

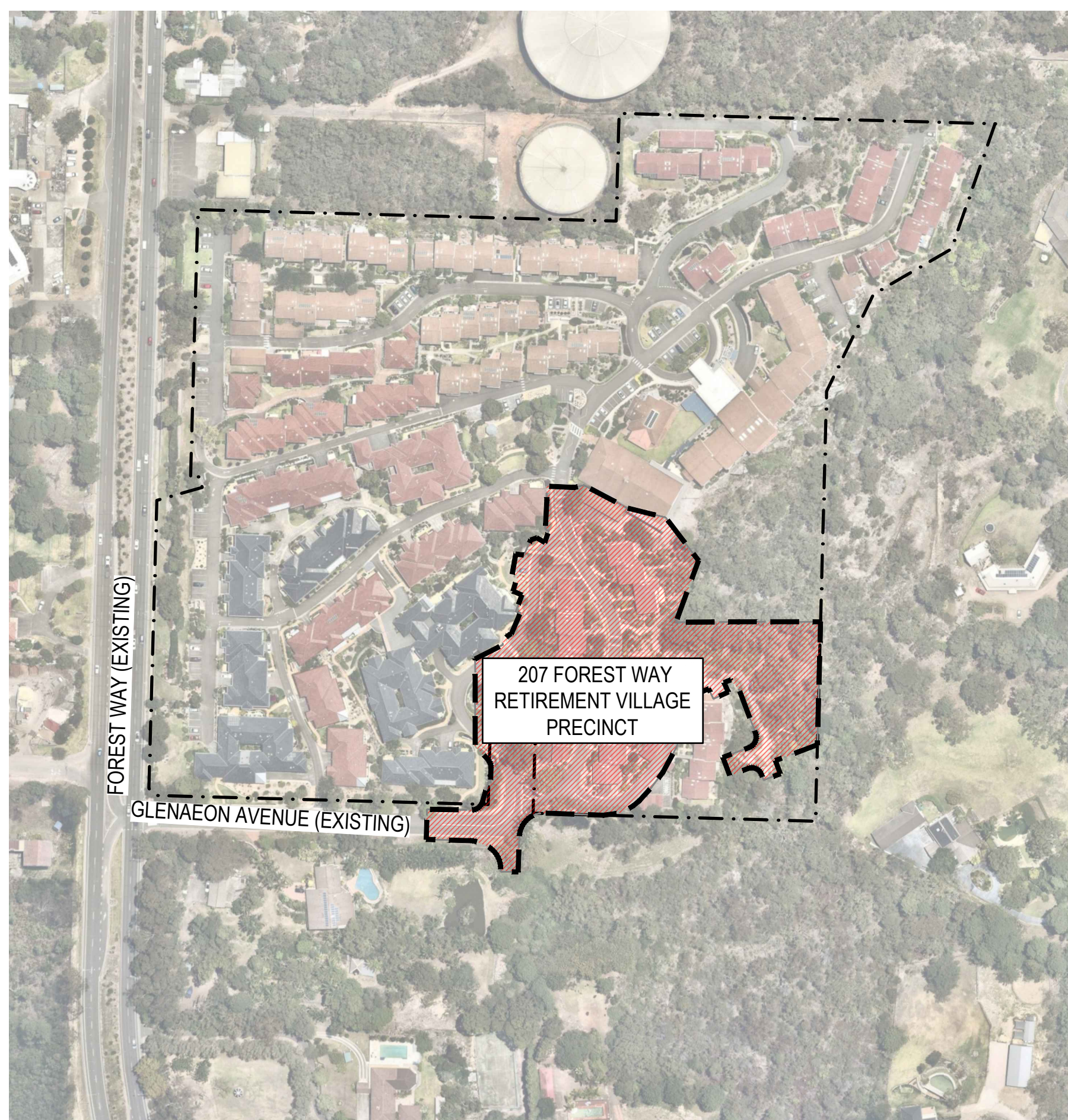


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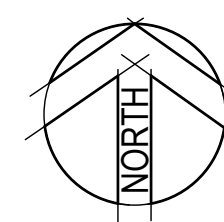
LENDLEASE

GLENAEON RETIREMENT LIVING

PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332



LOCALITY PLAN
N.T.S.



SCHEDULE OF DRAWINGS

DRAWING No.	DESCRIPTION
256773_CDA_DA2_000_1001	COVER SHEET AND DRAWING SCHEDULE
256773_CDA_DA2_000_1011	GENERAL NOTES & LEGENDS
256773_CDA_DA2_000_1031	GENERAL ARRANGEMENT PLAN
256773_CDA_DA2_000_1101	SOIL AND WATER MANAGEMENT PLAN
256773_CDA_DA2_000_1131	SOIL AND WATER MANAGEMENT DETAILS
256773_CDA_DA2_000_1141	CUT/FILL PLAN
256773_CDA_DA2_000_1151	SITE SECTIONS
256773_CDA_DA2_000_1301	SITEWORKS AND STORMWATER PLAN SHEET 01
256773_CDA_DA2_000_1302	SITEWORKS AND STORMWATER PLAN SHEET 02
256773_CDA_DA2_000_2001	STORMWATER MANAGEMENT PLAN
256773_CDA_DA2_000_2101	STORMWATER LONGITUDINAL SECTIONS SHEET 01
256773_CDA_DA2_000_2102	STORMWATER LONGITUDINAL SECTIONS SHEET 02
256773_CDA_DA2_000_2201	STORMWATER DRAINAGE DETAILS SHEET 01
256773_CDA_DA2_000_2202	STORMWATER DRAINAGE DETAILS SHEET 02
256773_CDA_DA2_000_2203	STORMWATER DRAINAGE DETAILS SHEET 03
256773_CDA_DA2_000_2211	STORMWATER DRAINAGE TYPICAL PIT DETAILS SHEET 01
256773_CDA_DA2_000_2212	STORMWATER DRAINAGE TYPICAL PIT DETAILS SHEET 02
256773_CDA_DA2_000_2301	STORMWATER CATCHMENT PLANS

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Drawn	Date	Status				
G.J.I	21/02/2020	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES				
Checked	Date					
MLL	21/02/2020					
Designed	Date					
MLL	21/02/2020					
Verified	Date	DATUM	DATE	Scale	Size	
RFA	21/02/2020	A.H.D	21/02/2020	N.T.S	A1	
Approved		Drawing Number				Revision
RFA	21/02/2020	256773_CDA_DA2_000_1001				2

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH FORMER WARRINGAH COUNCIL STANDARDS AND AUSPEC 1.

1. ORIGIN OF LEVELS:- REFER SURVEY NOTES

2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO CARDNO.
3. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
4. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
5. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UPSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
6. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
7. ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S. SPECIFICATION R116.
8. ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051, COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1
FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m² OF BASECOURSE MATERIAL PLACED.
9. ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051, AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1
FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m² OF SUB-BASE COURSE MATERIAL PLACED.
10. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

GENERAL INSTRUCTIONS

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL. NSW OFFICE OF WATER AND OFFICE OF ENVIRONMENT AND HERITAGE, THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR, AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
2. THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED OR AS OTHERWISE DIRECTED BY THE SUPERINTENDENT.
ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH
a. LOCAL AUTHORITY REQUIREMENTS
b. EPA REQUIREMENTS
c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004.
3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
4. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

LAND DISTURBANCE

6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- a. INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
 - b. CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
 - c. INSTALL SEDIMENT BASIN AS SHOWN ON PLAN (D). INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
 - d. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.

SEDIMENT CONTROL

9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
10. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.
13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:

OTHER MATTERS

- a. PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
- b. ENSURING THAT NOTHING IS NAILED TO THEM
- c. PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS:
 - (i) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICHEVER IS THE GREATER
 - (ii) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
 - (iii) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.



1. STORMWATER DESIGN CRITERIA:

- A. PUBLIC STORMWATER DESIGNED TO NORTHERN BEACHES COUNCIL'S WATER MANAGEMENT POLICY, NORTHERN BEACHES COUNCIL'S ON-SITE STORMWATER DETENTION TECHNICAL SPECIFICATION AND AUSTRALIAN RAINFALL AND RUNOFF 2016.
- B. PRIVATE STORMWATER DESIGNED TO AS3500 - PLUMBING AND DRAINAGE.
2. PIPES 375 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS 'Z' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O.
3. PIPES 300 DIA AND LESS SHALL BE DWV GRADE (CLASS SN8) uPVC WITH SOLVENT WELDED JOINTS.
4. EQUIVALENT STRENGTH FRC PIPES MAY BE USED.
5. ALL PIPES ARE TO BE UNIFORMLY SUPPORTED ALONG THE LENGTH OF THE BARREL BY SUITABLE FILL MATERIAL. REFER TO BEDDING SUPPORT TYPE.
6. PIPES WITH SOCKETS SHALL BE LAID IN BEDDING WHERE SUITABLE RECESSES HAVE BEEN PROVIDED TO ENSURE PIPES DO NOT BEAR ON THEIR SOCKETS.
7. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE GRADE 6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.
8. PIPES TO BE INSTALLED TO TYPE HSI TRENCH IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75).
9. REFER TO AS/NZS 3725:2007 TABLE B1 FOR REQUIRED FILL DEPTHS ABOVE PIPE BARREL PRIOR TO USE OF COMPACTION MACHINERY OR TRAVERSING OF PIPES BY GENERAL SITE EQUIPMENT.
10. WHERE WORKING METHODS REQUIRE HIGHER CLASS PIPE, THE CONTRACTOR SHALL REFER TO AS 3725 (2007) TO DETERMINE THE APPROPRIATE PIPE CLASS. PROPOSED PIPE CLASS SHALL BE REVIEWED BY CARDNO PRIOR TO INSTALLATION.
11. ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3:2015.
12. PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY CARDNO.
13. ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
14. WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED.
15. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.
16. GRATES AND COVERS SHALL CONFORM TO AS 3996.
17. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.
18. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. CARDNO CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY. CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS. CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

TELSTRA'S PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND TELSTRA DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY. THE CONTRACTOR HAS A DUTY OF CARE WHEN SIGNIFYING THE DEPTH, CABLES AND PLANT.

BEFORE USING MACHINE EXCAVATORS, TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLING TO IDENTIFY ITS LOCATION. TELSTRA WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO ITS PROPERTY AND LOSSES CAUSED TO TELSTRA AND ITS CUSTOMERS.

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARDNO, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT CARDNO. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

NOTES

1. THIS PLAN IS PREPARED FOR LEND LEASE FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. THE TITLE BOUNDARIES SHOWN HEREON WERE NOT DETERMINED BY THE AUTHOR AT THE TIME OF SURVEY AND HAVE BEEN MARKED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENT.
3. A SERVICES SEARCH OF THE AREA SURVEYED ABOVE HAS NOT BEEN UNDERTAKEN.
4. VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

LEGEND

- | | |
|---|------------------------------|
|  | ELECTRICITY BOX |
|  | ELEC. CABLE MARKER |
|  | POWER POLE WITH LIGHT |
|  | LIGHT POLE |
|  | ELECTRICITY PIT |
|  | WATER TAP |
|  | WATER HYDRANT |
|  | WATER AIR VALVE |
|  | IRRIGATION CONTROL VALVE |
|  | WATER METER |
|  | SEWER MANHOLE |
|  | SEWER LAMPHOLE |
|  | UNCLASSIFIED PIT |
|  | DRAINAGE PIT |
|  | COMMUNICATIONS PIT |
|  | CONTOUR MAJOR |
|  | BOUNDARY SUBJECT |
|  | EASEMENT |
|  | BUILDING EDGE |
|  | GUTTER / RIDGE LINE / AWNING |
|  | RETAINING WALL BOTTOM |
|  | RETAINING WALL TOP |
|  | CROWN OF ROAD |
|  | EDGE OF BITUMEN/FORMATION |
|  | FENCE |
|  | NATURAL SURFACE STRING |
|  | TOE OF BANK |
|  | TOP OF BANK |
|  | DRAINAGE LINE |

	EXTENT OF WORK
	PROPERTY BOUNDARY
	PROPOSED CONTOUR
	BATTER
	STRUCTURAL RETAINING WALL
	ROLL KERB AND GUTTER
	ROLL KERB
	KERB AND GUTTER
	KERB AND TOE
	ROLL KERB AND TOE
	KERB ONLY
	MOUNTABLE KERB
	DISH DRAIN
	VEHICLE CROSSING. REFER TO WARRINGAH COUNCIL STANDARD DETAIL (A4-2276/B)
	IN-LINE KERB RAMP. REFER TO AS1428.1-2009 FIGURE 24(C).
	NON REMOVABLE BOLLARD
	FENCE TO LANDSCAPE ARCHITECT DETAIL
	FLOW DIRECTION
	STORMWATER PIPE
	PIPE DIAMETER
	SUBSOIL DRAINAGE LINE TO WARRINGAH COUNCIL STANDARD DETAIL. (A4 - 10533)
	DRAINAGE CAP
	FLUSHING POINT
	KERB INLET WITH LINTEL.
	JUNCTION PIT
	GRATED INLET PIT
	DRAINAGE PIT LABEL
	SCOUR PROTECTION
	HEADWALL

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. CONCRETE QUALITY
ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 Fc MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE	32	60	20
KERBS, PATHS, AND PITS	25	80	20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL
- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379.

3. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY CARDNO.
4. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
5. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
6. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S. SPECIFICATION R83.
7. REINFORCEMENT SYMBOLS:
 - N DENOTES GRADE 450 N BARS TO AS 1302 GRADE N
 - R DENOTES 230 R HD ROLLED PLAIN BARS TO AS 1302
 - SL DENOTES HORIZONTAL DRAWN WIRE REINFORCING FABRIC TO AS 1304

NUMBER OF BARS IN GROUP BAR GRADE AND TYPE

NOMINAL BAR SIZE IN mm ——— SPACING IN mm THE FIGURE
FOLLOWING THE FABRIC SYMBOL SL IS THE REFERENCE NUMBER FOR FABRIC
TO AS 1304.

2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA
Rev.	Date	Description	Des.	Verif.	Appd.



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Client **LENDLEASE**

Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
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Title	GENERAL NOTES & LEGENDS
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Status

Status

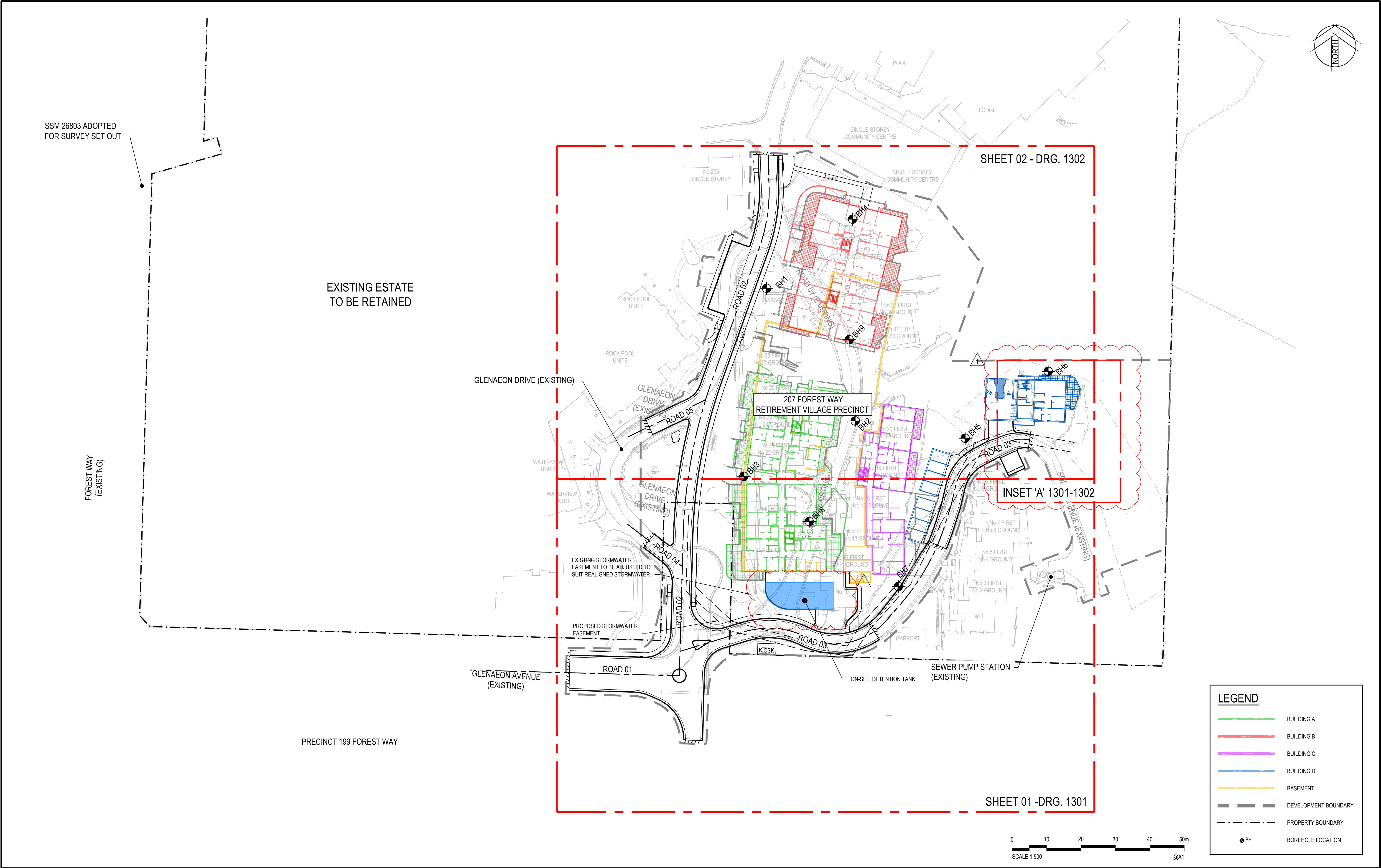
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DATUM A.H.D	DATE 21/02/2020	Scale N.T.S	Size A1
Drawing Number 256773_CDA_DA2_000_1011			Revision 2

XREFs: XR-80218079-01-CI-SURVEY; XR-80218079-01-DA2-CI-ARCH; XR-80218079-01-DA2-GE-BH LOCATIONS; XR-80218079-01-DA2-CI-CONTROL; XR-80218079-01-DA2-CI-DESIGN; XR-80218079-01-DA2-CI-BOUNDARY; XR-80218079-01-DA2-CI-DRAINAGE; XR-80218079-01-DA2-CI-PORTS; XR-80218079-01-DA2-CI-LOGO
 CAD File: N:\Projects\80218079_Glenaeon Renewal\Drawings\Build\Stage 01 DA2 BUILD D MOD\256773_CDA_DA2_000_1031_GENERAL ARRANGEMENT PLAN.dwg

DATE PLOTTED: 4 March 2020 11:50 AM BY: GEORGE ZAIT



Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
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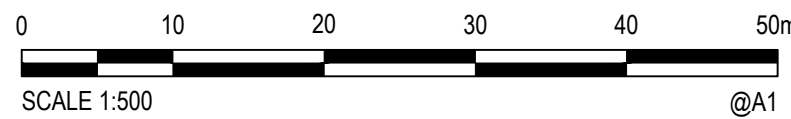
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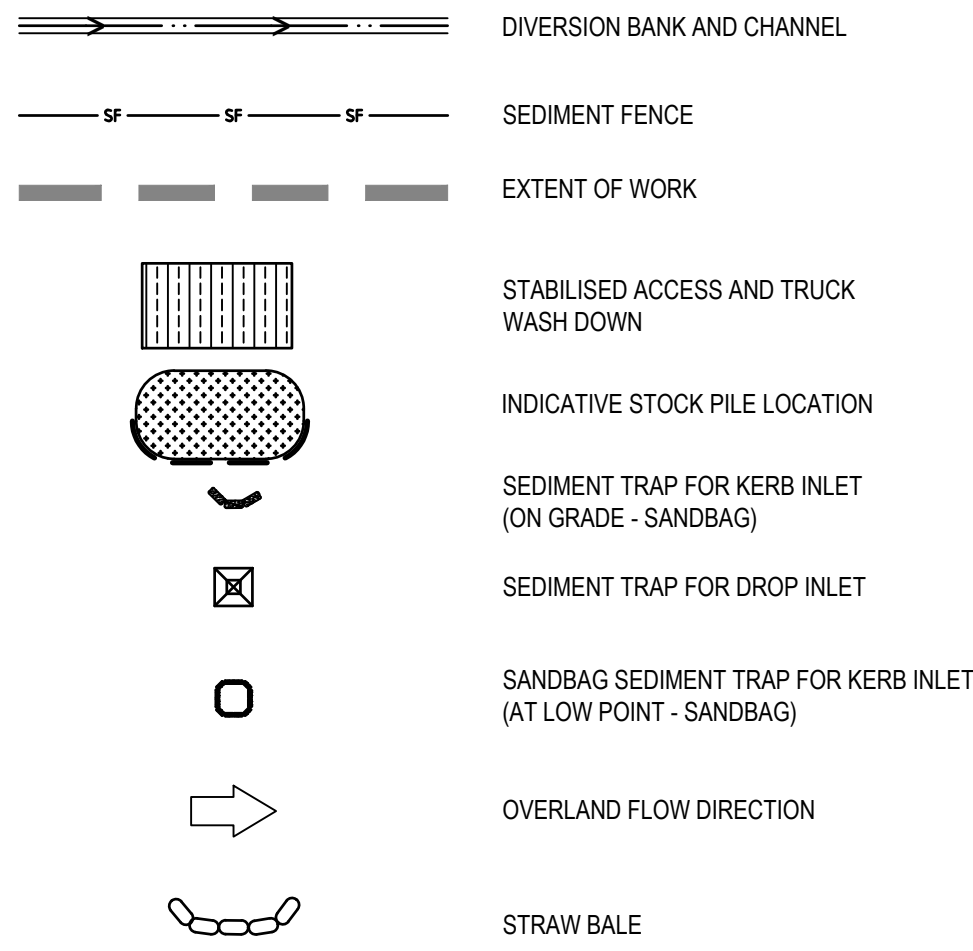
Client	LENdlease
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	GENERAL ARRANGEMENT PLAN

