

BASIX' commitments

Assessor	Mr. Daniel Warda
Date	08 / 08 / 2021
BASIX Certificate No.	1229738S
NatHERS Certificate No.	0006329890

project details

Site Address	Lot 8, 12 Boyer Road, Beacon Hill NSW 2100
Municipality	Northern Beaches
Reference	29915048

thermal comfort

Floors	300mm Waffle Pod Slab as per job number 29915048
Ceiling between Floors	N/A
External Walls	R1.5 Bulk Insulation to all external walls Medium
Internal Walls	Same value as external walls applied to Garage internal walls only
Ceilings	R3.5 Bulk Insulation to all trussed ceilings over living areas
Roof	Concrete Roof Tiles & Colorbond Medium
Roof Insulation	Sarking
Stegbar Windows (Aluminium Framed - Standard 3mm Clear)	U - Value: 6.5 SHGC: 0.65
• To all awning & fixed windows excluding any mentioned below	
Stegbar Sliding Door (Aluminium Framed - Standard 5mm Clear)	U - Value: 6.3 SHGC: 0.72
• To all sliding doors excluding any mentioned below	
Stegbar Window (Aluminium Framed - Standard 3mm Clear)	U - Value: 6.3 SHGC: 0.73
• To all sliding windows excluding any mentioned below	
Note: U-Value may be lower but not higher than the nominated values	
Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only	
Skylights	N/A

water

energy

Landscape Area	250m ²	Hot Water System	Gas Instantaneous 8 Stars
W.C's	4 Star	Cooling System	3-Phase Ducted Air-Con EER 3.0-3.5
Kitchen Taps	4 Star	Heating System	3-Phase Ducted Air-Con EER 3.0-3.5
Shower Heads	3 Star (>7.5 but <=9L/min)	Ventilation	As Per Basix Assessment
Basin Taps	4 Star	PV System	N/A
Alternative Water	2000L Rain Water Tank	Cooking	Gas Cooktop & Electric Oven
Min. Roof Area To Tank	130m ²	Drying	Outdoor Clothesline
Alt. Water Uses	Garden W.C & Laundry	Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



0006329890 06 Aug 2021
Assessor Daniel.Warda
Accreditation No. 101182
Address
Boyer Road , Beacon Hill ,
NSW , 2100

hstar.com.au

AREAS

SITE:	558.10 m ²
GROUND FLOOR:	161.02 m ²
FIRST FLOOR:	171.56 m ²
GARAGE:	37.64 m ²
PORCH:	6.48 m ²
BALCONY:	5.20 m ²
ALFRESCO:	20.31 m ²
	m ²
TOTAL:	402.21 m ²

									2.4	NEIGHBOUR NOTIFICATION PLAN
									2.3	SHADOW DIAGRAM
									2.2	SITE ANALYSIS PLAN
									2.1	CONSTRUCTION MANAGEMENT
									10	WET AREA DETAILS
									9	WET AREA DETAILS
									8	ELECTRICAL LAYOUT
									7	SECTION
									6	ELEVATIONS
									5	ELEVATIONS
									4	FIRST FLOOR PLAN
									3	GROUND FLOOR PLAN
									2	SITE PLAN
									1	COVER SHEET
									SHEET	DESCRIPTION
CLIENT'S SIGNATURE: _____				REV	DATE	AMENDMENTS			BY	

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
MADISON 37
Arlington
R/H Garage

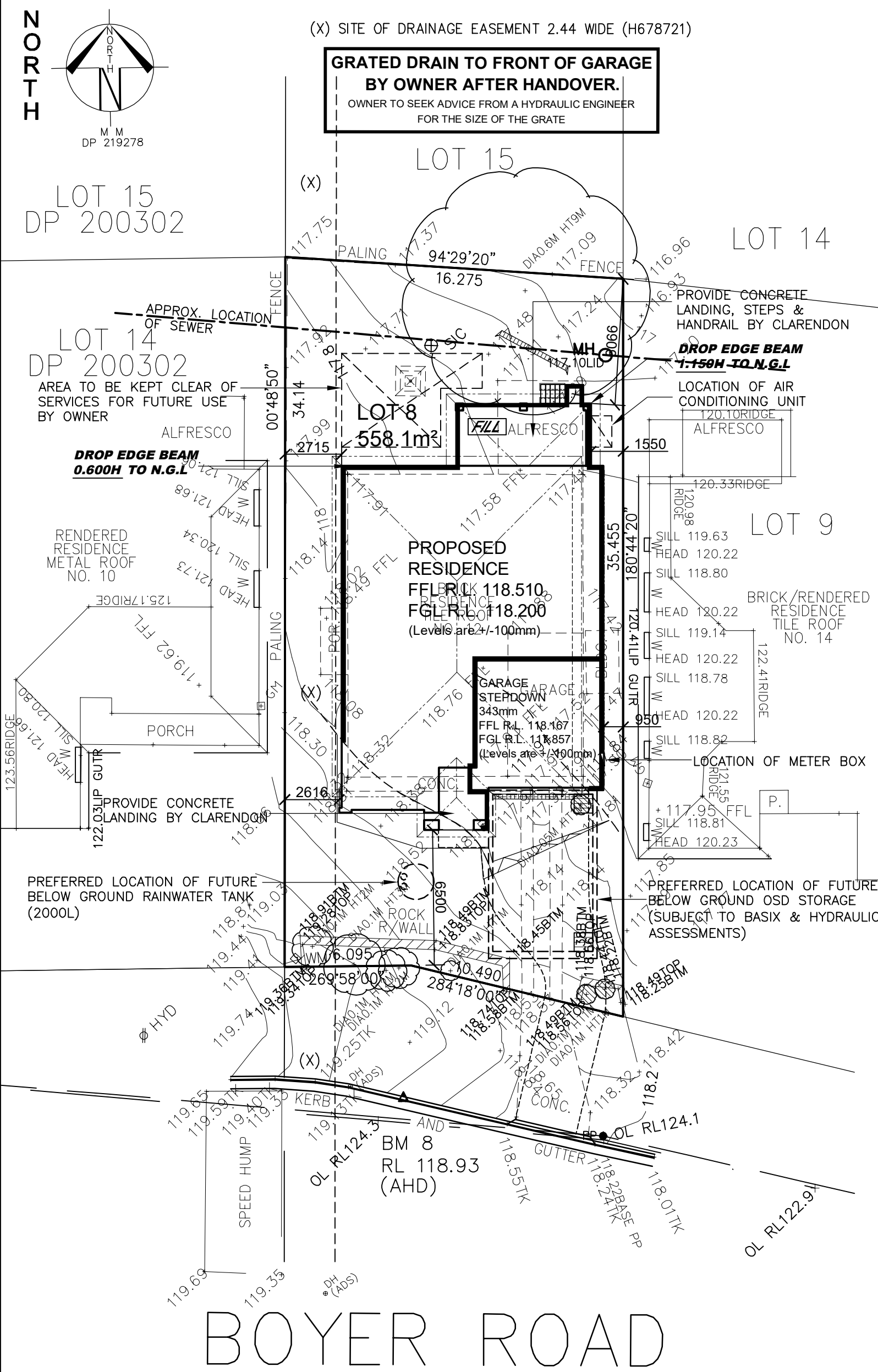
Sapphire Specification
Master Issued: 29.01.21 Revision: B

