

# DEVELOPMENT APPLICATION

67 BEATRICE STREET, BALGOWLAH HEIGHTS 2093  
LOT 113 DP 9999



page 1 / 6

## BASIX®Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

### Alterations and Additions

Certificate number: A365607

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 05, December 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	67 Beatrice Street, Balgowlah Heights
Street address	67 Beatrice Street Balgowlah Heights 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 9999
Lot number	133
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	AENEC - Trading As Wide Spectrum Pty Ltd
ABN (if applicable):	612556377



## PLAN NUMBER

DA-001  
DA-002  
DA-003  
DA-004  
DA-005  
DA-006  
DA-007  
DA-008  
DA-009  
DA-010  
DA-011  
DA-012  
DA-013  
DA-014  
DA-015  
DA-016  
DA-017  
DA-018

## DESCRIPTION

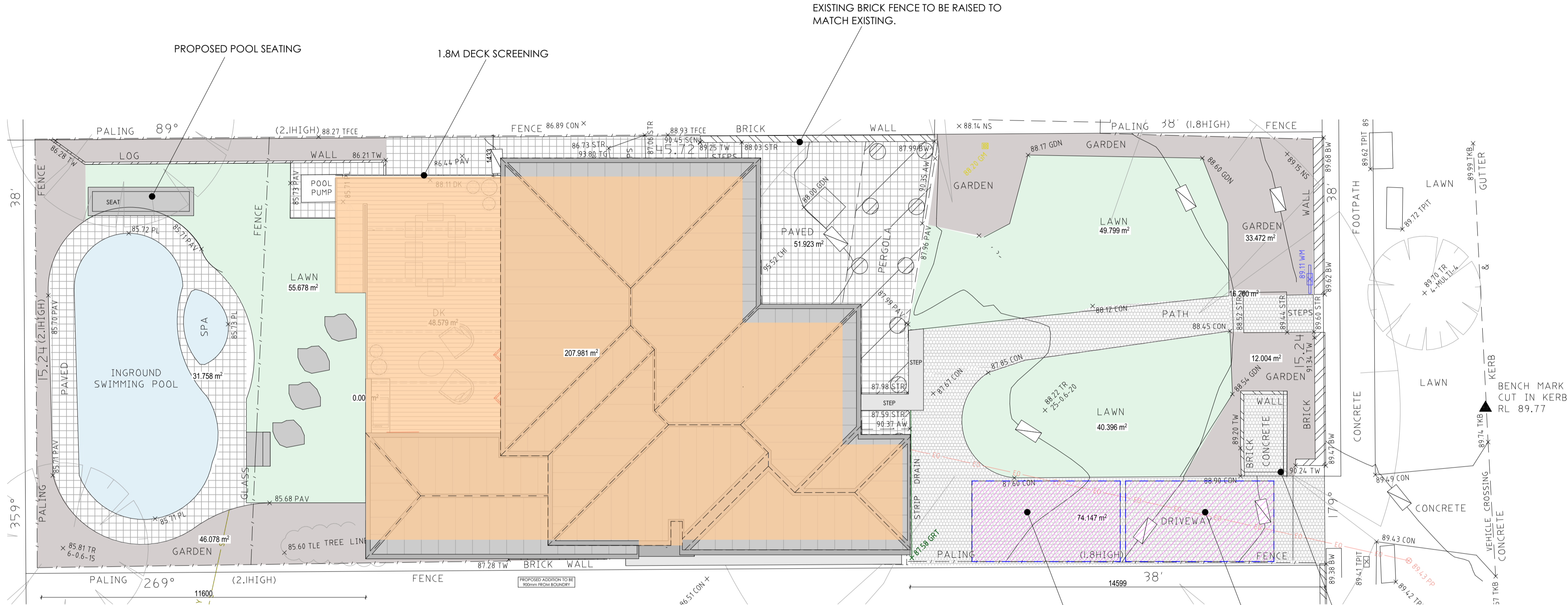
SITE ANALYSIS PLAN  
LANDSCAPE PLAN  
GROUND FLOOR SITE PLAN  
LOWER GROUND FLOOR PLAN  
GROUND FLOOR DEMOLITION PLAN  
GROUND FLOOR PROPOSED WORKS PLAN  
FIRST FLOOR SITE PLAN  
FIRST FLOOR DEMOLITION PLAN  
FIRST FLOOR PROPOSED WORKS PLAN  
FACADE PLAN WITH EXTERIOR FINISHES  
NORTH EXTERIOR ELEVATION EXISTING AND PROPOSED  
WEST REAR EXTERIOR ELEVATION EXISTING AND PROPOSED  
SOUTH ELEVATION EXISTING AND PROPOSED  
SHADOW DIAGRAM 0800  
SHADOW DIAGRAM 0900  
SHADOW DIAGRAM 1200  
SHADOW DIAGRAM 1500  
WINDOW AND DOOR SCHEDULE

