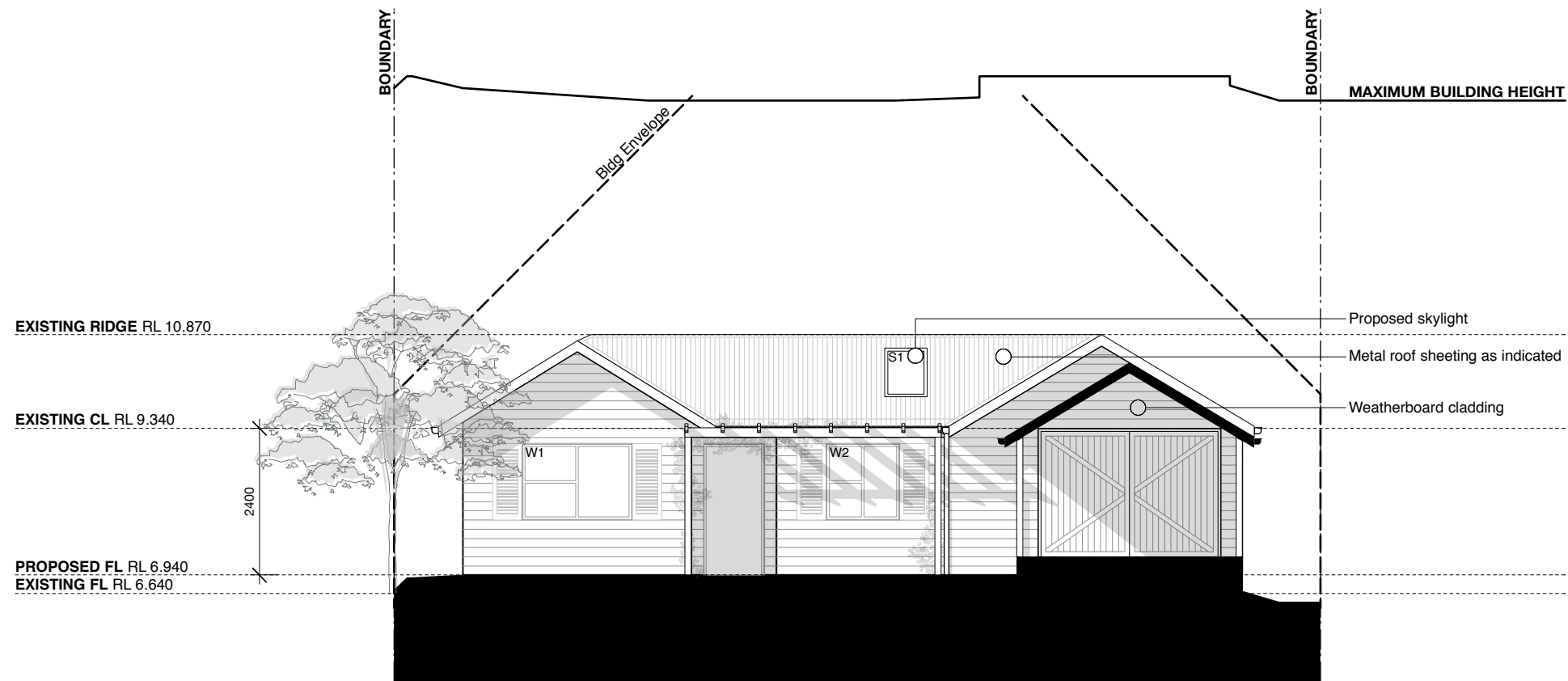
SITE AND ROOF PLAN
SCALE 1:200 @ A3

DRAWN
LC

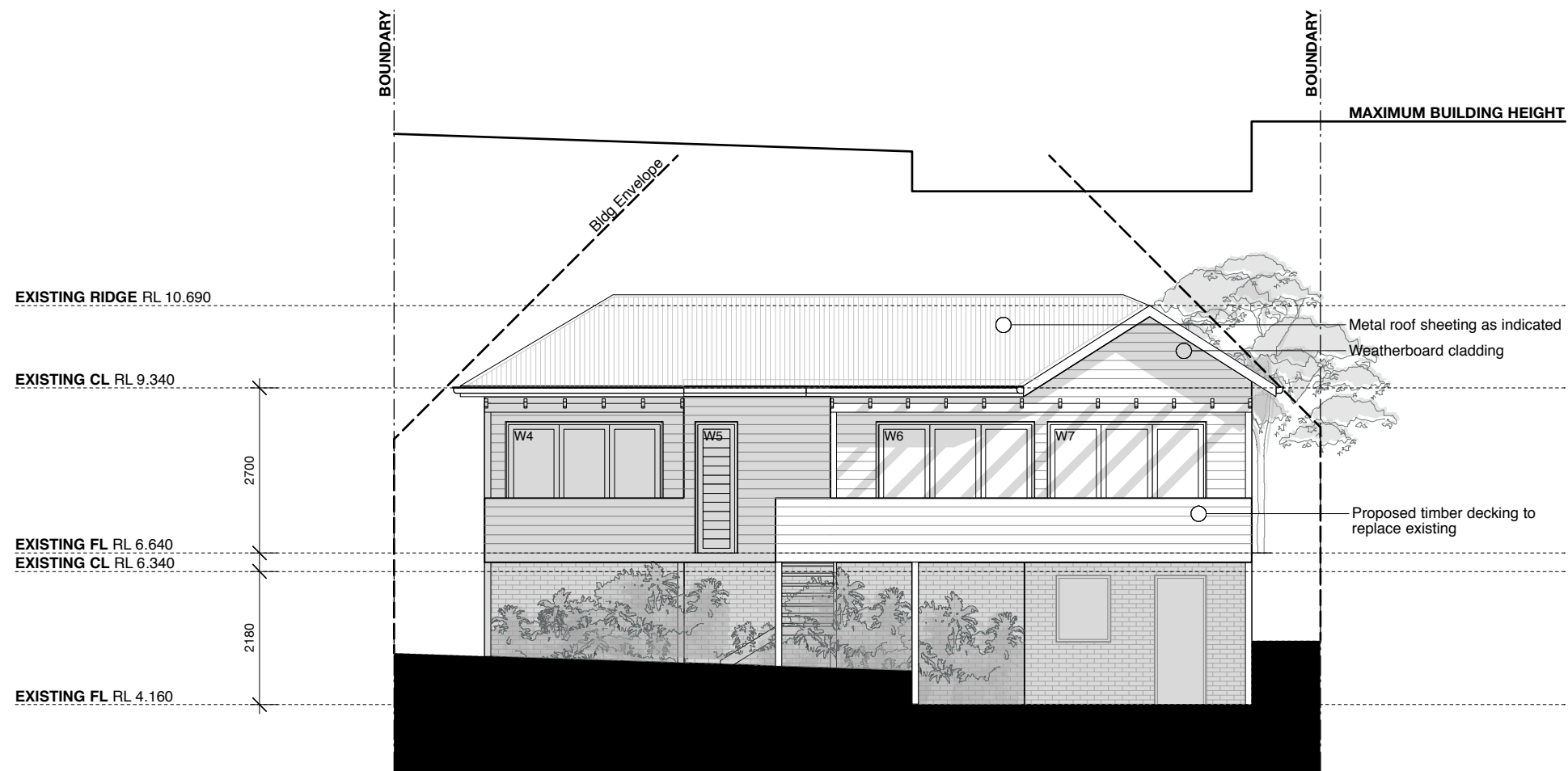
DA.02(A)

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.

Do not scale from drawings. Verify all dimensions on site prior to construction.