CLIENT:
Mr. BENNETT
Mrs. BENNETT

SITE ADDRESS:
Lot 8 No.12 DP 219278
Boyer Road
BEACON HILL 2100

DA DRAWINGS

DRAWN: PG.	DATE: 13.07.21	Rev: H
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29915048	NSW



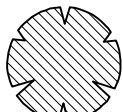
LOT 8
D.P: 219278
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	558.1 m ²
ROOF AREA	244.8 m ²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	249.7 m ² 44.7 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	149.1 m ²
MIN. REQUIRED BY COUNCIL:	60 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	244.8m ²
DRIVEWAY/ PAVED AREAS:	46.7m ²
TOTAL:	291.5m ² 52.2 %
MAX SITE COVERAGE FOR OSD:	40%

****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT
**REFER TO PAGE 7 FOR
DRIVEWAY PROFILE**

 DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
DISPERSAL TRENCH VIA
O.S.D**
REFER TO HYDRAULIC DETAILS

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
MADISON 37
Arlington
R/H Garage

Sapphire Specification

CLIENT:
Mr. BENNETT
Mrs. BENNETT

SITE ADDRESS:
Lot 8 No.12 DP 219278
Boyer Road
BEACON HILL 2100

DA DRAWINGS			
DRAWN: SB	DATE: 13.07.21	Rev: H	
RATIO @ A3: 1:200	CHECKED: BG		
SHEET: 2	JOB No: 29915048	NSW	



SMOKE ALARM

ARTICULATION JOINTS TO
ENGINEERS DETAILS

- DP ° DOWN PIPE
LOCATION
- TAP X GARDEN TAP
LOCATION
- L.O.F. LIFT OFF
HINGES
- SP STEEL POST
- TSP TELESCOPIC
STEEL POST
- ⊗ EXHAUST FAN

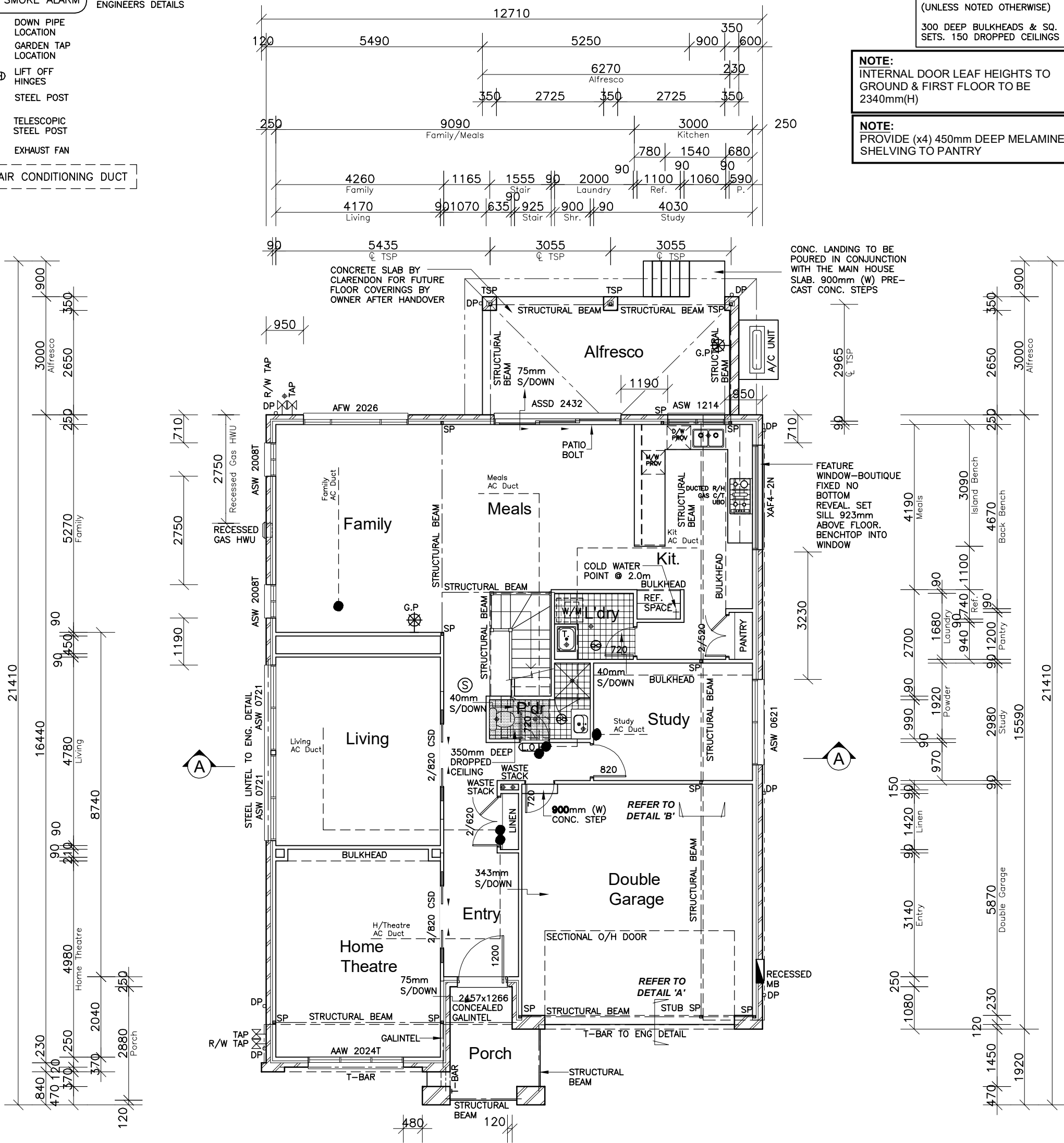
AIR CONDITIONING DUCT

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO PANTRY



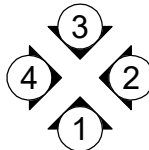
CONC. LANDING TO BE
POURED IN CONJUNCTION
WITH THE MAIN HOUSE
SLAB. 900mm (W) PRE-
CAST CONC. STEPS

FEATURE
WINDOW-BOUTIQUE
FIXED NO
BOTTOM
REVEAL. SET
SILL 923mm
ABOVE FLOOR.
BENCHTOP INTO
WINDOW



NOTE:
PROVIDE GREY EPOXY FLOOR FINISH
TO GARAGE ONLY

GROUND FLOOR PLAN



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DRAWN:

PG.