DESCRIPTION.		DATE.	Conditions of Use		SCALE 1:50 @ A1				PROJECT TITLE. 67 BEATRICE ST BALGOWLAH HEIGHTS	DRAWING TITLE.		
A	ISSUED FOR COUNCIL REVIEW	08.10.19	This document may only be used as permitted by the terms of the Consultancy Agreement and for the purposes and stages of the Project for which it has been prepared and delivered by Mantalena Design Studio (MDS); and by authorized persons who agree to these conditions. Subject only to the Consultancy Agreement: 1. this document and all intellectual property rights in it remain the property of Mantalena Design Studio (MDS) and may not be changed, used, reproduced, provided or disclosed by or to any person without the written consent of Mantalena Design Studio, and only then with clear identification of Mantalena Design Studio (MDS) as author and owner and of all changes made. 2. each user must: (a) not scale any drawing, use figured dimensions only and verify all dimensions; (b) only use this document in conjunction with all other relevant Project documents, specifications and information from any person; (c) where this document is issued in electronic form, make all appropriate electronic data, systems and document checks and comply with all third party proprietary software requirements; (d) properly form their own opinion as to the correctness and sufficiency of the document for their purposes and notify Mantalena Design Studio immediately upon becoming aware of any issue; 3. to the maximum extent permitted by law, all conditions and warranties concerning this document are expressly excluded and each user accepts fully and will appropriately insure for all risks and releases and indemnifies (MDS) from and against all claims, liabilities, loss, costs and expenses arising out of or in connection with any use, reliance upon, reproduction or disclosure of or change to this document.		DEVELOPMENT APPLICATION						CLIENT NAME. HOLLY HEARNE & BRAD BURDEN	DRAWING NO.
					Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Designer for decision before proceeding with the work.							



LEGEND

- EXISTING LAWN - 121.22m<sup>2</sup>
- EXISTING POOL
- EXISTING PAVING - 114m<sup>2</sup>
- EXISTING GARDEN - 84m<sup>2</sup>
- EXISTING DRIVEWAY AND PATH TO BE RE-SURFACED - 70m<sup>2</sup>
- PROPOSED DECK - 48.6m<sup>2</sup>
- PROPOSED SITE COVERAGE - 222.5m<sup>2</sup>
- EXISTING SITE COVERAGE - 187.7m<sup>2</sup>