South West Elevation Scale 1:100



North East Elevation Scale 1:100

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Avalon Beach NSW AUSTRALIA . laura@lauracook.com.au . +614 04 189 231

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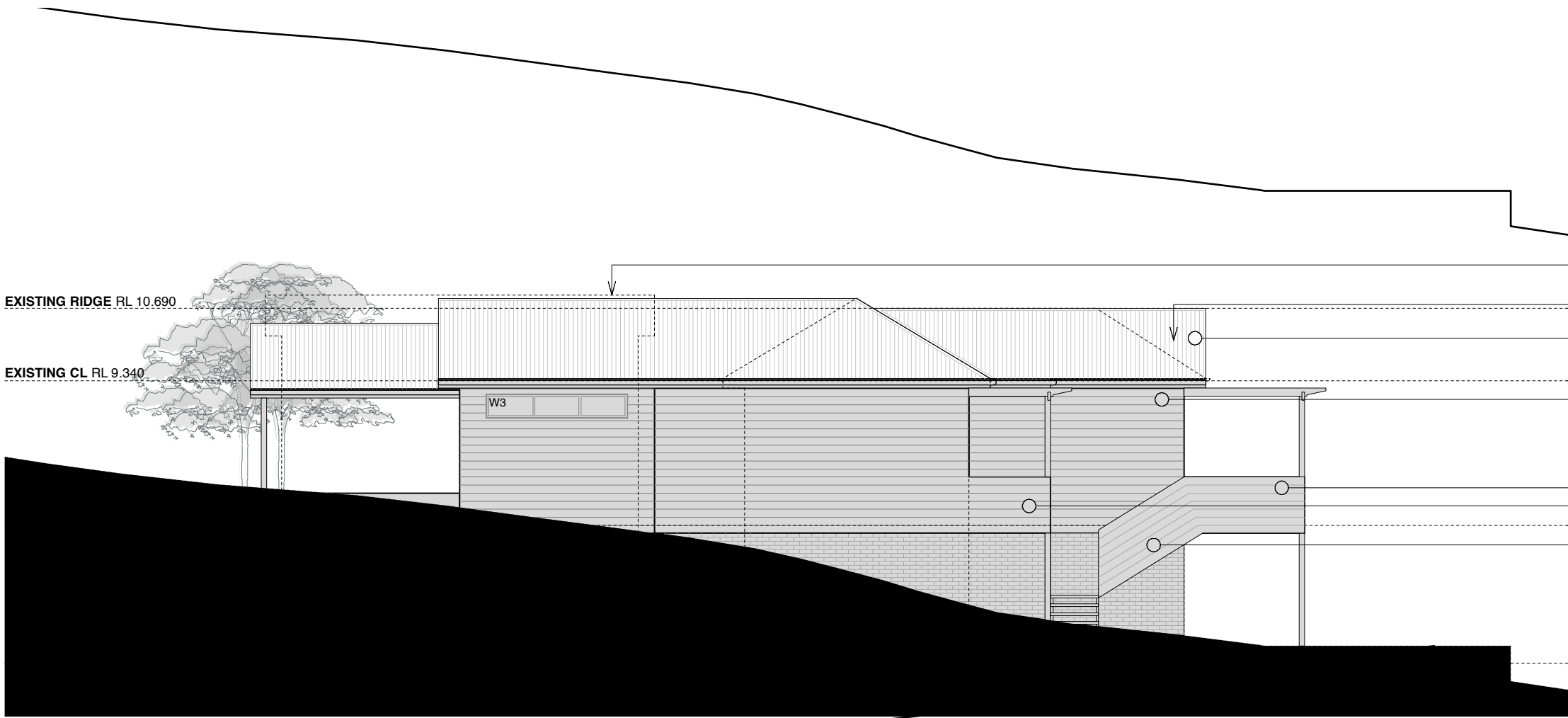
ELEVATIONS
SCALE 1:100 @ A3

DRAWN
LC

DA.05(A)