DATE:

13.07.21

Rev:

H

RATIO @ A3:

CHECKED:

J.S

SHEET:

JOB No:

29915048

NSW

(S) SMOKE ALARM

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

LIFT OFF HINGES

SP STEEL POST

TSP TELESCOPIC STEEL POST

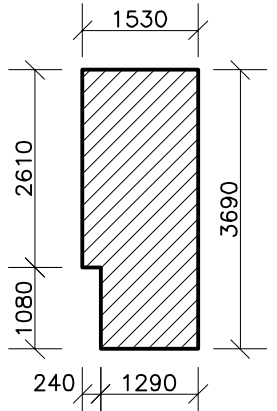
EXHAUST FAN

ARTICULATION JOINTS TO ENGINEERS DETAILS

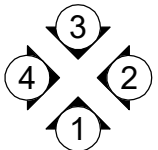
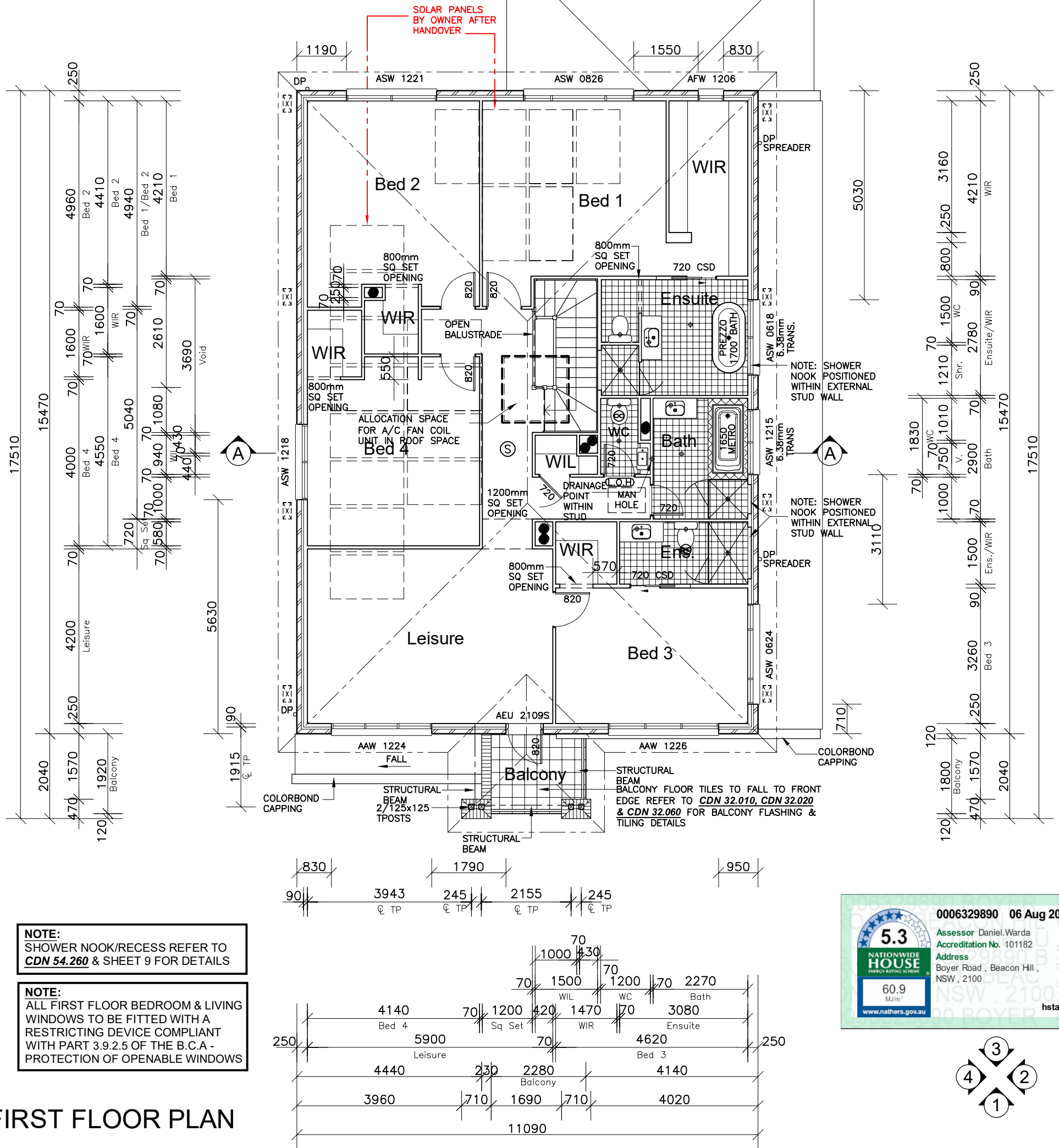
AIR CONDITIONING DUCT

400x200mm
EAVE VENT

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



STAIR CUTOUT
SCALE 1:100



FIRST FLOOR PLAN

CLIENT'S SIGNATURE: DATE:

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DA DRAWINGS

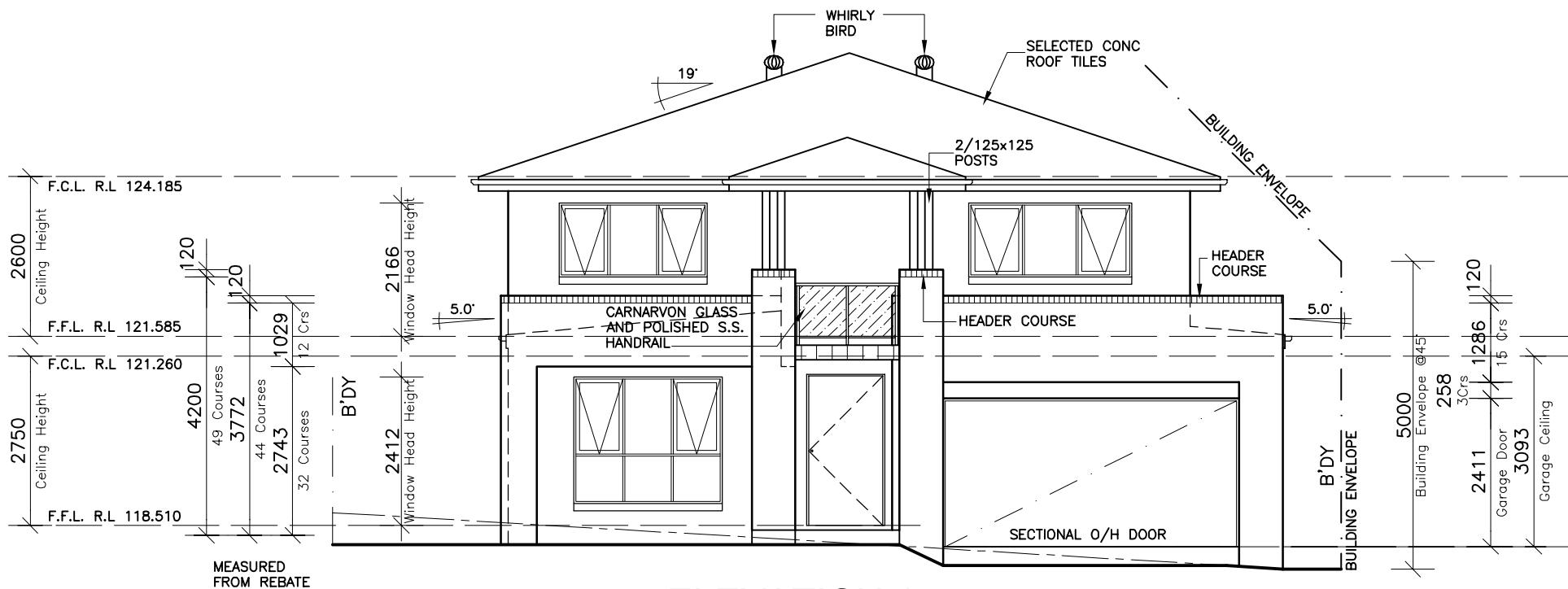
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RATIO @ A3: 1:100	CHECKED: J.S	H
SHEET: 4	JOB No: 29915048	NSW

DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
LAMINATED GLAZING

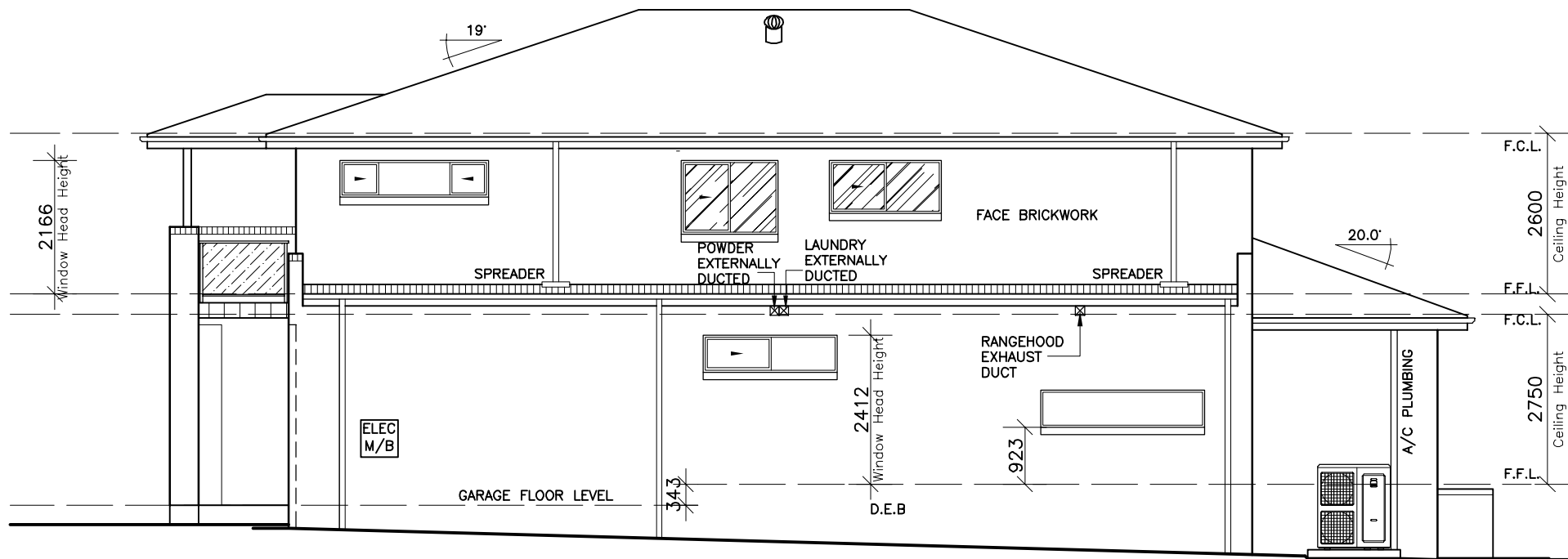
NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-

0006329890 06 Aug 2021

Assessor Daniel Warda
Accreditation No. 101182
Address
Boyer Road, Beacon Hill,
NSW, 2100

5.3
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
60.9
Mum
www.nathers.gov.au

hstar.com.au

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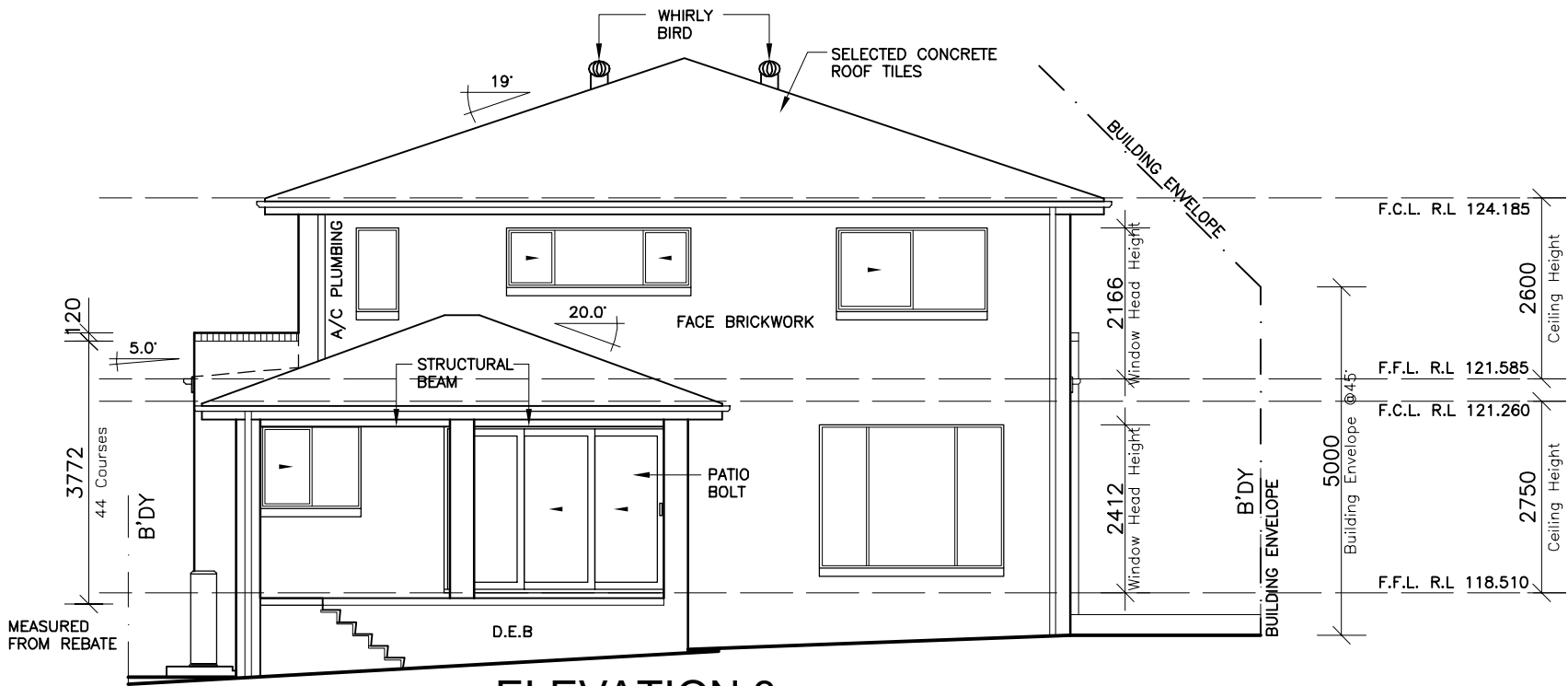
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Boyer Road
BEACON HILL 2100

DA DRAWINGS			
DRAWN: PG.	DATE: 13.07.21	Rev: H	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 5	JOB No: 29915048	NSW	