Banksia integrifolia - Coast Banksia



Clivia miniata yellow - Yellow Clivia

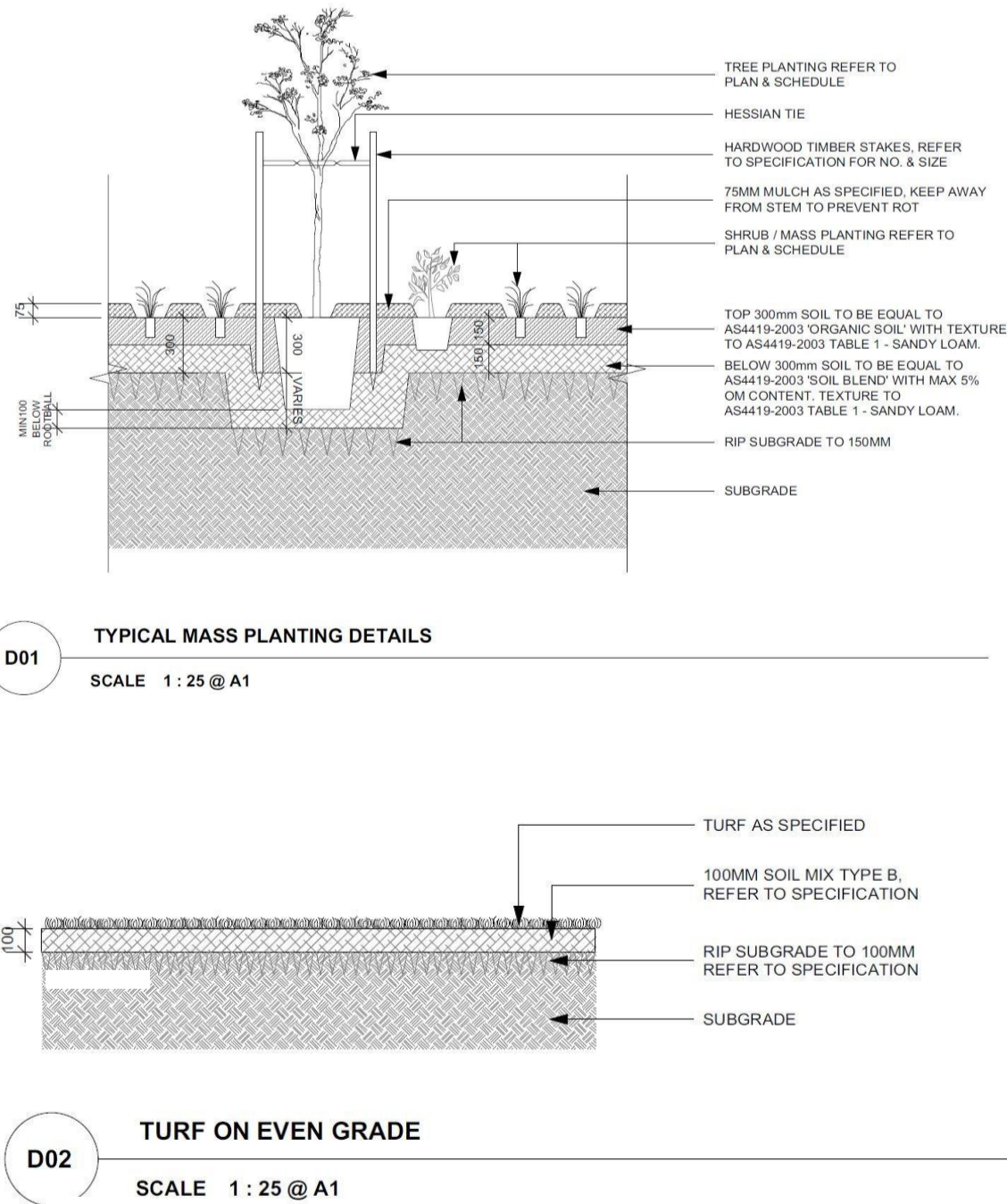


Anigozanthos mangslei - Red/Green Kangaroo Paw



Acmena smithii Minor - Dwarf Lilly Pilly


- 1. SITE PREPERATION**  
Area is to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leaving adequate time for the them to die off prior to removal. Final levels and grades are to be determined by a onsite inspection by the landscape contractor. The landscape plan is to be used as an indication only.
- 2. LAWN AREAS**  
Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 100mm depth of imported topsoil. Just prior to laying turf, spread 'Sir Lancher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Use Sir Walter Buffalo.
- 3. GARDEN AREAS**  
Ensure that mass planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie. no clay). Install 75mm depth of organic Eucalyptus Mulch.
- 4. SHRUB PLANTING**  
Plants should in good health and free of pests and diseases. An adequate size hole should be dug with the plant placed in the hole ensuring that the top of the pot is at the same height of the ground. Leave mulch free from around the base of the plants. Water well after planting
- 5. TREE PLANTING**  
Trees should be in good health and free of pests and diseases. The hole is to be dug to a depth and radius, twice the size of the rootball of the tree. Water the bottom of the hole to ensure that the natural soil is moist. The roots should be teased to ensure that they dont grow in a circular direction around the tree. The tree is to be planted so that the base of the tree is level with the topof the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.



AREA FOR CONSTRUCTION BIN DRIVEWAY TO BE PROTECTED

AREA FOR CONSTRUCTION DELIVERIES

PROPOSED SCREENING AROUND EXISTING BIN AREA

Project Specification	Form # AEB-3		Australian Energy Efficiency Consulting P.O. Box 1011 Double Bay, NSW 1360 E:info@aenec.com.au		P:0416 316 204	 www.aenec.com.au
	Project Address: 67 Beatrice Street, Balgowlah Heights BASIX CERTIFICATION NUMBER: A366607					
	This Project Specification outlines ONLY some of the BASIX commitments. For the full list, you must refer to BASIX document.					
External Walls Specification:						
Type	Material	Insulation	Colour	Detail		
Masonry	Brick Veneer	R1.16	-	As per drawings		
Framed	Framed	R1.30	-	As per drawings		
Internal Walls Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	Plasterboard	Nil	-	-		
Roof Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	As per Drawings	R3.00 + sarking	Dark	As per drawings		
Floors Specification:						
Type	Material	Insulation	Covering	Detail		
Framed	As per Drawings	Nil	-	Above dwelling - internal		
Framed	As per Drawings	R0.60	-	Above enclosed subfloor		
Masonry	Concrete	Nil	-	Slab on ground		
Window Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Timber	Single	5.71 or Lower	0.68 or Lower	See BASIX		
Timber	Single - Low E	3.99 or Lower	0.40 or Lower	See BASIX		
Skylight Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Timber	Double	5.71 or Lower	0.68 or Lower	See BASIX		
U Value: 4.30 or Lower		SHGC: 0.50 or Lower	Detail			
NOTES:						
1. ALL DOWNLIGHTS TO BE : APPROVED NON VENTILATED WITH FIRERATED COVER/SHIELD TO ALLOW CONTINUOUS INSTALLATION OF INSULATION						
2. ALL vents and/or wall openings to be the 'SEALED' type.						
3. All insulation is to be installed in accordance with AS/NZS 4859.1						
4. All windows to comply with AS2047						



PROPOSED ROOF COLOURBOND MONUMENT



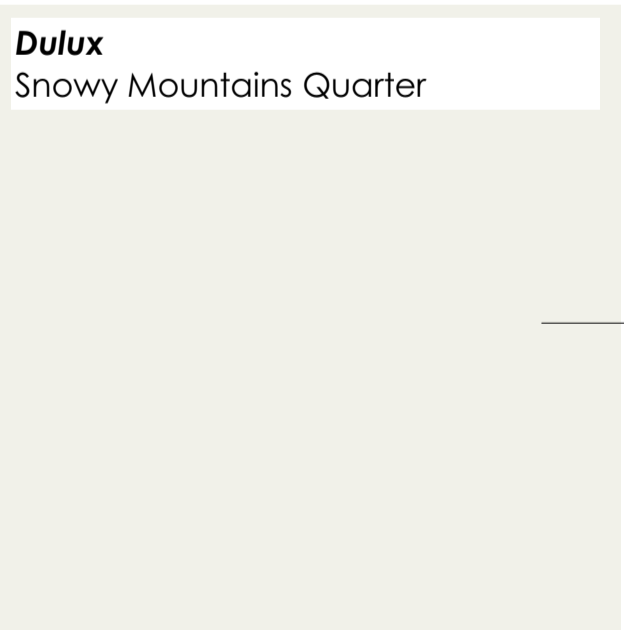
BAG RENDERED BRICK PAINTED  
SNOWY MOUNTAINS QUARTER