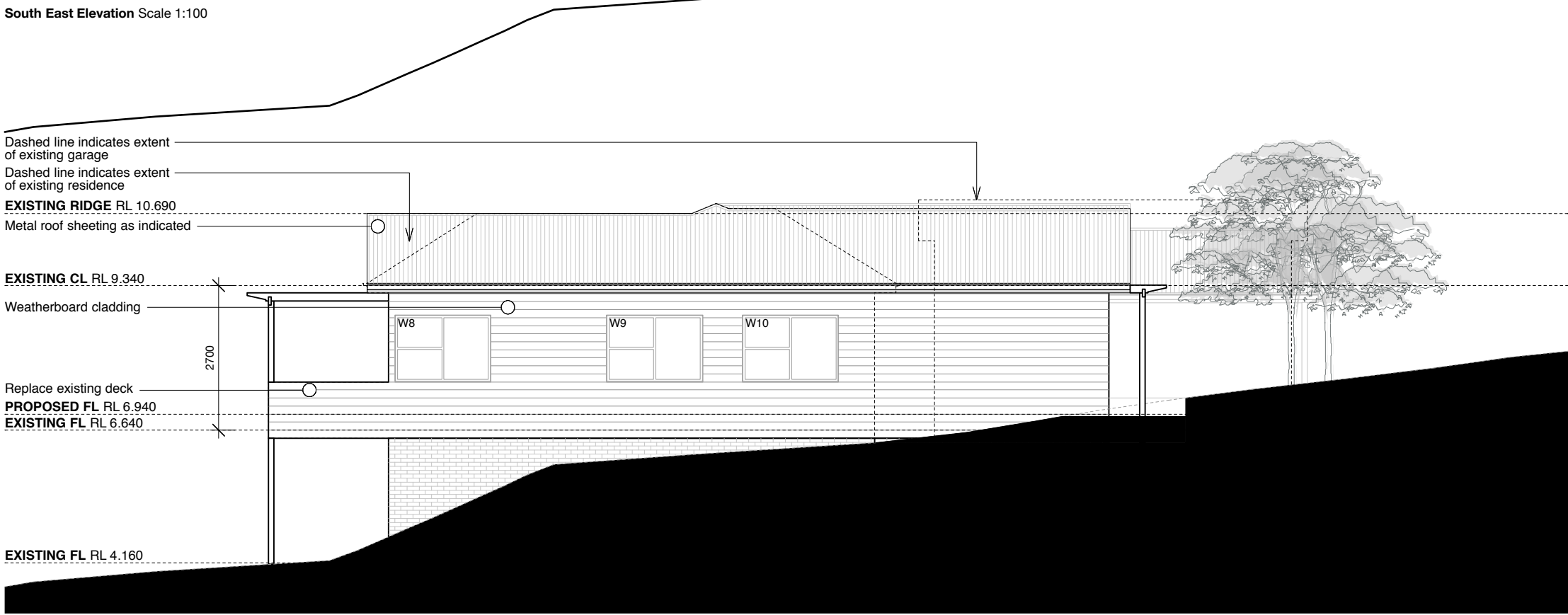
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South East Elevation Scale 1:100

- Dashed line indicates extent of existing garage
- Dashed line indicates extent of existing residence
- Metal roof sheeting as indicated
- Weatherboard cladding
- Replace existing deck
- Proposed deck with pergola over
- Proposed stair access to backyard