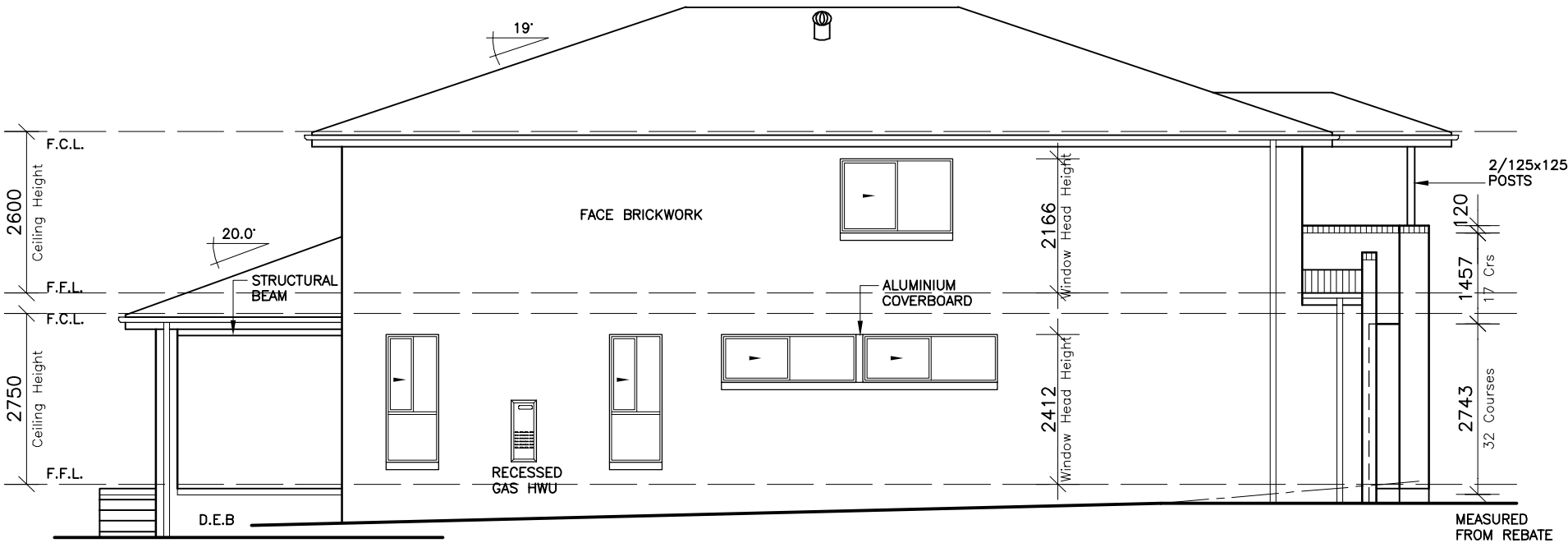
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CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-



CLIENT'S SIGNATURE: _____ DATE: _____

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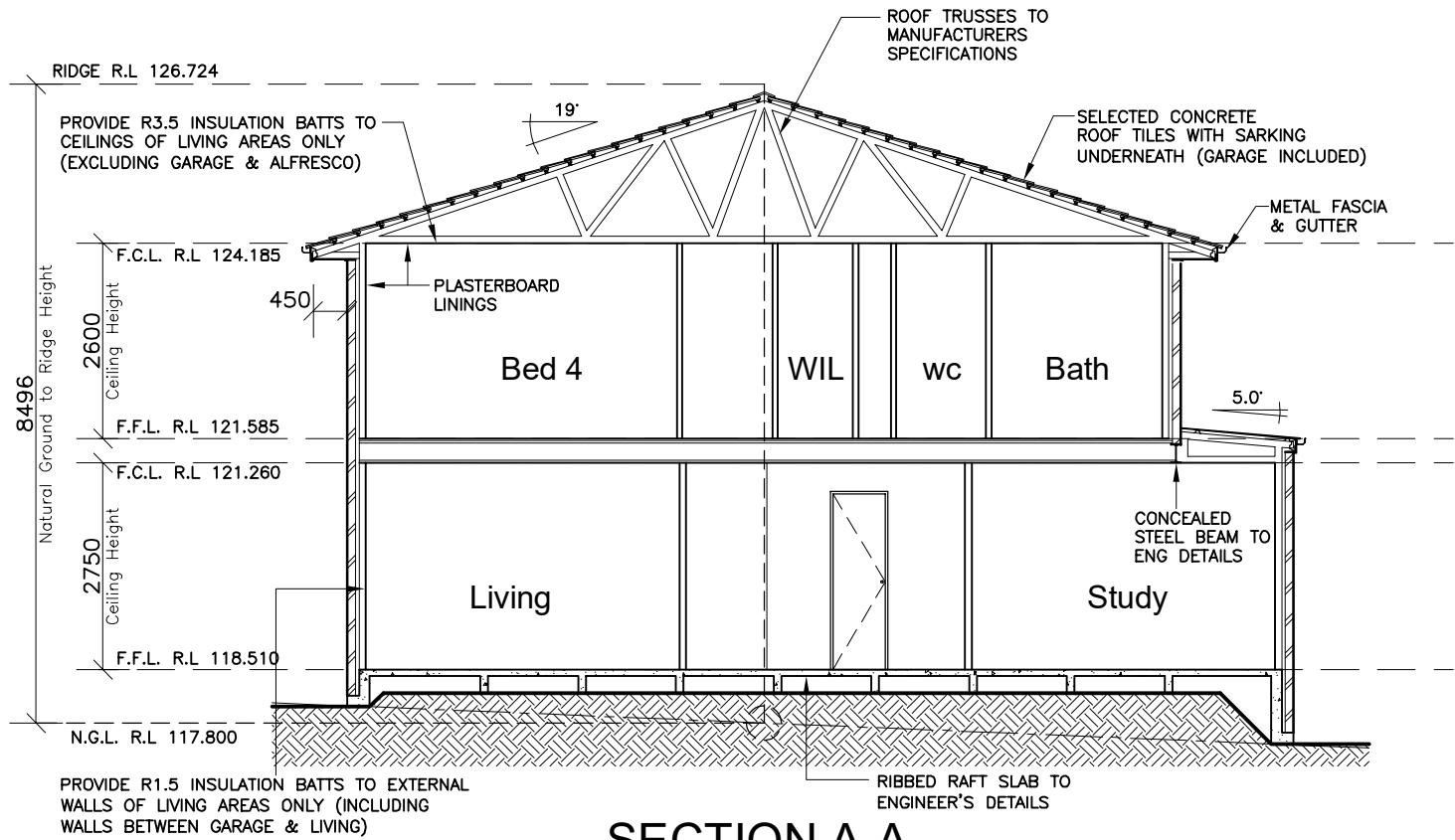
Sapphire Specification

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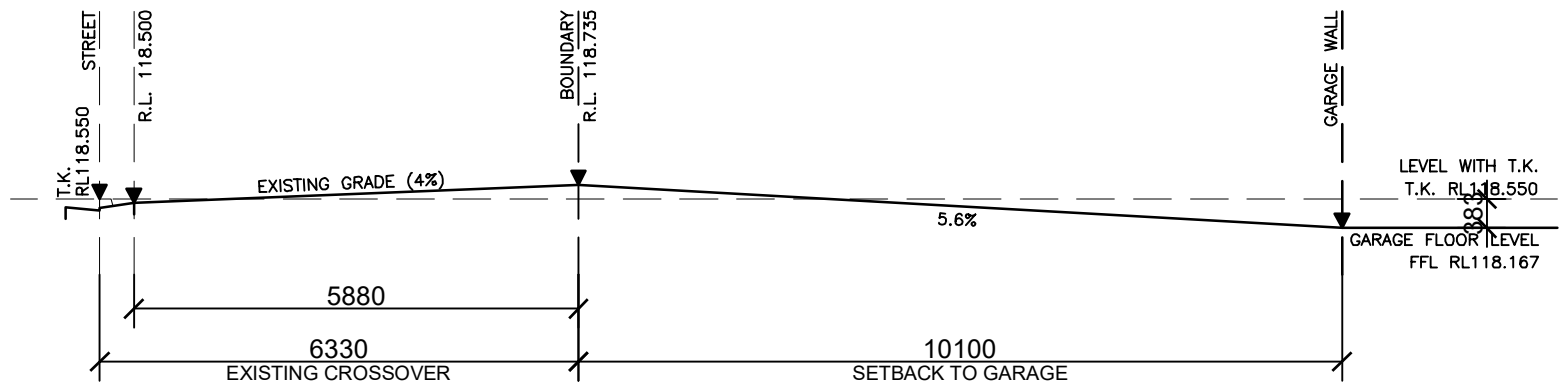
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RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29915048	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