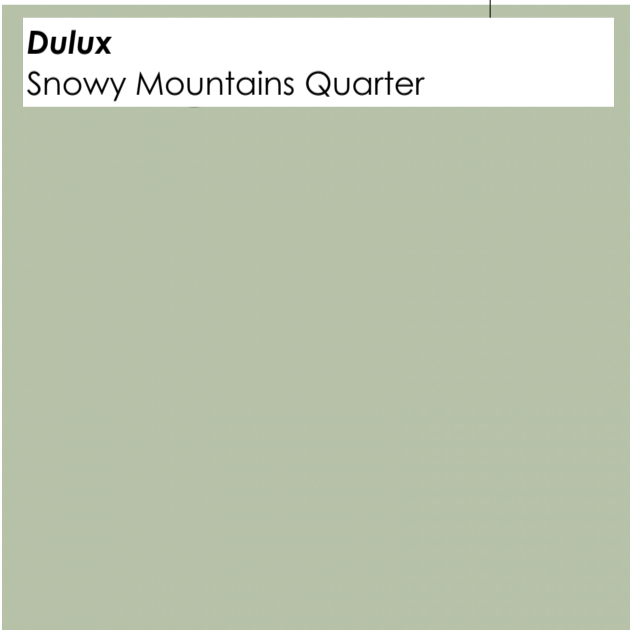
EXISTING FACADE



FACADE



WINDOW AND DOOR TRIMS



FRONT DOOR COLOUR



COLUMNS

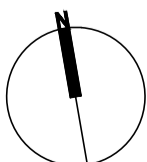
REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	08.10.19

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SCALE 1:50 @ A1

DEVELOPMENT  
APPLICATION

Figured dimensions take precedence to scale readings. Verify all dimensions on site.  
Report any discrepancies to the Designer for decision before proceeding with the work.



**MXM**  
W | WWW.MXMDSIGN.STUDIO  
E | ENQUIRIES@MXMDSIGN.STUDIO  
ABN | 48 630 675 339

PROJECT TITLE.  
67 BEATRICE ST  
BALGOWLAH HEIGHTS

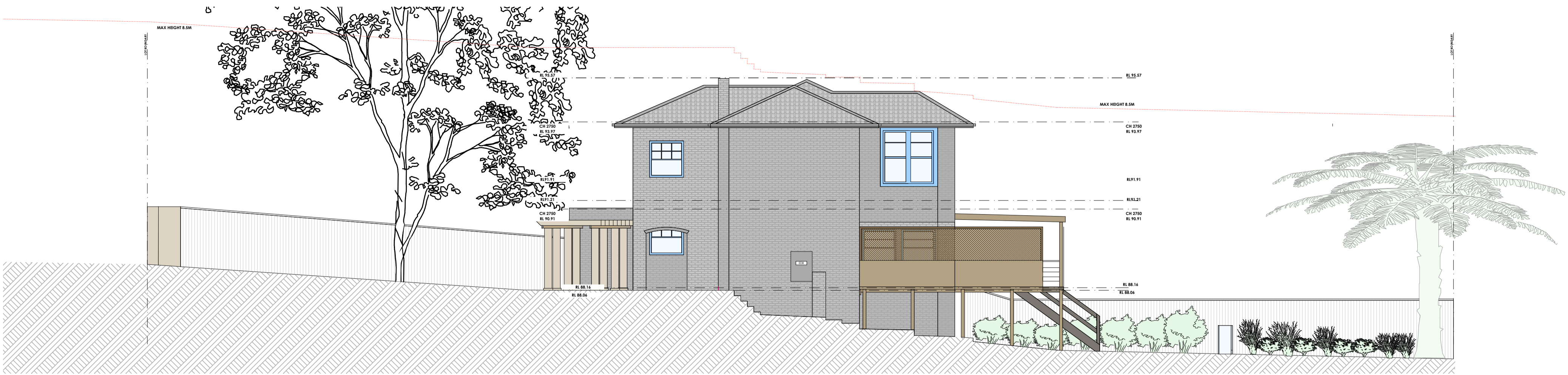
CLIENT NAME.  
HOLLY HEARNE &  
BRAD BURDEN