Status	FOR APPROVAL
DATUM	A.H.D
DATE	21/02/2020
Scale	1:500
Size	A1
Drawing Number	256773_CDA_DA2_000_1031
Revision	2

LEGEND	
—	BUILDING A
—	BUILDING B
—	BUILDING C
—	BUILDING D
—	BASEMENT
---	DEVELOPMENT BOUNDARY
---	PROPERTY BOUNDARY
● BH	BOREHOLE LOCATION



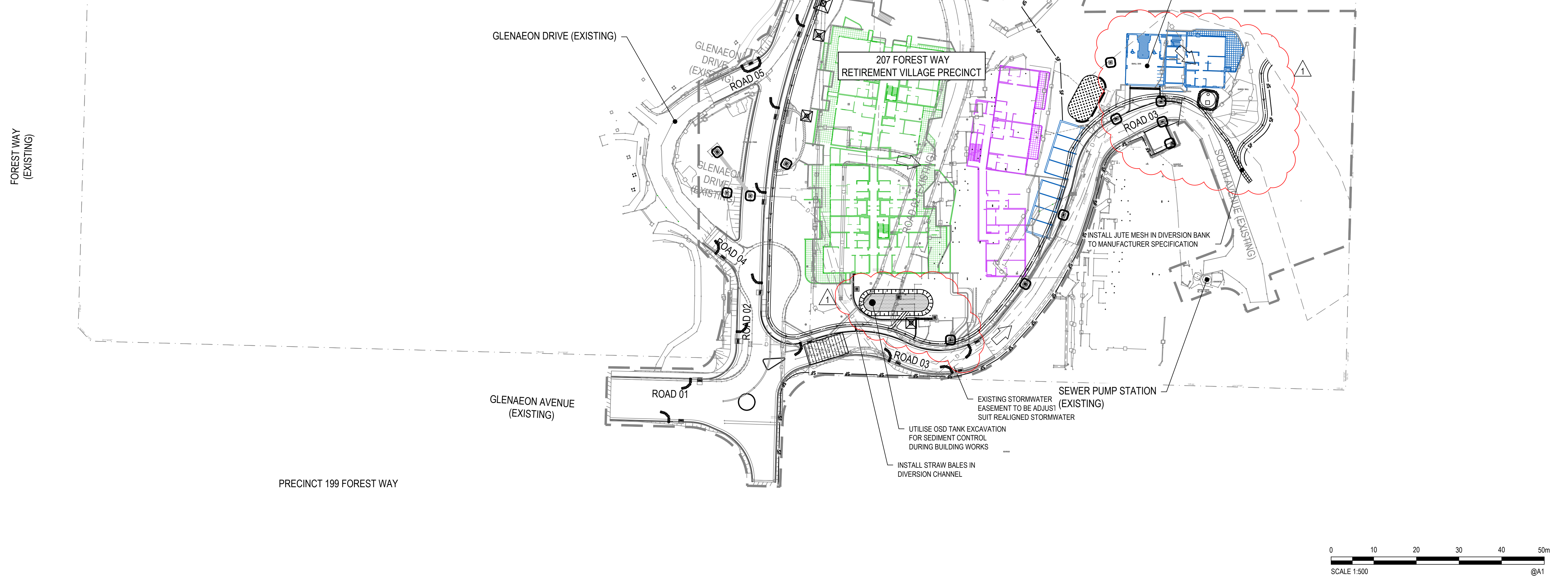
LEGEND



NOTE:

1. REFER TO DRAWING 256773_CDA_DA2_000_1131 FOR EROSION AND SEDIMENT CONTROL DETAILS.
2. WORKS TO BE STAGED FOR TRAFFIC CONTROL. SITE FENCES AND SEDIMENT FENCES TO BE ARRANGED TO SUIT.
3. BASED ON THE RAINFALL EROSIVITY FACTOR (2770) AND THE SOIL LOSS CALCULATION BY RUSLE (67t/ha/YEAR) THE EROSION HAZARD FOR THE SITE IS LOW. THEREFORE A SEDIMENT CONTROL BASIN IS NOT REQUIRED.

EXISTING ESTATE
TO BE RETAINED

[illegible]

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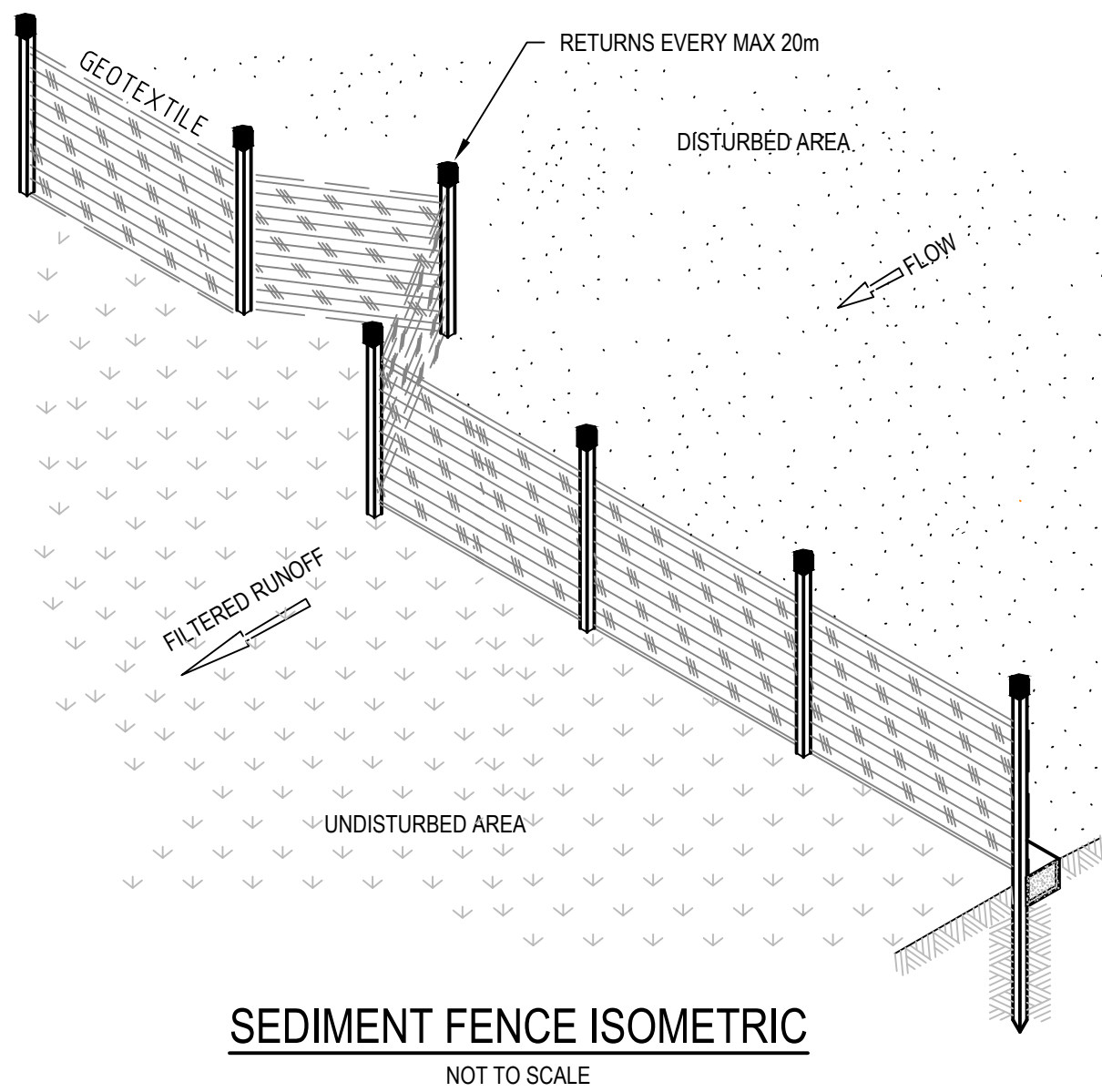
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MLL	21/02/2020
Designed	Date
MLL	21/02/2020
Verified	Date
RFA	21/02/2020
Approved	
RFA	21/02/2020

Client	LENLELEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	SOIL AND WATER MANAGEMENT PLAN

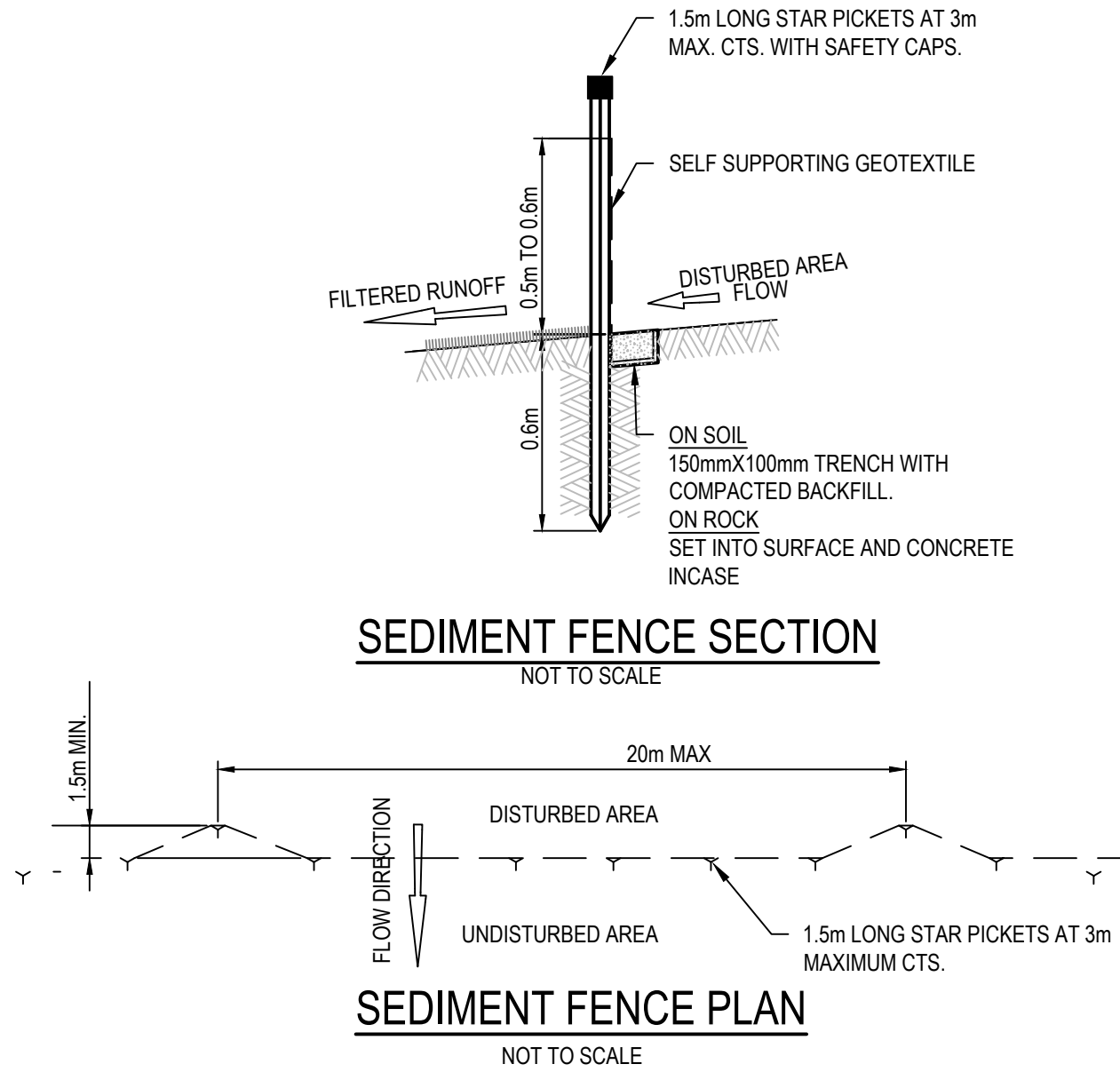
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A.H.D	21/02/2020	Scale	Size
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Drawing Number			Revision
256773_CDA_DA2_000_1101			2

DATE PLOTTED: 4 March 2020 11:51 AM BY: GEORGE ZAIT

XREFs: XR-80218079-CH-LOGO
CAD File: N:\Projects\80218079_Cleanseon Renewal\Drawings\Build\Stage 01 DA2 BUILD D MOD\256773_CDA_DA2_000_1131_SOIL AND WATER MANAGEMENT DETAILS.dwg

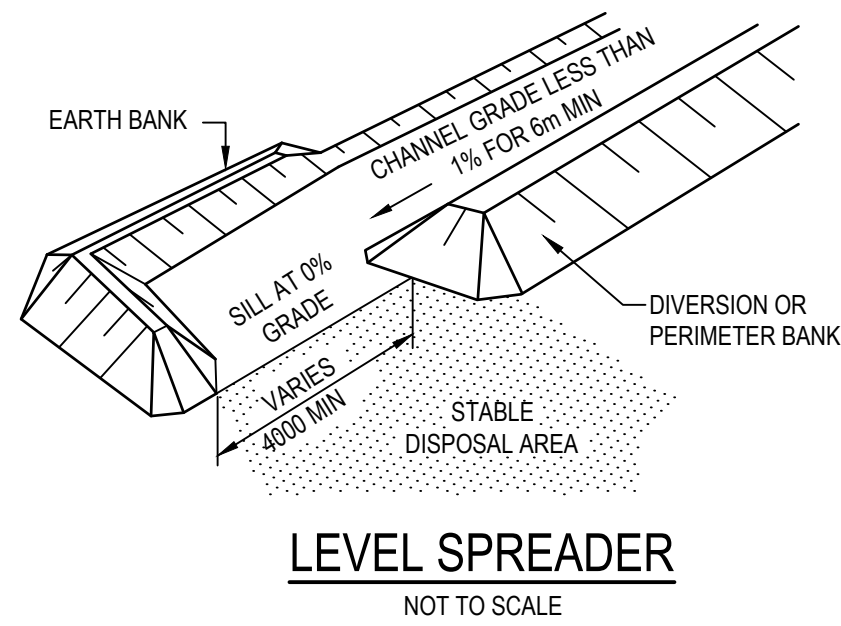


SEDIMENT FENCE ISOMETRIC
NOT TO SCALE

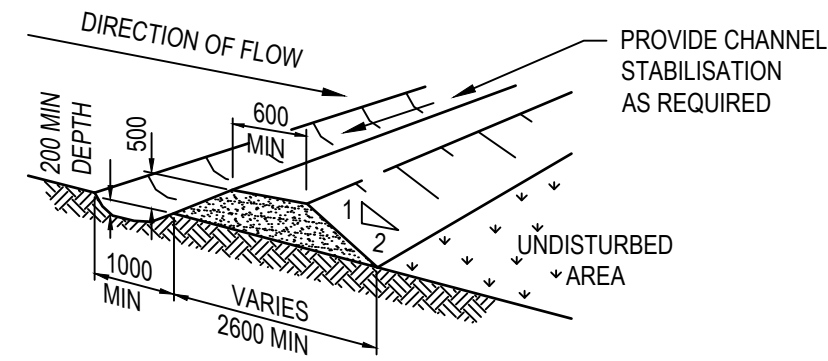


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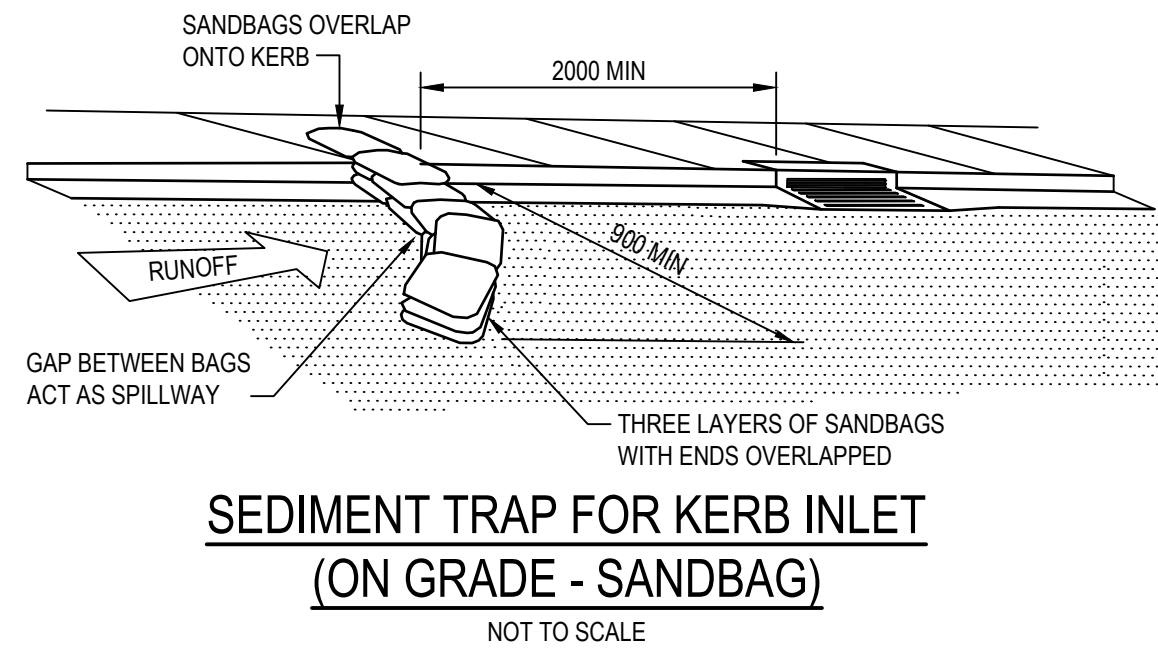
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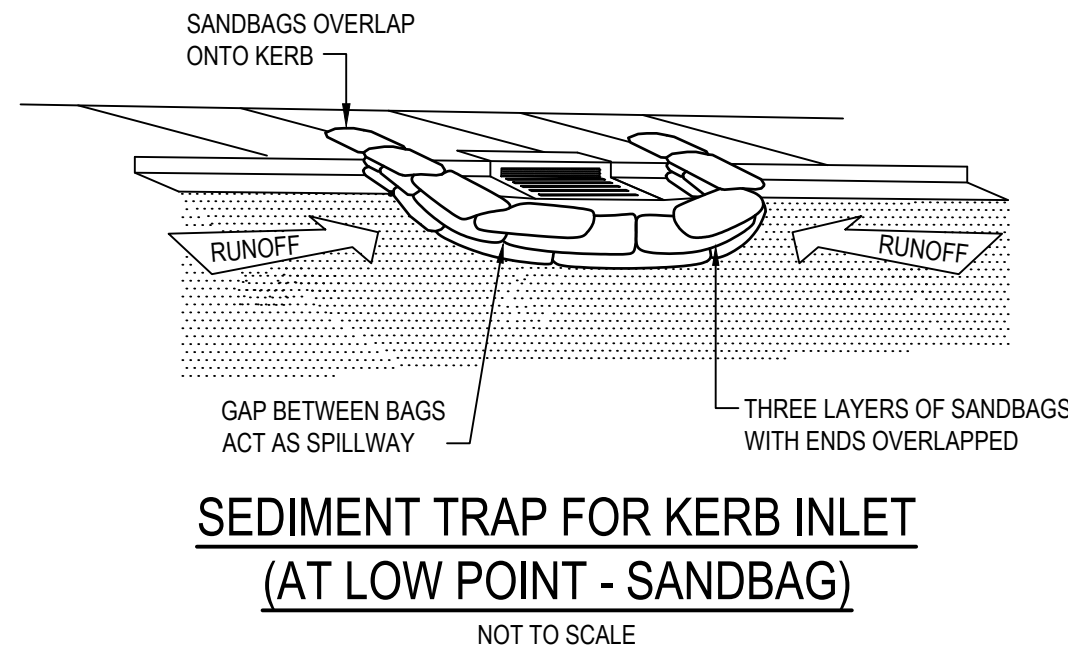
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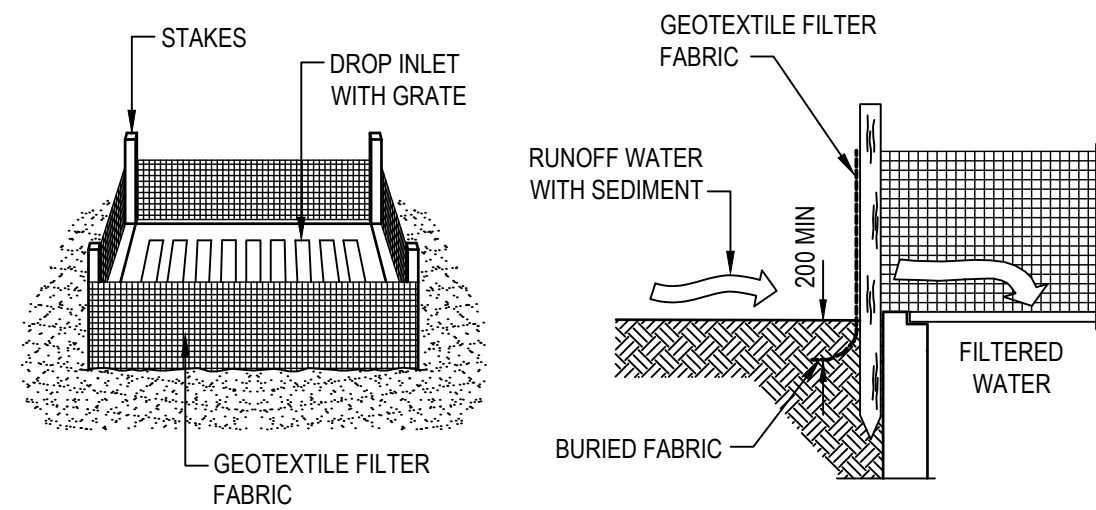
DIVERSION BANK (WITH CHANNEL)
NOT TO SCALE