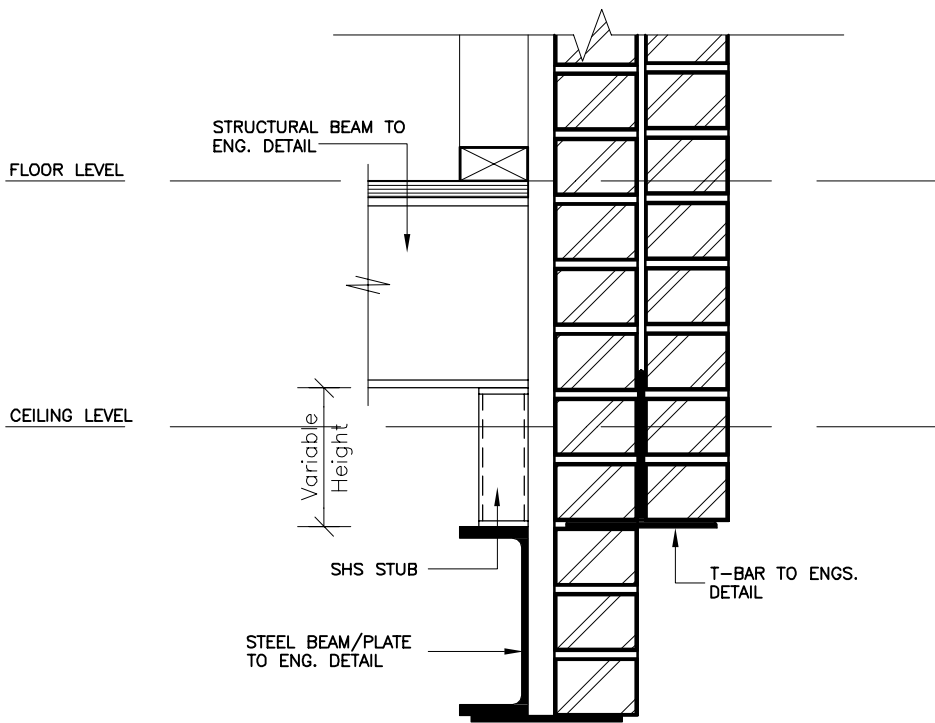


SECTION A-A.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100



GENERIC STEEL BEAM SHOWN FOR
ILLUSTRATION PURPOSES ONLY.
REFER TO ENGINEERS DETAILS

DETAIL 'A'

SCALE 1:10

0006329890 06 Aug 2021

Assessor: Daniel Warda
Accreditation No. 101182
Address: Boyer Road, Beacon Hill, NSW, 2100

5.3
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
60.9
MJ/m²
www.nathers.gov.au

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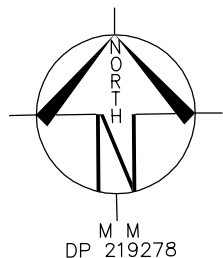
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SHEET: 7	JOB No: 29915048	NSW

NORTH



LOT 8
D.P: 219278
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 15
DP 200302

LOT 15

LOT 14

LOT 14
DP 200302

APPROXIMATE LOCATION
OF SEDIMENT FENCE

LOT 8
558.1m²

PROPOSED
RESIDENCE
FFL R.L. 118.510
FGL R.L. 118.200
(Levels are +/-100mm)

GARAGE
STEPDOWN
343mm
FFL R.L. 118.167
FGL R.L. 117.857
(Levels are +/-100mm)

LOT 9

SEDIMENT FENCE AROUND
WASTE MATERIALS

PORTABLE TOILET

ALL WEATHER
ACCESS POSITION

BOYER ROAD

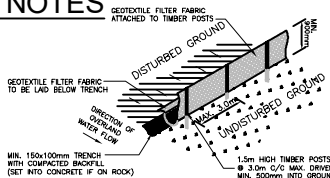
CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

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Arlington
R/H Garage

Sapphire Specification

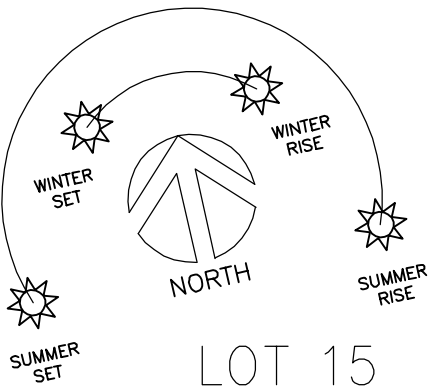
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RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.1	JOB No: 29915048	NSW