DRAWING TITLE.  
EAST ELEVATION - FACADE

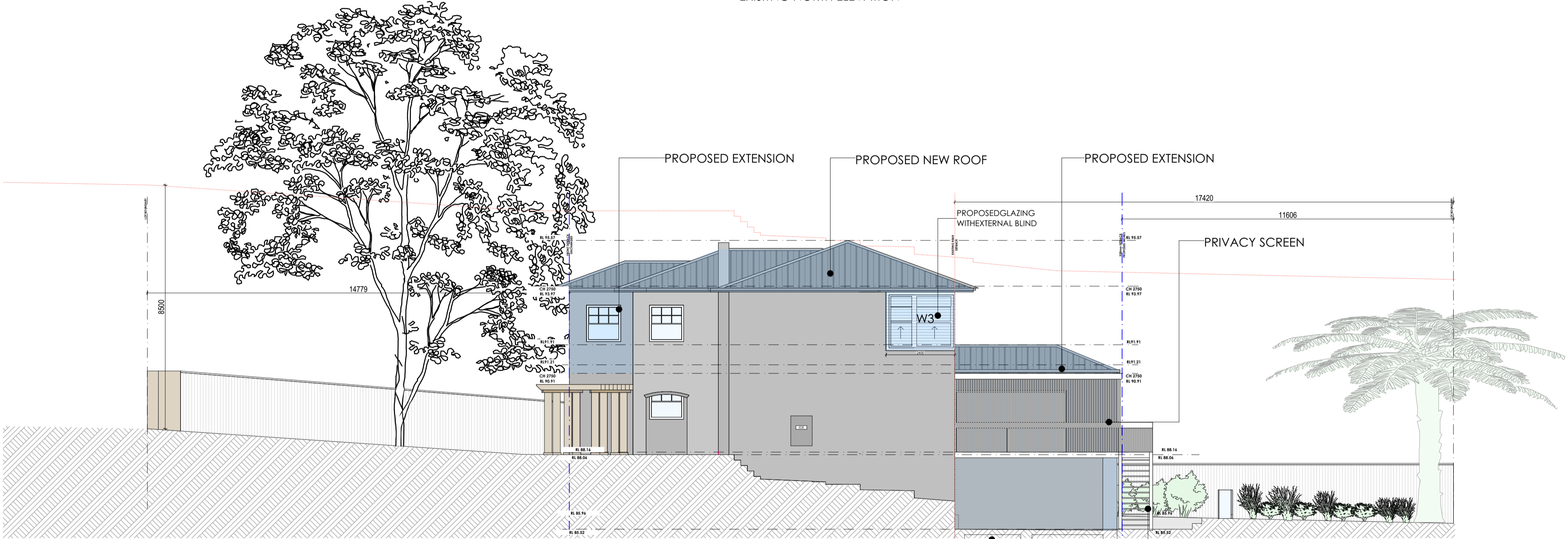
DRAWING NO.  
DA-010

DATE | 20.11.19  
REVISION | A  
SCALE | 1:50

at A1



EXISTING NORTH ELEVATION

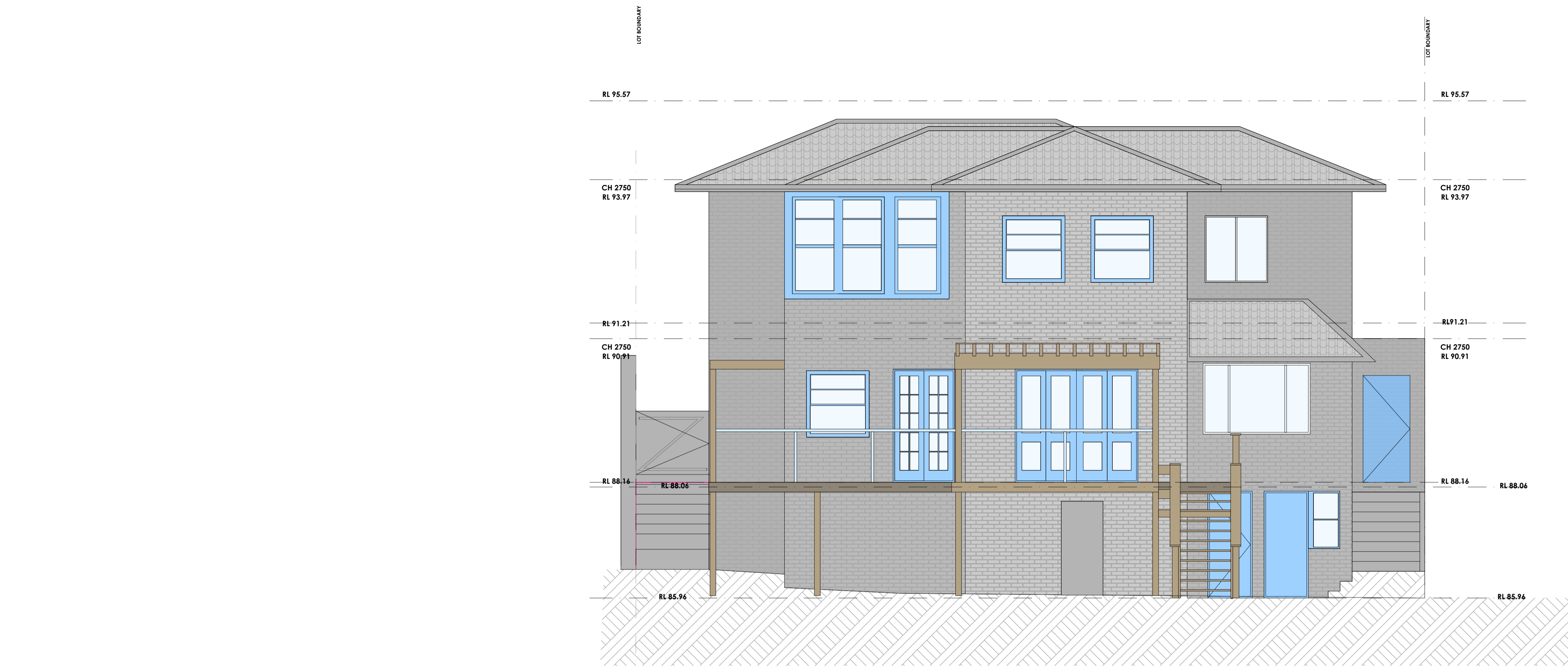