North West Elevation Scale 1:100

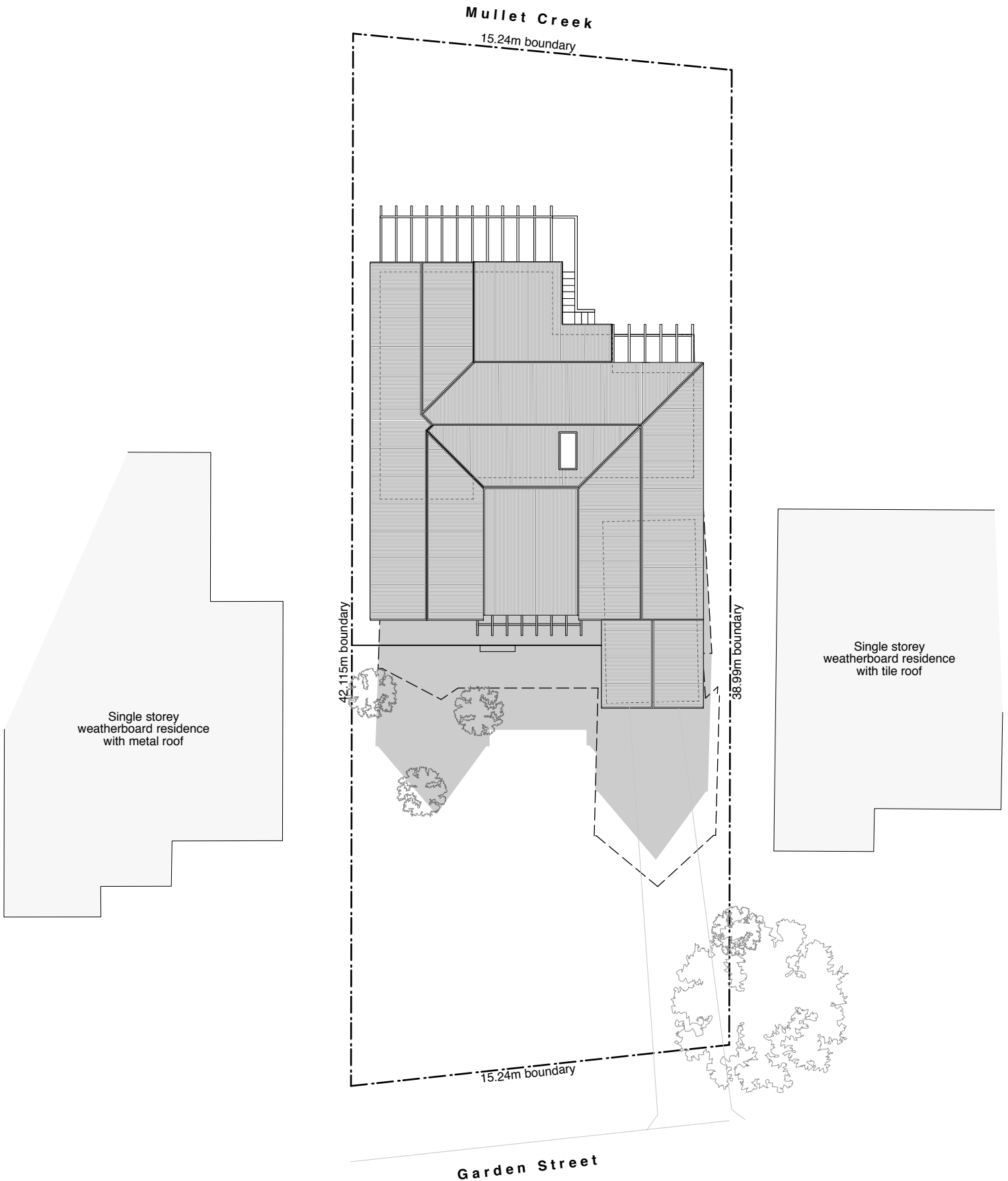
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DEVELOPMENT APPLICATION

ELEVATIONS SCALE 1:100 @ A3 DRAWN LC DA.06(A)

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.
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Legend

[] Existing shadow at 9.00am on 21st June

[] Proposed shadow at 9.00am on 21st June

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AMENDMENTS

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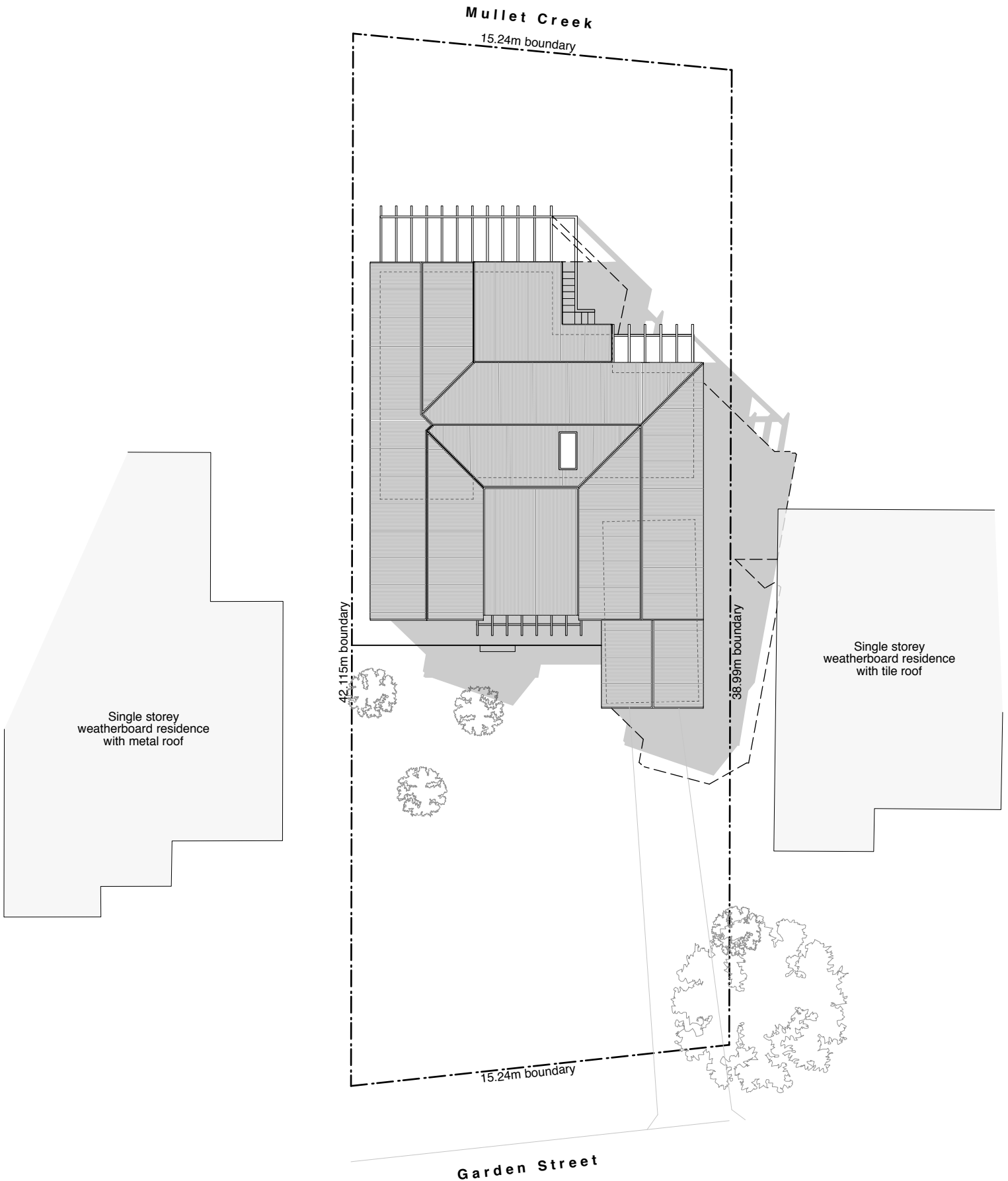
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PRICE RESIDENCE
133 GARDEN STREET, NORTH NARRABEEN
DEVELOPMENT APPLICATION

SHADOW DIAGRAM SCALE 1:200 @ A3 DRAWN LC **DA.08(A)**

⊗ **Shadow Diagram 9am** Scale 1:200

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.
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Legend

[Light Grey] Existing shadow at 12noon on 21st June

[Dark Grey] Proposed shadow at 12noon on 21st June

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133 GARDEN STREET, NORTH NARRABEEN

DEVELOPMENT APPLICATION

SHADOW DIAGRAM SCALE 1:200 @ A3

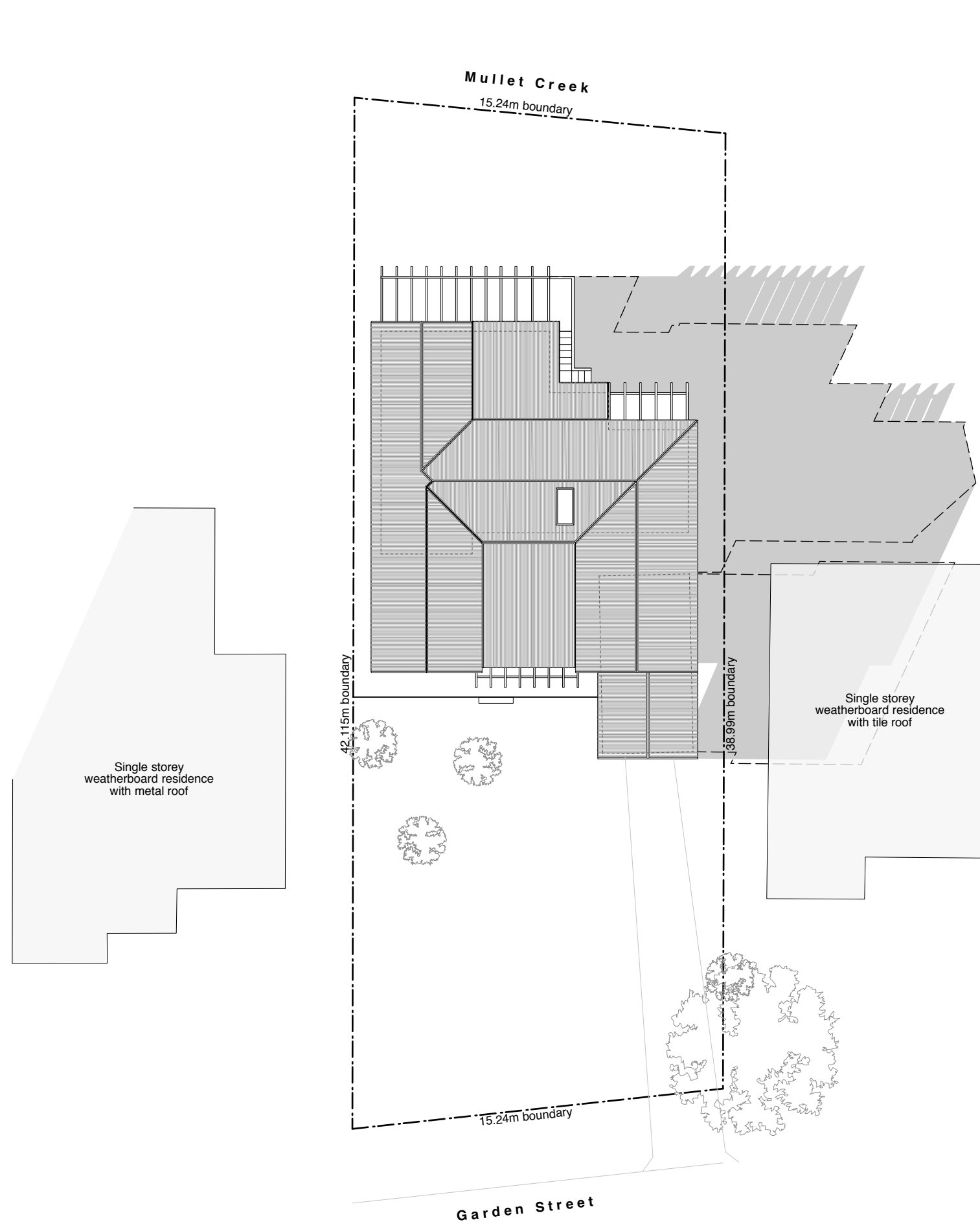
DRAWN LC

DA.09(A)

⊗ **Shadow Diagram 12noon** Scale 1:200

All works to be in accordance with Australian Standards , The Building Code of Australia, other relevant codes , and with Manufacturers' recommendations and instructions .

Do not scale from drawings . Verify all dimensions on site prior to construction .