NORTH



5.3

NATIONWIDE HOUSE

ENERGY RATING SCHEME

60.9 MJ/m²

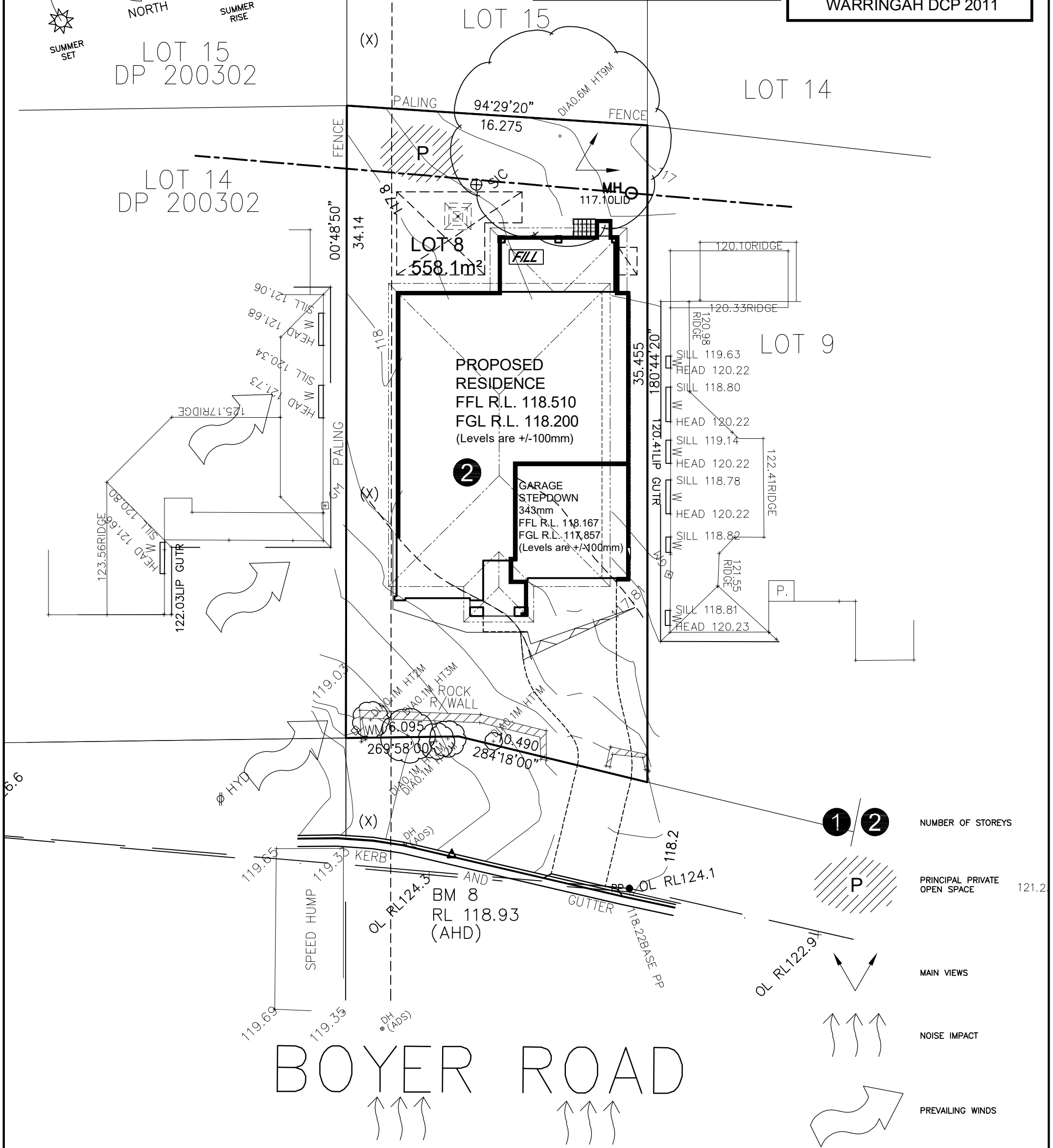
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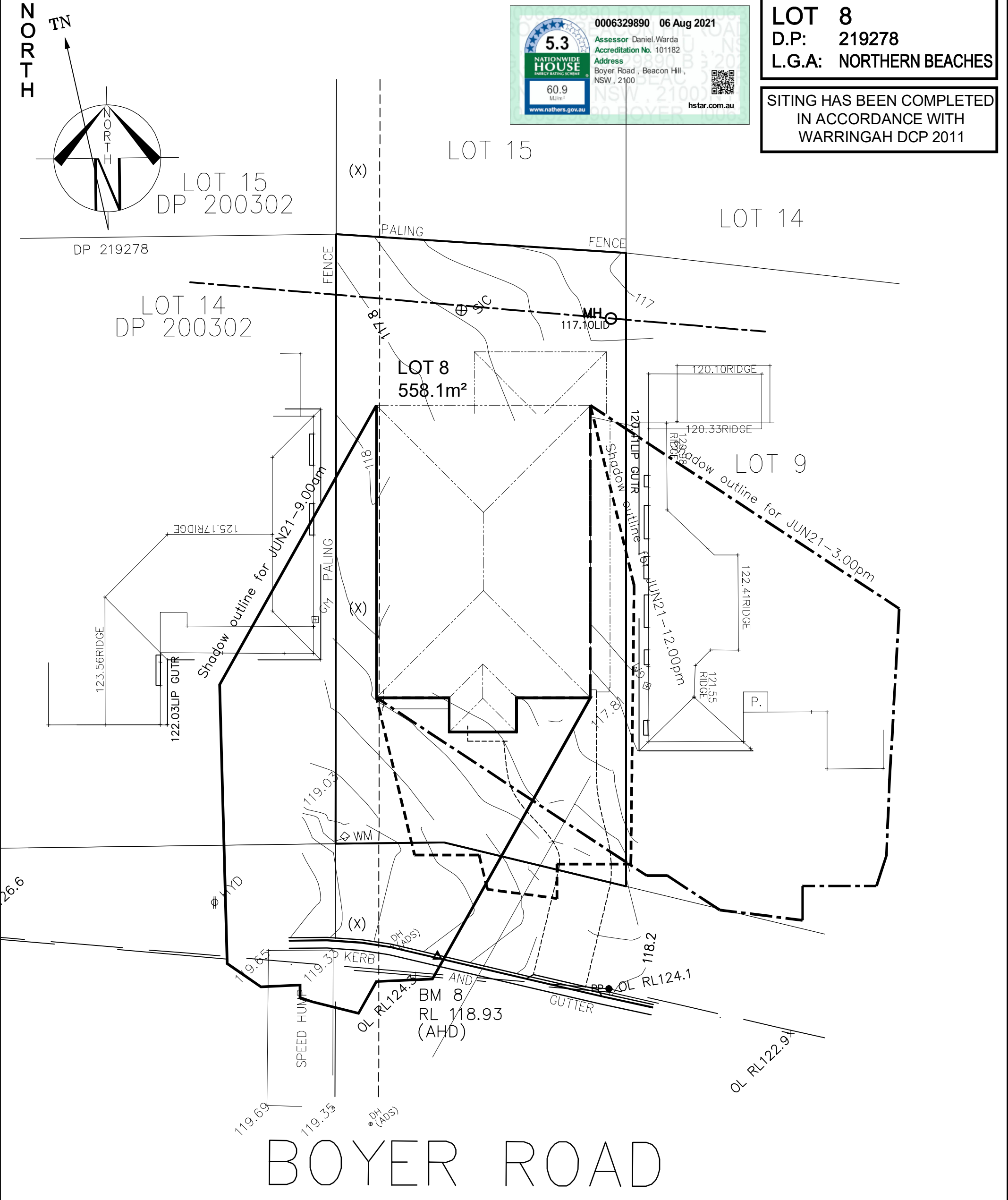
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED</div> <div>This plan is the property of CLARENDON HOMES (NSW) P/L</div> <div>Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div> <div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>MADISON 37</div> <div>Arlington</div> <div>R/H Garage</div> <div>Sapphire Specification</div>	<div>CLIENT:</div> <div>Mr. BENNETT</div> <div>Mrs. BENNETT</div> <div>SITE ADDRESS:</div> <div>Lot 8 No.12 DP 219278</div> <div>Boyer Road</div> <div>BEACON HILL 2100</div>	DA DRAWINGS		
				DRAWN: PG.	DATE: 13.07.21	Rev: H
				RATIO @ A3: 1:200	CHECKED: J.S	
				SHEET: 2.2	JOB No: 29915048	NSW



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____		DATE: _____				DA DRAWINGS					
<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>		<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>		<div>PRODUCT:</div> <div>MADISON 37 Arlington R/H Garage</div> <div>Sapphire Specification</div>		<div>CLIENT:</div> <div>Mr. BENNETT Mrs. BENNETT</div> <div>SITE ADDRESS:</div> <div>Lot 8 No.12 DP 219278 Boyer Road BEACON HILL 2100</div>		DRAWN: PG.		DATE: 13.07.21	Rev: H
								RATIO @ A3: 1:200		CHECKED: J.S	
								SHEET: 2.3		JOB No: 29915048	

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



LOT 14
DP 200302

LOT 15

ELEVATION 1
-SOUTH-

LOT 14

LOT 9

ELEVATION 3
-NORTH-

ELEVATION 4
-WEST-

ELEVATION 2
-FAST-

CLIENT'S SIGNATURE: _____ DATE: _____

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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**# ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN REFERENCE TO SCALING.**

PRODUCT:
MADISON 37
Arlington
R/H Garage

Sapphire Specification

CLIENT: Mr. BENNETT Mrs. BENNETT
SITE ADDRESS: Lot 8 No.12 DP 219278 Boyer Road BEACON HILL 2100

DA DRAWINGS

DRAWN: PG.	DATE: 13.07.21	Rev: H
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.4	JOB No: 29915048	NSW

5.3

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

60.9

MJ/m²

www.nathers.gov.au

0006329890 06 Aug 2021

Assessor Daniel Warda
Accreditation No. 101182
Address
Boyer Road, Beacon Hill,
NSW, 2100

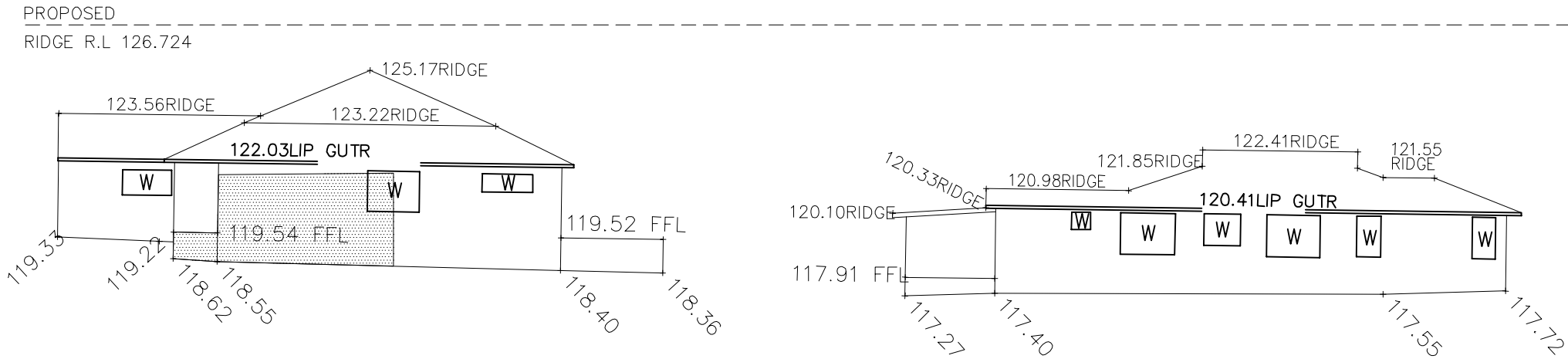
hstar.com.au

LOT 8

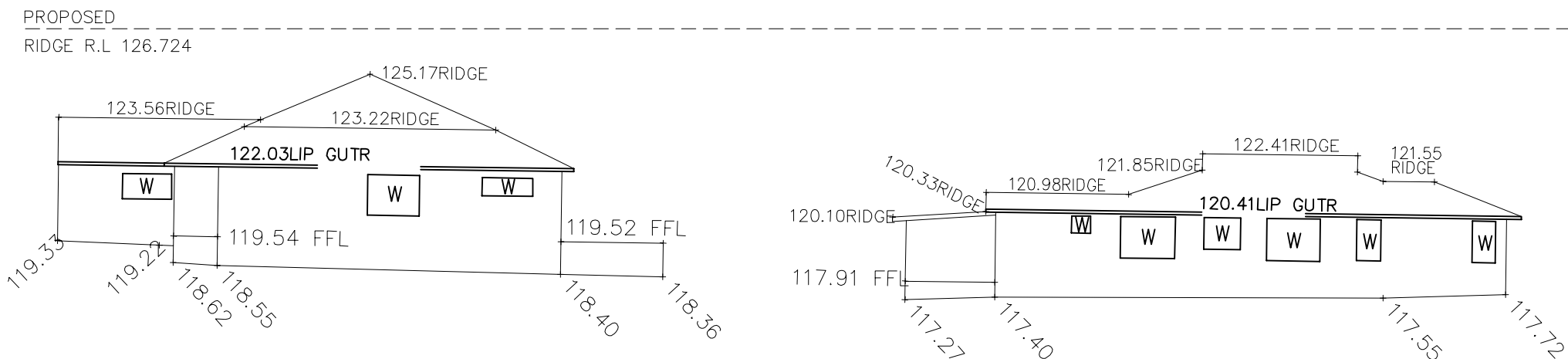
D.P: 219278

L.G.A: NORTHERN BEACHES

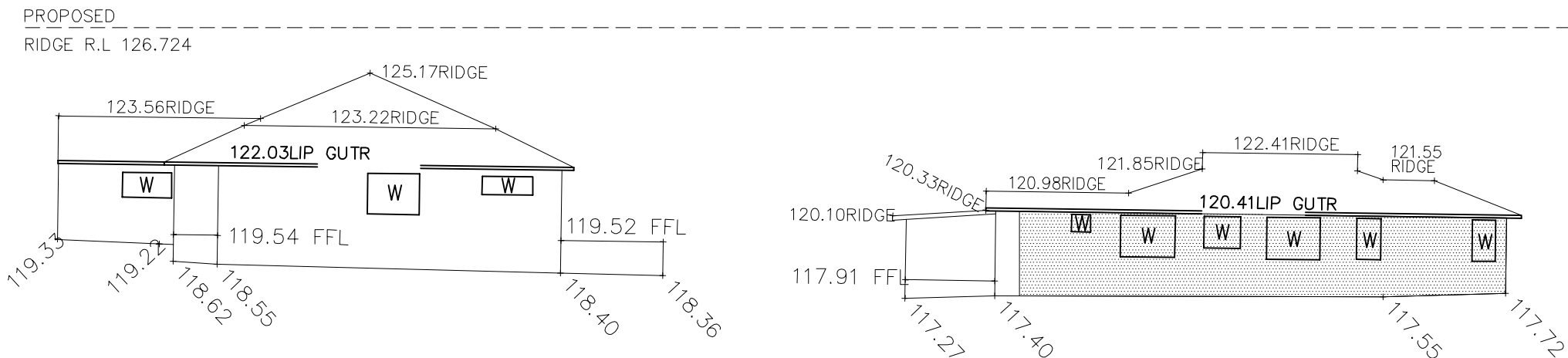
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



Shadow outline for JUN21-9.00am



Shadow outline for JUN21-12.00pm



Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____		DATE: _____				DA DRAWINGS		
<div><div>ClarendonHomes</div><div>BL No. 2298C ABN 18 003 892 706</div><div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div></div>		<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>		<div>PRODUCT: MADISON 37 Arlington R/H Garage Sapphire Specification</div>		CLIENT: Mr. BENNETT Mrs. BENNETT		Rev: H
						SITE ADDRESS: Lot 8 No.12 DP 219278 Boyer Road BEACON HILL 2100		
DRAWN: PG.		DATE: 13.07.21		CHECKED: J.S		JOB No: 29915048		NSW
RATIO @ A3: 1:200		SHEET: 2.5						