PROPOSED NORTH ELEVATION

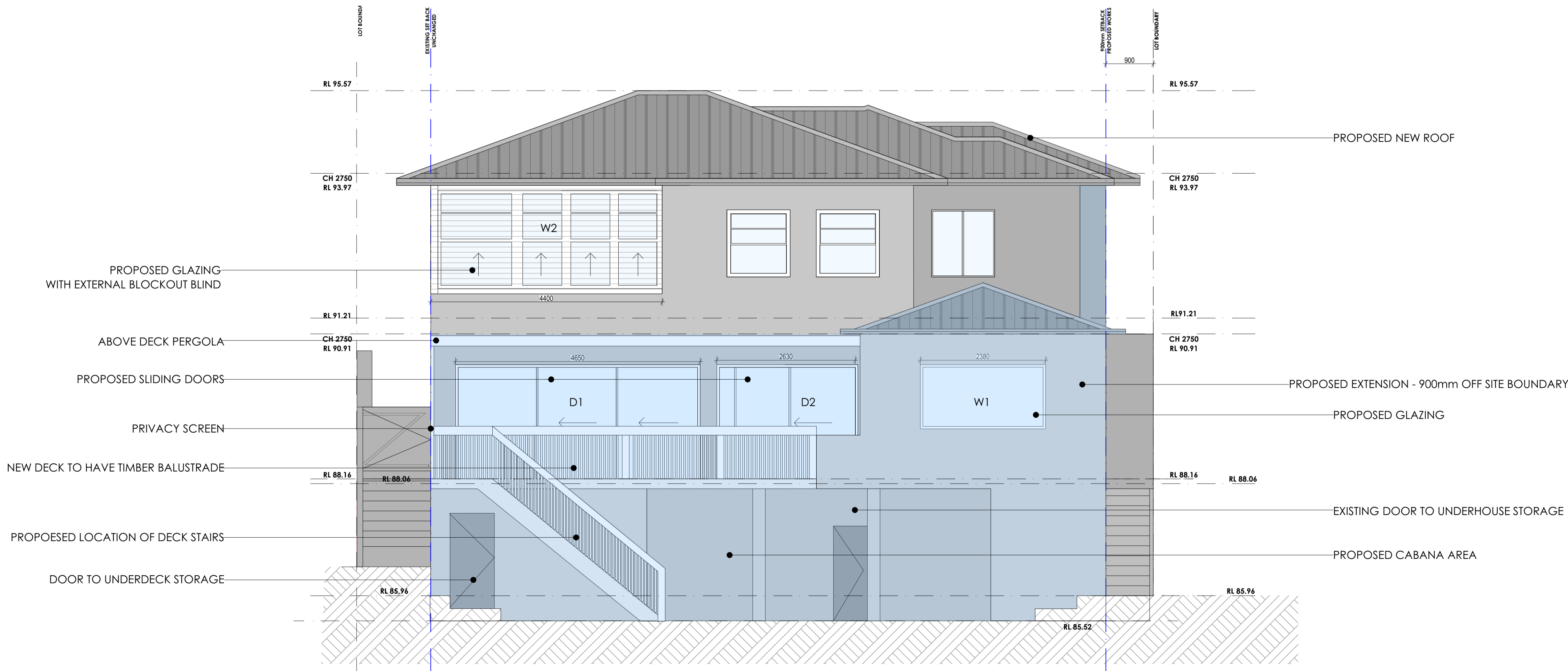


PROPOSED NORTH SECTION

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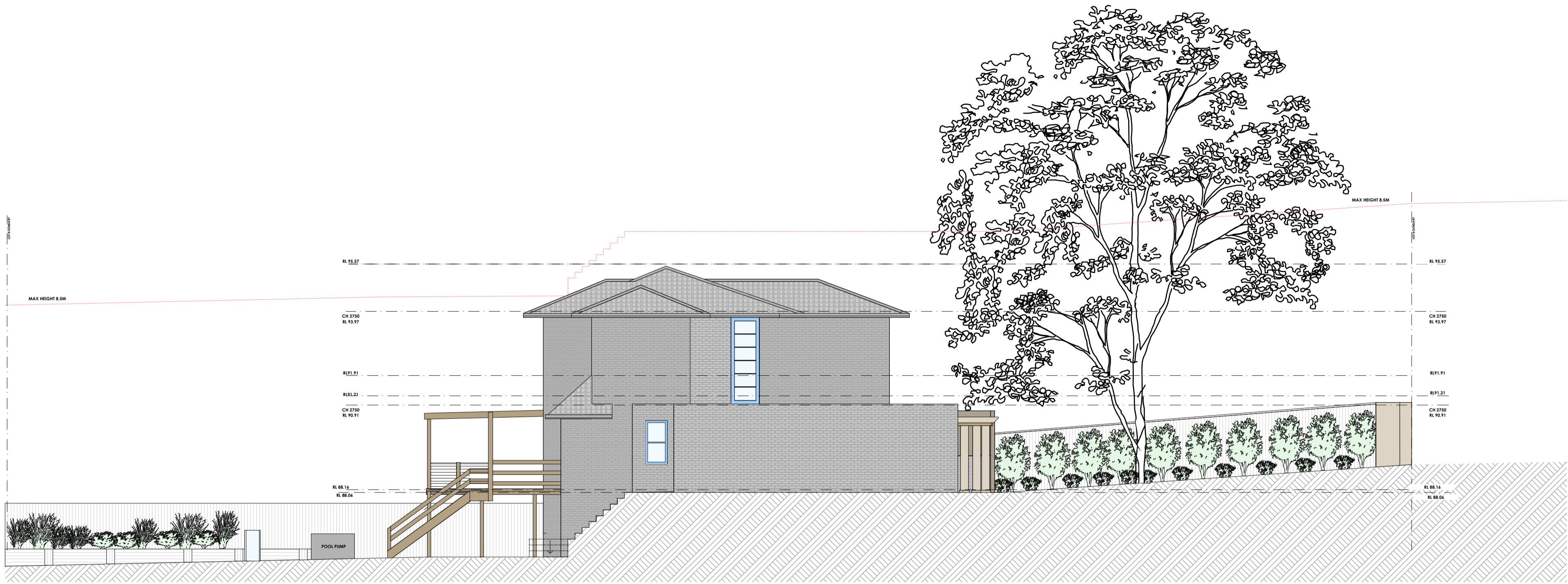