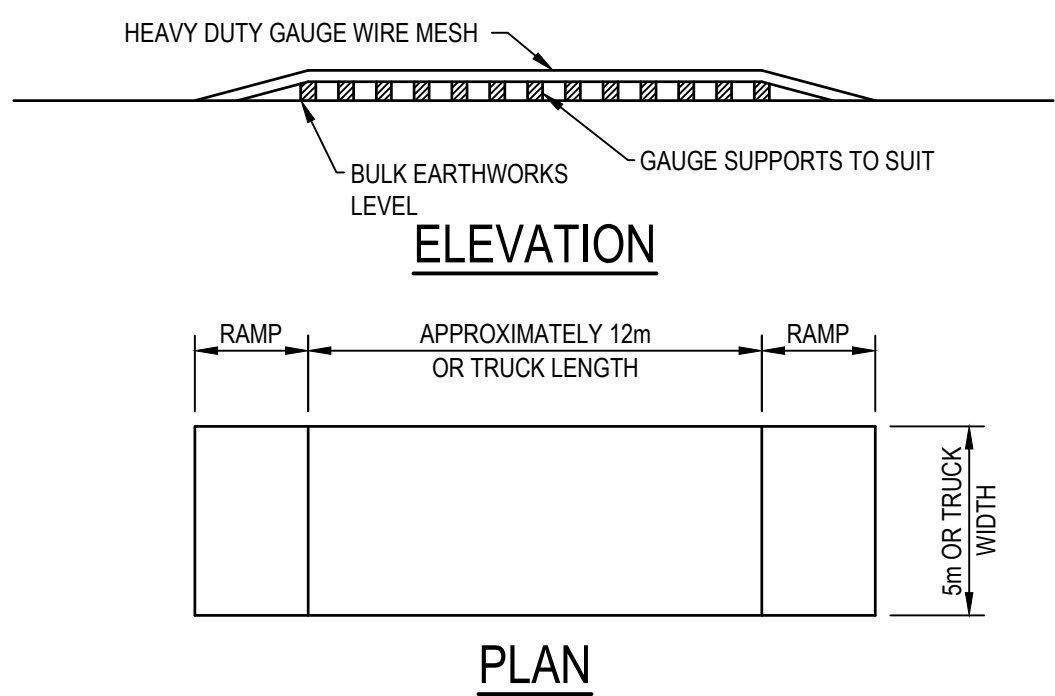
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NOT TO SCALE



SEDIMENT TRAP FOR KERB INLET (AT LOW POINT - SANDBAG)
NOT TO SCALE

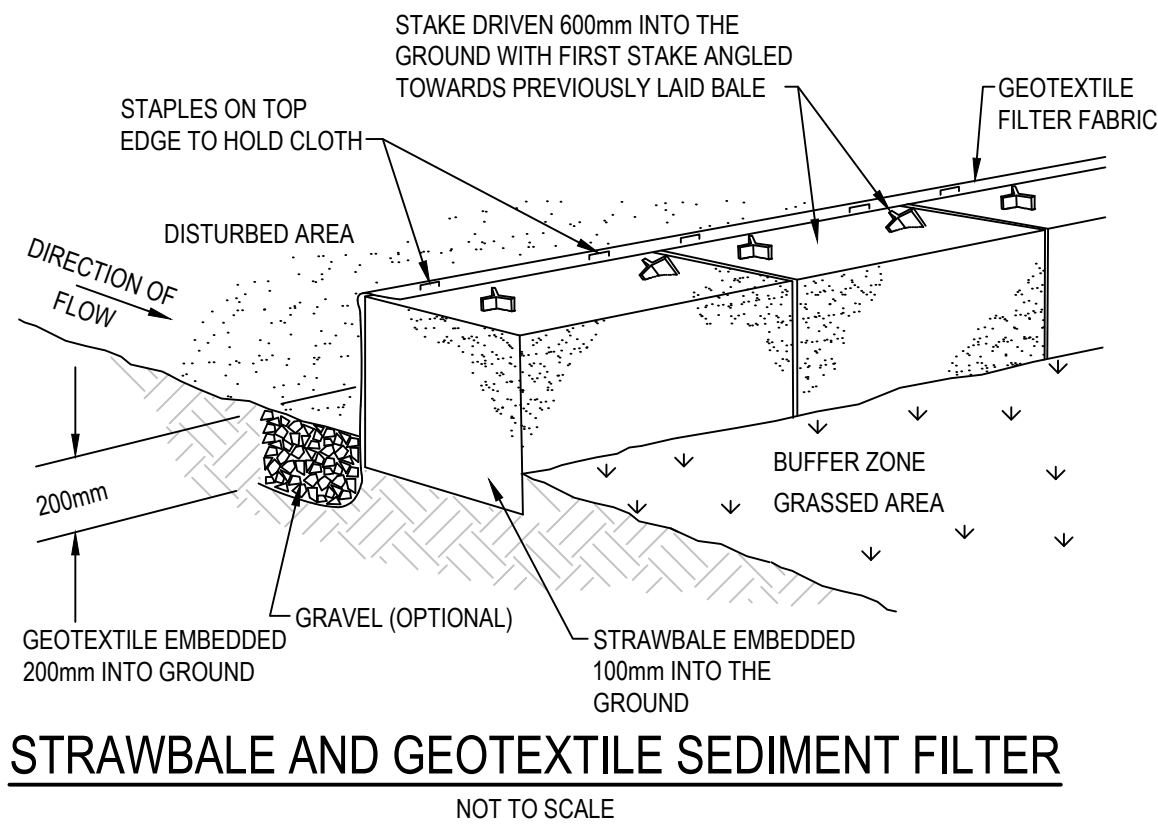


SEDIMENT TRAP FOR DROP INLET (GEOTEXTILE FILTER FABRIC)
NOT TO SCALE

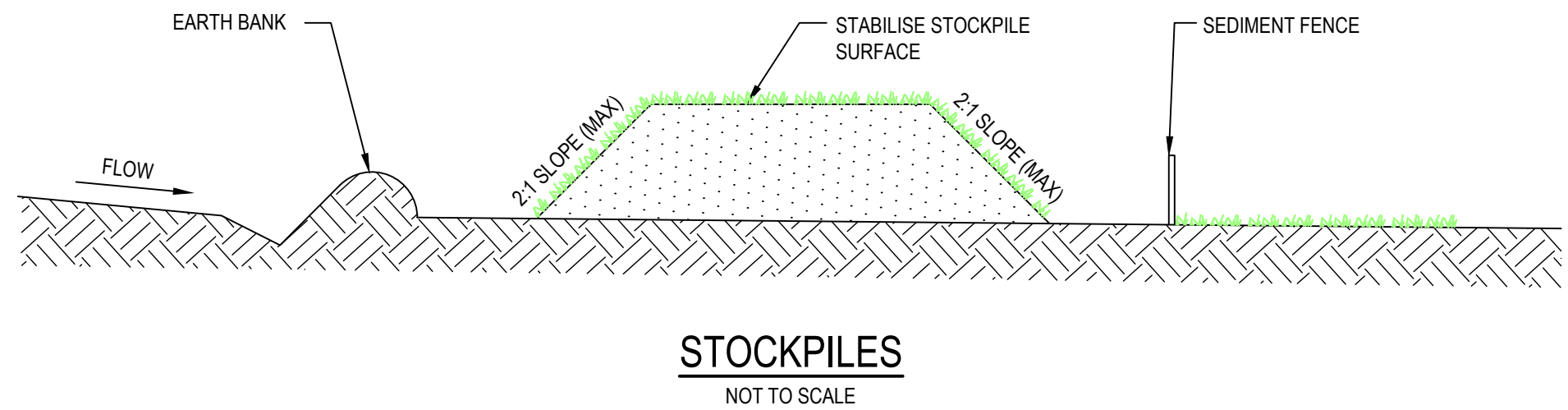


TEMPORARY CONSTRUCTION EXIT (WASH DOWN DETAIL)
NOT TO SCALE

THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE REPAIR AND OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.



STRAWBALE AND GEOTEXTILE SEDIMENT FILTER
NOT TO SCALE



STOCKPILES
NOT TO SCALE

CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT
4. WHERE THERE ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1m TO 2m DOWNSLOPE

lendlease

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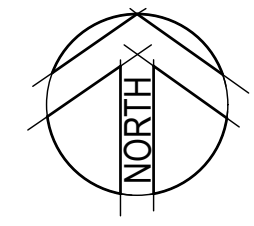
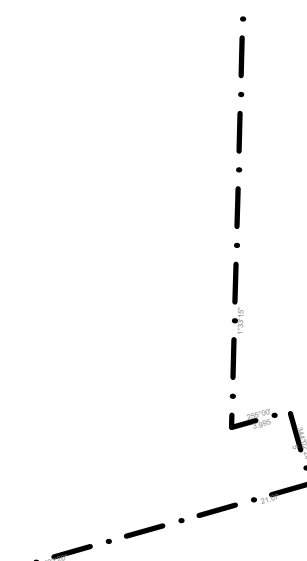
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Web: www.cardno.com.au

Drawn GJJ Date 21/02/2020
Checked MLL Date 21/02/2020
Designed MLL Date 21/02/2020
Verified RFA Date 21/02/2020
Approved RFA Date 21/02/2020

Client **LENLEASE**
Project **GLENAEON RETIREMENT LIVING
PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL
SECTION 4.55 MODIFICATION DA2018/1332**
Title **SOIL AND WATER MANAGEMENT DETAILS**

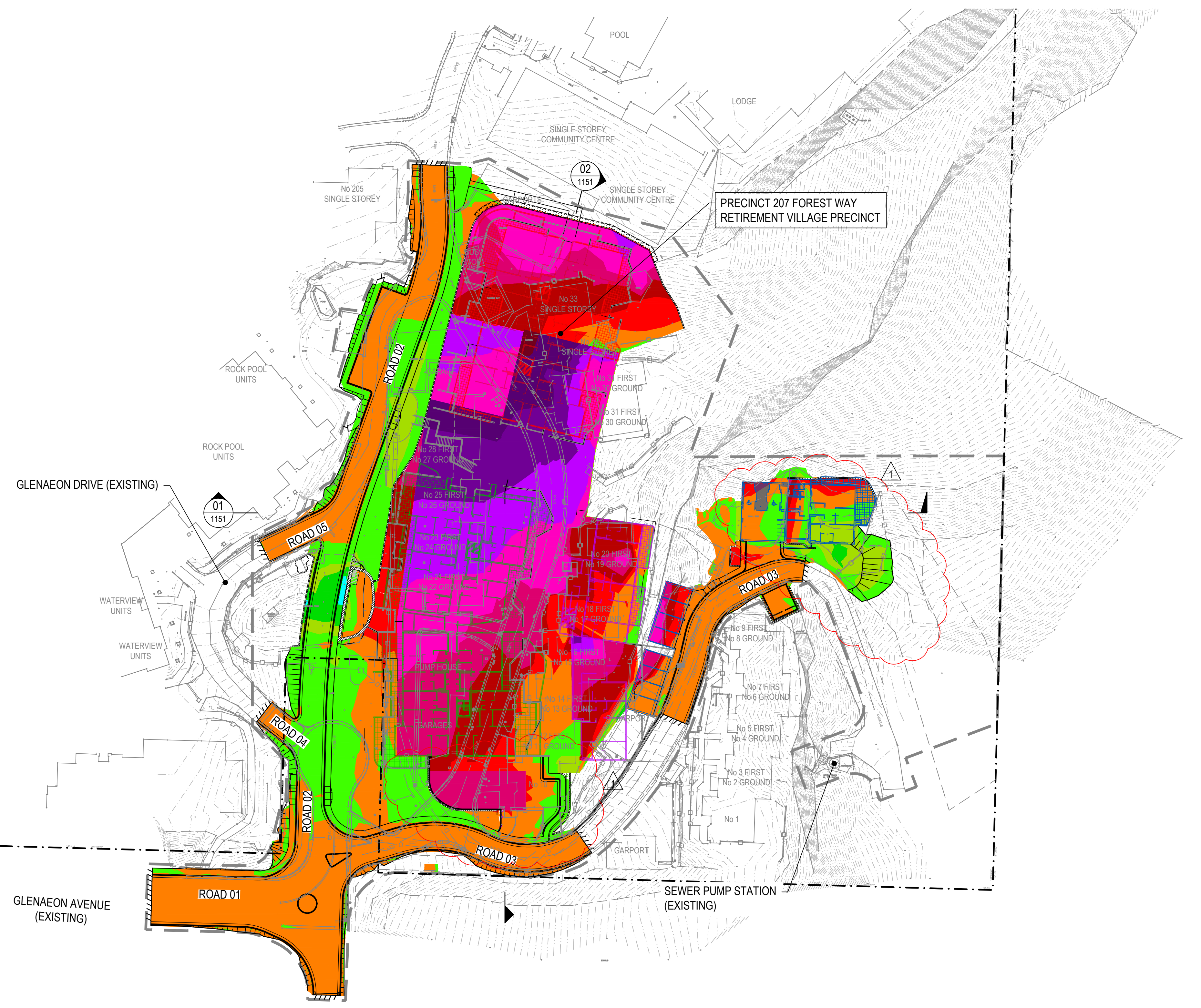
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NOT TO BE USED FOR CONSTRUCTION PURPOSES
DATING A.H.D DATE 21/02/2020 Scale N.T.S Size A1
Drawing Number **256773_CDA_DA2_000_1131** Revision **2**

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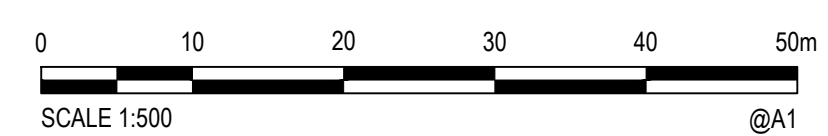


EXISTING ESTATE
TO BE RETAINED

PRECINCT 199 FOREST WAY



LEGEND	
	CUT BETWEEN 8.0m AND 9.0m
	CUT BETWEEN 7.0m AND 8.0m
	CUT BETWEEN 6.0m AND 7.0m
	CUT BETWEEN 5.0m AND 6.0m
	CUT BETWEEN 4.0m AND 5.0m
	CUT BETWEEN 3.0m AND 4.0m
	CUT BETWEEN 2.0m AND 3.0m
	CUT BETWEEN 1.0m AND 2.0m
	CUT LESS THAN 1.0m
	FILL LESS THAN 1.0m
	FILL BETWEEN 1.0m AND 2.0m
	FILL BETWEEN 2.0m AND 3.0m
	FILL BETWEEN 3.0m AND 4.0m
	FILL BETWEEN 4.0m AND 5.0m
	FILL BETWEEN 5.0m AND 6.0m
	FILL GREATER THAN 6.0m



Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA



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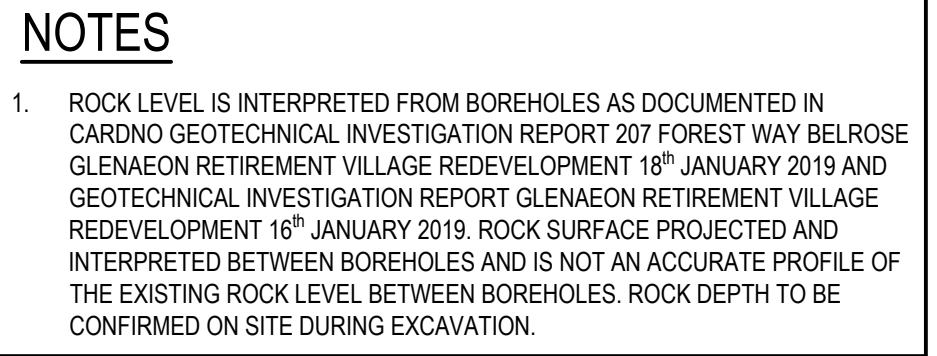
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Drawn	GJJ	Date	21/02/2020
Checked	MLL	Date	21/02/2020
Designed	MLL	Date	21/02/2020
Verified	RFA	Date	21/02/2020
Approved	RFA	Date	21/02/2020

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	CUT/FILL PLAN

Status	FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES					
DATUM	DATE	Scale	Size		
A.H.D	21/02/2020	1:500		A1	
Drawing Number				Revision	
256773_CDA_DA2_000_1141				2	



Architectural section drawing of a building complex. The drawing shows a cross-section with various levels and structural elements. Key features include:

- Structural Walls:** Labeled "STRUCTURAL WALL. HEIGHT VARIES." and "EXISTING ROCK WALL. HEIGHT VARIES.".
- Landscape Wall:** Labeled "LANDSCAPE WALL".
- Building Levels:**
 - F.F.L. 179.75 (Top level)
 - F.F.L. 176.70 (Second level)
 - F.F.L. 173.65 (Third level)
 - F.F.L. 170.60 (Fourth level)
 - F.F.L. 167.40 (Basement level)
- Building Labels:** "BUILDING A", "BUILDING B", and "BASEMENT".
- OSD Tank:** A rectangular structure labeled "OSD TANK" is shown in a red cloud-like outline, with a warning symbol (triangle with exclamation mark) nearby.
- Other Features:** "ELEVATED WALKWAY TO MAIN ENTRY" and "LANDSCAPE WALL" are also labeled.

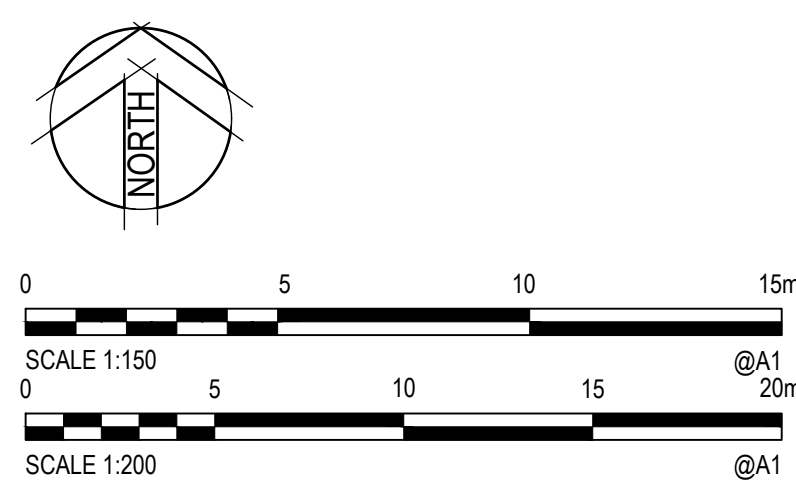
0 5 10 15 20m
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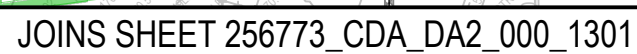
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Checked MLL	Date 21/02/2020	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332	Status FOR APPROVAL									
Designed MLL	Date 21/02/2020		NOT TO BE USED FOR CONSTRUCTION PURPOSES									
Verified RFA	Date 21/02/2020		<table><tr><td>DATUM</td><td>DATE</td><td>Scale</td><td>Size</td></tr><tr><td>A.H.D</td><td>21/02/2020</td><td>1:200</td><td>A1</td></tr></table>			DATUM	DATE	Scale	Size	A.H.D	21/02/2020	1:200
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Approved		Title SITE SECTIONS	<table><tr><td>Drawing Number</td><td>Revision</td></tr><tr><td>256773_CDA_DA2_000_1151</td><td>2</td></tr></table>			Drawing Number	Revision	256773_CDA_DA2_000_1151	2			
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RFA	21/02/2020											



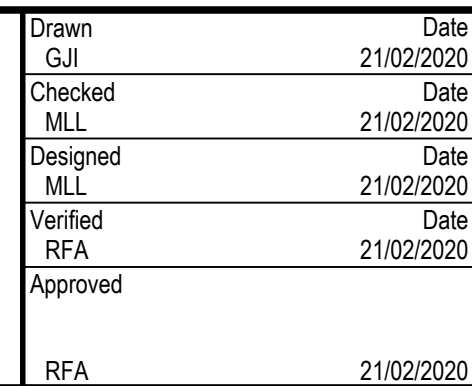
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Drawn G.JI	Date 21/02/2020	Client LENLEASE				
Checked MLL	Date 21/02/2020	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL	Status FOR APPROVAL			
Designed MLL	Date 21/02/2020	SECTION 4.55 MODIFICATION DA2018/1332	NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Verified RFA	Date 21/02/2020	Title SITEWORKS AND STORMWATER PLAN	DATUM A.H.D	DATE 21/02/2020	Scale AS SHOWN	Size A1
Approved			Drawing Number 256773_CDA_DA2_000_1301			Revision 2
RFA	21/02/2020	SHEET 01				

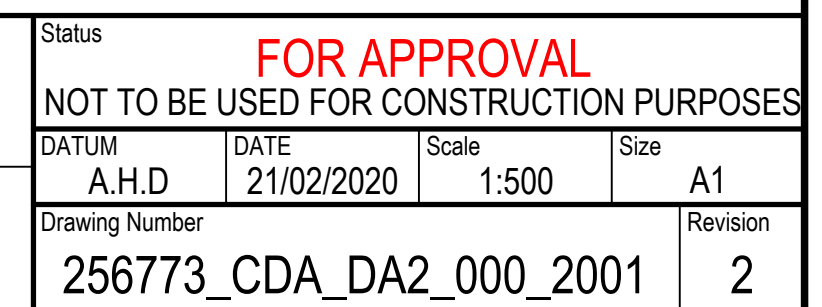


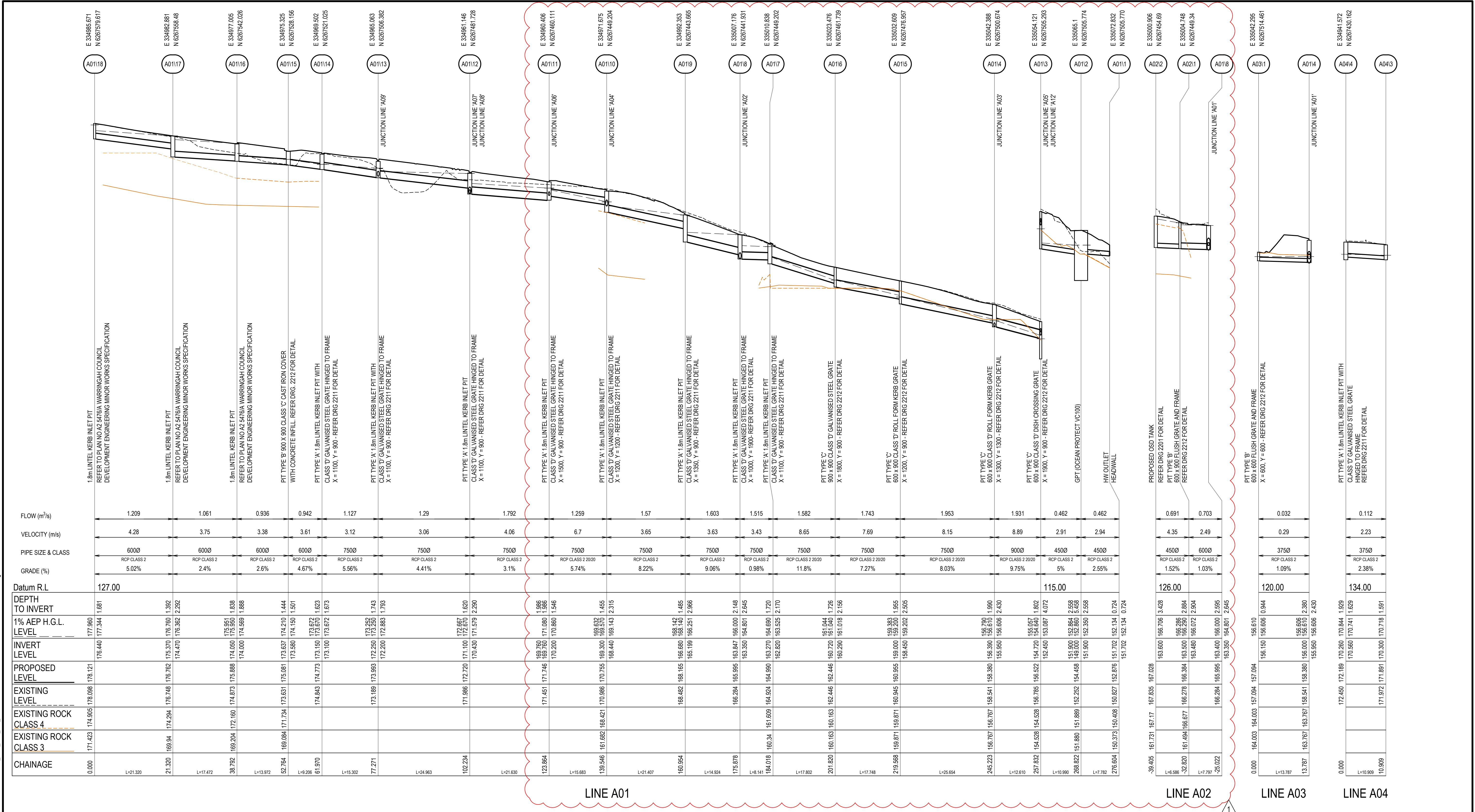
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Client	LENDEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	SITEWORKS AND STORMWATER PLAN SHEET 02

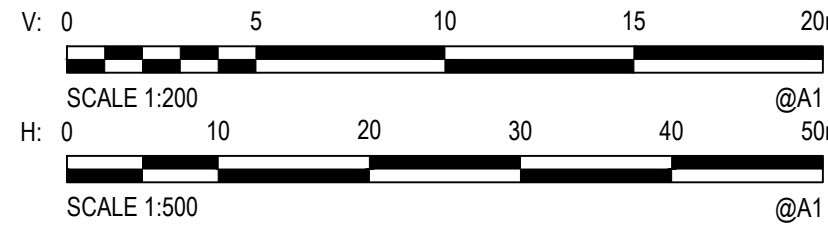
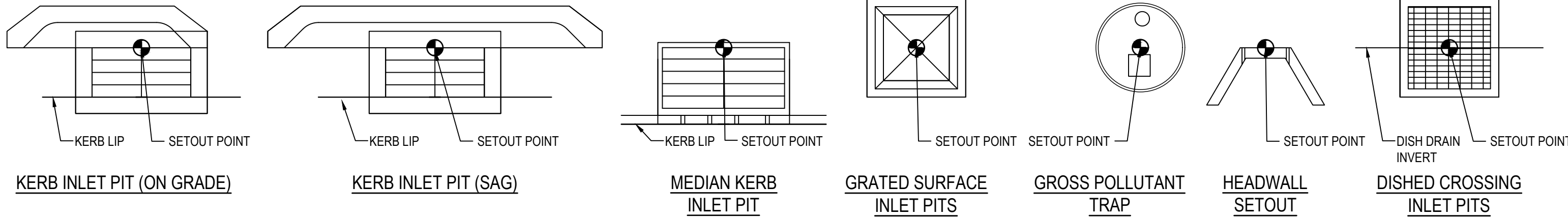
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NOT TO BE USED FOR CONSTRUCTION PURPOSES			
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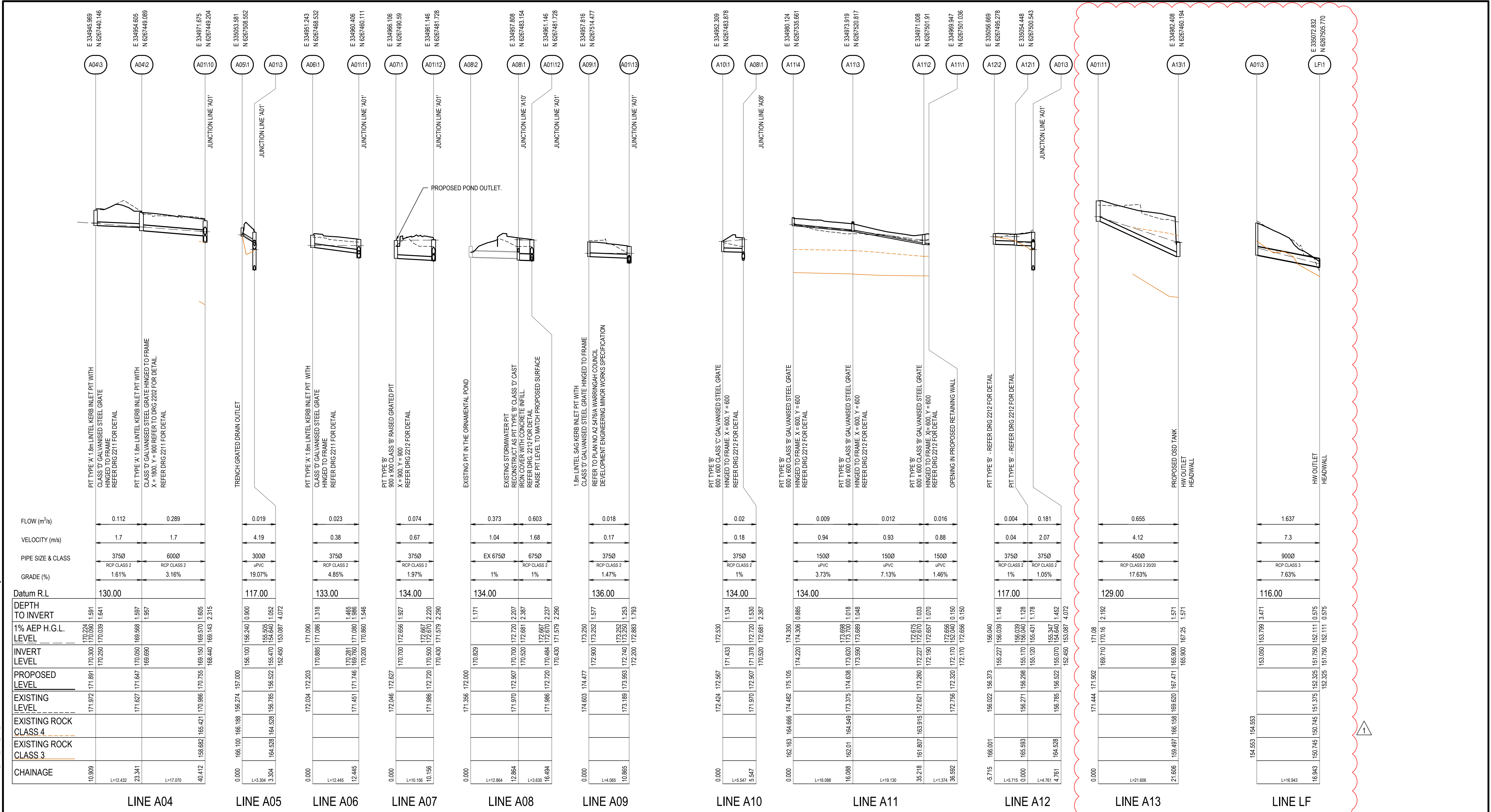




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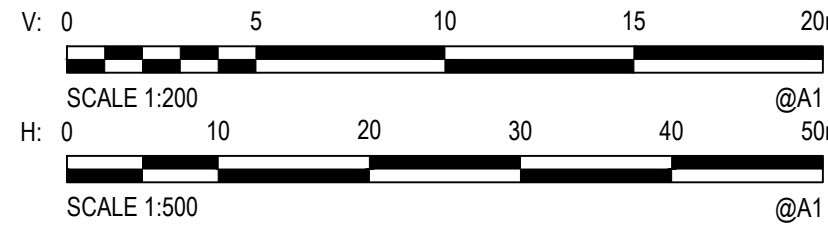
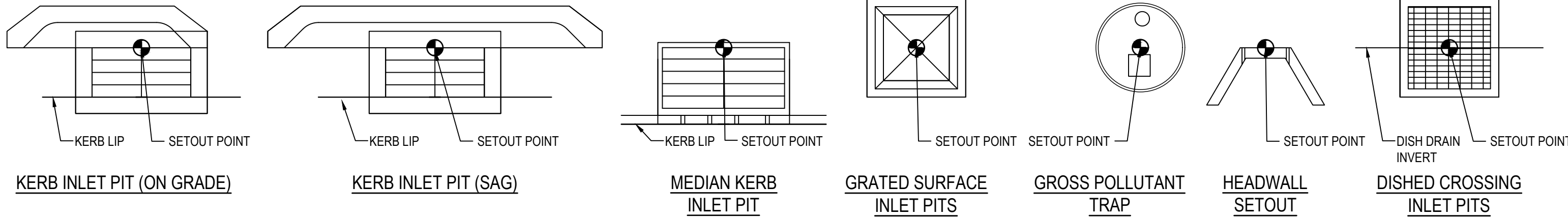
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- INSTALL CONCRETE BULKHEADS AND TRENCH SPOTS EVERY THIRD PIPE JOINT FOR PIPE GRADES GREATER THAN 5%. REFER DETAIL ON DRAWING 2203.
- ROCK LEVEL IS INTERPRETED FROM BORE HOLES AS DOCUMENTED IN CARDNO GEOTECHNICAL INVESTIGATION REPORT 207 FOREST WAY BELROSE GLENAEON RETIREMENT VILLAGE REDEVELOPMENT 18th JANUARY 2019 AND GEOTECHNICAL INVESTIGATION REPORT GLENAEON RETIREMENT VILLAGE REDEVELOPMENT 16th JANUARY 2019. ROCK SURFACE PROJECTED AND INTERPRETED BETWEEN BOREHOLES AND IS NOT AN ACCURATE PROFILE OF THE EXISTING ROCK LEVEL BETWEEN BOREHOLES. ROCK DEPTH TO BE CONFIRMED ON SITE DURING EXCAVATION.





NOTES

- LENGTHS SHOWN INDICATE DISTANCE BETWEEN SETOUT POINTS AND NOT PIPE LENGTHS
- INSTALL CONCRETE BULKHEADS AND TRENCH SPOTS EVERY THIRD PIPE JOINT FOR PIPE GRADES GREATER THAN 5%. REFER DETAIL ON DRAWING 2203.
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Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA



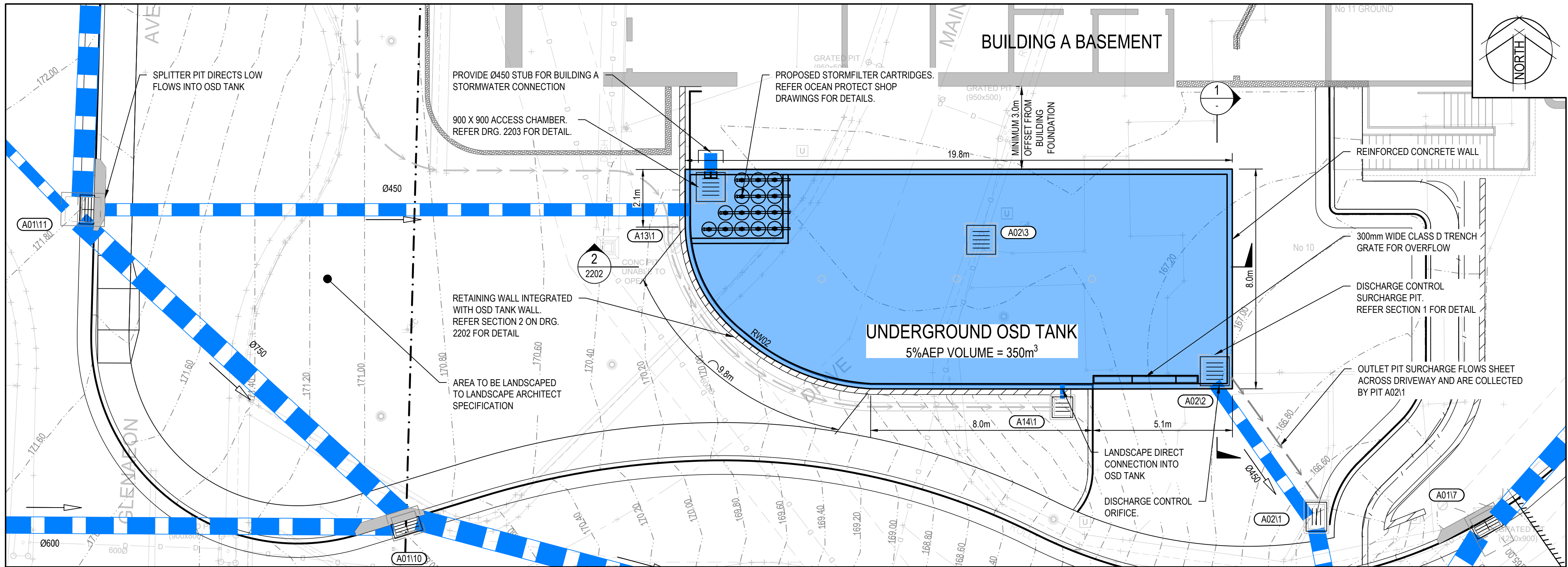
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Drawn	Date	Client
GJJ	21/02/2020	LENDELEASE
Checked	Date	Project
MLL	21/02/2020	GLENAEON RETIREMENT LIVING
Designed	Date	PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL
MLL	21/02/2020	SECTION 4.55 MODIFICATION DA2018/1332
Verified	Date	Title
RFA	21/02/2020	STORMWATER LONGITUDINAL SECTIONS
Approved	Date	
RFA	21/02/2020	

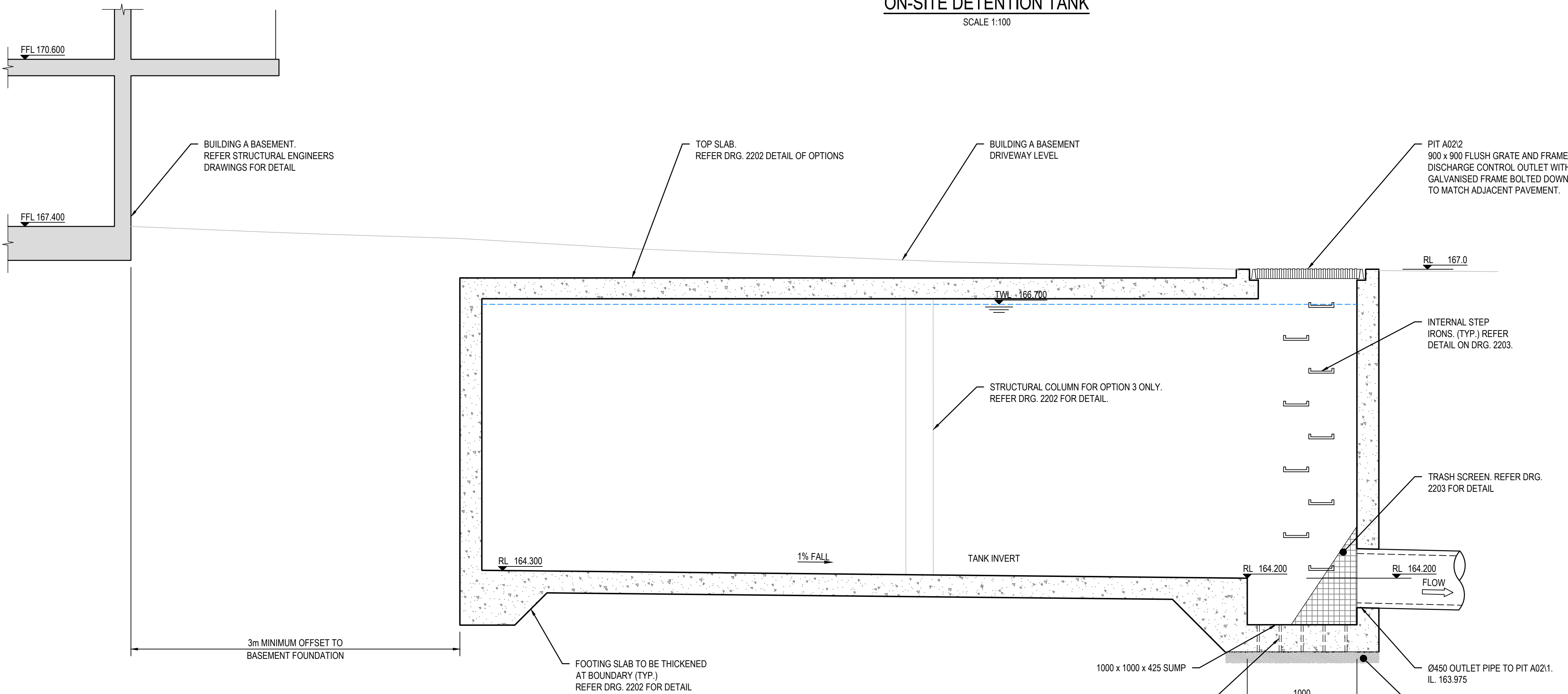
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Project	GLENAEON RETIREMENT LIVING	Status	FOR APPROVAL
Section	PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL	DATUM	NOT TO BE USED FOR CONSTRUCTION PURPOSES
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		Revision	2

Sheet	21/02/2020	Client	LENDELEASE
Project	GLENAEON RETIREMENT LIVING	Status	FOR APPROVAL
Section	PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL	DATUM	NOT TO BE USED FOR CONSTRUCTION PURPOSES
Title	SECTION 4.55 MODIFICATION DA2018/1332	DATE	21/02/2020
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		Revision	2



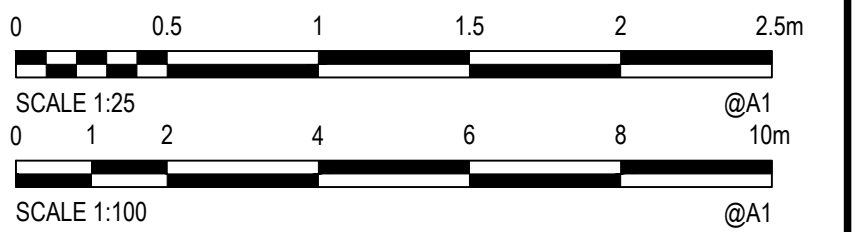
ON-SITE DETENTION TANK

SCALE 1:100



SECTION 1

SCALE 1:25



OSD TANK

STORM EVENTS	WATER LEVEL (RL m)
5% AEP	166.70 - FULL TANK*
20% AEP	165.88
1EY	164.84
4EY	168.59

*OVERFLOW PIT AND TRENCH GRATED DRAIN OPERATES AS WEIR TO CONTROL THE MAJOR STORM EVENT

NOTE:

- OSD TANK SURCHARGES IN 5% AEP EVENT. 1% AEP PSD FLOWS ARE MET AT THE SITE BOUNDARY.
- REFER WARRINGAH COUNCIL STANDARD DRAWING 9070A FOR DETAIL.
- SURCHARGE/INSPECTION OPENING TO BE LOCATED OVER SILT TRAP AND OUTLET PIPE.
- OUTLET PIPE TO BE CAST INTO WALL OF PIT.
- MAXIMESH SCREEN MUST BE PLACED SO THAT THE LONG AXIS OF THE OVAL SHAPED HOLES ARE HORIZONTAL, WITH THE PROTRUDING LIP ANGLED UPWARDS AND FACING DOWNSTREAM.
- SILT TRAP TO BE 200mm BELOW THE INVERT OF THE OUTLET PIPE.
- SET ϵ OF OUTLET PIPE TO THE SAME LEVEL AS THE BASE OF THE TANK.
- REFER DRG. 2202 FOR STRUCTURAL DETAIL OPTIONS. ASSUMPTIONS IN STRUCTURAL DESIGN ARE AS FOLLOWS:
A. TRAFFIC LIVE LOAD: 15kPa
B. EXPOSURE CLASSIFICATION: B1
C. CONCRETE GRADE: 40MPa
D. COVER: 30mm

Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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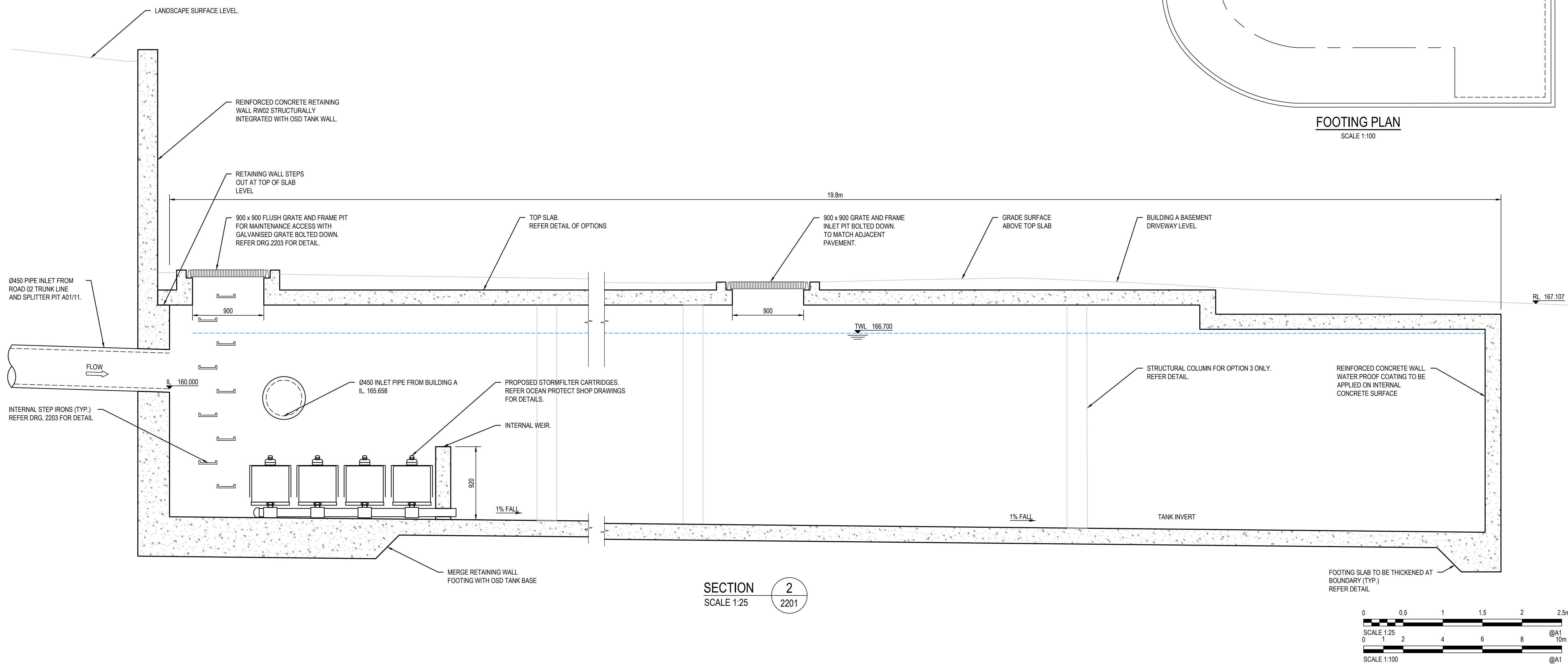
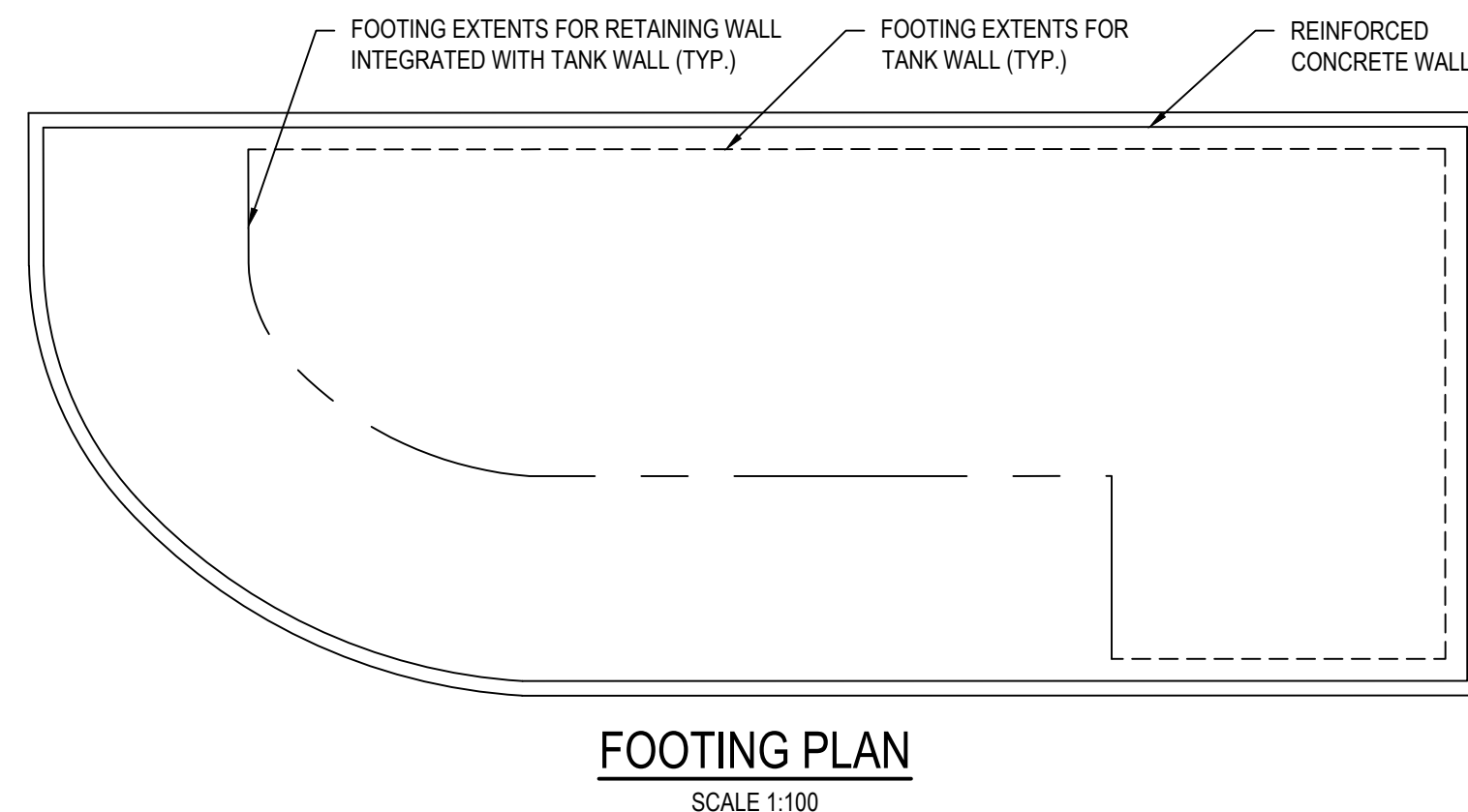
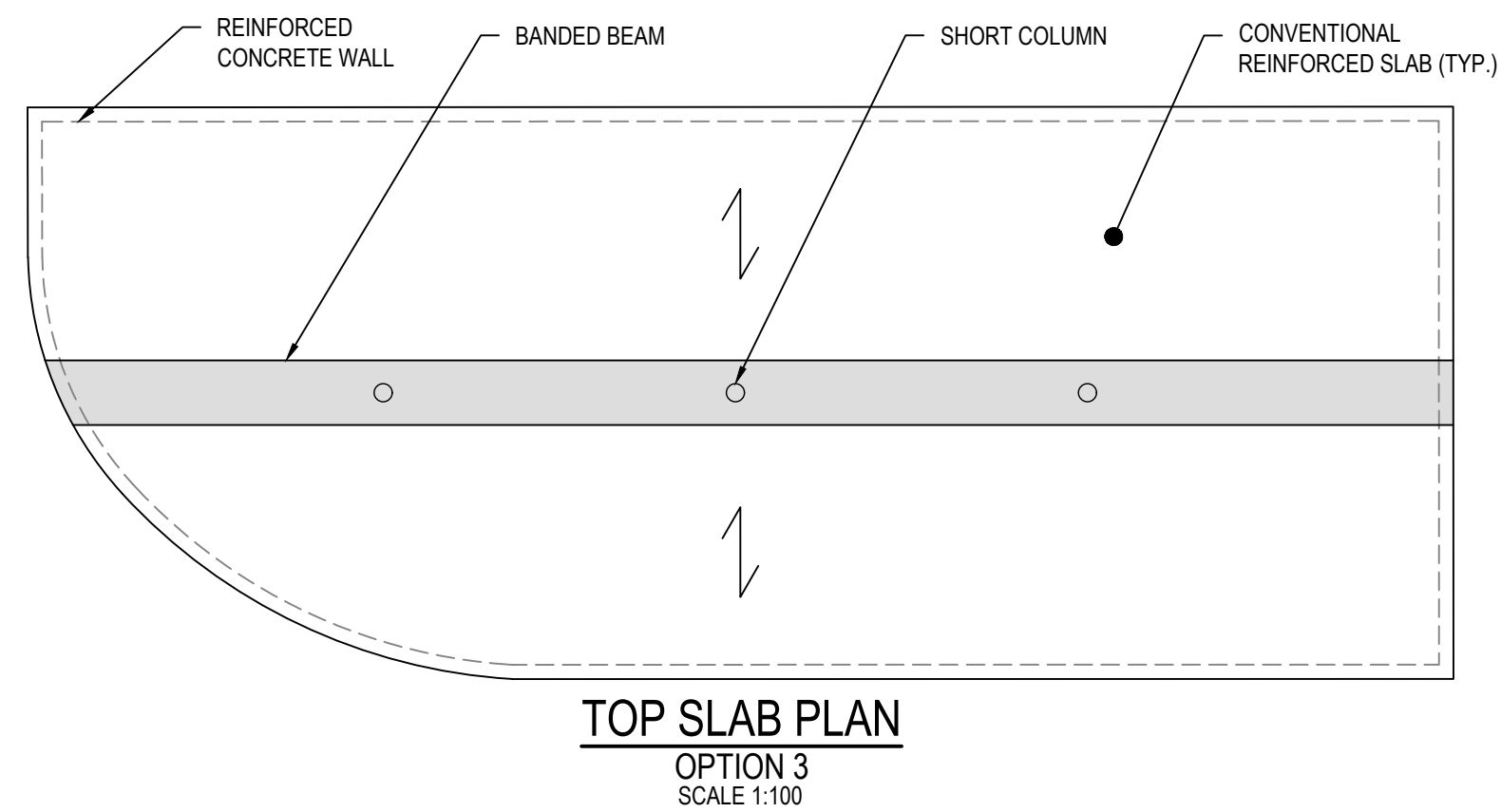
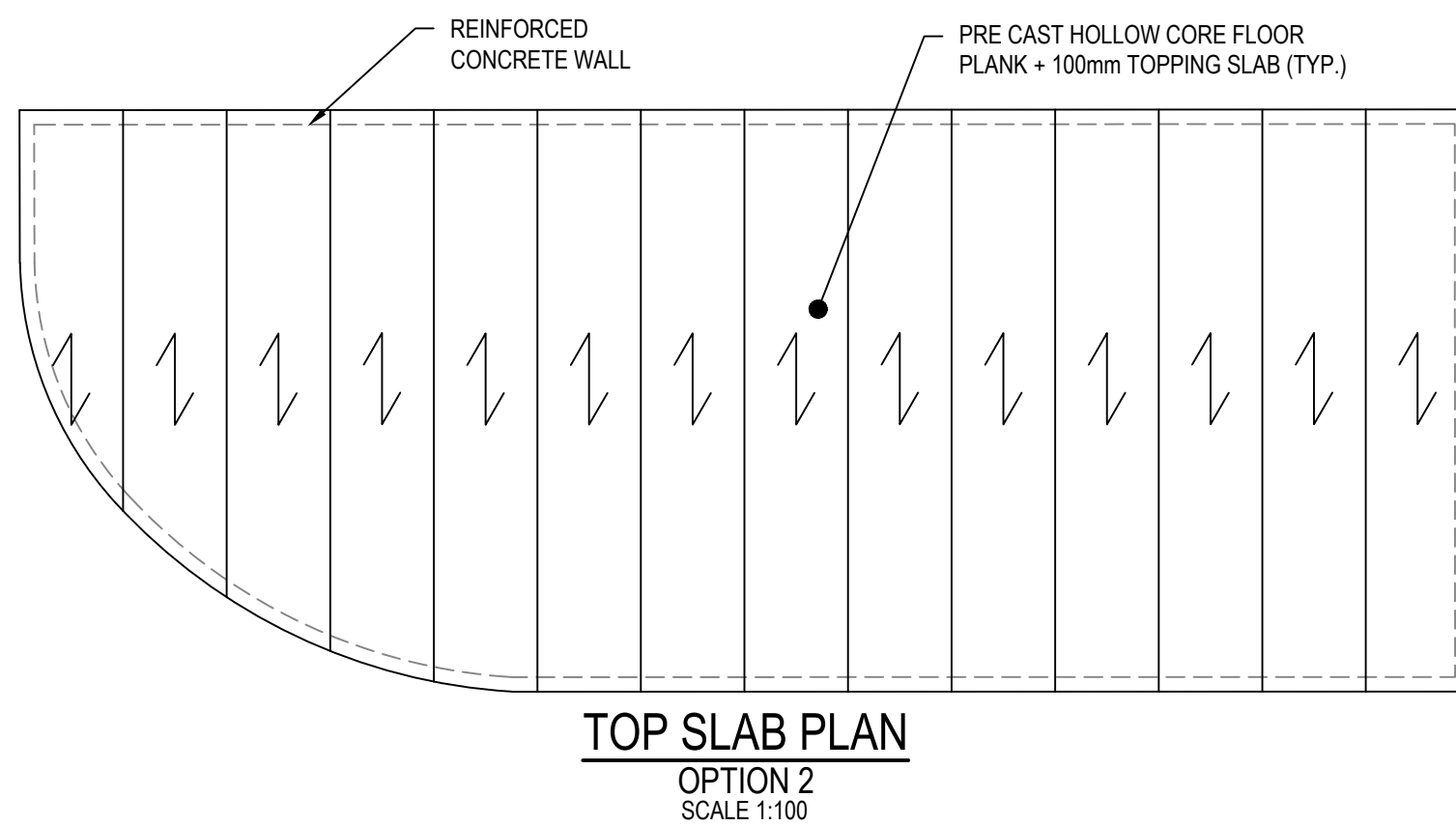
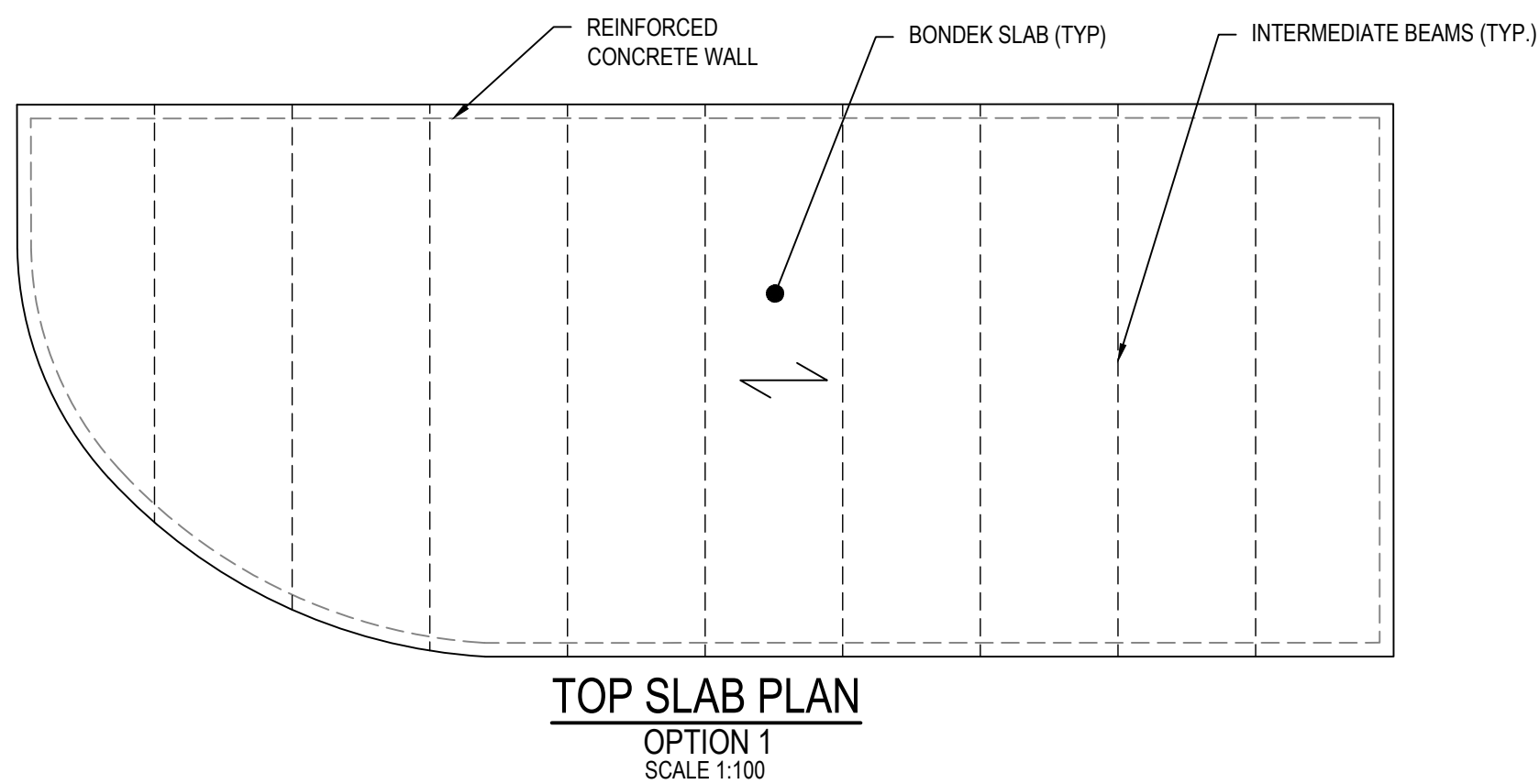
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Checked	MLL	Date	21/02/2020
Designed	MLL	Date	21/02/2020
Verified	RFA	Date	21/02/2020
Approved	RFA	Date	21/02/2020

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	STORMWATER DRAINAGE DETAILS
SHEET	01

Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES	
DATUM	A.H.D
DATE	21/02/2020
Scale	AS SHOWN
Size	A1
Drawing Number	256773_CDA_DA2_000_2201
Revision	2

NOTE:

1. OSD TANK SURCHARGES IN 5% AEP EVENT. 1% AEP PSD FLOWS ARE MET AT THE SITE BOUNDARY.
2. REFER WARRINGAH COUNCIL STANDARD DRAWING 9070A FOR DETAIL.
3. SURCHARGE/INSPECTION OPENING TO BE LOCATED OVER SILT TRAP AND OUTLET PIPE.
4. OUTLET PIPE TO BE CAST INTO WALL OF PIT.
5. MAXIMESH SCREEN MUST BE PLACED SO THAT THE LONG AXIS OF THE OVAL SHAPED HOLES ARE HORIZONTAL, WITH THE PROTRUDING LIP ANGLED UPWARDS AND FACING DOWNSTREAM.
6. SILT TRAP TO BE 200mm BELOW THE INVERT OF THE OUTLET PIPE.
7. SET 1 OF OUTLET PIPE TO THE SAME LEVEL AS THE BASE OF THE TANK.
8. REFER DRG. 2202 FOR STRUCTURAL DETAIL OPTIONS. ASSUMPTIONS IN STRUCTURAL DESIGN ARE AS FOLLOWS:
 - A. TRAFFIC LIVE LOAD: 15Kpa
 - B. EXPOSURE CLASSIFICATION: B1
 - C. CONCRETE GRADE: 40MPa
 - D. COVER: 30mm

[illegible]

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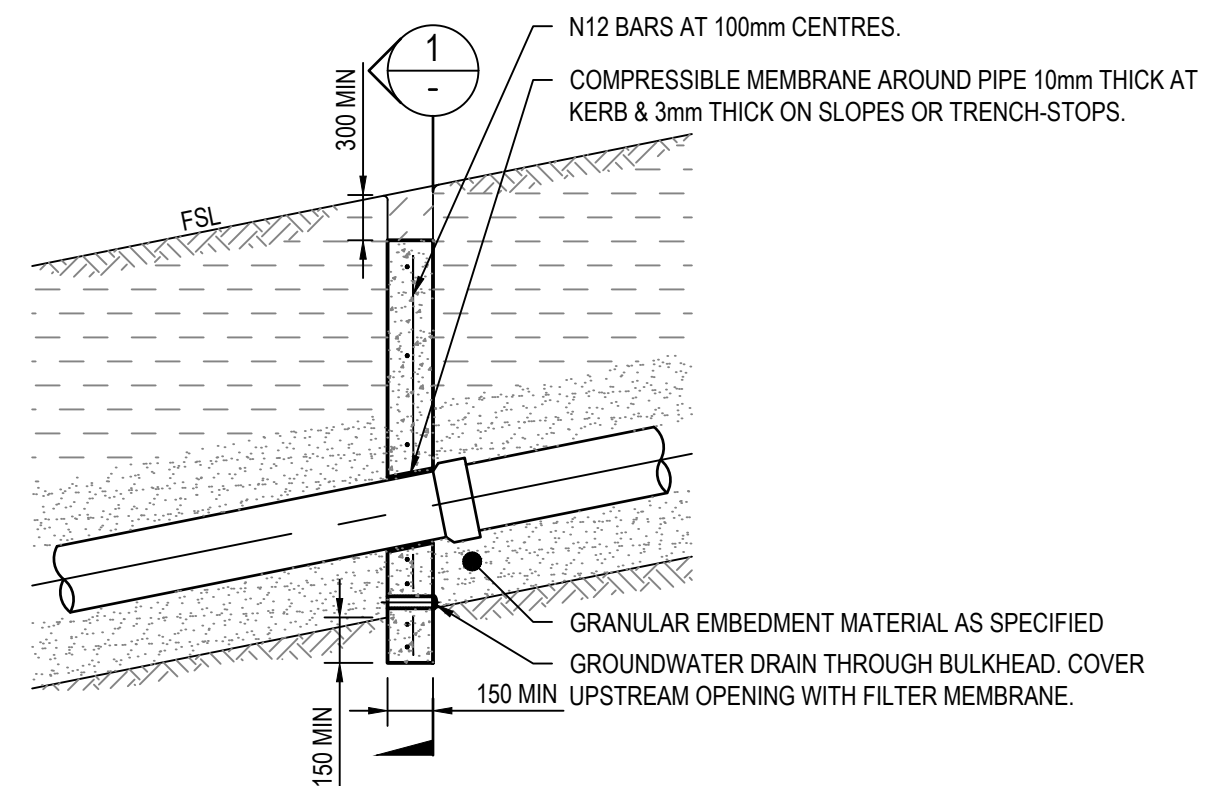


Drawn GJJ	Date 21/02/2020	Client LENLEASE			
Checked MLL	Date 21/02/2020	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332	Status FOR APPROVAL		
Designed ML	Date 21/02/2020		NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Verified RFA	Date 21/02/2020		DATUM DATE Scale Size A.H.D 21/02/2020 AS SHOWN A1		
Approved			Drawing Number Revision 256773_CDA_DA2_000_2202 2		
RFA	21/02/2020	Title STORMWATER DRAINAGE DETAILS			
		SHEET 02			

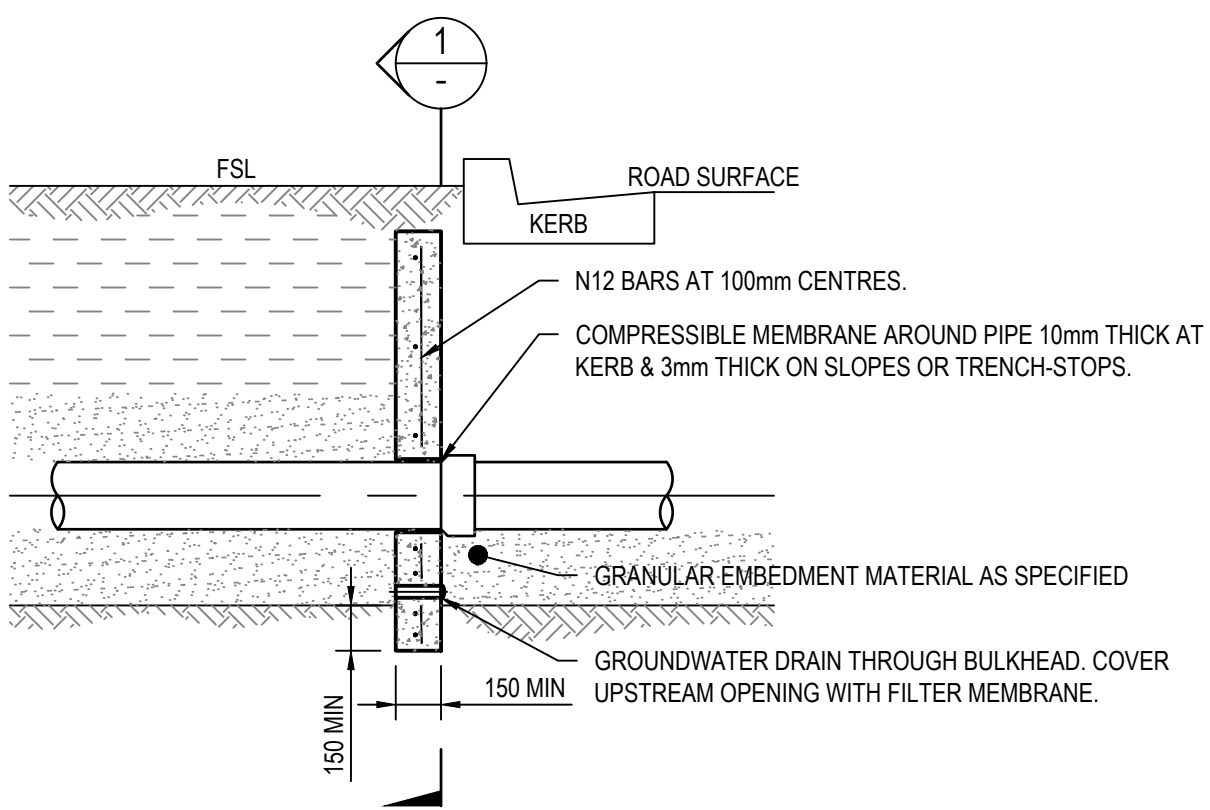
DATE PLOTTED: 4 March 2020 11:52 AM BY: GEORGE ZAIT

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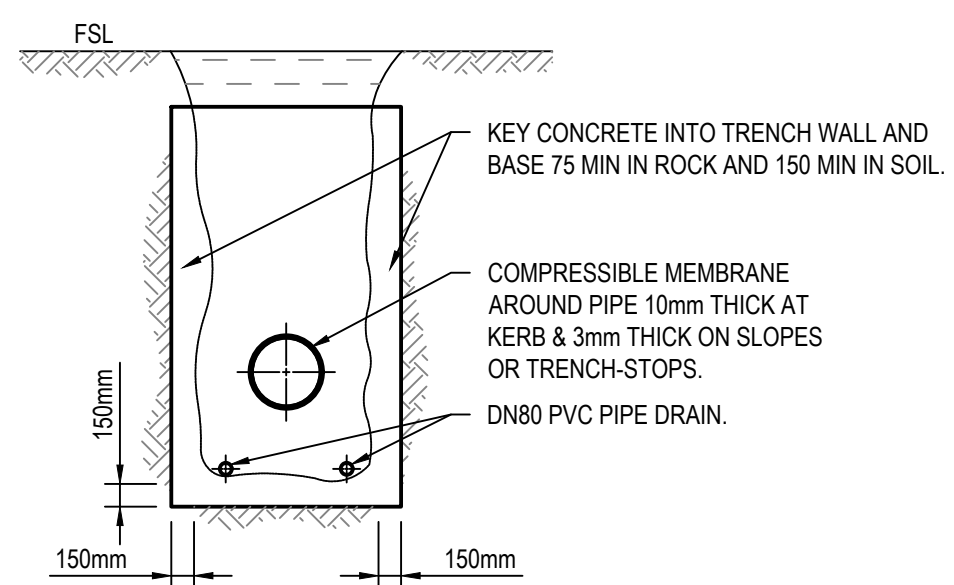
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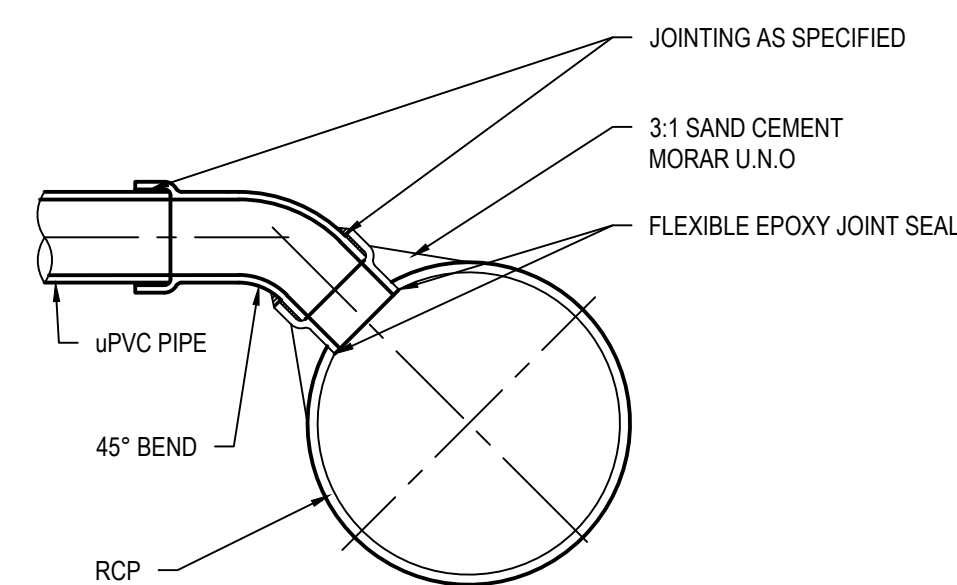
CONCRETE BULKHEAD SECTION
SCALE 1:50



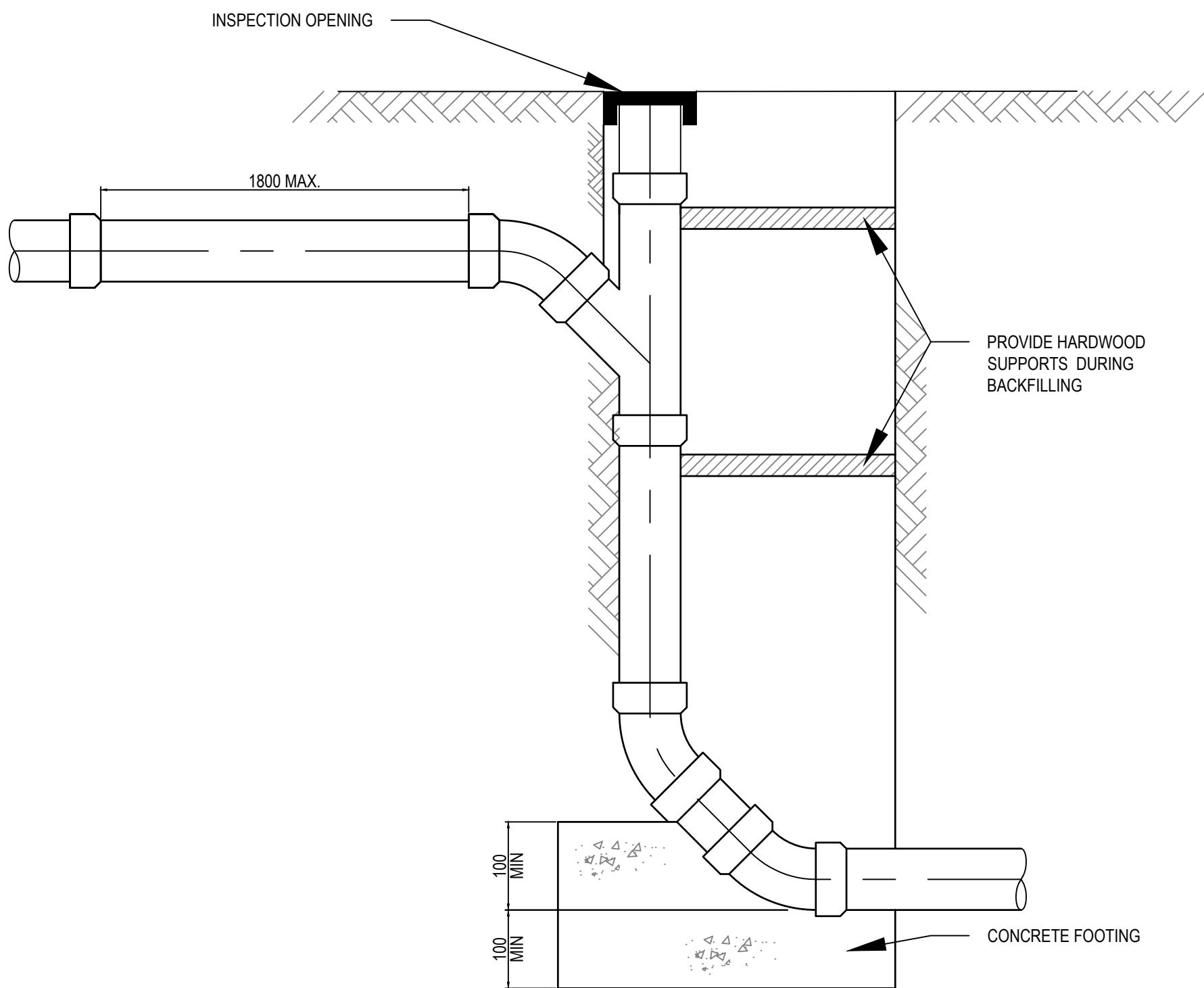
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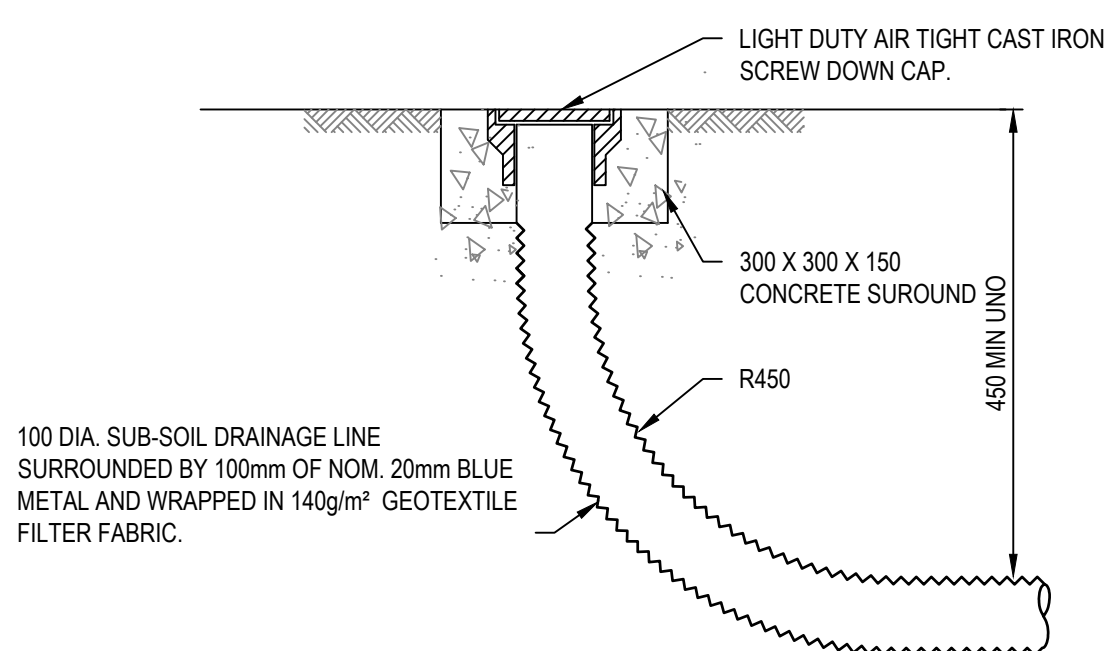
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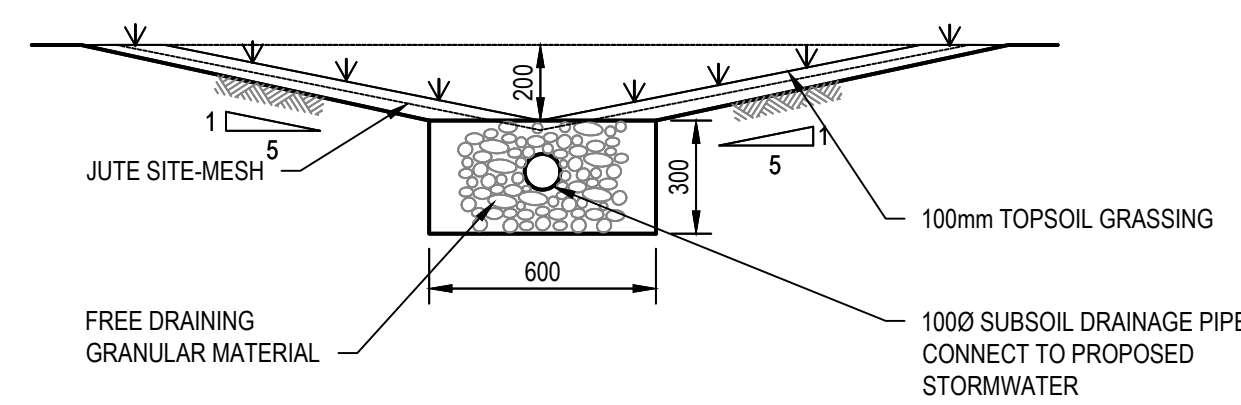
DIRECT CONNECTION DETAIL
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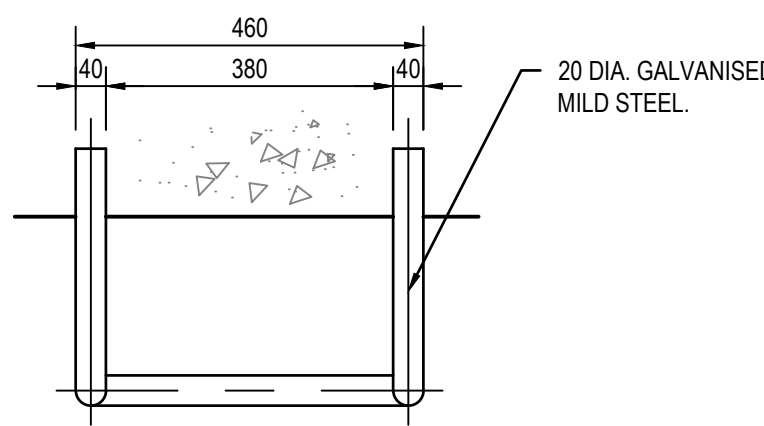
VERTICAL DROP
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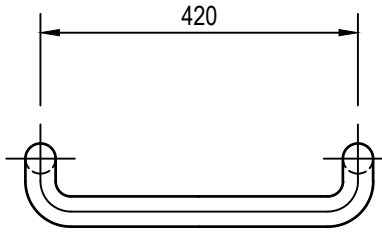
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SCALE 1:10



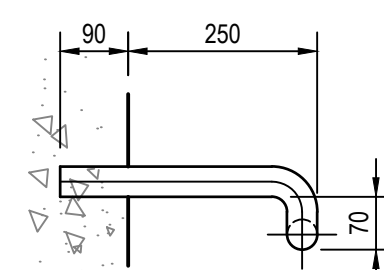
TYPICAL SECTION THROUGH GRASS LINED SWALE
SCALE 1:20



PLAN

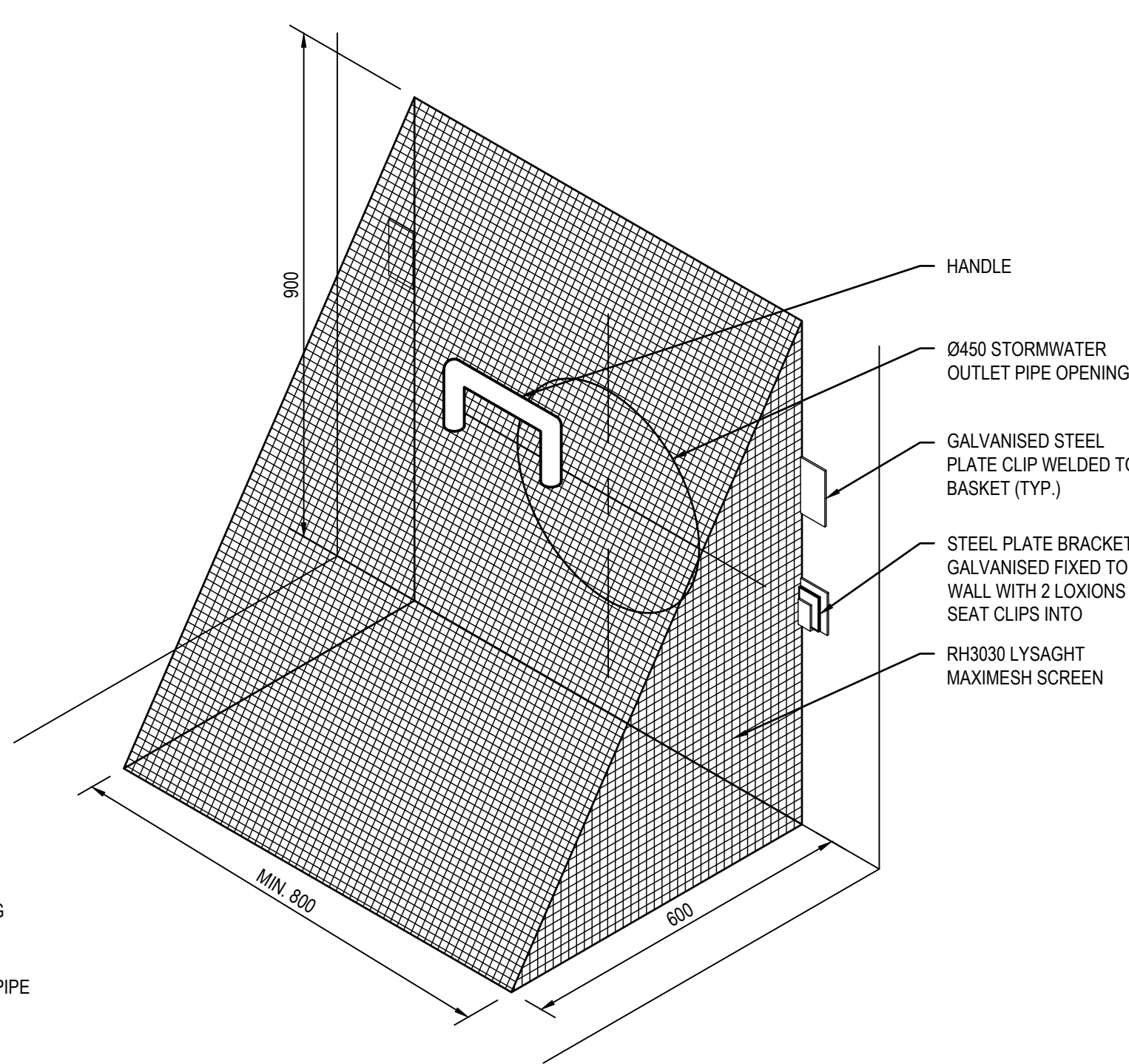


FRONT ELEVATION

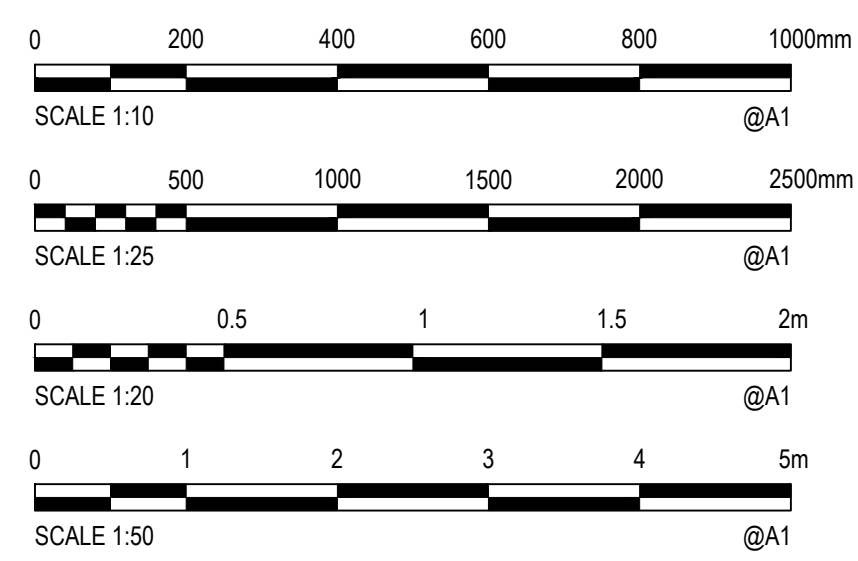


SIDE ELEVATION

STEP IRON DETAIL
SCALE 1:10



TRASH SCREEN DETAIL
SCALE 1:10



- NOTE:**
- OSD TANK SURCHARGES IN 5% AEP EVENT. 1% AEP PSD FLOWS ARE MET AT THE SITE BOUNDARY. REFER WARRINGGAH COUNCIL STANDARD DRAWING 9070A FOR DETAIL.
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B. EXPOSURE CLASSIFICATION: B1
C. CONCRETE GRADE: 40MPa
D. COVER: 30mm

Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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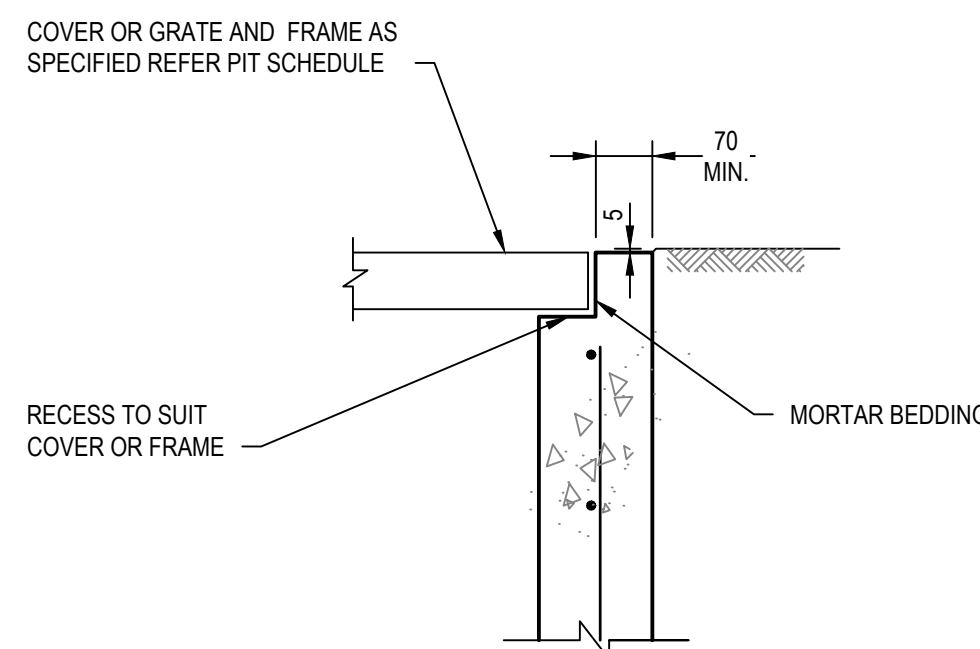
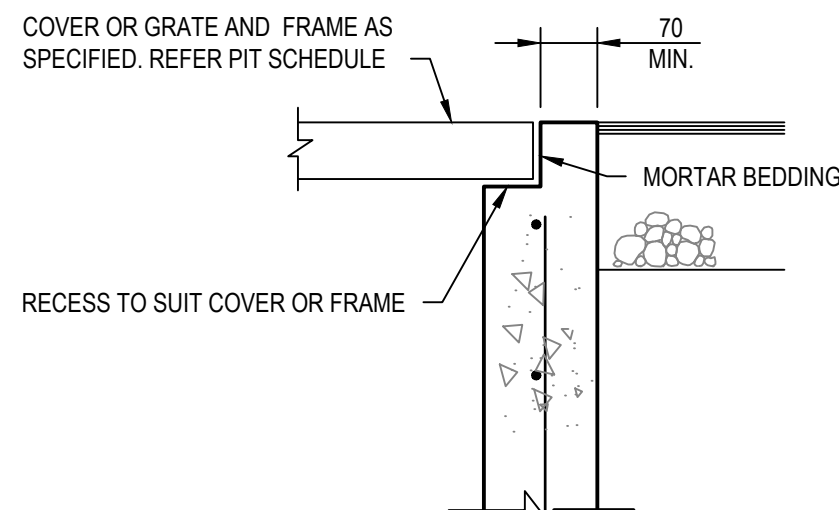
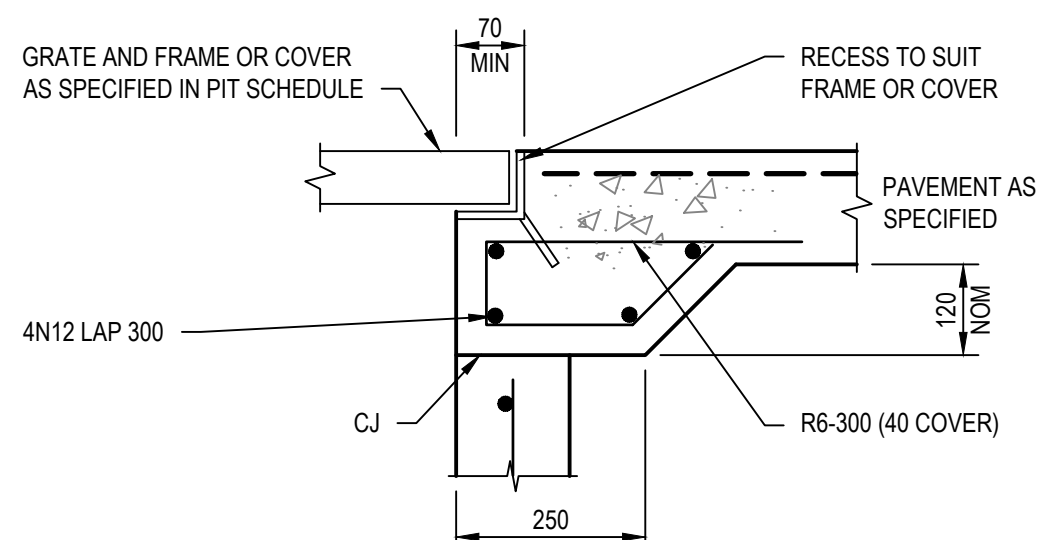
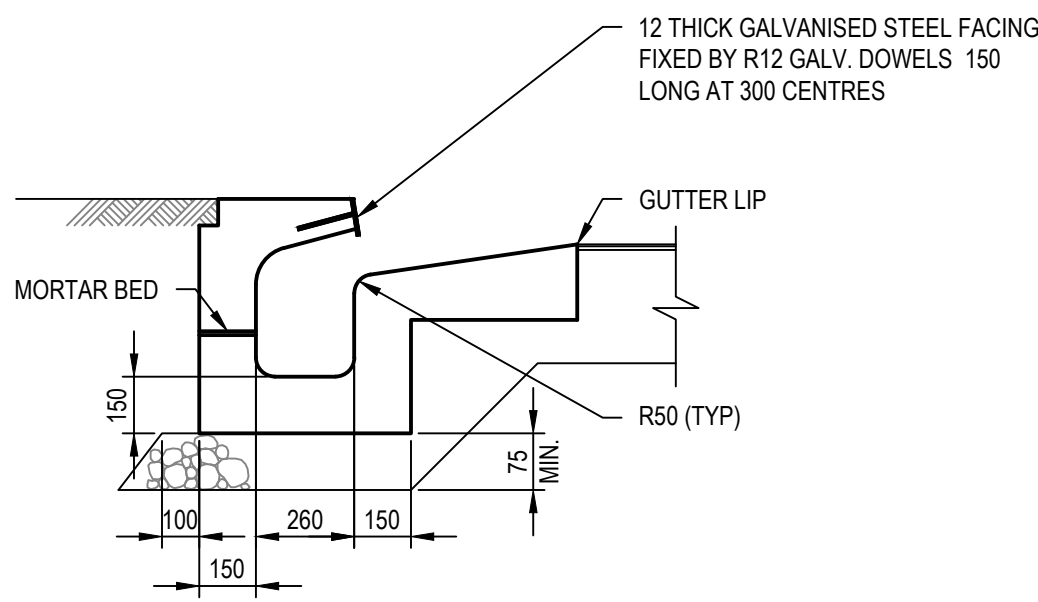
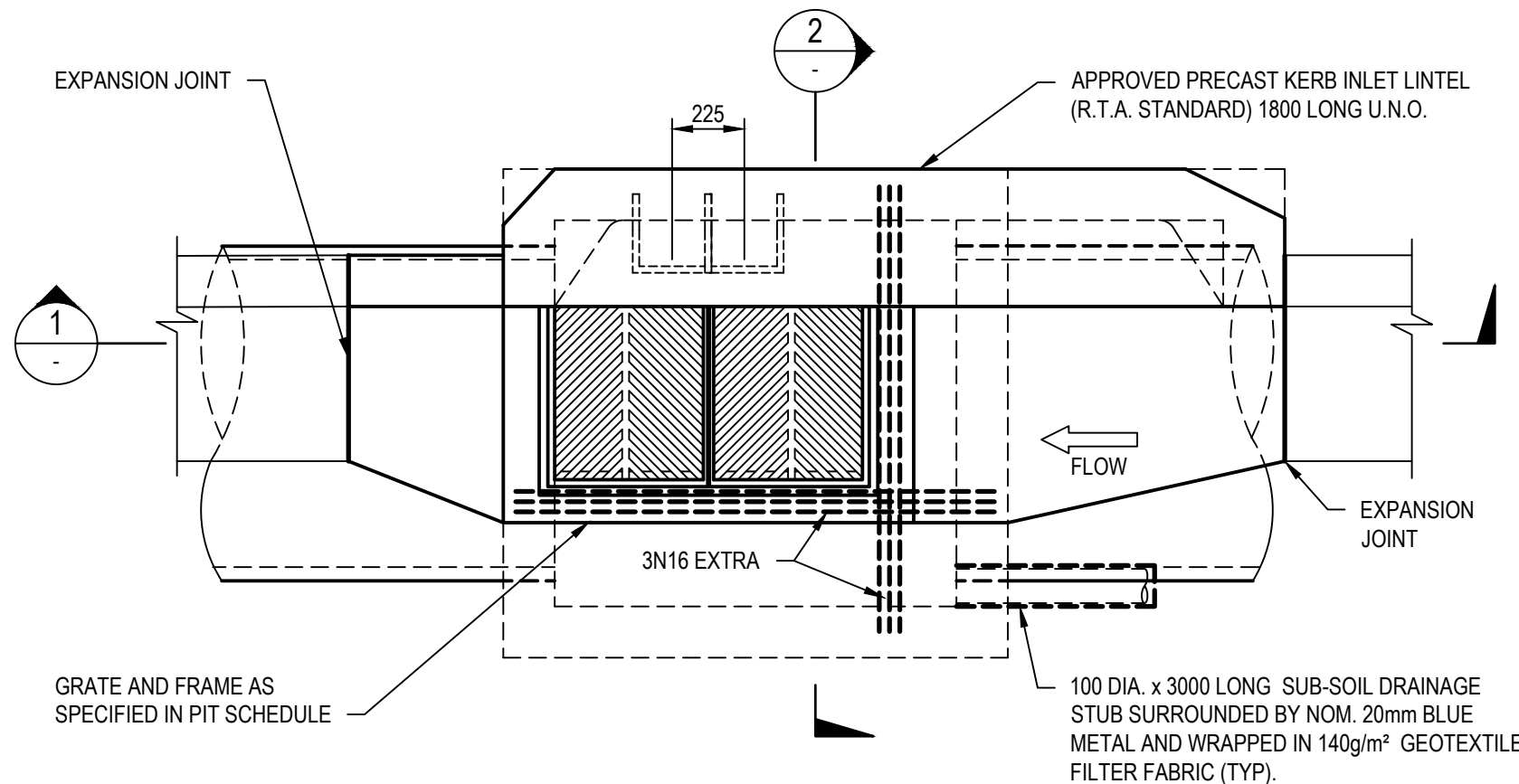
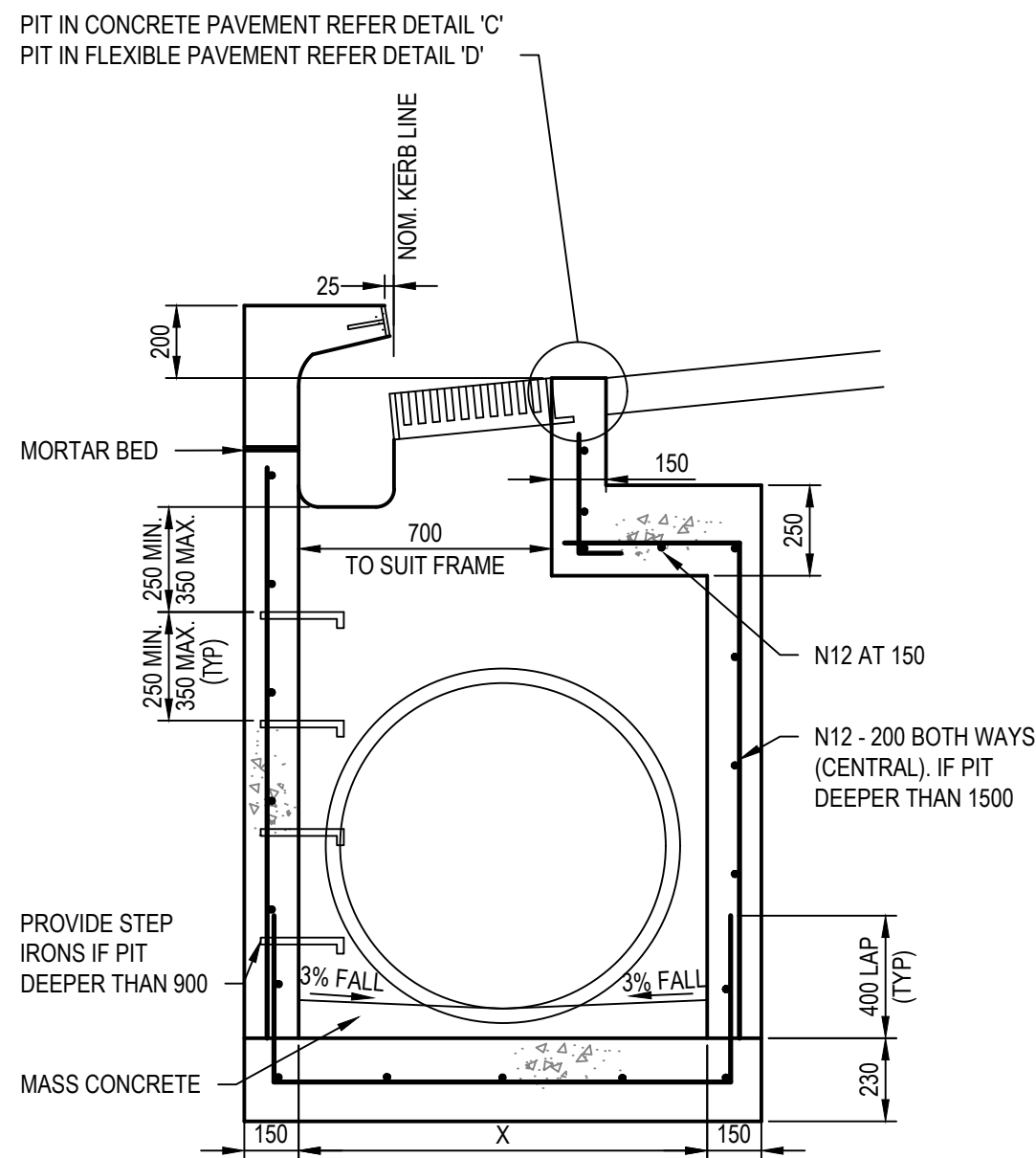
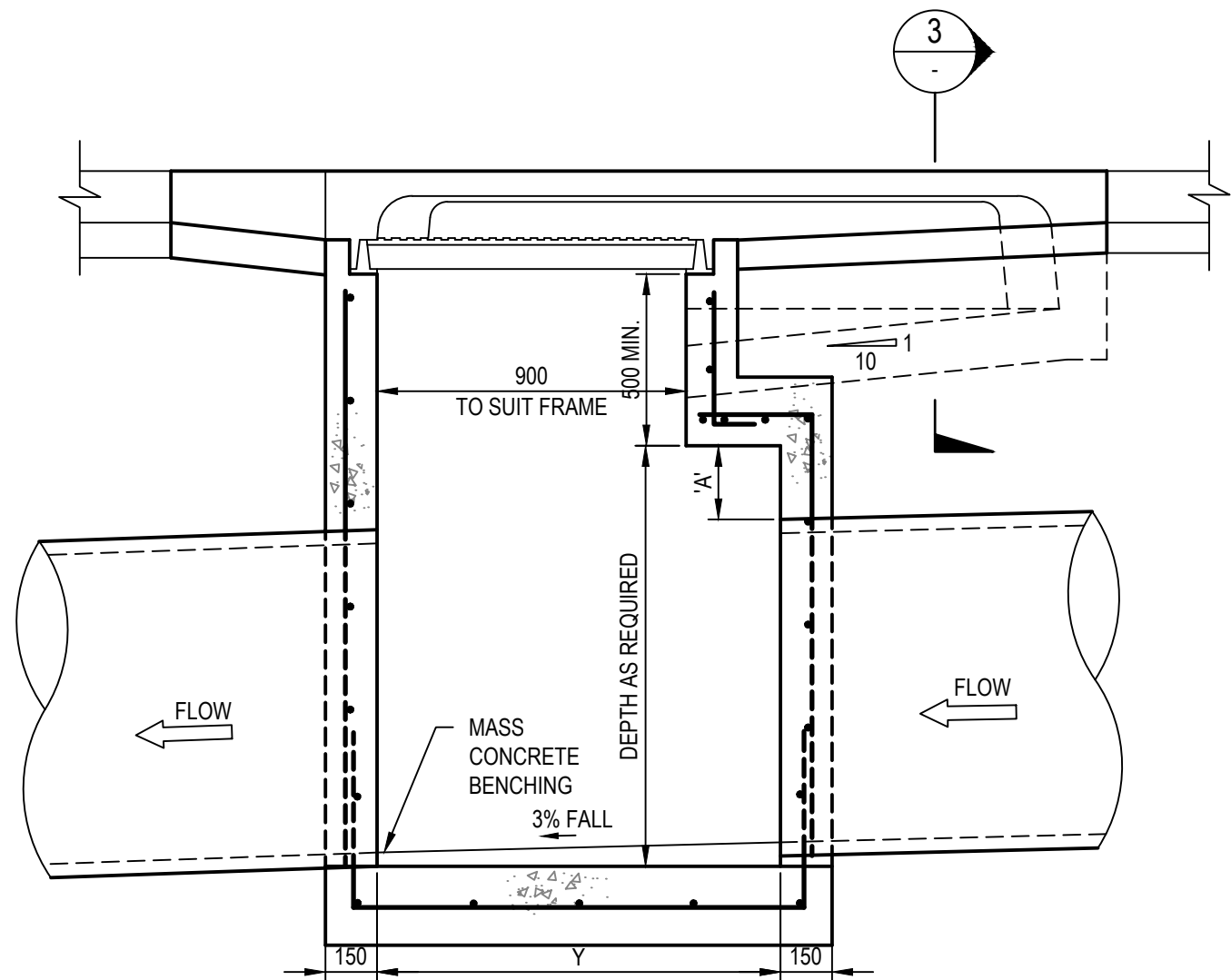
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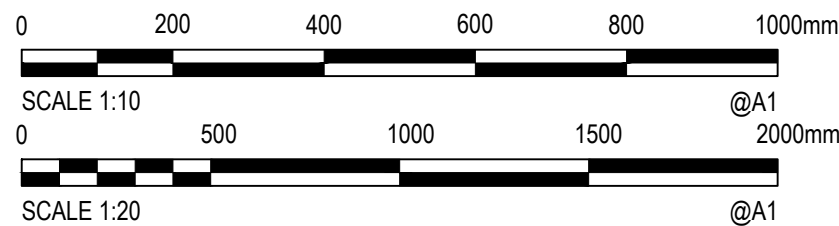
Cardno (NSW/ACT) Pty Ltd | ABN 95 001 145 035
Level 9, The Forum, 203 Pacific Highway
St Leonards, NSW 2055
Tel: 02 9496 7700 Fax: 02 9439 5170
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Drawn GJJ 21/02/2020	Date 21/02/2020	Client LENLEASE
Checked MLL 21/02/2020	Date 21/02/2020	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Designed MLL 21/02/2020	Date 21/02/2020	Title STORMWATER DRAINAGE DETAILS
Verified RFA 21/02/2020	Date 21/02/2020	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
Approved RFA 21/02/2020	Date 21/02/2020	Drawing Number 256773_CDA_DA2_000_2203
		Revision 2

DATE PLOTTED: 4 March 2020 11:52 AM BY: GEORGE IZAIT
XREFs: XR-80218079-CH-LOGO
CAD File: N:\Projects\80218079 - Glenaeon Renewal\Drawings\Build\Stage 01 DA2 BUILD D MOD\256773_CDA_DA2_000_2211-2212 STORMWATER DRAINAGE PIT DETAILS.dwg



PIT TYPE 'A' - KERB INLET PIT DETAIL (PIT GREATER THAN 900mm LONG)



Rev.	Date	Description	Des.	Verif.	Appd.
2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION	MLL	RFA	RFA
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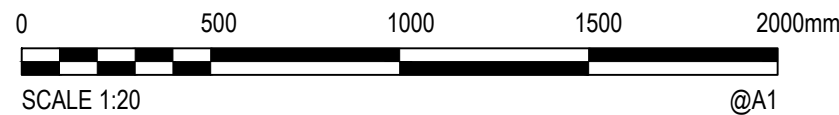
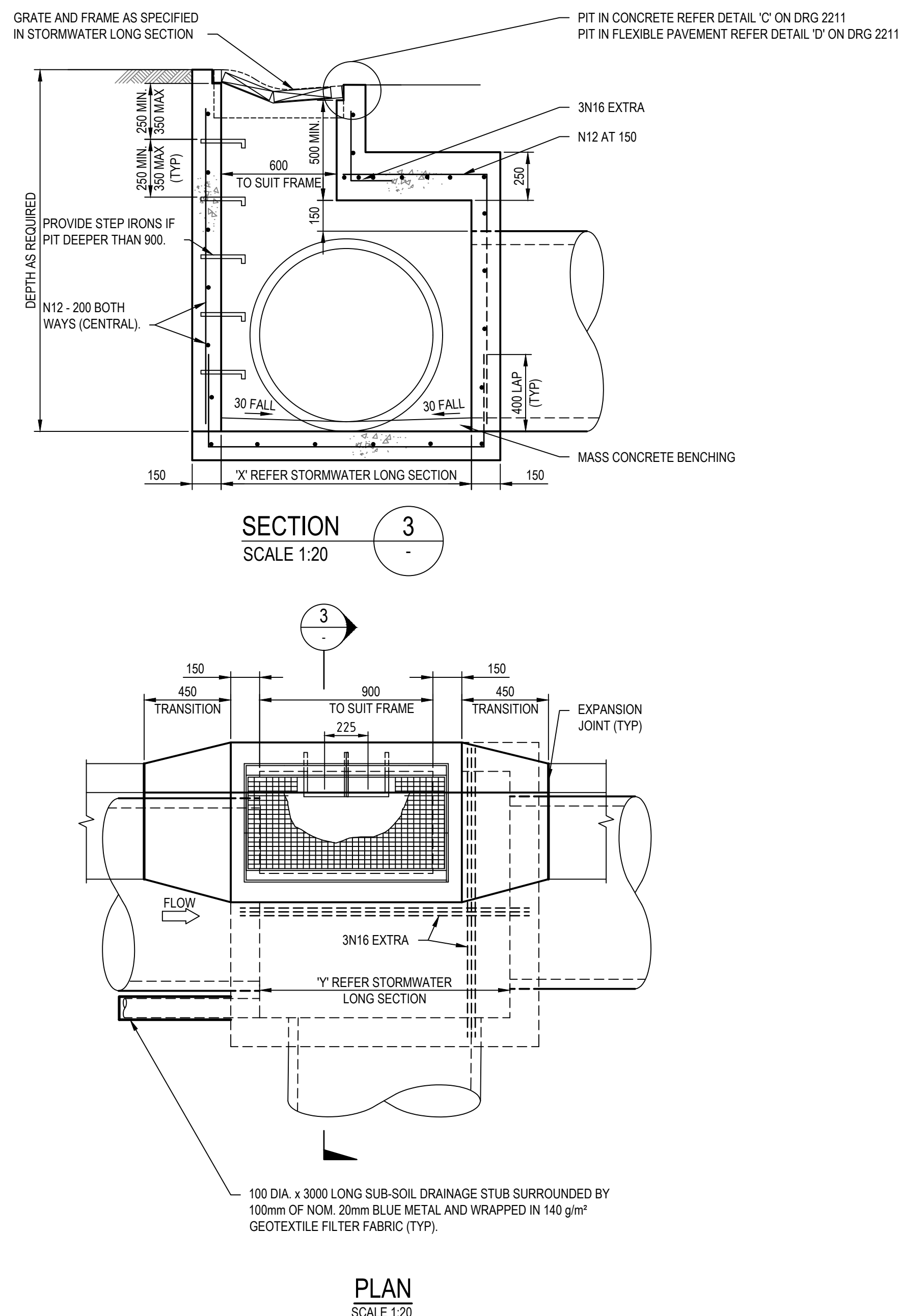
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Checked	MLL	Date	21/02/2020
Designed	MLL	Date	21/02/2020
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Approved	RFA	Date	21/02/2020

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	STORMWATER DRAINAGE TYPICAL PIT DETAILS
Sheet	SHEET 01

Status				
FOR APPROVAL				
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
DATUM	DATE	Scale	Size	
A.H.D	21/02/2020	AS SHOWN	A1	
Drawing Number			Revision	
256773_CDA_DA2_000_2211			2	

PIT TYPE 'B'

PIT TYPE 'C'

[illegible]

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Drawn	Date
GJI	21/02/2020
Checked	Date
MLL	21/02/2020
Designed	Date
MLL	21/02/2020
Verified	Date
RFA	21/02/2020
Approved	
RFA	21/02/2020

Client	LENLELEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY - CIVIL WORKS RENEWAL SECTION 4.55 MODIFICATION DA2018/1332
Title	STORMWATER DRAINAGE TYPICAL PIT DETAILS
	SHEET 02

Status			
FOR APPROVAL			
NOT TO BE USED FOR CONSTRUCTION PURPOSES			
DATUM	DATE	Scale	Size
A.H.D	21/02/2020	AS SHOWN	A1
Drawing Number			Revision
256773_CDA_DA2_000_2212			2

The site plan illustrates the 207 Forest Way Retirement Village Precinct, featuring several buildings and their associated catchment areas. The buildings are color-coded: Building A+B (green), Building C (purple), and Building D (blue). The catchment areas are outlined in blue and labeled with codes and areas (e.g., A01118, 3.818ha). The plan also shows existing infrastructure, including Glenaeon Drive, Glenaeon Avenue, and South Avenue. A sewer pump station (existing) is located near the bottom right, and a catchment outlet is indicated. The plan includes a north arrow and a scale bar.

207 FOREST WAY RETIREMENT VILLAGE PRECINCT

Buildings and Catchment Areas:

- Building A+B (Green): A01118 (3.818ha), A01117 (0.0148ha), A01116 (0.0146ha), A01114 (0.0306ha), A01113 (0.0072ha), A01112 (0.0097ha), A01111 (0.0204ha), A01110 (0.0148ha), A01109 (0.0127ha), A01108 (0.081ha), A01107 (0.0481ha), A01106 (0.0186ha), A01105 (0.0278ha), A01104 (0.0152ha), A01103 (0.0152ha), A01102 (0.0568ha), A01101 (0.0102ha), A01100 (0.0102ha), A01099 (0.0102ha), A01098 (0.0102ha), A01097 (0.0102ha), A01096 (0.0102ha), A01095 (0.0102ha), A01094 (0.0102ha), A01093 (0.0102ha), A01092 (0.0102ha), A01091 (0.0102ha), A01090 (0.0102ha), A01089 (0.0102ha), A01088 (0.0102ha), A01087 (0.0102ha), A01086 (0.0102ha), A01085 (0.0102ha), A01084 (0.0102ha), A01083 (0.0102ha), A01082 (0.0102ha), A01081 (0.0102ha), A01080 (0.0102ha), A01079 (0.0102ha), A01078 (0.0102ha), A01077 (0.0102ha), A01076 (0.0102ha), A01075 (0.0102ha), A01074 (0.0102ha), A01073 (0.0102ha), A01072 (0.0102ha), A01071 (0.0102ha), A01070 (0.0102ha), A01069 (0.0102ha), A01068 (0.0102ha), A01067 (0.0102ha), A01066 (0.0102ha), A01065 (0.0102ha), A01064 (0.0102ha), A01063 (0.0102ha), A01062 (0.0102ha), A01061 (0.0102ha), A01060 (0.0102ha), A01059 (0.0102ha), A01058 (0.0102ha), A01057 (0.0102ha), A01056 (0.0102ha), A01055 (0.0102ha), A01054 (0.0102ha), A01053 (0.0102ha), A01052 (0.0102ha), A01051 (0.0102ha), A01050 (0.0102ha), A01049 (0.0102ha), A01048 (0.0102ha), A01047 (0.0102ha), A01046 (0.0102ha), A01045 (0.0102ha), A01044 (0.0102ha), A01043 (0.0102ha), A01042 (0.0102ha), A01041 (0.0102ha), A01040 (0.0102ha), A01039 (0.0102ha), A01038 (0.0102ha), A01037 (0.0102ha), A01036 (0.0102ha), A01035 (0.0102ha), A01034 (0.0102ha), A01033 (0.0102ha), A01032 (0.0102ha), A01031 (0.0102ha), A01030 (0.0102ha), A01029 (0.0102ha), A01028 (0.0102ha), A01027 (0.0102ha), A01026 (0.0102ha), A01025 (0.0102ha), A01024 (0.0102ha), A01023 (0.0102ha), A01022 (0.0102ha), A01021 (0.0102ha), A01020 (0.0102ha), A01019 (0.0102ha), A01018 (0.0102ha), A01017 (0.0102ha), A01016 (0.0102ha), A01015 (0.0102ha), A01014 (0.0102ha), A01013 (0.0102ha), A01012 (0.0102ha), A01011 (0.0102ha), A01010 (0.0102ha), A01009 (0.0102ha), A01008 (0.0102ha), A01007 (0.0102ha), A01006 (0.0102ha), A01005 (0.0102ha), A01004 (0.0102ha), A01003 (0.0102ha), A01002 (0.0102ha), A01001 (0.0102ha), A01000 (0.0102ha), A00999 (0.0102ha), A00998 (0.0102ha), A00997 (0.0102ha), A00996 (0.0102ha), A00995 (0.0102ha), A00994 (0.0102ha), A00993 (0.0102ha), A00992 (0.0102ha), A00991 (0.0102ha), A00990 (0.0102ha), A00989 (0.0102ha), A00988 (0.0102ha), A00987 (0.0102ha), A00986 (0.0102ha), A00985 (0.0102ha), A00984 (0.0102ha), A00983 (0.0102ha), A00982 (0.0102ha), A00981 (0.0102ha), A00980 (0.0102ha), A00979 (0.0102ha), A00978 (0.0102ha), A00977 (0.0102ha), A00976 (0.0102ha), A00975 (0.0102ha), A00974 (0.0102ha), A00973 (0.0102ha), A00972 (0.0102ha), A00971 (0.0102ha), A00970 (0.0102ha), A00969 (0.0102ha), A00968 (0.0102ha), A00967 (0.0102ha), A00966 (0.0102ha), A00965 (0.0102ha), A00964 (0.0102ha), A00963 (0.0102ha), A00962 (0.0102ha), A00961 (0.0102ha), A00960 (0.0102ha), A00959 (0.0102ha), A00958 (0.0102ha), A00957 (0.0102ha), A00956 (0.0102ha), A00955 (0.0102ha), A00954 (0.0102ha), A00953 (0.0102ha), A00952 (0.0102ha), A00951 (0.0102ha), A00950 (0.0102ha), A00949 (0.0102ha), A00948 (0.0102ha), A00947 (0.0102ha), A00946 (0.0102ha), A00945 (0.0102ha), A00944 (0.0102ha), A00943 (0.0102ha), A00942 (0.0102ha), A00941 (0.0102ha), A00940 (0.0102ha), A00939 (0.0102ha), A00938 (0.0102ha), A00937 (0.0102ha), A00936 (0.0102ha), A00935 (0.0102ha), A00934 (0.0102ha), A00933 (0.0102ha), A00932 (0.0102ha), A00931 (0.0102ha), A00930 (0.0102ha), A00929 (0.0102ha), A00928 (0.0102ha), A00927 (0.0102ha), A00926 (0.0102ha), A00925 (0.0102ha), A00924 (0.0102ha), A00923 (0.0102ha), A00922 (0.0102ha), A00921 (0.0102ha), A00920 (0.0102ha), A00919 (0.0102ha), A00918 (0.0102ha), A00917 (0.0102ha), A00916 (0.0102ha), A00915 (0.0102ha), A00914 (0.0102ha), A00913 (0.0102ha), A00912 (0.0102ha), A00911 (0.0102ha), A00910 (0.0102ha), A00909 (0.0102ha), A00908 (0.0102ha), A00907 (0.0102ha), A00906 (0.0102ha), A00905 (0.0102ha), A00904 (0.0102ha), A00903 (0.0102ha), A00902 (0.0102ha), A00901 (0.0102ha), A00900 (0.0102ha), A00899 (0.0102ha), A00898 (0.0102ha), A00897 (0.0102ha), A00896 (0.0102ha), A00895 (0.0102ha), A00894 (0.0102ha), A00893 (0.0102ha), A00892 (0.0102ha), A00891 (0.0102ha), A00890 (0.0102ha), A00889 (0.0102ha), A00888 (0.0102ha), A00887 (0.0102ha), A00886 (0.0102ha), A00885 (0.0102ha), A00884 (0.0102ha), A00883 (0.0102ha), A00882 (0.0102ha), A00881 (0.0102ha), A00880 (0.0102ha), A00879 (0.0102ha), A00878 (0.0102ha), A00877 (0.0102ha), A00876 (0.0102ha), A00875 (0.0102ha), A00874 (0.0102ha), A00873 (0.0102ha), A00872 (0.0102ha), A00871 (0.0102ha), A00870 (0.0102ha), A00869 (0.0102ha), A00868 (0.0102ha), A00867 (0.0102ha), A00866 (0.0102ha), A00865 (0.0102ha), A00864 (0.0102ha), A00863 (0.0102ha), A00862 (0.0102ha), A00861 (0.0102ha), A00860 (0.0102ha), A00

LEGEND

EXTERNAL CATCHMENT AREA

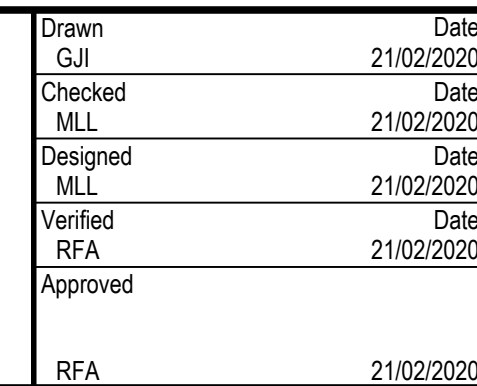
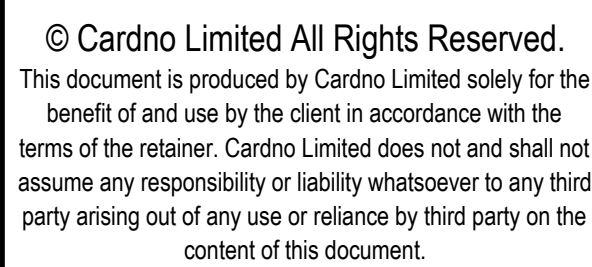
PROPOSED CATCHMENT AREA

FLOW DIRECTION

A01/1

CATCHMENT LABEL

2	04/03/2020	ISSUED FOR DEVELOPMENT APPLICATION		MLL	RFA
1	21/02/2020	ISSUED FOR CLIENT REVIEW		MLL	RFA
Rev.	Date	Description		Des.	Verif.



Status		FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES			
DATUM	DATE	Scale	Size		
A.H.D	21/02/2020	AS SHOWN	A1		
Drawing Number				Revision	
256773_CDA_DA2_000_2301				2	