Legend

Existing shadow at 3pm on 21st June

Proposed shadow at 3pm on 21st June

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DEVELOPMENT APPLICATION

SHADOW DIAGRAM
SCALE 1:200 @ A3

DRAWN
LC

DA.10(A)

Shadow Diagram 3pm Scale 1:200

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions.

Do not scale from drawings. Verify all dimensions on site prior to construction.

DA AREA COMPLIANCE TABLE

	SITE AREA	LANDSCAPE AREA
CONTROL		
PROPOSED	613.3M2	50% SITE = 306.65M2 306M2 (50%)

LEGEND
SURFACES

- CONCRETE DRIVEWAY
- CONCRETE PATH
- MULCHED GARDEN BED

- SANDSTONE 'LOG' RETAINING WALL
MAX HEIGHT 900mm
- SIR WALTER BUFFALO LAWN AREA

- EXISTING TREE OR SHRUB
- PROPOSED CANOPY TREE

NOTE: Refer to Arboricultural Impact Assessment prepared by Graham Brooks regarding existing trees on site

PLANT
SCHEDULE

PLANT (BOTANICAL NAME)	COMMON NAME	SIZE	QUANTITY
Alcantarea	Giant Bromeliad	300mm	5
Angophora costata	Smooth barked Angophora	300mm	1
Ozothamnus diosmifolium	Paper Daisy	140mm	20
Ficinia nodosa	Club rush	140mm	40
Veronica plebaeia	Native Veronica	140mm	45

Proposed shade garden below

Retain existing concrete path and stairs

Proposed supplemental shrub and groundcover planting

MULLET CREEK

Replace existing timber retaining wall with proposed 1m x 0.5m x 0.5m Sandstone log retaining wall

Proposed Sir Walter Buffalo turf

Proposed concrete pathway on grade

Proposed supplemental shrub and ground covers planting

Proposed 1m x 0.5m x 0.5m Sandstone log retaining wall

Proposed supplemental shrub and ground covers planting

Proposed concrete driveway

Retain and protect existing entry retaining wall and fence

GARDEN STREET

STATUS

DA

WARNING

Beware of underground services. The location of underground services are indicative only. Their exact position should be proven on site.
Contractor to verify all dimensions on site before commencing work. Report all discrepancies to superintendent prior to construction. Figured dimensions to be taken in preference to scaled drawings. All drawings may not be reproduced or distributed without prior permission from the landscape architect.

DATE	REV	AMENDMENTS
18/10/19	2	Building Footprint

CONSULTANTS

LAURA COOK

KEY PLAN

canvass
LANDSCAPES

47 Tasman Rd Avalon 2107
T 0410 138 977
canvasslandscapes@gmail.com
abn. 57 645 191 041

CLIENT

Mr & Mrs Price

PROJECT

133 Garden Street
North Narrabeen

DRAWING

Site Plan -

ADDRESS

133 Garden Street
North Narrabeen

DRAWN CHECKED SCALE

HS SR 1:200 @ A3

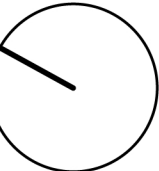
PLOT DATE JOB NO. CLIENT REF.

281021 180703

DRAWING NO. REVISION

DA14

01



1:200 @ A3

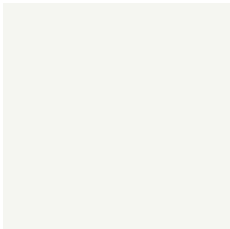
Northern Beaches Council
1 Park Street
Mona Vale NSW 2103
Phone 9970 1111

Schedule of Finishes

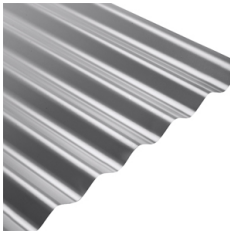
Alterations and additions to existing residence at 133 Garden Street, North Narrabeen September 2019



Proposed external cladding and paint colour



Proposed window frames and timber detailing



Proposed colorbond roofing
Colorbond Basalt
Solar Absorbance 0.69
BCA Classification D
BASIX Classification M



Proposed guttering
As above