EXISTING WEST ELEVATION

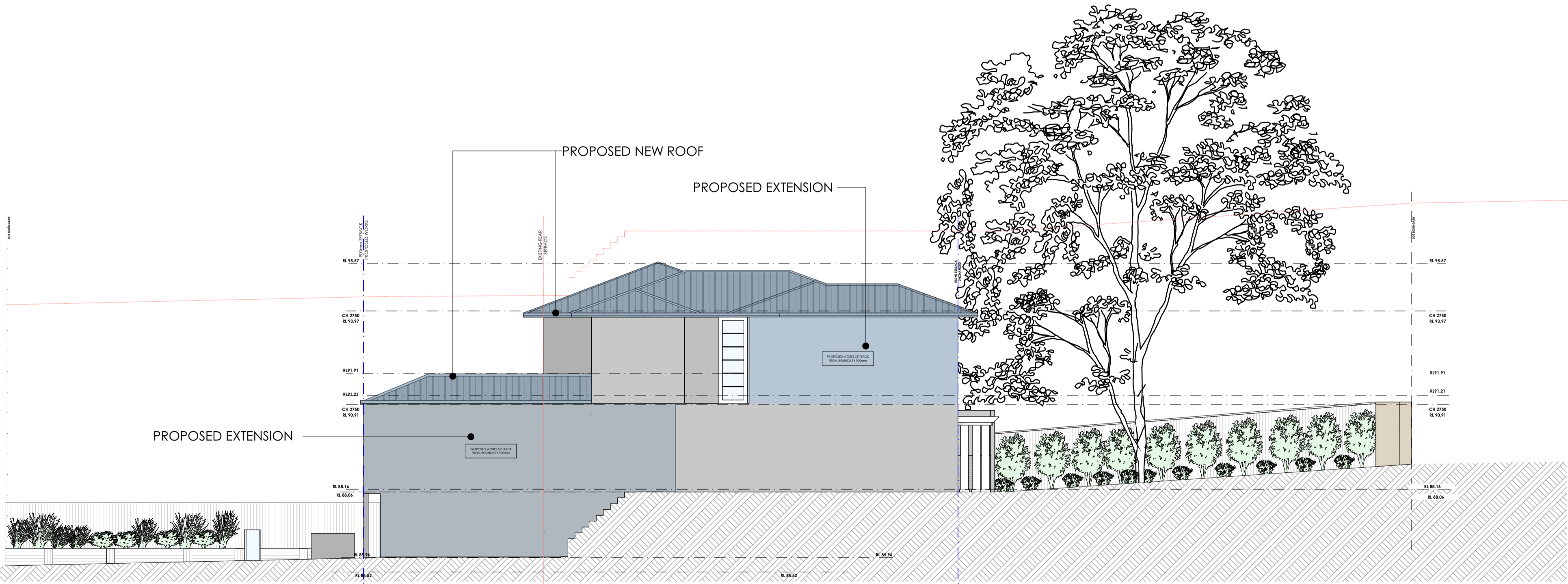


PROPOSED WEST ELEVATION

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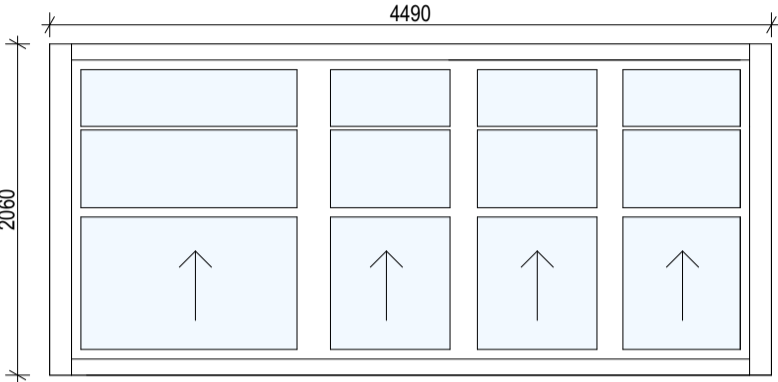
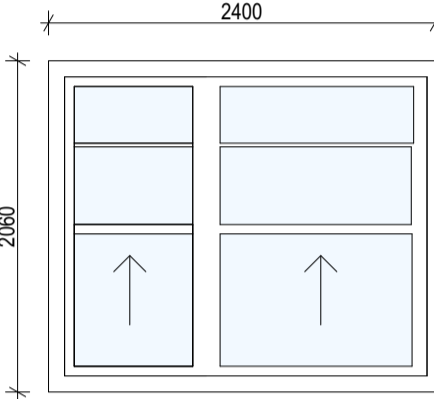
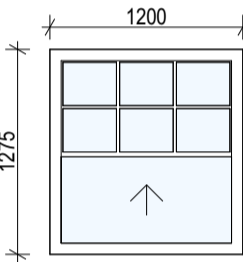
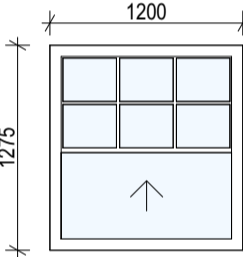
EXISTING SOUTH ELEVATION



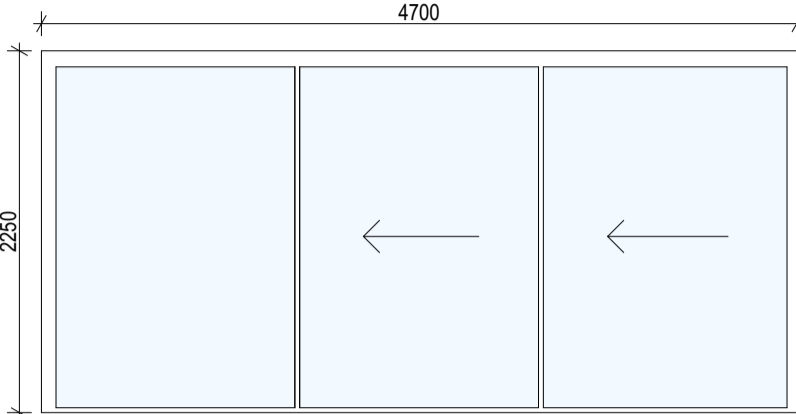
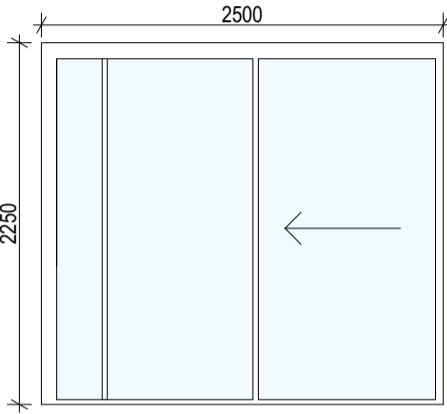
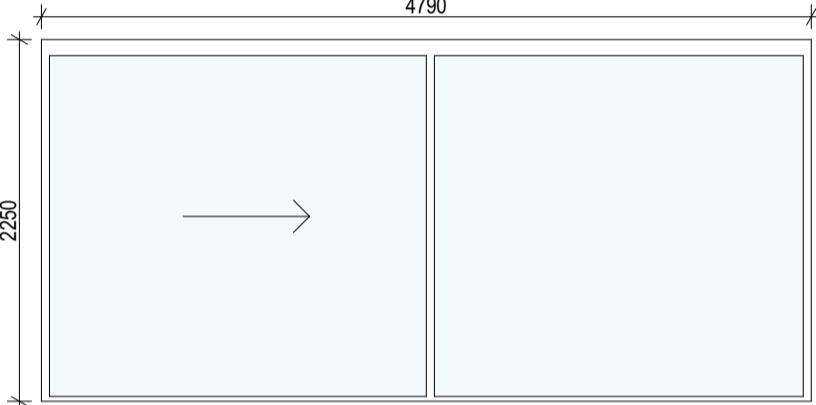
PROPOSED SOUTH ELEVATION  
ALL PROPOSED TO BE SET BACK 900mm  
FROM BOUNDARY

REV.	DESCRIPTION.	DATE.	Conditions of Use		SCALE 1:50 @ A1		 W   WWW.MXMDESIGN.STUDIO E   ENQUIRIES@MXMDESIGN.STUDIO ABN   48 630 675 339	PROJECT TITLE. 67 BEATRICE ST BALGOWLAH HEIGHTS	CLIENT NAME. HOLLY HEARNE & BRAD BURDEN	DRAWING TITLE. SOUTH ELEVATION	
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WINDOW SCHEDULE

WINDOW	SIZE	QTY	LOCATION	MATERIAL	NOTE
<div>W1</div> 	2380mm x 1220mm	1	GROUND FLOOR KITCHEN	TIMBER PAINTED FRAME	FIXED PANEL GLAZING
<div>W2</div> 	4490mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
<div>W3</div> 	2400mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
<div>W4</div> 	1400mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
<div>W5</div> 	1400mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING

DOOR SCHEDULE

DOOR	SIZE	QTY	LOCATION	MATERIAL	NOTE
<div>D1</div> 	4700mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR
<div>D2</div> 	2500mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR
<div>D3</div> 	4790mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR