

Construction Certificate Determination

Issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2005/609

Council	Pittwater
Determination date of determination	Approved 27 April 2005
Subject land Address Lot No, DP No.	32 Old Barrenjoey Road, Avalon Lot 1 DP 511908
Applicant Name Address Contact No. (phone)	Vicki Jellis 32 Old Barrenjoey Road, Avalon NSW 2107
Owner Name Address Contact No. (phone)	Pittwater Council (Les Munn) Village Park, 1 Park Road, Mona Vale NSW 2103
Description of Development Type of Work	Alterations & Additions to Golf Clubhouse
Builder or Owner/Builder Name Contractor Licence No/Permit	CP Exteriors 14458C
Value of Work Building	\$300,000.00

Pittwater Council

OFFICIAL RECEIPT

27/04/2005 Receipt No 166088

To INSIGHT DEVELOPMENT
CONSULTANTS P/L

PO BOX 326 MONA VALE NSW
1660

Applic Reference	Amount
CL Re PRVC-Priv 1 X NZ19/03	\$30.00

Total: \$30.00

Amounts Tendered

Cash	\$0.00
Cheque	\$30.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 27/04/2005 4:15:17

Cashier CLumma

Attachments

1. Fire Safety Certificate
2. Disability Access Report by Trevor Beardsmore
3. Long Service Levy receipt from Pittwater Council
4. Kitchen Fit-out Schedule and certification by Nigel Merryweather, dated 8 March 2005
5. Erosion and Sediment certification by Nigel Merryweather dated 24 February 2005
6. Drainage & Stormwater certification by DW Knox dated 28 January 2005
7. Street Levels issued by Pittwater Council
8. Structural Engineers certification by DW Knox dated 28 January 2005

Plans & Specification approved

List plans no(s) & specifications
Reference

1. Architectural Plans by Nigel Merryweather, reference nos. A1C, A2C, A3B, A4 & A5, dated 10 May 2004; B amended 4 June 2004, and C amended 10 December 2004
 2. Specifications by Nigel Merryweather dated December 2004
 3. Structural Engineers Details by DW Knox & Partners, reference nos. 203133/S1B, S2B & S3B, dated November 2004
 4. Drainage Details by DW Knox & Partners, reference no. 203133/S4A, dated March 2005
-

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed

B. Gaal

Date of endorsement
Certificate No.

27 / APR 2005
2005/609

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority

Bruce Gaal
POO55
Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Contact No.
Address

Development Consent

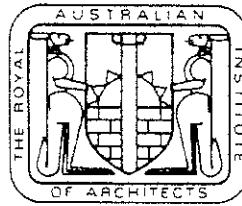
Development Application No.
Date of Determination

N0219/03
16 November 2004

BCA Classification

Class 6

NIGEL MERRYWEATHER
A R C H I T E C T



FIRE SAFETY SCHEDULE

PREMISES - AVALON GOLF CLUB, BARRENJOEY ROAD, AVALON

APPLICANT - VICKI JELLIS

DESCRIPTION	AUSTRALIAN STANDARD	BCA REFERENCE
Emergency Lighting	2293.1, 1998	E4.2 Amd't No. 11, E4.4 Amd't No. 4
Exit Signs	2293.1, 1998	E4.5 E4.8 Amd't No. 4
Fire Doors	1905, 1997	Part C3.4 (Amd't No. 7), C3.5 (Amd't No. 8) C3.11 (Amd't No. 8)
Hose Reels	2441, 1988	E1.4 Amd't No. 11
Paths of Travel, Stairway, Passageway or Ramps	N/A	Paths of travel, stairway, passageway or ramp were clear of anything which may impede the free passage of persons BCA Section D
Portable Fire Extinguishers	2444, 1997	E1.6 Amd't No. 11

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NIGEL MERRYWEATHER + ASSOC PTY LTD (INC IN N.S.W.) A.C.N. 003 440 908 A.B.N. 67 003 440 908

5 Elgata Close, AVALON N.S.W. 2107

email nigelmerryweather@bigpond.com.au

NSW ARCHITECTS REGISTRATION BOARD NO 4146

DISABILITY ACCESS PROVISIONS IN PROPOSED ALTERATIONS & ADDITIONS AT AVALON GOLF CLUB

Generally

This report assesses the provisions for people with a disability in the construction certification drawings provided as listed below.

We have examined the drawings listed below and have based our comments on these drawings.

A1C	Upper Ground Floor Plan	amended 10.12 04
A2C	Lower Ground Floor Plan	amended 10.12 04
A3B	Elevations and Sections	amended 10.12 04

Drawings generally

We have examined the above drawings and make the following comments:

1. There is no detail of levels in the accessible parking space although the notes associated with the car space if followed will result in a compliant car space.
2. There is no detail provided for the ramp adjacent to the accessible car space, however the notes require compliance with AS1428.1. In particular the ramp should comply with AS1428.1 Figures 1, 2, 3 and 9 and clauses 5.3, 5.4, 5.7 and 6.1.
3. The path of travel from the ramp into the premises is not illustrated and can not exceed 1:20 gradient. The existing levels indicate that a path will comply.
4. We are not in possession of the door schedule however we note that a minimum clear opening of 800mm is mandatory (870mm leaf) and HREOC suggests a minimum of 850 clear opening (920mm door leaf). The door circulation spaces of AS1428.1 Figure 12 appear to have been provided.
5. The minimum lighting level along the accessible paths of travel should be no less than 150 lux together with the 400 lux nominated at the ramp.
6. The continuous accessible paths of travel within the site from the accessible parking space to the clubhouse and from the clubhouse to the sanitary facility must have no level differences between adjoining surfaces greater than 3mm or 5mm where rounded. The surface of the pathway must be slip resistant to at least AS/NZS 4586. If weathering is required at the entries then a threshold ramp 35mm high at 1:8 gradient and 280mm wide measured outwards from the face of the door, may be used.

7. All doors should have a 30% luminance contrast with the surrounding wall surface or with an architrave at least 45mm wide. Door furniture should also have a 30% luminance contrast with the door.
8. Glazed doors and side lights are to have a transom or a line 75mm wide between 900mm and 1000mm high with a luminance contrast of 30% with the background against which it is viewed.
9. Door handles must be of the "D" lever type mounted between 900mm to 1100mm having a 30% luminance contrast with the door.
10. The counter bench top opening off the kitchen is to have a section at least 820mm wide at a height of 850mm +/- 20.
11. Light switches, intercommunication systems, access controls and the like are to be at a height between 900mm and 1100mm and no closer than 500mm from a return wall or obstruction.
12. The path of travel to both of the unisex sanitary facilities should be weather protected from the clubhouse entry point to the toilet facilities. We note the proposal has a glazed screen on one side only and suggest that the opposite side of the covered walkway should also be weather protected when required, perhaps with a roll down clear plastic blind for use in inclement weather only. The glazed screen is to have a transom or a solid line 75mm wide between 900mm and 1000mm high with a luminance contrast of 30% with the background against which it is viewed.

Unisex accessible sanitary facility.

13. As drawn the unisex accessible sanitary complies with the requirements of AS1428.1 except that the WC does not appear to be an accessible pan, ie 800mm +/- 10mm from the front of the pan to the wall behind and 450mm – 460mm from the centre line to the wall beside.

With a minor relocation of the handbasin so that there is a minimum of 2200mm from the edge of the handbasin to the wall behind the WC and a minimum of 425mm from the centre line of the handbasin to the adjacent side wall, it would comply with AS1428.2.

14. The door handle is to be of the "D" lever type on both sides mounted at 1000mm and the indicator locking mechanism is to be of the large lever type also. The light switch is to be of the large rocker type (35mm or similar rocker) mounted at the latch side of the door 1000mm above floor level. The door is to be of the self closing type but preferably with rising butt hinges and not with a door closer. After hours locking must use the Master Locksmith Access Key (MLAK) system.
15. Lighting level within both of the toilet facilities must be a minimum of 200 lux.
16. Ensure that the walkway area has a lighting level of no less than 150 lux.
17. Signage for the toilets must be in accordance with the BCA provisions and for the accessible facility be raised tactile male & female and access symbols in white on an ultramarine blue background with Braille equivalent wording. Similarly the signage on the non accessible unisex facility is to be raised tactile male and female with Braille equivalent wording but without the symbol of access. Both should have 30%

luminance contrast with the surrounding surface. The signs must be mounted on the wall between 1200mm and 1600mm high, located between 50mm -300mm from the latch side of the door.

18. Directional signage indicating the locations of both toilets must also comply with the BCA provisions in raised tactile and Braille equivalent mounted between 1200mm and 1600mm. We suggest a raised tactile arrow pointing in the direction of the facilities as well as the raised tactile male, female and access symbols in white on an ultramarine blue background with Braille equivalent wording. The access symbol should face in the direction of travel.

We are of the opinion that if the matters noted above are incorporated in the premises, the development will be in compliance with DCP 26, the BCA and the relevant Australian Standards.

Signed

DISABILITY ACCESS CONSULTANTS PTY LTD



per

Trevor Beardsmore

Dated 24th March 2005

Pittwater Council

OFFICIAL RECEIPT

28/02/2005 Receipt no 163062

To Miss Victoria Jellis

32 Old Barrenjoey Road
AVALON 2107

Applic Reference	Amount
GL Re QLSL-Buil 32 Old Barrenjoey Road	\$600.00

Total: \$600.00

Amounts Tended

Cash	\$0.00
Cheque	\$600.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$600.00
Rounding	\$0.00
Change	\$0.00
Nett	\$600.00

Printed 28/02/2005 2:30:25

Cashier PLewis

LONG
SERVICE
LEASE
LEWY

NIGEL MERRYWEATHER
A R C H I T E C T

8th March 2005

Pittwater Council
PO Box 882
Mona Vale N.S.W. 1660

ATTENTION THE GENERAL MANAGER

Dear Sirs,

AVALON GOLF CLUB – KITCHEN FIT OUT

On behalf of the Applicant, please find attached a Schedule of Kitchen Equipment and a layout.

I confirm that the kitchen will comply with the following

- 1) AS 4674 – Design construction and fit out of food premises
- 2) The Food safety Standard 3.2.3 (as part of the Food Standards Code) required by the Food Regulation 2004

I confirm that work will comply with clause B76 of the DA Conditions of Approval.

Yours faithfully,



Nigel Merryweather

TEL (02) 9918 2839

FAX (02) 9918 2439

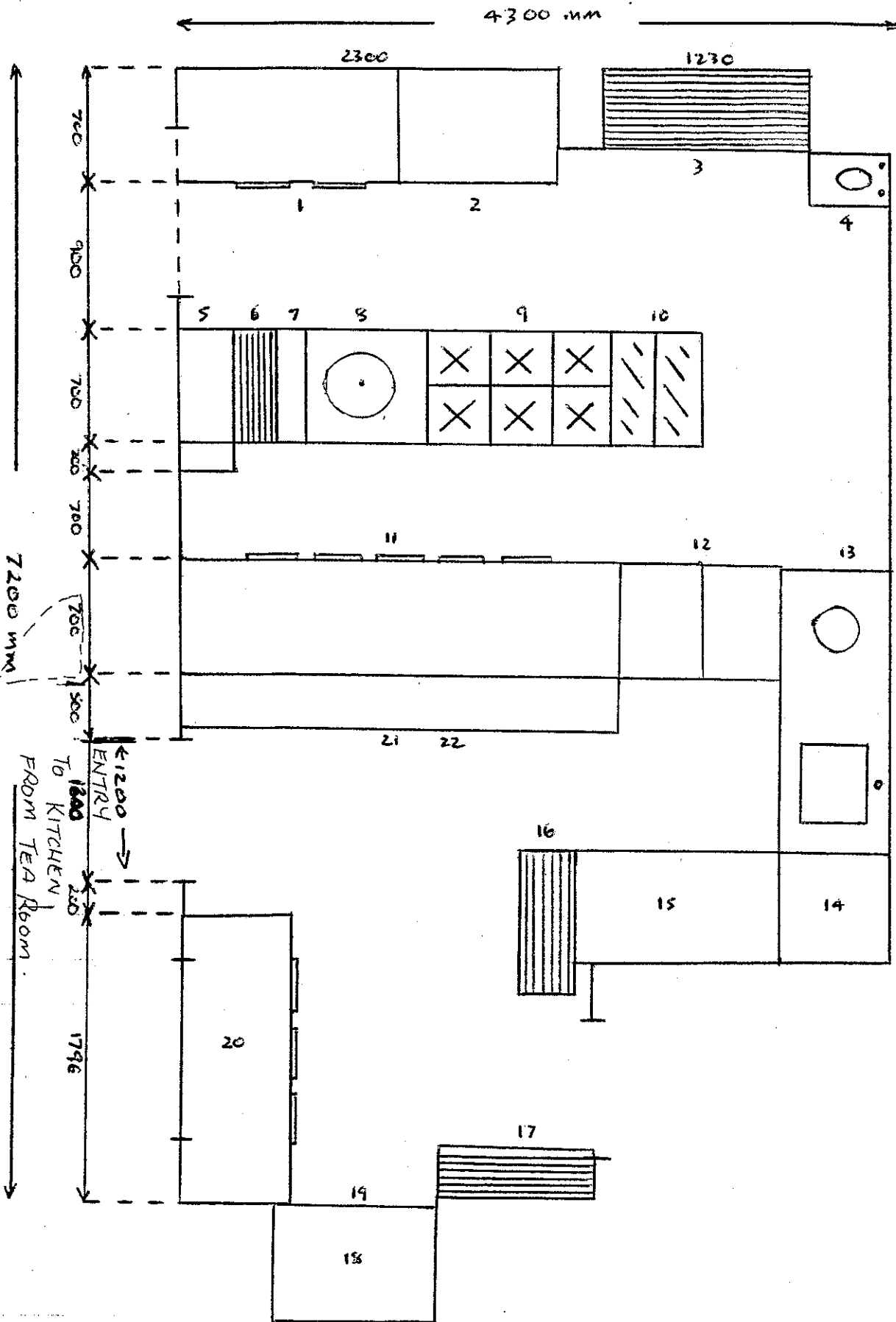
MOBILE 0414 940 746

NIGEL MERRYWEATHER + ASSOC PTY LTD (INC IN N.S.W.) A.C.N. 003 440 908 A.B.N. 67 003 440 908

email nigelmerryweather@bigpond.com.au

5 Elgata Close, AVALON N.S.W. 2107

NSW ARCHITECTS REGISTRATION BOARD NO 4146



1. Fagor MFP-135-GN Gastronorm 2 door refrigerated bench	1346 x 700 x 850
2. S/S work bench w shelves	950 x 700 x 850
3. Mantova post wire shelving dry store	1200 x 525 x 1200
4. Handbasin	
5. Zanussi S/S griddle	350 x 400 x 850
6. Fagor BG-705 gas char grill and bench	350 x 750 x 290
7. S/S Bridging bench w 3 shelves to floor	
8. Zanussi targa top range w oven	700 x 750 x 850
9. Fagor CGB-761 6 burner range w oven	1050 x 750 x 850
10 Frymaster MJCF gas deep fryer twin basket	527 x 1011 x 1156
11 Fagor MFP-270-GN 5 door gastronorm bench fridge	2696 x 700 x 850
12 S/S folddown bridge bench top	
13 Fagor MFD-1800D feed bench with overhead spray mixer	1800 x 700 x 900
14 Fagor F1-100AR electric pass through dish washer	675 x 675 x 1400
15 Fagor MLG-1200D feed out wet bench	1200 x 700 x 900
16 Montova postwire grid shelving	900 x 375 x 2000
17 Montova post wire grid shelving	900 x 375 x 2000
18 Inoksan FMP-p502 twin deck compact pizza oven	780 x 720 x 500
19 S/S support bench w gastronorm under shelving	840 x 800 x 800
20 Fagor MFP-180-GN gastronorm 3 door bench fridge	1790 x 700 x 850
21 3 tier over bench heat pass and shelf unit	2696 x 375 x 900
22 3 tier under bench walters shelving unit	2696 x 375 x 850

NIGEL MERRYWEATHER
A R C H I T E C T

24th Feb 2005

Pittwater Council
PO Box 882
Mona Vale N.S.W. 1660

ATTENTION THE GENERAL MANAGER

Dear Sirs,

AVALON GOLF CLUB – EROSION AND SEDIMENT MANAGEMENT

Please find attached drawing no ESM1.

This is in accordance with clauses B29 and B29a of the DA Conditions of Approval.

I confirm that work will be in accordance with the NSW Dept of Land and Water Conservation's "Urban Erosion and Sediment Control " manual.

Yours faithfully,


Nigel Merryweather

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FAX (02) 9918 2439

MOBILE 0414 940 746

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NSW ARCHITECTS REGISTRATION BOARD NO 4146

PER FENCE TO BE INSTALLED PRIOR TO SITINGWORKS. DETERMINE EXACT LOCATION ON SITE

LEGEND

AREA SCHEDULE

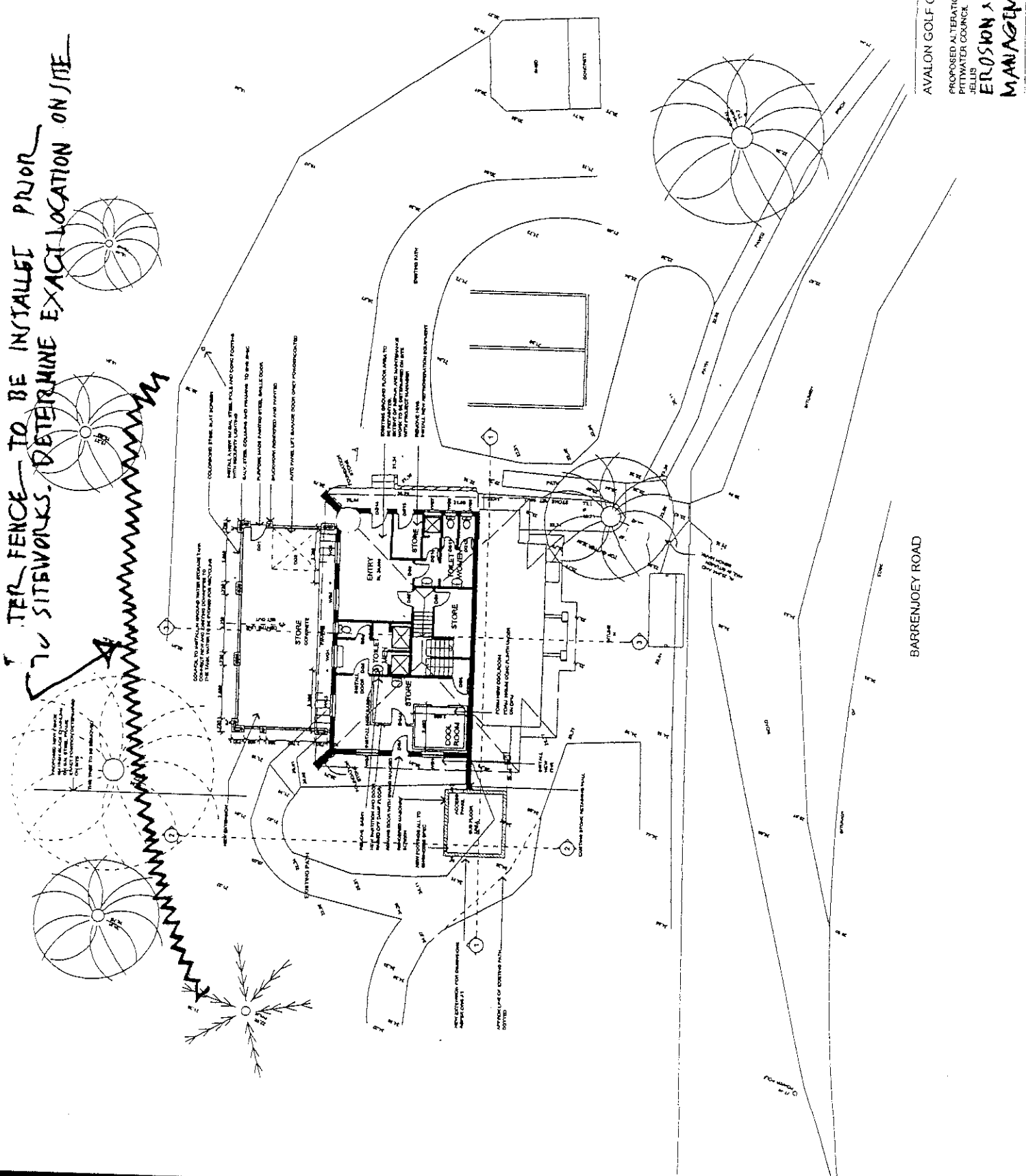
EXISTING LOWER GROUND FLOOR	87.50 M
EXISTING UPPER GROUND FLOOR	148.50 M
TOTAL EXISTING	236.00 M

PROPOSED LOWER GROUND FLOOR EXTENSION	57.50 M
PROPOSED UPPER GROUND FLOOR RESTAURANT EXTENSION	80.50 M
PROPOSED UPPER GROUND FLOOR TOILET EXTENSION	10.50 M
PROPOSED UPPER GROUND FLOOR NEW DECK	6.50 M

TOTAL PROPOSED NEW WORK	133.50 M
TOTAL PROPOSED BUILDINGS EXCLUDING DECKS	378.50 M

NOTE - CLAY IS TO REMOVED FROM ALL VEHICLES PRIOR TO LEAVING THE SITE. ADJOINING PUBLIC ROADS ARE TO BE MAINTAINED IN A CLEAN CONDITION.

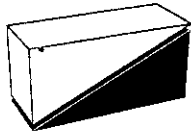
ALL WORK TO BE AS PER NSW DLWLG "URBAN EROSION AND SEDIMENT CONTROL" MANUAL.



- 1. AVALON GOLF CLUB
- 2. AVALON GOLF CLUB
- 3. AVALON GOLF CLUB
- 4. AVALON GOLF CLUB

AVALON GOLF CLUB
 NOEL BENTLEY
 ARCHITECT
 TELEPHONE 9118 7218
 FACSIMILE 9118 7232
 DATED 23/04 SCALE 1:100
 DRAWING NUMBER **ESM1**

PROPOSED ALTERATIONS FOR
 PITTSWATER COUNCIL AND WICKI
 JELLS
**EROSION & SEDIMENT
 MANAGEMENT**



CONSULTING ENGINEERS AND MANAGERS

Level 8, 53 Walker Street, North Sydney NSW 2060

Phone: (61+2) 9966 1170 • Facsimile: (61+2) 9966 1171

Email: innovation@dwknox.com.au • Website: <http://www.dwknox.com.au>

Knox & Partners Holdings Pty Limited trading as D. W. Knox & Partners • A C N 062 246 815 • ABN 39 062 246 815

D.W. KNOX & PARTNERS

31st January 2005

Pittwater Council
C/- Nigel Merryweather & Associates
5 Elgata Close
Avalon NSW 2107

Attention: Nigel Merryweather

Dear Sir,

203133 – AVALON GOLF CLUB
CONSTRUCTION CERTIFICATE APPLICATION
STORMWATER DISPOSAL

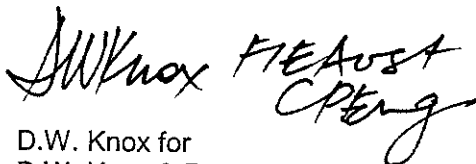
The existing stormwater system that collects and disposes of roof waters at the above site, discharges within the Golf Course precinct, over grassed areas to the south-east.

Pittwater Council are currently designing/implementing a storage basin within the Golf Course on the south-eastern side of the Clubhouse building, and its catchment zone is significant, upstream of this location. The purpose of this water storage as we understand is for watering the Golf Course during dry periods.

The new roof area is approximately 93m² in total. The extension roof is 69m² and the new toilet roof is 24m². They will be connected to the existing system.

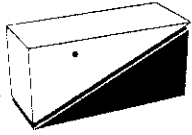
Our opinion is that the additional roofwater runoff (compared to existing roof runoff of approximately 200m²) will have little to nil effect on the existing system and downstream areas, which will in fact be collected for re-use as indicated above.

Yours faithfully,

 *D.W. Knox FIEAust
CPEng*

D.W. Knox for
D.W. Knox & Partners

203133jan05.let1



CONSULTING ENGINEERS AND MANAGERS

Level 8, 53 Walker Street, North Sydney NSW 2060

Phone: (61+2) 9966 1170 • Facsimile: (61+2) 9966 1171

Email: innovation@dwknox.com.au • Website: <http://www.dwknox.com.au>

Knox & Partners Holdings Pty Limited trading as D. W. Knox & Partners • A C N 062 246 815 • ABN 39 062 246 815

D.W. KNOX & PARTNERS

28th January 2005

Pittwater Council
C/- Nigel Merryweather & Associates
5 Elgata Close
Avalon NSW 2107

Attention: Nigel Merryweather

Dear Sir,

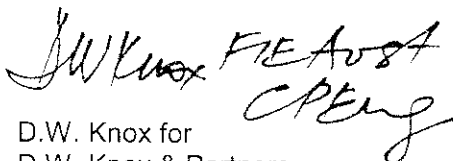
203133 – AVALON GOLF CLUB
CONSTRUCTION CERTIFICATE APPLICATION
STRUCTURAL CERTIFICATION

This letter certifies that this firm carried out the structural design as represented on drawings 203133/S1,S2 & S3, issue B, on the above project.

We also certify that the design is in accordance with the relevant Codes of Practice of Standards Australia and accepted engineering practices and principles.

Provided the construction is carried out in accordance with the design drawings the structure would be considered acceptable for use in its nominated building class.

Yours faithfully,


D.W. Knox for
D.W. Knox & Partners



PITTWATER COUNCIL
Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 20-Apr-05
Receipt No:
Amount: \$286.00

Name: Steve Lawler
Postal Address: c/- Pittwater Council
PO Box 882
MONA VALE 1660

APPROVED ACCESS DRIVEWAY PROFILE AT:

The Crescent - Avalon (Avalon Golf Course)

The future vehicular access profile will be as per the enclosed plan **EH**.

WORK REQUIRED:

Construct: Vehicular access slab 8.0m long x 6.0m wide at gutter crossing to 6.0m wide at the boundary.

Type of Construction: Commercial

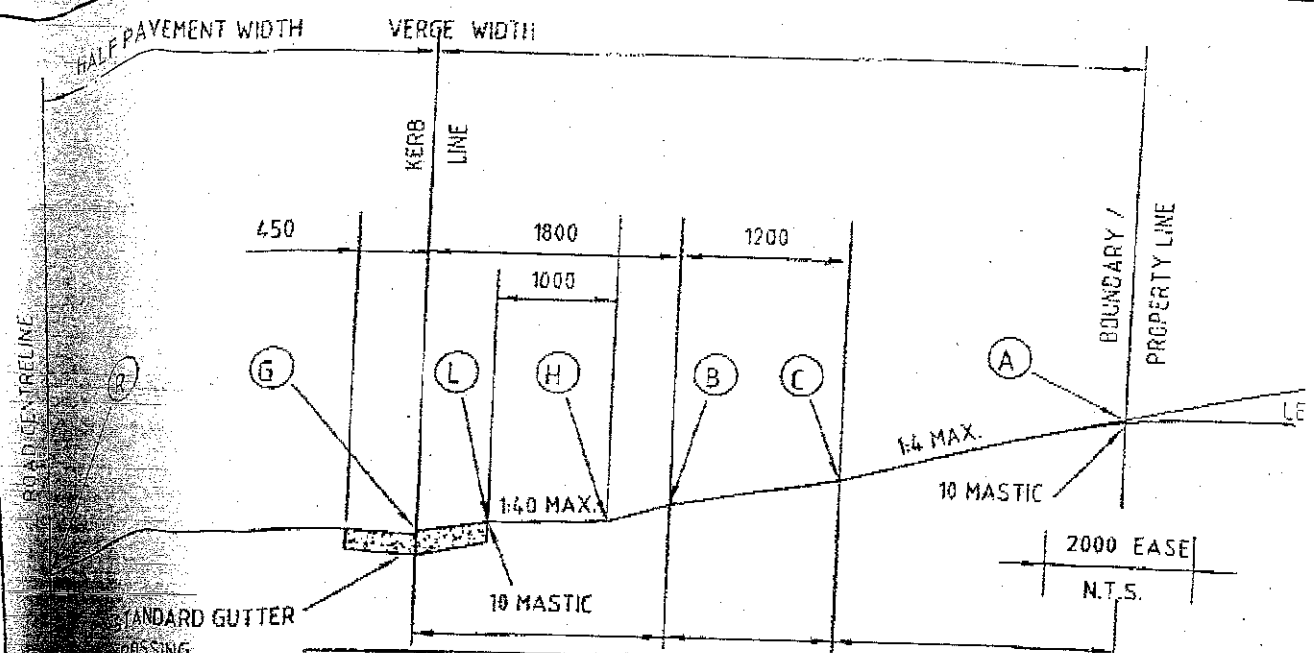
Note: "G" (see attached diagram) to be 450mm from edge of road and 50mm below edge of road.

VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER



(1:6) (1:6 → 1:2) (1:2)
 (BATTER FROM EDGE OF DRIVEWAY FINAL G.L.)

POINT	REMARKS	LEVELS
	ROAD CENTRELINE	
	INVERT OF GUTTER	
	BACK OF LAYBACK	100 ABOVE "G"
	1000 FROM BACK OF LAYBACK	125 ABOVE "G"
	1800 FROM KERB LINE	MAX 200 ABOVE "G"
	3000 FROM KERB LINE	MAX 410 ABOVE "G"
	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

...ION WITHIN THE ROAD RESERVE TO BE IN PLAIN UNCOLOURED 20Mpa CONCRETE
 ...SE APPROVED BY COUNCIL.


...NGS - 20Mpa CONCRETE 130mm THICK.

...IES WHERE THE CROSSING SERVICES BOTH DWELLINGS - 20Mpa CONCRETE BASE
 ...F72 REINFORCEMENT.

...CROSSING AND THE DRIVEWAY TO 1800mm BEHIND THE KERBLINE IS TO BE GRADED
 ...THE ROAD CENTRE LINE GRADING.

...VE WITHIN THE PROPERTY DRAINS TOWARDS THE ROAD, A GRATED DRAIN SHALL
 ...ACROSS THE ENTRANCE WITHIN THE PROPERTY AND PIPED TO THE STREET
 ...OF DRAIN AND SIZE OF PIPE WILL BE DETERMINED BY COUNCIL.

...RS TO BE LAID ON A 100mm CONCRETE BASE.

	PITTWATER COUNCIL	PLAN No.
	Standard Domestic Driveway Profiles	PWC-DW01
	EXTRA HIGH	REV No. A
		DATE 18/05/04

...MENTS
 ...ENTS



2005/609
**CONSTRUCTION
CERTIFICATE No.**
Date 27.4.05
BRUCE GAAL DIPNR - P.0055
Accredited Certifier
& Principal Certifying Authority



SPECIFICATION OF WORK FOR

ALTERATIONS AND ADDITIONS TO

AVALON GOLF CLUB
BARRENJOEY ROAD
AVALON NSW 2107

FOR VICKI JELLIS – MANAGER
IN CONJUNCTION WITH PITTWATER COUNCIL - OWNER

DECEMBER 2004

NIGEL MERRYWEATHER & ASSOCIATES P/L
ARCHITECTS.
5 ELGATA CLOSE, AVALON NSW 2107
TEL. 9918 2839 FAX 9918 2439
email nigelmerryweather@bigpond.com.au

AVALON GOLF CLUB

AVALON GOLF CLUB

18.7 DOOR AND FRAMES

D F.1 CAFÉ

New Timber Door Frame
Size to suit existing opening.
Existing sliding door fixed open
Pair of glazed external painted timber doors, active leaf 920mm wide

D F.2 CAFÉ

New Timber Door Frame
2040 X 920mm outward opening obscure glazed internal painted timber door .

D F.3 CAFE

New Timber Door Frame
2040 X 920mm outward opening glazed external painted timber door .

D F.4 PRO SHOP

New Timber Door Frame
2040 X 1300mm outward opening pair of glazed external timber doors,
active leaf 920mm wide.

D F.5 OFFICE

Omitted

D F.6 KITCHEN

Omitted

D F. 7 KITCHEN

New door and frame to replace existing. External painted timber door.

D F. 8 CHANGE

Omitted

D F. 9 ACCESSIBLE TOILET

New Timber Door Frame
2040 X 920mm inward opening painted external timber door .

D F. 10 UNISEX TOILET

New Timber Door Frame
2040 X 820mm inward opening painted external timber door .

D G. 1 STORE

New Steel Door Frame
2040 X 820mm inward opening painted steel door .
Refer Metalwork

D G. 2 GARAGE DOOR

Refer Metalwork

D G. 3 TOILET MENS

Supply and install a new door leaf to fit the existing frame.
Painted timber door

DG.4 MENS TOILET

New door in existing frame rehung opposite hand.

DG.5 – DG.15

Doors as existing. Repair and maintenance work to be determined on site .

19. HARDWARE

19.1 SCOPE

- . Hinges
- . Door Stops
- . Door Closers
- . Door Locks and Latches
- . Door Handles
- . Hardware for Toilets

19.2 HINGES

100mm Lane stainless steel button tipped loose pin, 1 and a half pairs per door.

19.3 DOOR STOPS

Lockwood L856 ZPDP.

19.4 DOOR CLOSERS

Lockwood M800 Series with hold open feature

19.5 DOOR LOCKS AND LATCHES

Lockwood 570 Series.

19.6 DOOR HANDLES

Lockwood 1080 Series Brass D Lever handles Satin chrome finish

19.7 DOOR HARDWARE SCHEDULE

Provide Hardware to doors as scheduled.

19.8 HARDWARE FOR TOILETS

Toilet Paper Holder to each W.C. Lockwood L8445C D.P.
Door bumper and Coat Hook behind each toilet door Lockwood L432.

19.9 KEYING

All locks are keyed to differ.

Hand over 2 sets of keys on Practical completion, tagged and labelled.

19.10 BARREL BOLTS

150mm Lockwood L333 Series.

AVALON GOLF CLUB

19.11 SCHEDULE OF DOOR HARDWARE

D F.1 CAFE

Deadlatch/lock to suit rebated meeting style
Lever handles and latch
Bolts to inactive leaf
Door closers
Door stops

D F.2 CAFÉ

Deadlatch/lock
Lever handles and latch
Door closer

D F.3 CAFÉ

Deadlatch/lock
Lever handles and latch
Door closer

D F.4 PRO SHOP

Deadlatch/lock to suit rebated meeting style
Lever handles and latch
Bolts to inactive leaf
Door closer

D F.5 OFFICE

Omitted

D F.6 KITCHEN

Omitted

D F.7 KITCHEN

Deadlatch/lock
Lever handles and latch

D F.8 CHANGE

Locking system with indicator
Lever handles and latch
Door stop

D F.9 ACCESSIBLE TOILET

Locking system with indicator, suitable for use by disabled people
Lever handles and latch
Door stop

D F.10 UNISEX TOILET

Locking system with indicator
Lever handles and latch
Door stop

D G. 1 STORE

Lock
Lever handles and latch

D G .2 GARAGE DOOR

Electric Lock

D G.3 TOILET MENS

Lever handles and latch
Door closer
Door stop

20. GLAZING

20.1 SCOPE

- . Glazing as Windows Schedule.
- . Mirrors

20.2 GENERAL

- . Supply and install new glazing as per the schedule and in accordance with current Glazing Codes.
- . Certify that all glazing complies with current Glazing Codes.

20.3 MATERIALS AND WORKMANSHIP

Make junctions so that no fixings, such as pins, screws, pressure indentations, and the like, shall be visible on exposed faces.

20.4 OPERATION

Moving parts shall operate freely and smoothly without binding or sticking, at correct tensions or operating forces.

20.5 PROTECTION

Protect surfaces during the work under the Contract as necessary to prevent damage or defacement.

20.6 GLAZING GENERALLY

All glazing shall conform with the requirements of AS 1288 Parts 1-3 and AS 1208.

Glass shall be of the best quality approved Australian manufacture. All glass to conform generally with AS952, and be free from cracks, scratches, bubbles, blisters and other defects.

All glass edges shall be clean, wheel cut edges with minimum feather. Glass shall be accurately cut, allow for proper tolerances between edges of glass and frame and allow for thermal expansion.

Rebate and grooves shall be primed and shall be clear, unobstructed and dry before glazing.

20.7 MIRRORS

Mirrors to be 6mm float glass of silvering quality. Mirrors to be framed all round with clear anodised aluminium and screw fixed through the frame. Leave a ventilation gap at the back of the mirror. Screws to have heads covered to match the frame.

Provide 2 no mirrors, one to each new toilet.
Size 900mm wide x 900mm high.

20.8 BLACK GLASS TO FIREPLACE

Provide black glass in a black anodised aluminium frame to infill the existing fireplace opening

AVALON GOLF CLUB

WINDOW AND GLAZING SCHEDULE

- . All sizes given are for pricing purposes only.
- . Check all dimensions on site prior to fabrication.
- . All glass thickness to suit glazing codes.
- . All glass to be clear unless stated otherwise.
- . Provide certification for all glazing stating that the glazing is in accordance with current glazing codes.
- . All new windows to the Restaurant extension be powdercoated aluminium, colour charcoal grey. (WF1 – WF9)
- . Other new windows are white same as existing
- . All opening windows to have locks.
- . Provide white sandblasted look non see through film on glass where indicated

LOCATION	SIZE W X H (MM)	NOTES
WF.1 RESTAURANT	1100 x 1600	. HORIZONTAL SLIDING . 1 FIXED, 1 SLIDING LIGHT
WF.2 RESTAURANT	1600 x 1600	. HORIZONTAL SLIDING . 2 FIXED, 1 SLIDING LIGHT
WF3 RESTAURANT	AS W1	
WF.4 RESTAURANT	3120 x 1600	. HORIZONTAL SLIDING . 2 FIXED, 2 SLIDING LIGHTS
WF.5 RESTAURANT	3440 x 1600	. HORIZONTAL SLIDING . 2 FIXED 2 SLIDING LIGHTS 2 FIXED GLASS PANELS BETWEEN COLUMNS BESIDE W5
WF6 RESTAURANT	AS W4	
WF7 RESTAURANT	AS W1	
WF8 RESTAURANT	AS W2	
WF9 RESTAURANT	AS W1	

WINDOW AND GLAZING SCHEDULE (CONT'D).

LOCATION	SIZE W X H (MM)	NOTES
WF10 ACCESSIBLE WC	900 X 1200	WHITE ALUMINIUM VERTICAL SLIDING SASH CLEAR GLASS TOP SASH WHITE GLASS BOTTOM SASH
WF11 ACCESSIBLE WC	AS WF 10	
WF12 ACCESSIBLE WC	600 X 1200	WHITE ALUMINIUM VERTICAL SLIDING SASH CLEAR GLASS TOP SASH WHITE GLASS BOTTOM SASH
WF13 – WF 14	AS EXISTING	REPAIRED AND PAINTED
WF15	AS EXISTING	WITH WHITE FILM ADDED
WF 16 AND WF17 -	NEW ALUMINIUM	TO MATCH EXISTING
WF18 – WF 23 AS	EXISTING	REPAIRED AND PAINTED
WG1 – WG 9	AS EXISTING	REPAIRED AND PAINTED

21. CARPET

21.1 SCOPE

Pro Shop
Restaurant
Pro shop entry

21.2 GENERALLY

The whole of the carpet laying shall be carried out by skilled tradesmen in a manner conforming to the best of trade practice.

21.3 LAYING

Prior to laying, the floor area shall be swept clean removing any dirt or debris.

Smoothedge strips shall be used around the perimeter of the carpet with metal naplocks fitted where the carpet meets other floor coverings.

On completion the carpet shall be vacuumed and the debris removed.

21.4 CARPET TYPE

Pro Shop

Carpet tiles to be selected

Restaurant

Carpet tiles to be selected

21.5 PREPARATION

Prior to laying the carpet ensure the floor is smooth and free from blemishes Scabble off any loose material. Make good with a levelling compound as necessary.

21.6 ACCESSORIES

The Contractor shall supply all accessories, as required for satisfactory completion of the works.

21.7 PROSHOP ENTRY

Provide selected removable rubberised synthetic matting to the Proshop entry
Approx size 1600 X 1600mm

22. BLINDS

22.1 SCOPE

Supply and install roll down clear plastic blinds both sides of the Porch to the new external toilets.

Approx drop to be 1500mm.

23. SECURITY SYSTEM

23.1 SECURITY CONTRACTOR

Supply and Install a Security System to the Golf Club.

Provide 10 no infrared detectors located internally at agreed points.

Provide a Code Pad located at an agreed point.

Provide a Control Panel at an agreed point.

A siren and strobe is to be fitted outside .

Provide 8 no cameras connected to a central digital video system in the office to provide surveillance of the premises. Provide control software and separate pc system with monitor.

The security system is to be designed supplied and installed by a specialist subcontractor. Provide 2 sets of coloured drawings of the system for approval before installation.

The system shall be coordinated by the Builder and will be part of the Main Contract.

24. SIGNAGE

CHECK DIMENSIONS OF ALL SIGNS ON SITE PRIOR TO FABRICATION

24.1 EXTERNAL SIGN

Provide an external sign mounted on a steel pole.
Sign to be 1350 h x 900mm approx.
to read Links Restaurant.
100 x 100mm gal steel post set on concrete footing to Engineers requirements.

24.2 TOILET DOOR SIGNAGE

In Black Helvetical Medium Lettering Caps. 20mm high.
engraved aluminium plate securely fixed

On Door DF8 -TOILET

On Door DF9 - TOILET and DA symbols

DA symbols on D9 to be raised male, female and DA symbols in white on blue
with raised braille equivalent wording.

24.3 DISABLED PERSONS PARKING AREA SIGN

Pole mounted signage as required by AS 1428.2

Linemark the bitumen with DA symbol

24.4 DISABLED PERSONS ACCESS SIGNAGE

Provide a directional sign to the toilets. Raised tactile arrow with raised tactile
male female and access symbols in white on blue with Braille equivalent
wording.

24.5 TACTILE GROUND SURFACE INDICATORS

Provide at the top and bottom of the stairs, 600mm deep, 300mm out from riser

25. FIRE EXTINGUISHERS

25.1 SCOPE

Supply and install fire extinguishers to both levels of the building to Code requirements.

26. SCHEDULE OF PROVISIONAL SUMS

AVALON GOLF CLUB

Ceramic Tiles	supply only	\$ 5,000
Kitchen	supply and install	\$ 50,000
Cool Room	supply and install	\$ 10,000
Carpet	supply only	\$ 8,000
Lights	supply only	\$ 5,000
Repair and Maintenance to Lower Ground Floor		<u>\$ 5,000</u>
		\$ 83,000 excludes GST

27. SCHEDULE OF FINISHES

AVALON GOLF CLUB

EXTERNAL

Crossing

Steel float concrete non slip finish

New Footpaths

As driveway

Courtyards and Patios

400mm x 400mm plain concrete pavers

Roof, Gutters and DPs

Colorbond Woodland Grey

Painted Render

Dulux Weathershield Satin Klute.

Timber screens and shingles

Dulux Weathershield Satin Milton Moon

Doors

Dulux gloss enamel Western Myall

Windows

White .

Balustrade

316 marine grade stainless steel and glass

INTERNAL

UPPER GROUND FLOOR

Café

- Floor - New ceramic tiles
- Walls - Painted
- Skirting - Painted Timber.
- Ceiling - New painted plasterboard.

Stairs

- Treads and Risers - New aluminium nosings
- Balustrade - Existing refinished
- Walls - Existing panelling refurbished
- Ceiling - New painted plasterboard.
- Rooflight - Repaint

Kitchen

- Floor - Vinyl
- Walls - Painted Plasterboard./ Tiles to 1200mm AFFL
- Skirting - Vinyl
- Ceiling - Painted Plasterboard.

AVALON GOLF CLUB

COLOUR SCHEDULE

ALL COLOURS FROM DULUX RANGE

PAINTED CEILINGS AND WALLS ABOVE PICTURE RAIL	White on White
INTERNAL WALLS	Chalk USA
DOOR FRAMES	Russian Toffee
DOOR LEAVES	Toffee Fingers
TIMBER TRIMS	Russian Toffee
PANELLING	Toffee Fingers
CLEAR SEALED TIMBER	Clear Satin Polyurathene
EXTERNAL RENDER	Klute PG1 F5
EXTERNAL SHINGLES	Milton Moon PG1 F2
EXTERNAL DOOR LEAVES AND NEW LATTICE SCREENS	Western Myall PG1 F6
DOOR AND WINDOW FRAMES NEW AND EXISTING	White

13. VINYL LAYER

13.1 SCOPE

- . Kitchen Skirting
- . Kitchen

13.2 VINYL SKIRTING

Supply and fix a 200mm high welded skirting in the kitchen area

13.3 VINYL TYPE

Lay new vinyl where specified .
Install nata nod aluminium naplock bars at exposed edges.
Vinyl to be Light Grey non slip vinyl sheet by 'Altro'

13.4 PREPARATION

Lay underlay sheets over the exisitng floor and make level and smooth with Ardit or similar prior to laying vinyl.

14. METALWORKER

14.1 SCOPE

- . Stainless steel rail to DAWC.
- . Stainless steel wires at base of windows in the new extension
- . External Glass Balustrade
- . Roller doors to Pro Shop and Hallway
- . Screens to Lower Ground Floor Store
- . Garage Door
- . Hinged door beside garage door
- . Window bars
- . Stair Handrail and nosings

. Note the Kitchen will be designed supplied and installed by specialist Contractor

14.2 GENERALLY

Provide all materials and workmanship necessary to complete this trade.

Provide all screws, bolts, rivets, pop rivets, plain and counter-sunk, washers and fastening of a type and material suitable, galvanically compatible and matching in finish and appearance to the components fastened.

14.3 STANDARDS OF FABRICATION

All fabrication and methods of fabrication shall be in accordance with good practice, the relevant sections of Australian Standards and any special requirements noted on the drawings or in this Specification.

14.4 STAINLESS STEEL RAIL

Provide a stainless steel rail in the Accessible WC to comply with AS 1428.2

14.5 STAINLESS STEEL WIRES TO RESTAURANT WINDOWS

Provide 3 no stainless steel wires fixed at the base of the windows in the Restaurant.

These are for safety purposes in front of the sliding opening windows, which have a sill at 700mm above FFL.

Fix on purpose made stainless steel posts fixed securely to the window sills and wall.

All stainless steel to be marine grade 316L grade. Fix securely in accordance with all relevant BCA requirements including Clause D2.16.

14.6 EXTERNAL GLASS BALUSTRADE

Provide a toughened glass balustrade to the new toilet porch.

Provide 3 no posts in 316L grade stainless steel with patch fitting connections to the glass.

Top rail to be Tasmanian Oak 50mm diameter with a clear seal, fixed to each post with purpose made stainless steel connections.

Glass to be 10mm clear toughened with polished edges.

14.7 ROLLER DOORS TO PRO SHOP AND HALLWAY

Provide a Monarch Australia P/L 12mm clear anodised aluminium Roller Grille door to the Pro Shop and to the Hallway.

Provide guides and fixings as necessary.

Fix above the entry doors internally. Approx size 1600mm wide x 2300mm high to Pro Shop and 1100mm wide x 2100mm high to Hallway.

Manual operation. Waist high locking mechanism.

14.8 SCREENS TO LOWER GROUND FLOOR STORE

Provide purpose made steel screens with vertical slats at 110mm centres.

Slats to be 25mm x 10mm x 2100mm flat bar grey powdercoated steel.

Fix in a 50 x 50mm shs steel frame securely fixed on all four sides.

14.9 GARAGE DOOR

Provide a purpose made garage door to the Store. Door to be auto electric Panel lift type. Panel to be similar to the adjoining screens.

Provide 2 no controllers for the door.

Provide all supports, guides and controls as necessary.

Door size is 2650mm wide x 2100mm high.

14.10 HINGED DOOR BESIDE GARAGE DOOR

Provide a purpose made security door to the Store.

Door to be similar to the adjoining screens.
Solid zincalume sheet steel mini orb central panel covering the lock.

14.11 WINDOW BARS

Provide purpose made security bars to windows WF18, WF19 ,WF20
and WF21
Painted vertical steel bars @ 120mm centres.

14.12 STAIR HANDRAIL AND NOSINGS

Provide raised domes top and bottom of the handrail 5mm high x 10mm diam
150mm in from the top and bottom of the stair.

Provide aluminium stair nosings to the existing stair

15. ELECTRICAL

15.1 EXTENT OF WORK

The work to be carried out under this section of the specification comprises the electrical installation in the proposed development at Avalon Golf Club.

There is a provisional sum for the supply of light fittings. Allow to install these fittings.

Provide all work and material specified and shown on drawings necessary for the satisfactory completion and operation of the work in accordance with the accepted trade practices.

The electrical contractor shall be experienced in similar buildings.

The Electrical Contractor is bound by the Preliminary Clauses in Section 1.

The works includes the following:-

- 1) Generally the Electrician shall be responsible for the design, supply and installation of the electrical system.
- 2) As installed drawings - the Electrician shall provide a set of as installed drawings at the end of the project indicating wiring systems.
- 3) Certification - the Electrician shall provide Certification at the end of the project indicating that the design and workmanship is in accordance with AS2293 and Part E of the BCA
- 4) Supply - Provide 3 phase supply .
- 5) Upgrade the existing distribution board as necessary to suit the proposal
- 6) Provide new power circuits for each area with spare capacity. Provide a house supply with spare capacity for common areas. Internal outlets to be double GPO's. In addition allow for one external water resistant GPO.
- 7) Lighting - Provide separate circuits for each area.
A provisional sum is included for the supply only of light fittings. The Electrician is to include for the installation of the light fittings. Allow for light points in and around the building including low voltage exterior fittings. This includes new lighting for security and new external lighting to the DA persons car park and ramp.

- 8) Telephones - provide 6 no telephone outlet points
Electrician to be Austel approved. Liaise with Telstra as necessary.
Installation to comply with relevant industry standards.
- 9) Provide 1 no TV outlet point in the Restaurant and 1 in the Pro Shop
together with an appropriate TV ariel system. Electrician to include for
the installation of the TV ariel system and associated equipment.
- 10) Provide wiring for cable TV .
- 11) Provide a Mains Supply Buzzer activated by a beam at the Pro Shop
door
- 12) Over voltage arrestors- Supply and install an over voltage arrestor
- 13) Smoke Detectors and Alarms - Supply and install a smoke detector
in the Pro Shop, the Hall, and the Restaurant.
- 14) Provide emergency lighting system
- 15) Provide 10 no illuminated exit signs
- 16) Provide power for the Restaurant air conditioning system.
- 17) Provide power to the Cool Room on the Lower Ground Floor
- 18) Note and comply with the Accessibility Consultants report. Light
switches should be at 900mm – 1100mm above the floor and no
closer than 500mm from a return wall or obstruction.
- 19) Light Switch in the new DA WC to be large rocker type (35mm)

A standard Electrical Specification follows for information.

15.2 STANDARDS

All work shall comply with the latest Australian Standards (and amendments) and any additional requirements specified hereunder to the approval of the Superintendent.

The electrical wiring shall comply with AS3000 (SAA Wiring Rules), AS3008 and the requirement of the local Supply Authority.

15.3 LICENSED ELECTRICIAN

All electrical work shall be carried out by person/s holding a current Electrical Contractor's or A Grade Electrical Mechanic Licence issued by the Energy Authority of New South Wales .

15.4 EXAMINATION OF SITE

The Tenderer shall visit the site prior to tendering and shall familiarise himself with the access and site conditions, the existing installations and all work necessary to complete the works.

Ignorance of the existing conditions or installation will not be accepted as justification for subsequent variations to the Contract Amount.

15.5 WORK BY OTHERS

The following is a brief summary of work specified elsewhere, required to be carried out by other Contractors and is included only for the information of the Tenderer. It does not relieve the Tenderer of his responsibility to examine all associated specifications and coordinate with these trades.

- a) The Kitchen will be supplied and installed by Specialist Contractor Allow to coordinate with this Contractor and supply outlets as necessary.
- b) The installation of a security alarm system will be carried out by a specialist contractor .Provide power where required.
- c) Provide power to the garage door
- d) Provide power for an external pump by Council in the new water storage tank

15.6 REMOVAL OF EQUIPMENT

1. Remove all redundant electrical systems.

15.7 CO-OPERATION AND CO-ORDINATION

1. Electrical work shall be co-ordinated with other sub- contractors and trades in order to expedite the works and ensure that the work sequence is in accordance with other contractors program.

The electrical Sub-contractor shall maintain a competent Foreman on site at all times when his work is in progress or as required by the Superintendent. The foreman shall accept responsibility for set outs, openings and equipment locations associated with the electrical works.

2. The Contractor shall remove all debris and materials from the site from time to time as directed by the Superintendent and/or when necessary.
3. Full security shall be maintained at all times.

15.8 OBVIOUS WORK

The Contractor shall provide all materials, fittings and perform all work obviously necessary for the satisfactory and efficient functioning of the installation. This shall be provided in accordance with accepted trade practices even though such material or work may not be explicitly mentioned in this specification.

15.9 POSITION OF EQUIPMENT

1. The positions of all apparatus outlets and switchboards shown on the drawings are approximate only, and final positions shall be decided on site by the Superintendent. The hanging of all doors shall be checked, prior to installing conduit drops to switch position on the lock side of doorways. Ensure switches and G.P.O's. are clear of sliding doors.
2. The exact position of equipment shall be determined on site by the Superintendent during the progress of work and allowances shall be made for any variation.

15.10 FIXINGS TO WALLS, ETC.

1. All fixings of equipment to walls and ceilings, etc. shall be by one of the following means:-

Into brick or concrete, by means of approved expanding metal fixings of the "Loxin" type, or by means of expanding nylon fixings of the "Tap it" type.

Into other surfaces, by means of metal toggle bolts or expanding nylon fixings of the "Tap it" type.

All screws shall be chrome plated.

Wood plugs shall not be used.

2. Explosive type fastenings will NOT be permitted.

15.11 TEMPORARY POWER

The cost of supplying temporary switch gear, lights, cables and any other necessary equipment shall be included in the tender price and no claims for extra cost in this respect will be considered.

15.12 PAINTING

1. Exposed Conduits

Surface conduits shall be painted with a priming coat and two (2) coats of approved finishing paint, colour and finish to match surroundings.

All painting shall be carried out by experienced tradesmen painters to approval of the Superintendent.

Note that painting of galvanised conduits in roof and ceiling spaces, service ducts and the like is not required.

2. Metal Work - General

All metal shall be cleaned free from grease, rust and scale. One (1) coat of Zinc Chromate primer shall be applied, followed by an undercoat of oil base undercoat to approval.

After the undercoat is dry the surface shall be finished with two (2) coats of approved enamelised paint of selected colour.

All paintwork shall be left cleaned. All plated and bright parts shall be cleaned and polished at the conclusion of construction.

All painting shall be done by experienced tradesmen.

3. Making Good

Where existing equipment is to be dismantled and/or removed from walls and ceilings, unpainted areas exposed shall be prepared and painted by experienced tradesmen. A priming coat, undercoat and two (2) finishing coats of oil base paint to match the surrounding surfaces shall be applied.

4. Damaged Finishes

Surfaces of equipment damaged during delivery or erection shall be restored, touched up and repainted to approval.

15.13 SCAFFOLDING

The Contractor shall provide all necessary temporary scaffolding, framing or other supports to enable access to the work.

15.14 SCALING DRAWINGS

Tenderers must check dimensions on site. No claims will be allowed for errors due to scaling off drawings.

15.15 UNIFORMITY

Uniformity of type and manufacture of each individual fitting and accessory shall be preserved throughout the whole installation.

15.16 NEW MATERIALS

All materials and equipment shall be new unless otherwise specified.

SUPPLY AND SERVICE

15.17 SUPPLY

1. Provide a Main Supply with 25% spare capacity.

15.18 EARTHING

1. Earthing shall comply with the Supply Authority's regulation.
2. The installation shall be earthed in accordance with the system observed in the locality.

15.19 BALANCING

On every switchboard the load shall be balanced as evenly as possible across all three phases.

15.20 READY FOR TEST

On completion of the specified work, the Contractor shall submit a "Notification of Electrical" certificate to the relevant Electricity Supply Authority. The installation shall be inspected and approved by both the Electricity Supply Authority's Officer and the Superintendent.

15.21 CIRCUIT INDEX AND LABELS

1. On every switchboard each switch, fuse, circuit breaker or other device shall have an engraved Traffolite label securely fixed adjacent thereto.

The fuses or circuit breakers shall be numbered. A neatly typed circuit index giving number, rating and circuit function shall be mounted in the card index holder in the cubicle door for each board. The circuit index shall be provided with a clear perspex cover.

SWITCHBOARDS

15.22 SWITCHBOARDS

1. The Main Switchboard shall be to the approval of the Supply Authority. The Contractor shall obtain approval for Metering arrangements before commencing manufacture.
2. The Distribution Switchboards shall be located to meet Supply Authority requirements.
3. All equipment to be neatly mounted, securely attached. All wiring shall be neatly run and supported.
4. Switchboards and distribution boards shall have a minimum of 25% spare capacity.

INSTALLATION OF WIRING

15.23 WIRING AND CABLING

1. The building has two levels. The Ground Floor is a slab on ground. The First Floor is timber. The upper floor ceiling contains asbestos and is to be removed. Check with the builder before proceeding re asbestos removal.
2. Wire to and connect all outlets shown on the drawings, or as scheduled.
3. Wiring systems shall be TPI and TPS cabling.
4. T.P.I. and T.P.S. Cables shall be 0.6/1.0 kV grade stranded copper as applicable in accordance with AS3347 and 3191. Insulation shall be V75 grade.

All wiring shall be enclosed in conduit or ducting.

Wiring shall be of the size required by the "Wiring Rules" for the actual circuit loading or as specified. Minimum size shall be:

The minimum size of wiring shall be:-

Lighting	-	1.5mm ²
Power	-	2.5mm ²

Wires and cables shall be brought to the site in their original packages with their labels intact otherwise they shall be liable for rejection. All wiring in which kinks or abrasions occur shall be condemned and shall be replaced by the contractor at his own expense.

5. Wiring shall be by "looping-in" method - Jointing of cables will not be permitted.
6. T.P.S. cable must be protected by conduit where it is exposed to damage or where embedded in plaster or the like.

15.24 CONDUIT AND DUCTING

1. Where conduits, ducts etc. pass through damp course, vapour barriers and the like, damage to these surfaces shall be kept to a minimum and the surface restored to the satisfaction of the Superintendent.

Conduits shall be of minimum size 20mm diameter and shall be of sufficient size to enable cables to be "drawn-in" after erection, sufficient accessible junction boxes to be used for this purpose.

Inspection fittings, (except when used in inaccessible positions to facilitate the running of such conduits around beams and other exposed structural members) are not acceptable as a draw-in point.

Conduits shall be neatly run and securely fastened by means of approved double sided metal saddles. Saddles shall be provided within 150 mm of all fittings or terminations and a maximum of 1m centres to provide a rigid installation.

Single saddles are not permitted to be used.

During installation, the ends of conduits shall be temporarily plugged to prevent the egress of dirt.

The direction of conduit run shall be parallel to the walls, floors and ceilings, wherever practicable.

Conduit shall be installed so as to avoid all mechanical duct systems and other pipe systems and services, and shall, in all cases, be at least 75mm from heating pipes, and at least 500mm from boilers or furnaces.

The Contractor shall be responsible for the true horizontal or vertical installation of all boxes and fittings.

Where junction boxes are exposed to weather, the lids shall be sealed with an approved gasket.

The boxes shall be of ample size to enable the cables to be neatly diverted from one conduit to another without undue cramping.

Fixing of conduit onto slabs and brick walls shall be by means of screws and bolts screwed into masonry anchors of the expanding type. 'Tap Its' may be used up to 5mm diameter. Details of the type and method of fixing shall be approved before commencing the installation.

1. Conduits shall be run concealed throughout.
2. Flexible Conduit

Flexible metallic conduit shall not be used.

Flexible P.V.C. conduit may be used in minimum lengths for connections to individual items of plant e.g. motors.

3. Ducting

Metal ducting shall be square or rectangular section folded sheet equal to Esco Cableduct.

PVC ducting shall be of a minimum size of 16 x 10mm. The colour shall be white or brown to match as close as possible the existing surfaces, (i.e. Brown for woodwork) or painted to match.

Ducting in corners shall be either mitred or fabricated angles are to be used.

Ducting is to be fastened at a maximum of 100mm for all joints and every 600mm to provide a rigid installation throughout. Fixing of P.V.C. ducting shall be the same as for conduit.

LIGHT FITTINGS AND OTHER EQUIPMENT

15.25 LIGHT FITTINGS

1. A provisional sum is allowed for supply of light fittings. Allow to install the fittings.

15.26 SWITCHES

1. Supply and install switches as indicated on the drawings.
2. Light switches shall be an approved flush type rated 10A minimum and shall in any case be rated to carry the connected load. Where switches fall adjacent to each other, they shall be ganged under a common flush plate.
3. Flush plates shall be coloured white. Painted plates are not acceptable.
4. Protected, weatherproof and/or Impact Resistant types shall be provided where indicated on the drawings.
5. Flush plates for architrave mounted switches shall be miniature plate type and for wall mounted switches shall be large type.
6. Mounting height shall be 1100mm from floor.
7. Where switches are ganged under a common flush plate the potential between conductors shall not exceed 240V.

15.27 GENERAL PURPOSE OUTLETS

1. Supply and install general purposes outlets as indicated on the drawings.
2. Power outlets unless otherwise indicated shall be flush combination type 10A single pole switch and 10A 3 pin flat pin receptacle.
3. Flush plates shall be coloured white. Painted plates are not acceptable.

4. Weatherproof types shall consist of a 10A single pole switch and 10A 3 flat pin receptacle, mounted together in a weatherproof housing.
5. Protected Metal/impact Resistant types shall consist of an approved 10A single pole switch and 10A 3 pin flat pin receptacle mounted together in a common housing.
6. Mounting height of general purpose outlets shall be 300mm above floor level or over bench tops as applicable.

15.28 PERMANENTLY CONNECTED EQUIPMENT

Allow to Install and connect all permanently connected equipment.

15.29 TIME SWITCH

1. An approved 24 hour 7day battery backed Electronic time switch (with +/- 1 h) shall be provided on the switchboard.. It shall be installed so that the face is visible through the switchboard escutcheon and may be adjusted without removing the escutcheon.
2. The switch shall be the DIN rail mounting type and mounted on a DIN rail in the switchboard.
3. A labelled two pole override switch and neon indicator shall be mounted on the switchboard (and be accessible with switchboard door closed) or in an approved position. One pole of the switch shall override the time switch while the other pole shall operate the neon (i.e. the indicator light will only illuminate when the bypass switch has been operated). Selected lights shall also be operable by means of individual switches which override the timeswitch.
4. Security Lighting and the illuminated sign shall be wired to operate from the time switch.

15.30 COMMUNICATION WIRING AND EQUIPMENT

The Contractor shall supply and install ten(10) pair approved telephone wire from the Building MDF or designated control equipment location to flush plates outlets, to locations to be agreed.

Wiring shall be installed in the wall cavity or ducts which shall allow easy replacement of the wire if required. A minimum of 300mm slack shall be left in the wire at both ends and pushed back into the cavity of ceiling space.

All wiring and connections shall be to the approval of AUSTEL and installed by Austel licensed installers.

15.31 OVERVOLTAGE ARRESTORS

The Contractor shall supply and install the Clipsal Cat No. 970 Overvoltage Arrestors to each phase of the main switchboard (MSB). Arrestors shall be Din mounted on the board (where possible) with the 970 face visible through the S/B escutcheon or mounted adjacent to the M.S.B. in a mounting enclosure (Clipsal Cat. No. 4CC3) and wired as per manufacturers instructions.

On installations where the mains is over 100 amps, 100 amp fault current limiting Circuit Breaker shall be supplied and installed.

15.32 NOTIFICATION OF ELECTRICAL WORK (NSW)

1. On completion of the specified work, the Contractor shall submit a "Notification of Electrical Work" certificate to the relevant Electricity Supply Authority. The installation shall be inspected and approved by the Electricity Supply Authority's Officer.

16. MECHANICAL SERVICES INSTALLATION

16.1 GENERAL DESCRIPTION

Provide a reverse cycle Air Conditioning system to the Restaurant with provision for summer cooling and winter heating . The Café will not be air conditioned.

Provide a split system with a roof mounted condenser . The condenser housing is to be painted by means of powdercoating the same colour as the roof. – Colorbond Woodland Grey

Provide a mechanical exhaust system over the oven/hotplate area to comply with all relevant codes.

Note Cool Room to be by Specialist Contractor.

16.2 TEMPERATURE

The system shall be designed to maintain the following :

Room Design : Summer - 22 ° Cdb
Winter - 21 ° Cdb
No humidity control required.

External Conditions : Summer - 34 ° Cdb 24 °Cwb
Winter - 6 ° Cdb

For design purposes Occupancy numbers in the Restaurant shall be 60 customers and 10 no staff.

16.3 EQUIPMENT

The plant shall be of sufficient capacity to meet the operational requirements.

16.4 EXTENT OF WORK

The work to be carried out under this section of the Specification shall comprise:-

1. The installation, commissioning, setting to work and testing of equipment for the Air Conditioning system.

16.5 DRAWINGS

AC Contractor to provide drawings of the proposed system.

16.6 EQUIPMENT LOCATION

All equipment shall be located where agreed on site..

16.7 NOISE AND VIBRATION

The Contractor shall take necessary precautions for the prevention of noise and vibration from the equipment being transmitted to the building structure and shall be responsible for the correction of such objectionable noise and vibration to the satisfaction of the Superintendent. In particular all rotating machinery shall be mounted on spring in compression or rubber in shear or other approved vibration isolating mountings.

16.8 CONDUIT AND PIPING TRAY

All electrical supply conduit, refrigeration gas piping and drain and/or condensate piping shall be secured on to an approved galvanised cable ladder. The ladder shall have a galvanised cover to enclose the piping and conduit. The ladder and cover shall be painted to match existing surfaces to the approval of the Superintendent and shall be securely fixed to the walls, ceiling and roof.

16.9 SUPPLY AIR OUTLETS

Supply and install air outlets in appropriate locations.

16.10 CORROSION PROTECTION AND PAINTING

Where necessary equipment shall be primed and painted to prevent corrosion.

17. FIRE SERVICES

Provide fire hose reels as shown. Ensure that a Fire Hydrant is available for the site. Provide extinguishers to meet BCA requirements. Smoke Detectors are specified under Electrical.

17.1 FIRE HOSE REELS

Fire hose reels shall be designed and constructed in accordance with Australian Standard 1221 specifications.

Hose and Nozzle

A minimum of 30 metres of 20mm rubber hose shall be fitted to each hose reel. The control nozzle attached to the hose shall have off, jet and spray positions.

Water Supply and Stop Valve

The main stop valve assembly is to be fitted with a nozzle interlock device which prevents the removal of the hose nozzle before the main valve is turned substantially on. The valve must be located in a readily accessible position. The main valve and water connect pipe shall be a minimum 25mm diameter.

A minimum nozzle flow rate of 20 litres per minute to be available from of the hose reel when installed.

If water pressure too low, supply and install hydrant booster valve.

Mounting and Identification

The centre of the hose reel shall be mounted 1.5 metres above floor level. If located in a cupboard or obscure position the words "Fire Hose Reel" not less than 50mm high on a contrasting background shall be clearly visible to person's occupying the area.

The operating instructions must be clearly visible to any person attempting to use the hose reel.

Commissioning Procedures:-

- 1) Check for leakage of water when main stop valve turned on - non permitted.
- 2) Check that hose can be easily withdrawn in any accessible direction - pull required not to exceed 100m.
- 3) Check flow rate from nozzle - minimum 20 L.P.M.
- 4) Rewind hose in even layers and fit into nozzle interlocking device. Depressurise hose by releasing water pressure at nozzle.
- 5) Record appropriate details on service record tag and ensure it is securely attached to a fixed component of the hose reel.

Compliance with statutory requirements

Notwithstanding the requirements in this specification fire hose reel must comply with part E 1.4 of the Building Code of Australia in all respects.

17.2 PORTABLE FIRE EXTINGUISHERS

The contractor shall supply and install portable fire extinguishers throughout the building in accordance with the requirements of AS2444 Portable Fire Extinguishers - Selection And Location.

Notwithstanding the requirements of AS2444 the contractor shall liaise with the Project Manager prior to the installation of the extinguishers to ensure that the proposed locations are compatible with the proposed layout.

18. DOORS AND DOOR FRAMES

18.1 SCOPE

Provide new doors and frames as per Door Schedule

Amend existing doors and frames as per Door Schedule

Refer Door Schedule for details

18.2 DOORS GENERALLY

Timber doors shall comply with AS 1908 and AS 1909 where applicable. Sizes given in door schedule are door leaf sizes. Make frames fit doors. Doors in two leaves shall have rebated meeting stiles, unless otherwise specified.

Prime for painting doors on all surfaces, including top and bottom edge, before hanging.

All new doors are to be purpose made cedar doors ledged, braced and framed with vertical v jointed timber boards 100mm x 18mm.

Glazing is to be fixed glass in panes to match the existing building approx glass pane size to be 300mm high x 250mm wide .

18.3 DOOR THICKNESS

Internal doors 35mm
External doors 40mm

All solid core doors shall have blockboard infill to comply with AS 1908

18.4 DOOR FRAMES

Where the door frames are painted steel frames the height is 2100mm high, width to suit the door..

All timber door frames shall be ex 150 x 50mm.

18.5 METAL FRAMES

Metal door frames shall be standard 1.2mm Zincanneal sheet steel.
Rubber buffers to absorb 'shock' of door closure to be included.
All head plates to be reinforced to receive surface mounted door closers.

Use corrosion resistant steel fixing brackets for fixing.

Rebate to be 12mm internal doors, external doors 25mm.

18.6 KICKPLATES

Fix Kickplates to doors where specified in hardware.

AVALON GOLF CLUB

18.7 DOOR AND FRAMES

D F.1 CAFÉ

New Timber Door Frame
Size to suit existing opening.
Existing sliding door fixed open
Pair of glazed external painted timber doors, active leaf 920mm wide

D F.2 CAFÉ

New Timber Door Frame
2040 X 920mm outward opening obscure glazed internal painted timber door .

D F.3 CAFE

New Timber Door Frame
2040 X 920mm outward opening glazed external painted timber door .

D F.4 PRO SHOP

New Timber Door Frame
2040 X 1300mm outward opening pair of glazed external timber doors,
active leaf 920mm wide.

D F.5 OFFICE

Omitted

D F.6 KITCHEN

Omitted

D F. 7 KITCHEN

New door and frame to replace existing. External painted timber door.

D F. 8 CHANGE

Omitted

D F. 9 ACCESSIBLE TOILET

New Timber Door Frame
2040 X 920mm inward opening painted external timber door .

D F. 10 UNISEX TOILET

New Timber Door Frame
2040 X 820mm inward opening painted external timber door .

D G. 1 STORE

New Steel Door Frame
2040 X 820mm inward opening painted steel door .
Refer Metalwork

D G. 2 GARAGE DOOR

Refer Metalwork

D G. 3 TOILET MENS

Supply and install a new door leaf to fit the existing frame.
Painted timber door

DG.4 MENS TOILET

New door in existing frame rehung opposite hand.

DG.5 – DG.15

Doors as existing. Repair and maintenance work to be determined on site .

19. HARDWARE

19.1 SCOPE

- . Hinges
- . Door Stops
- . Door Closers
- . Door Locks and Latches
- . Door Handles
- . Hardware for Toilets

19.2 HINGES

100mm Lane stainless steel button tipped loose pin, 1 and a half pairs per door.

19.3 DOOR STOPS

Lockwood L856 ZPDP.

19.4 DOOR CLOSERS

Lockwood M800 Series with hold open feature

19.5 DOOR LOCKS AND LATCHES

Lockwood 570 Series.

19.6 DOOR HANDLES

Lockwood 1080 Series Brass D Lever handles Satin chrome finish

19.7 DOOR HARDWARE SCHEDULE

Provide Hardware to doors as scheduled.

19.8 HARDWARE FOR TOILETS

Toilet Paper Holder to each W.C. Lockwood L8445C D.P.
Door bumper and Coat Hook behind each toilet door Lockwood L432.

19.9 KEYING

All locks are keyed to differ.

Hand over 2 sets of keys on Practical completion, tagged and labelled.

19.10 BARREL BOLTS

150mm Lockwood L333 Series.

AVALON GOLF CLUB

19.11 SCHEDULE OF DOOR HARDWARE

D F.1 CAFE

Deadlatch/lock to suit rebated meeting style
Lever handles and latch
Bolts to inactive leaf
Door closers
Door stops

D F.2 CAFÉ

Deadlatch/lock
Lever handles and latch
Door closer

D F.3 CAFÉ

Deadlatch/lock
Lever handles and latch
Door closer

D F.4 PRO SHOP

Deadlatch/lock to suit rebated meeting style
Lever handles and latch
Bolts to inactive leaf
Door closer

D F.5 OFFICE

Omitted

D F.6 KITCHEN

Omitted

D F.7 KITCHEN

Deadlatch/lock
Lever handles and latch

D F.8 CHANGE

Locking system with indicator
Lever handles and latch
Door stop

D F.9 ACCESSIBLE TOILET

Locking system with indicator, suitable for use by disabled people
Lever handles and latch
Door stop

D F.10 UNISEX TOILET

Locking system with indicator
Lever handles and latch
Door stop

D G. 1 STORE

Lock
Lever handles and latch

D G .2 GARAGE DOOR

Electric Lock

D G.3 TOILET MENS

Lever handles and latch
Door closer
Door stop

20. GLAZING

20.1 SCOPE

- . Glazing as Windows Schedule.
- . Mirrors

20.2 GENERAL

- . Supply and install new glazing as per the schedule and in accordance with current Glazing Codes.
- . Certify that all glazing complies with current Glazing Codes.

20.3 MATERIALS AND WORKMANSHIP

Make junctions so that no fixings, such as pins, screws, pressure indentations, and the like, shall be visible on exposed faces.

20.4 OPERATION

Moving parts shall operate freely and smoothly without binding or sticking, at correct tensions or operating forces.

20.5 PROTECTION

Protect surfaces during the work under the Contract as necessary to prevent damage or defacement.

20.6 GLAZING GENERALLY

All glazing shall conform with the requirements of AS 1288 Parts 1-3 and AS 1208.

Glass shall be of the best quality approved Australian manufacture. All glass to conform generally with AS952, and be free from cracks, scratches, bubbles, blisters and other defects.

All glass edges shall be clean, wheel cut edges with minimum feather. Glass shall be accurately cut, allow for proper tolerances between edges of glass and frame and allow for thermal expansion.

Rebate and grooves shall be primed and shall be clear, unobstructed and dry before glazing.

20.7 MIRRORS

Mirrors to be 6mm float glass of silvering quality. Mirrors to be framed all round with clear anodised aluminium and screw fixed through the frame. Leave a ventilation gap at the back of the mirror. Screws to have heads covered to match the frame.

Provide 2 no mirrors, one to each new toilet.
Size 900mm wide x 900mm high.

20.8 BLACK GLASS TO FIREPLACE

Provide black glass in a black anodised aluminium frame to infill the existing fireplace opening

AVALON GOLF CLUB

WINDOW AND GLAZING SCHEDULE

- . All sizes given are for pricing purposes only.
- . Check all dimensions on site prior to fabrication.
- . All glass thickness to suit glazing codes.
- . All glass to be clear unless stated otherwise.
- . Provide certification for all glazing stating that the glazing is in accordance with current glazing codes.
- . All new windows to the Restaurant extension be powdercoated aluminium, colour charcoal grey. (WF1 – WF9)
- . Other new windows are white same as existing
- . All opening windows to have locks.
- . Provide white sandblasted look non see through film on glass where indicated

<u>LOCATION</u>	<u>SIZE</u> <u>W X H (MM)</u>	<u>NOTES</u>
WF.1 RESTAURANT	1100 x 1600	. HORIZONTAL SLIDING . 1 FIXED, 1 SLIDING LIGHT
WF.2 RESTAURANT	1600 x 1600	. HORIZONTAL SLIDING 2 FIXED, 1 SLIDING LIGHT
WF3 RESTAURANT	AS W1	
WF.4 RESTAURANT	3120 x 1600	. HORIZONTAL SLIDING 2 FIXED, 2 SLIDING LIGHTS
WF.5 RESTAURANT	3440 x 1600	. HORIZONTAL SLIDING 2 FIXED 2 SLIDING LIGHTS 2 FIXED GLASS PANELS BETWEEN COLUMNS BESIDE W5
WF6 RESTAURANT	AS W4	
WF7 RESTAURANT	AS W1	
WF8 RESTAURANT	AS W2	
WF9 RESTAURANT	AS W1	

WINDOW AND GLAZING SCHEDULE (CONT'D).

LOCATION	SIZE W X H (MM)	NOTES
WF10 ACCESSIBLE WC	900 X 1200	WHITE ALUMINIUM VERTICAL SLIDING SASH CLEAR GLASS TOP SASH WHITE GLASS BOTTOM SASH
WF11 ACCESSIBLE WC	AS WF 10	
WF12 ACCESSIBLE WC	600 X 1200	WHITE ALUMINIUM VERTICAL SLIDING SASH CLEAR GLASS TOP SASH WHITE GLASS BOTTOM SASH
WF13 – WF 14	AS EXISTING	REPAIRED AND PAINTED
WF15	AS EXISTING	WITH WHITE FILM ADDED
WF 16 AND WF17 -	NEW ALUMINIUM	TO MATCH EXISTING
WF18 – WF 23 AS	EXISTING	REPAIRED AND PAINTED
WG1 – WG 9	AS EXISTING	REPAIRED AND PAINTED

21. CARPET

21.1 SCOPE

Pro Shop
Restaurant
Pro shop entry

21.2 GENERALLY

The whole of the carpet laying shall be carried out by skilled tradesmen in a manner conforming to the best of trade practice.

21.3 LAYING

Prior to laying, the floor area shall be swept clean removing any dirt or debris.

Smoothedge strips shall be used around the perimeter of the carpet with metal naplocks fitted where the carpet meets other floor coverings.

On completion the carpet shall be vacuumed and the debris removed.

21.4 CARPET TYPE

Pro Shop

Carpet tiles to be selected

Restaurant

Carpet tiles to be selected

21.5 PREPARATION

Prior to laying the carpet ensure the floor is smooth and free from blemishes Scabble off any loose material. Make good with a levelling compound as necessary.

21.6 ACCESSORIES

The Contractor shall supply all accessories, as required for satisfactory completion of the works.

21.7 PROSHOP ENTRY

Provide selected removable rubberised synthetic matting to the Proshop entry
Approx size 1600 X 1600mm

22. BLINDS

22.1 SCOPE

Supply and install roll down clear plastic blinds both sides of the Porch to the new external toilets.

Approx drop to be 1500mm.

23. SECURITY SYSTEM

23.1 SECURITY CONTRACTOR

Supply and Install a Security System to the Golf Club.

Provide 10 no infrared detectors located internally at agreed points.

Provide a Code Pad located at an agreed point.

Provide a Control Panel at an agreed point.

A siren and strobe is to be fitted outside .

Provide 8 no cameras connected to a central digital video system in the office to provide surveillance of the premises. Provide control software and separate pc system with monitor.

The security system is to be designed supplied and installed by a specialist subcontractor. Provide 2 sets of coloured drawings of the system for approval before installation.

The system shall be coordinated by the Builder and will be part of the Main Contract.

24. SIGNAGE

CHECK DIMENSIONS OF ALL SIGNS ON SITE PRIOR TO FABRICATION

24.1 EXTERNAL SIGN

Provide an external sign mounted on a steel pole.
Sign to be 1350 h x 900mm approx.
to read Links Restaurant.
100 x 100mm gal steel post set on concrete footing to Engineers requirements.

24.2 TOILET DOOR SIGNAGE

In Black Helvetical Medium Lettering Caps. 20mm high.
engraved aluminium plate securely fixed

On Door DF8 -TOILET

On Door DF9 - TOILET and DA symbols

DA symbols on D9 to be raised male, female and DA symbols in white on blue
with raised braille equivalent wording.

24.3 DISABLED PERSONS PARKING AREA SIGN

Pole mounted signage as required by AS 1428.2

Linemark the bitumen with DA symbol

24.4 DISABLED PERSONS ACCESS SIGNAGE

Provide a directional sign to the toilets. Raised tactile arrow with raised tactile
male female and access symbols in white on blue with Braille equivalent
wording.

24.5 TACTILE GROUND SURFACE INDICATORS

Provide at the top and bottom of the stairs, 600mm deep, 300mm out from riser

25. FIRE EXTINGUISHERS

25.1 SCOPE

Supply and install fire extinguishers to both levels of the building to Code requirements.

26. SCHEDULE OF PROVISIONAL SUMS

AVALON GOLF CLUB

Ceramic Tiles	supply only	\$ 5,000
Kitchen	supply and install	\$ 50,000
Cool Room	supply and install	\$ 10,000
Carpet	supply only	\$ 8,000
Lights	supply only	\$ 5,000
Repair and Maintenance to Lower Ground Floor		<u>\$ 5,000</u>
		\$ 83,000 excludes GST

27. SCHEDULE OF FINISHES

AVALON GOLF CLUB

EXTERNAL

Crossing

Steel float concrete non slip finish

New Footpaths

As driveway

Courtyards and Patios

400mm x 400mm plain concrete pavers

Roof, Gutters and DPs

Colorbond Woodland Grey

Painted Render

Dulux Weathershield Satin Klute.

Timber screens and shingles

Dulux Weathershield Satin Milton Moon

Doors

Dulux gloss enamel Western Myall

Windows

White .

Balustrade

316 marine grade stainless steel and glass

INTERNAL

UPPER GROUND FLOOR

Café

- Floor - New ceramic tiles
- Walls - Painted
- Skirting - Painted Timber.
- Ceiling - New painted plasterboard.

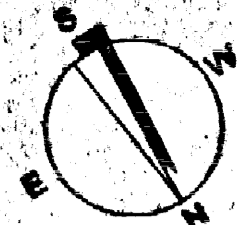
Stairs

- Treads and Risers - New aluminium nosings
- Balustrade - Existing refinished
- Walls - Existing panelling refurbished
- Ceiling - New painted plasterboard.
- Rooflight - Repaint

Kitchen

- Floor - Vinyl
- Walls - Painted Plasterboard./ Tiles to 1200mm AFFL
- Skirting - Vinyl
- Ceiling - Painted Plasterboard.

LEGEND



AREA SCHEDULE

EXISTING LOWER GROUND FLOOR	97 SQ M
EXISTING UPPER GROUND FLOOR	146 SQ M
TOTAL EXISTING	243 SQ M

PROPOSED LOWER GROUND FLOOR EXTENSION	57 SQ M
PROPOSED UPPER GROUND FLOOR RESTAURANT EXTENSION	80 SQ M
PROPOSED UPPER GROUND FLOOR TOILET EXTENSION	10 SQ M
PROPOSED UPPER GROUND FLOOR NEW DECK	6.5 SQ M
TOTAL PROPOSED NEW WORK	133.5 SQ M
TOTAL PROPOSED BUILDING EXCLUDING DECKS	376 SQ M

--- DEMOLISHED WALLS. FOR CLARITY NOT ALL DEMOLISHED WALLS ARE DRAWN

— EXISTING WALLS TO REMAIN. MAKE GOOD AS NECESSARY

— NEW WALLS - STUD PARTITIONS 90 MM TIMBER STUDS WITH 13MM PLASTERBOARD BOTH SIDES. INSTALL NEW SKIRTINGS SAME AS EXISTING ADJOINING SKIRTINGS.

— SUPPLY AND INSTALL FIRE EXTINGUISHERS/ RELOCATE EXISTING AND PROVIDE A COMPLETED FORM OF COMPLIANCE

— SUPPLY AND INSTALL ILLUMINATED EMERGENCY EXIT SIGNS

— INSTALL EMERGENCY LIGHTING TO AS 2293

— REFER FINISHES SCHEDULE IN THE SPECIFICATION FOR ALL FINISHES.

— ALL WORK TO BE IN ACCORDANCE WITH THE REPORT PREPARED BY DISABILITY ACCESS CONSULTANTS P/L "DISABILITY ACCESS PROVISIONS IN PROPOSED ALTERATIONS AND ADDITIONS TO AVALON GOLF CLUB"

— ALL MATERIALS FROM THE EXISTING BUILDING TO BE RETAINED FOR POSSIBLE REUSE

— ALL DOORS TO HAVE MIN 800mm CLEAR OPENING (870 LEAF), 850 CLEAR OPENING PREFERRED. REFER TO ATTACHED ACCESS REPORT.

— IF ALL ITEMS PROVIDED THE DEVELOPMENT WILL COMPLY WITH ACCESS PROVISIONS OF THE BCA, AS1423 and DCP 26.

COUNCIL TO UPGRADE PATH TO PROVIDE ACCESS TO AS 1428

2005/609
CONSTRUCTION
CERTIFICATE No.
Date 27-6-05
BRUCE GAAL DIPNR - P.0055
Accredited Certifier
& Principal Certifying Authority

C AMENDED FOR TENDER	10.12.04
NOTE RE RETENTION OF MATERIALS ADDED	4.8.04
A SHOP REPLANED, EAVES AMENDED WINDOWS AMENDED, TREE REMOVED, NEW FENCE ADDED	10.5.04

AVALON GOLF CLUB

PROPOSED ALTERATIONS FOR
PITTSWATER COUNCIL AND VICKI
JELLIS

UPPER GROUND FLOOR PLAN

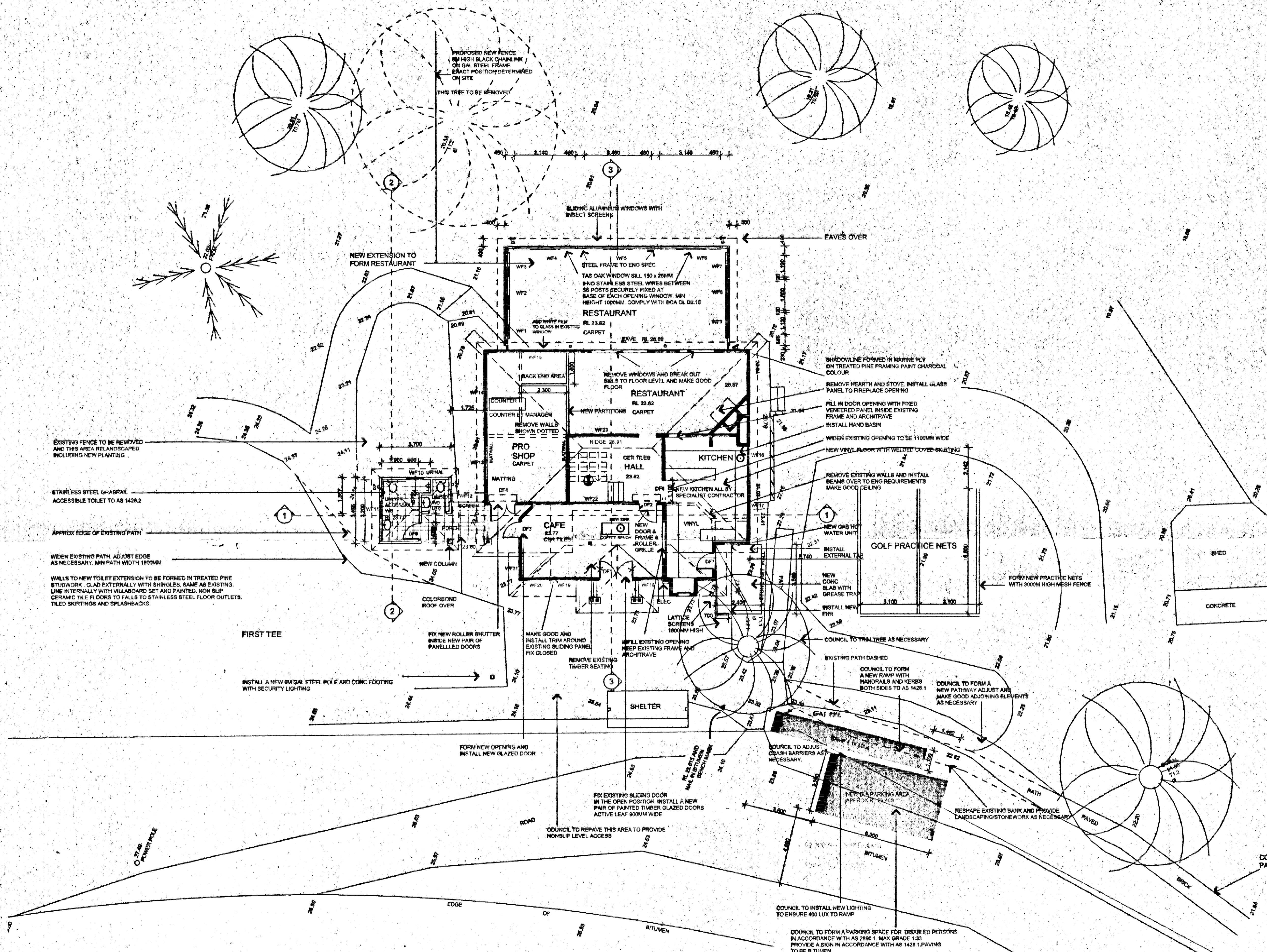
**NGEL MERRYWEATHER
ARCHITECT**

TELEPHONE 0918 2839
FACSIMILE 0918 2439

DATE 20.2.04 SCALE 1:100

DRAWING NUMBER A1C

5 ELGATA CLOSE AVALON, NSW 2107
NGEL MERRYWEATHER & ASSOC P/L
INC IN N.S.W. A/CN 003 440 908



BARRENJOEY ROAD

LEGEND



AREA SCHEDULE

EXISTING LOWER GROUND FLOOR	97 SQ M
EXISTING UPPER GROUND FLOOR	146 SQ M
TOTAL EXISTING	243 SQ M

PROPOSED LOWER GROUND FLOOR EXTENSION	57 SQ M
PROPOSED UPPER GROUND FLOOR RESTAURANT EXTENSION	60 SQ M
PROPOSED UPPER GROUND FLOOR TOILET EXTENSION	10 SQ M
PROPOSED UPPER GROUND FLOOR NEW DECK	6.5 SQ M

TOTAL PROPOSED NEW WORK 133.5 SQ M

TOTAL PROPOSED BUILDING EXCLUDING DECKS 376 SQ M

--- DEMOLISHED WALLS. FOR CLARITY NOT ALL DEMOLISHED WALLS ARE DRAWN

— EXISTING WALLS TO REMAIN. MAKE GOOD AS NECESSARY

— NEW WALLS - STUD PARTITIONS 90 MM TIMBER STUDS WITH 13MM PLASTERBOARD BOTH SIDES. INSTALL NEW SKIRTINGS SAME AS EXISTING ADJOINING SKIRTINGS.

SUPPLY AND INSTALL FIRE EXTINGUISHERS/ RELOCATE EXISTING AND PROVIDE A COMPLETED FORM OF COMPLIANCE

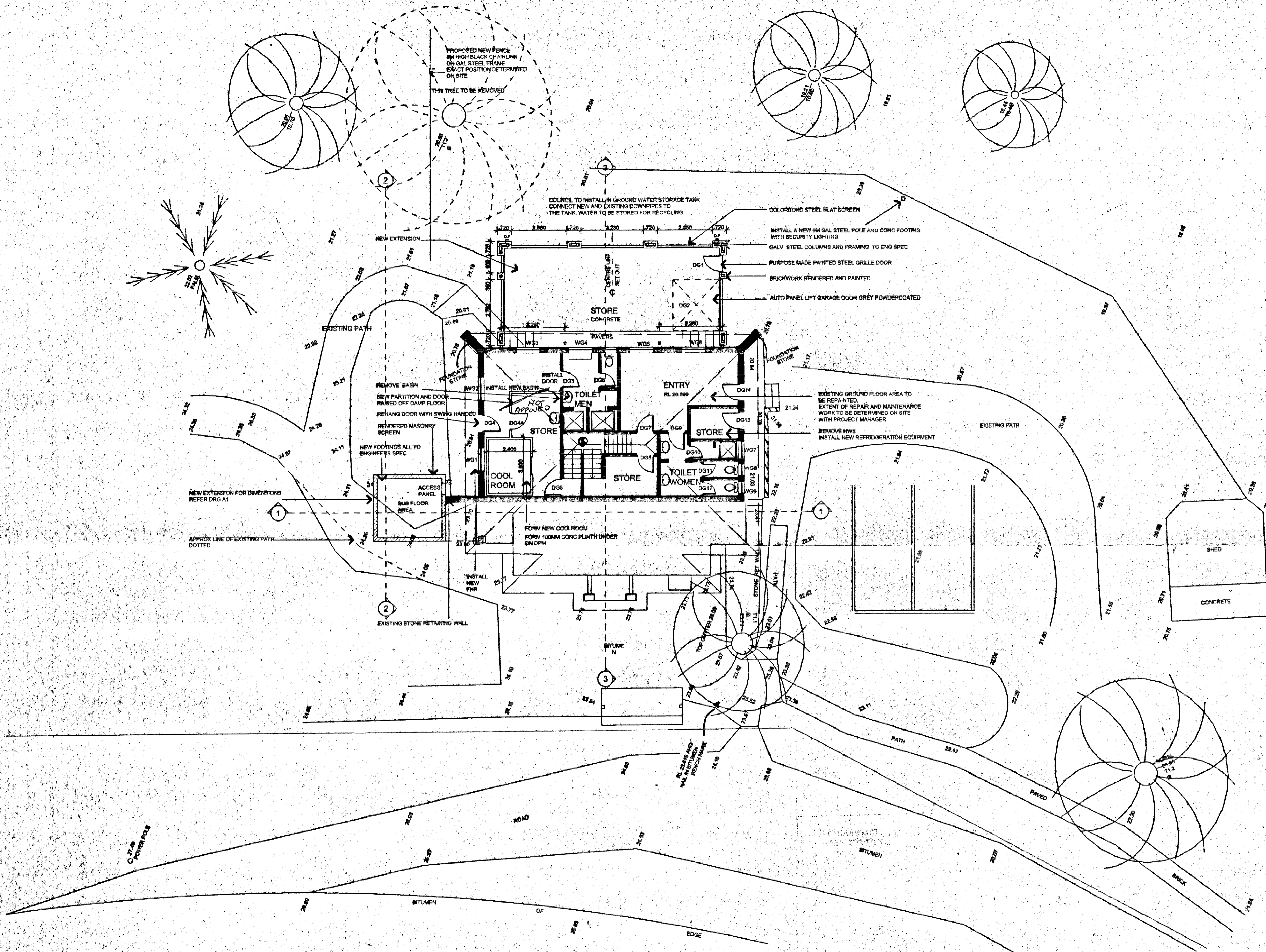
SUPPLY AND INSTALL ILLUMINATED EMERGENCY EXIT SIGNS

INSTALL EMERGENCY LIGHTING TO AS 2293

REFER FINISHES SCHEDULE IN THE SPECIFICATION FOR ALL FINISHES.

ALL WORK TO BE IN ACCORDANCE WITH THE REPORT PREPARED BY DISABILITY ACCESS CONSULTANTS PL "DISABILITY ACCESS PROVISIONS IN PROPOSED ALTERATIONS AND ADDITIONS TO AVALON GOLF CLUB"

ALL MATERIALS FROM THE EXISTING BUILDING TO BE RETAINED FOR POSSIBLE REUSE



2005/609
CONSTRUCTION
CERTIFICATE No.
Date 27.4.05
BRUCE GAAL DIPNR - P.0065
Accredited Certifier
& Principal Certifying Authority

- C AMENDED FOR TENDER 10.12.04
- B PAVING ZONE SHOWN IN THE BUGGY STORE 4.6.04
- A GARAGE DOORS AMENDED, TREE SHOWN REMOVED, FENCE ADDED 10.8.04

AVALON GOLF CLUB

PROPOSED ALTERATIONS FOR
PITTWATER COUNCIL AND VICKI
JELLIS

LOWER GROUND FLOOR PLAN

NIGEL MERRYWEATHER
ARCHITECT

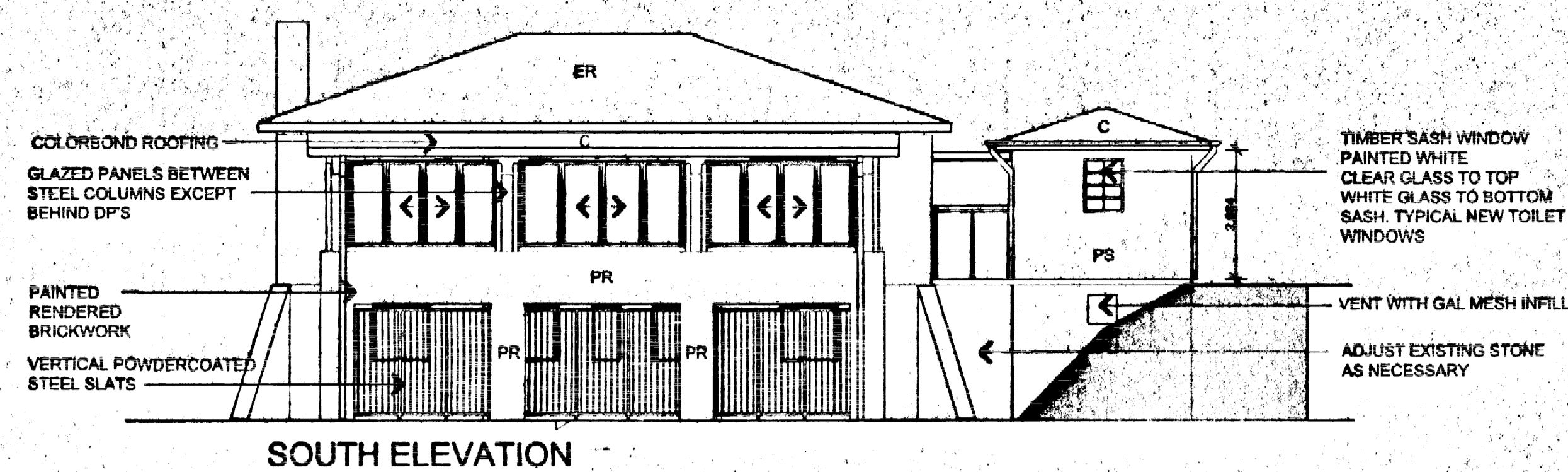
TELEPHONE 9918 2839
FACSIMILE 9918 2439

DATE 20.2.04 SCALE 1:100

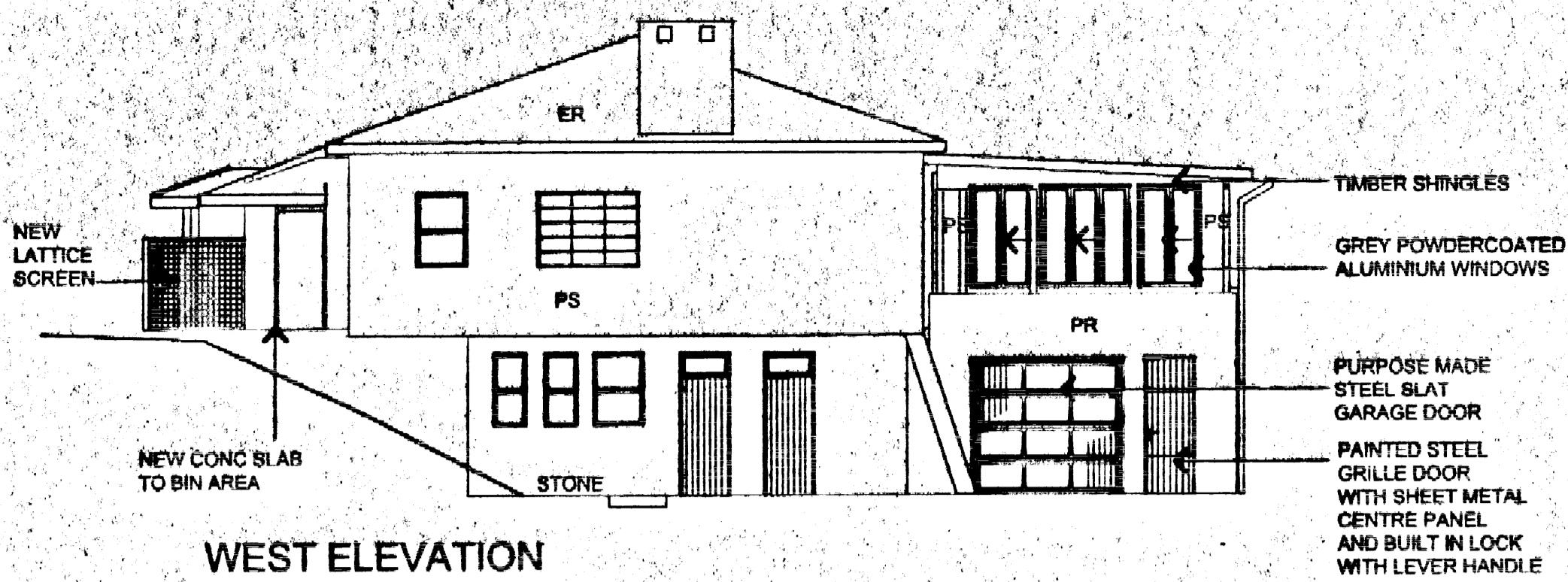
DRAWING NUMBER **A2C**

6 ELGATA CLOSE AVALON, NSW 2107
NIGEL MERRYWEATHER & ASSOC. PT.
INC IN N.S.W. ACN 093 440 908

BARRENJOEY ROAD



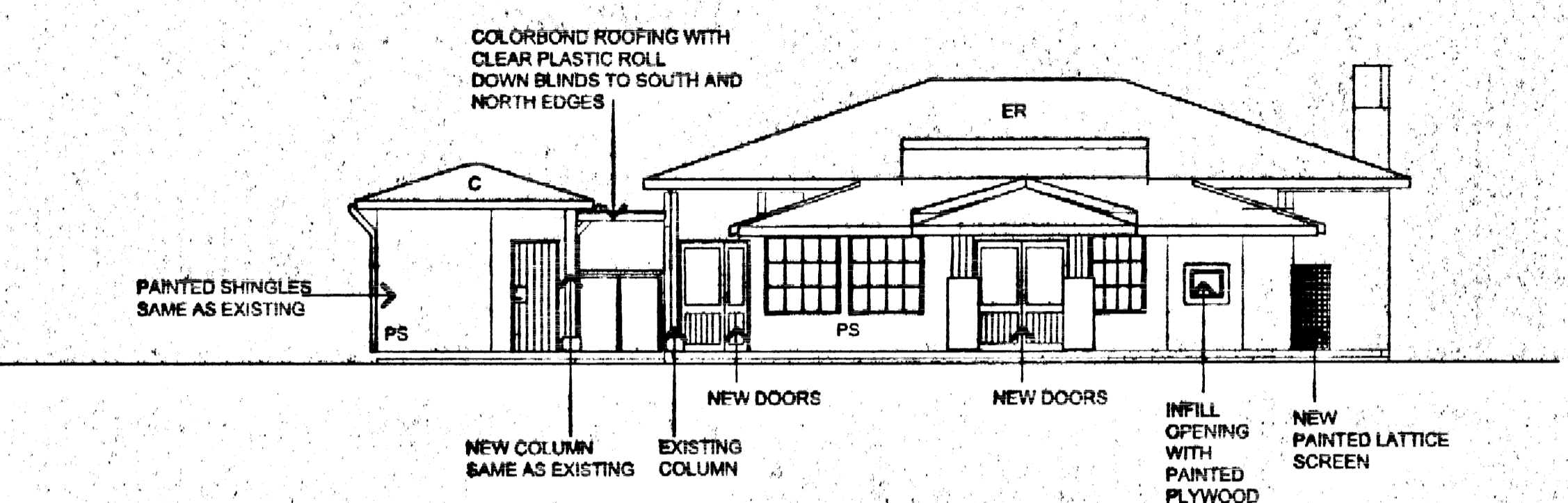
SOUTH ELEVATION



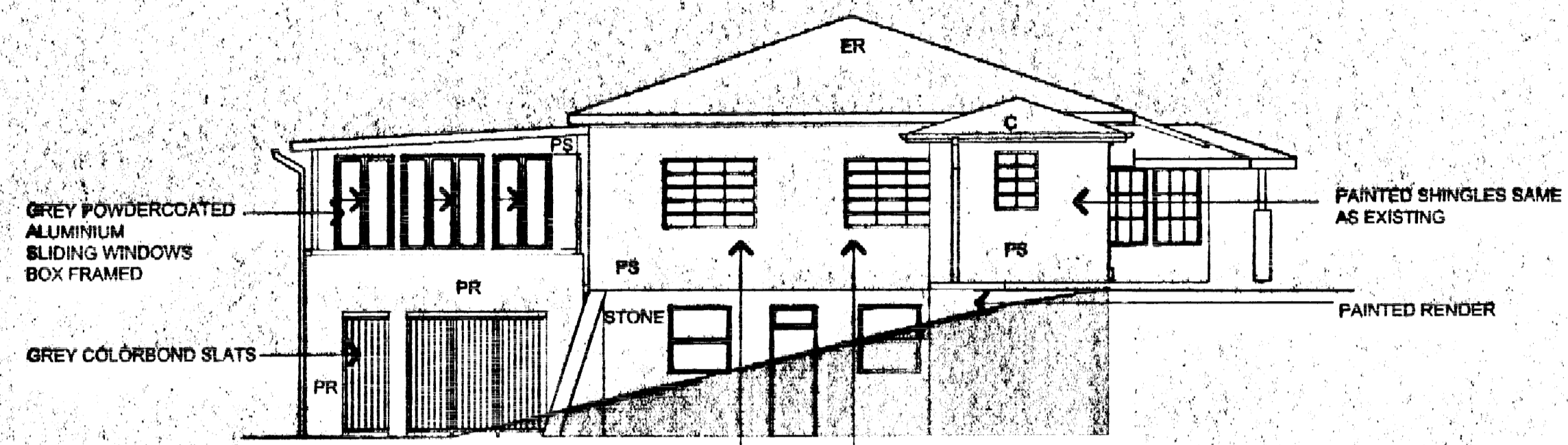
WEST ELEVATION

SCHEDULE EXTERNAL FINISHES

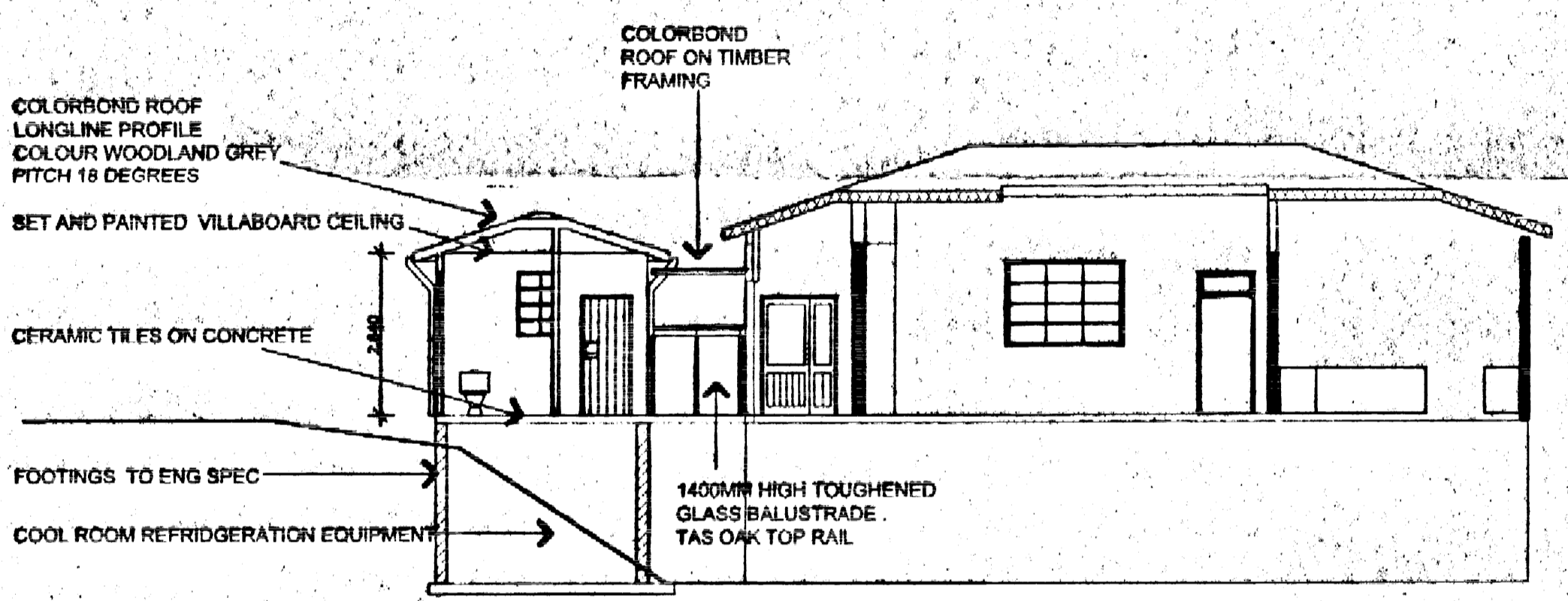
ER	EXISTING ROOF
C	COLORBOND - COLOUR WOODLAND GREY
PR	PAINTED RENDER COLOUR DULUX KLUTE PG1 F8
PS	PAINTED SHINGLES COLOUR DULUX MILTON MOON PG1 F2
EXTERNAL DOOR LEAFS AND NEW SCREENS PAINT COLOUR DULUX WESTERN MYALL PG1 F8	
DOOR AND WINDOW FRAMES - WHITE TO TOILET EXTENSION AND EXISTING BUILDING	



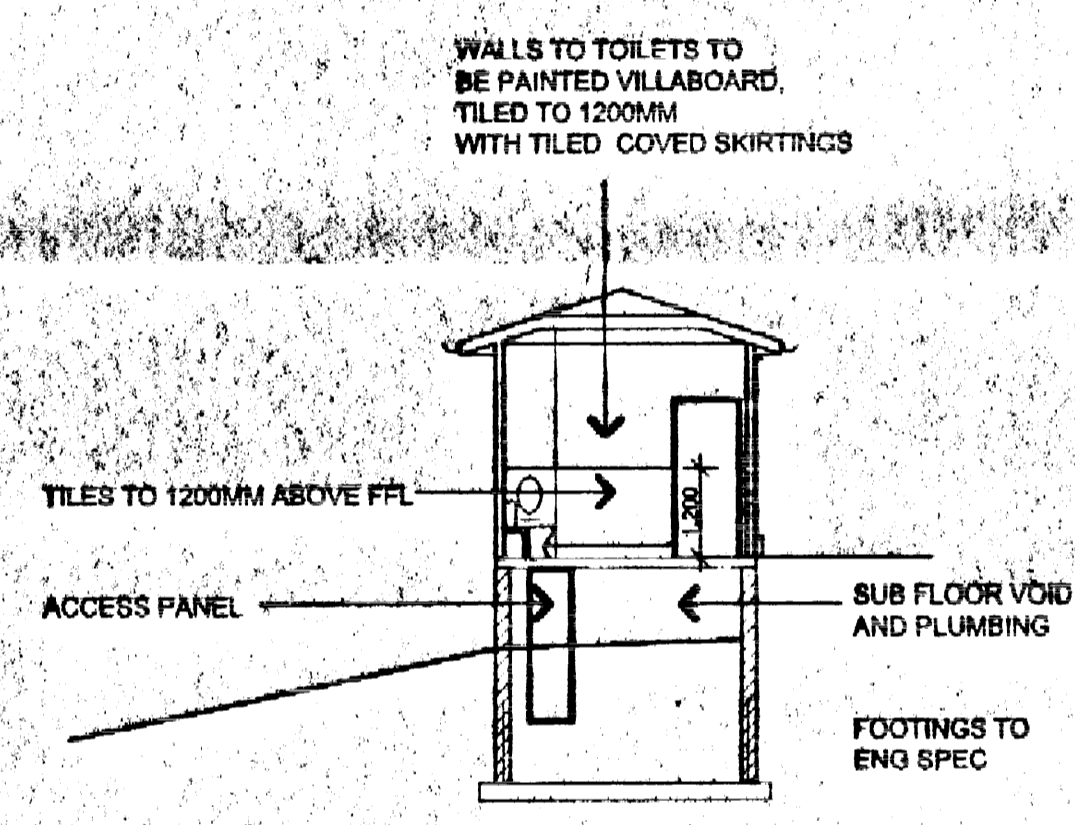
NORTH ELEVATION TO ENTRY COURTYARD



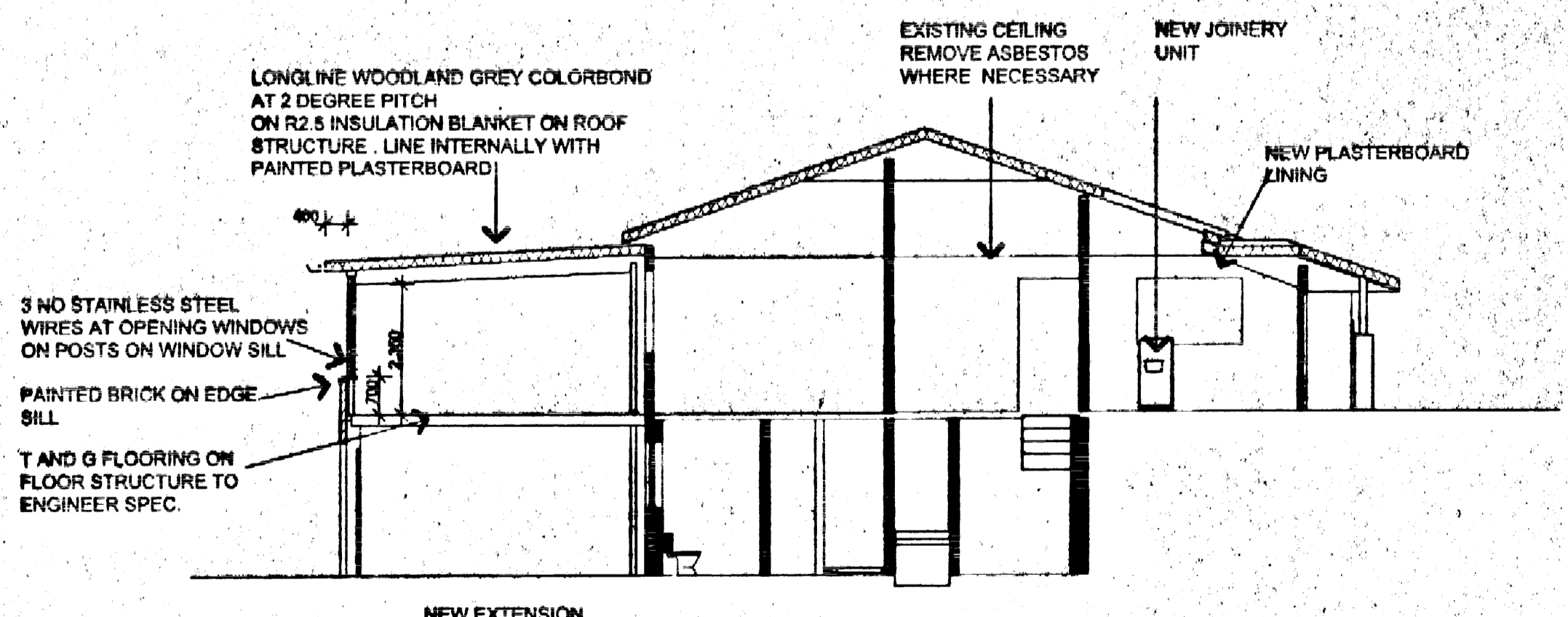
EAST ELEVATION TO SHOW NEW TOILETS



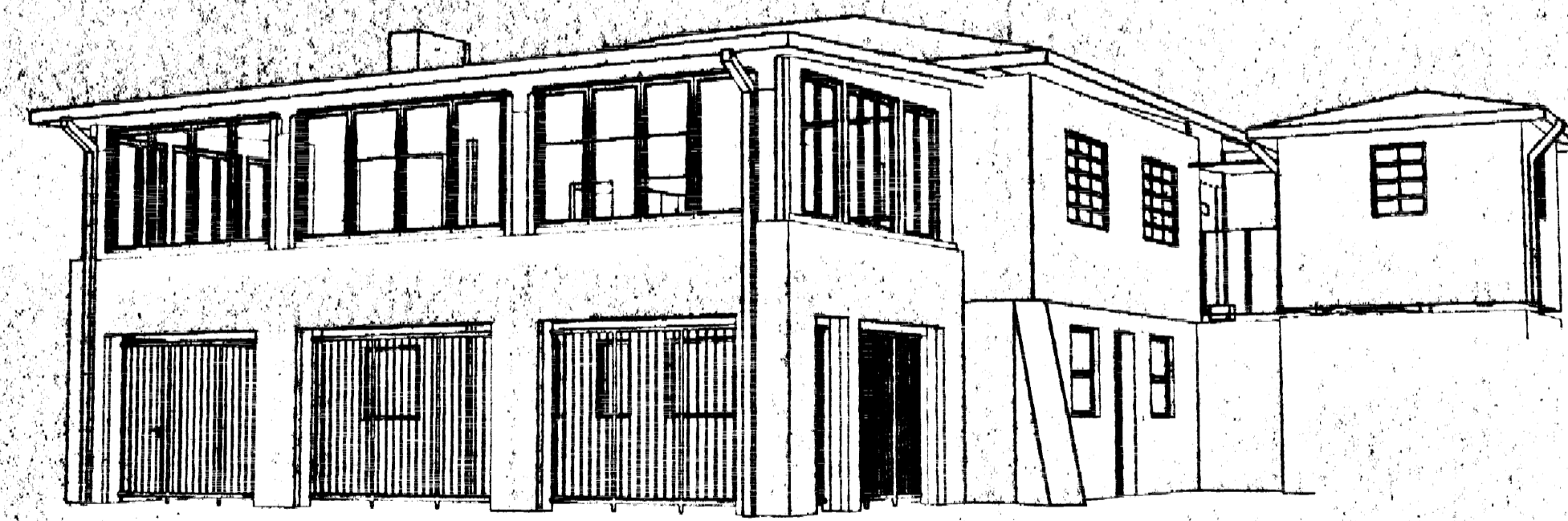
SECTION NO 1 LONG SECTION ACROSS THE BUILDINGS



SECTION 2 THROUGH THE NEW TOILETS



SECTION 3 THROUGH THE RESTAURANT



VIEW FROM SOUTH EAST

2005/609
CONSTRUCTION
CERTIFICATE No.
Date 27.4.05
BRUCE GAAL DIPNR - P.0055
Accredited Certifier
& Principal Certifying Authority

■ PURPOSE MADE GARAGE DOOR SHOWN. BOX FRAME NOTE ADDED RE WINDOWS 4.6.04
▲ WINDOWS AND DOORS CHANGED 3D VIEW ADDED EAVES AMENDED 8.6.04

AVALON GOLF CLUB

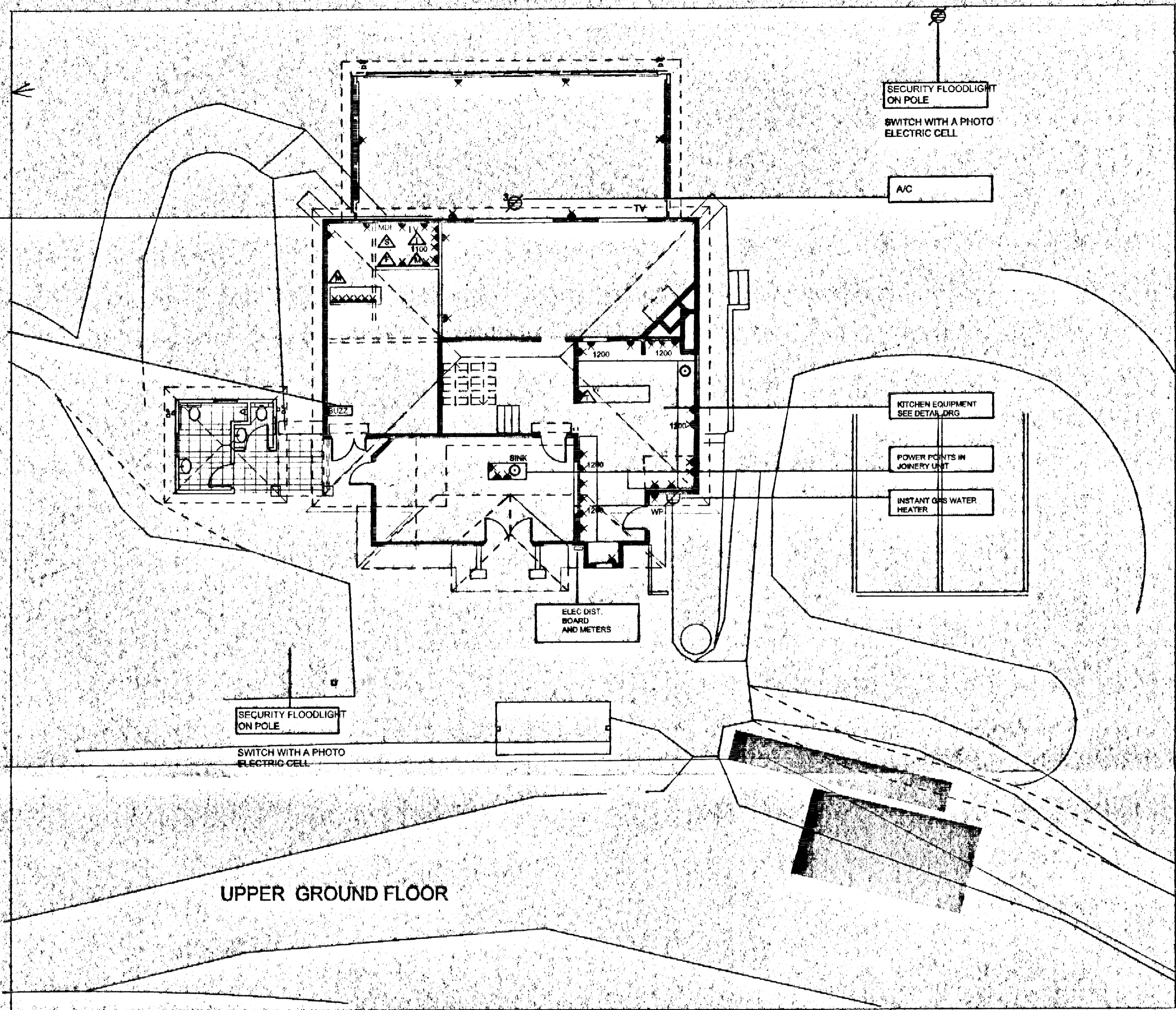
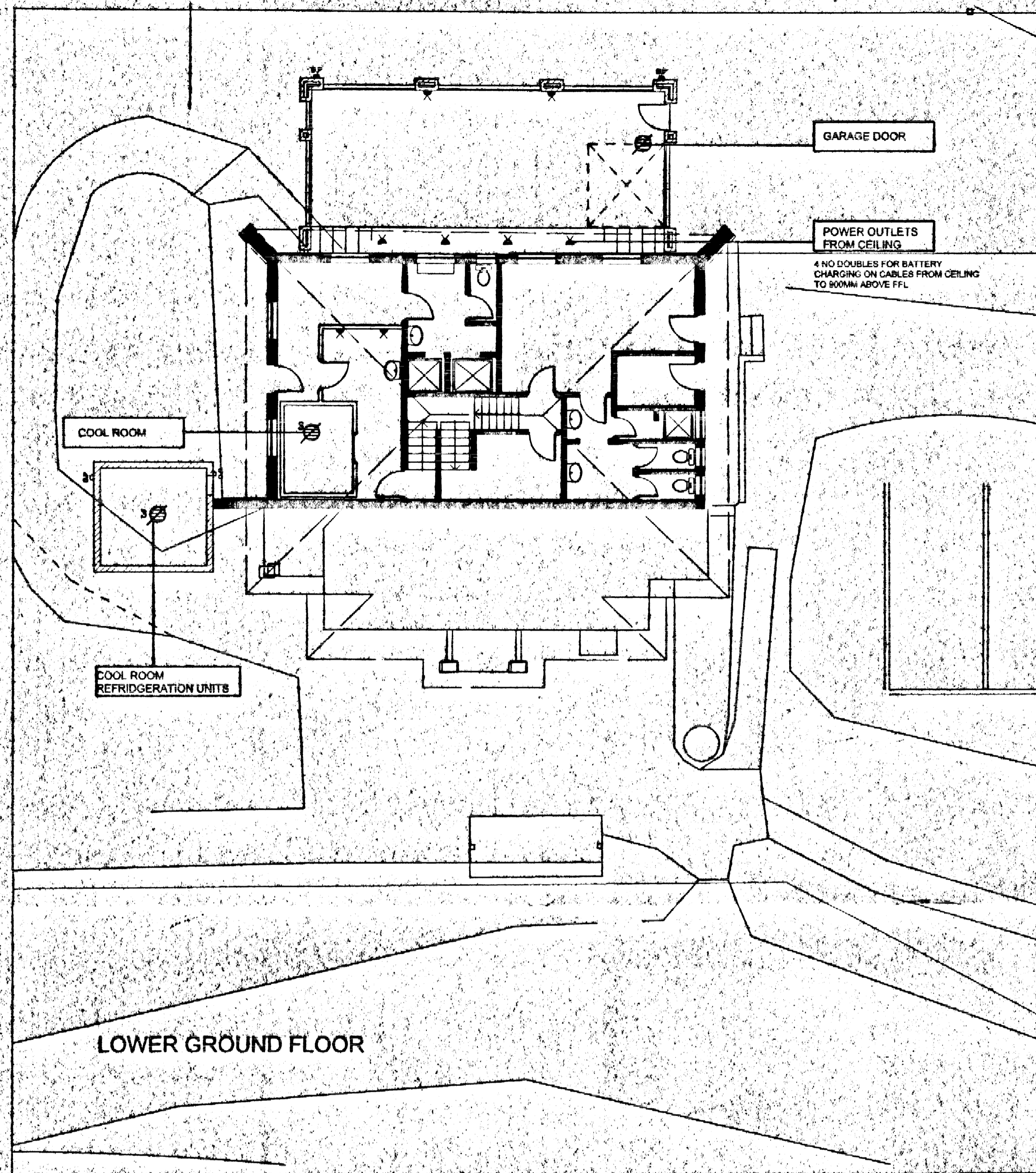
NIGEL MERRYWEATHER
ARCHITECT

PROPOSED ALTERATIONS FOR
PITTWATER COUNCIL AND VICKI
JELLIS

TELEPHONE 9918 2839
FACSIMILE 9918 2439
DATE 20.2.04 SCALE 1:100

ELEVATIONS AND SECTIONS

DRAWING NUMBER A3B
6 BELGATA CLDBE AVALON NSW 2107
NIGEL MERRYWEATHER & ASSOC. PT
INC. IN N.S.W. ACH 003 440 908



- 1 OFF WALL MOUNTED BUZZER
- 20 OFF CHECK 240V PERMANENTLY CONNECTED EQUIPMENT
- 3 OFF 415V PERMANENTLY CONNECTED EQUIPMENT
- 47 OFF UGF
 6 OFF LGF DOUBLE GPO 10A
WP DENOTES WATERPROOF IP56 TYPE
1200 DENOTES 1200MM ABOVE FFL
- TV
 2 OFF TELEVISION OUTLET POINT
- 6 OFF TELEPHONE POINT
- 1 OFF TELEPHONE POINT WALL MOUNTED
- 1 OFF FAX POINT
- 1 OFF SECURITY ALARM 811 SOCKET
PINS 3 AND 4 EARTHED
- 2 OFF MODEM 811 SOCKET
- 1 OFF 10 PAIR TELEPHONE MDF

2005/609
CONSTRUCTION
CERTIFICATE No.
Date 27-6-05
BRUCE GAAL DIPNR - P.0055
Accredited Certifier
& Principal Certifying Authority

AVALON GOLF CLUB
NIGEL MERRYWEATHER
ARCHITECT

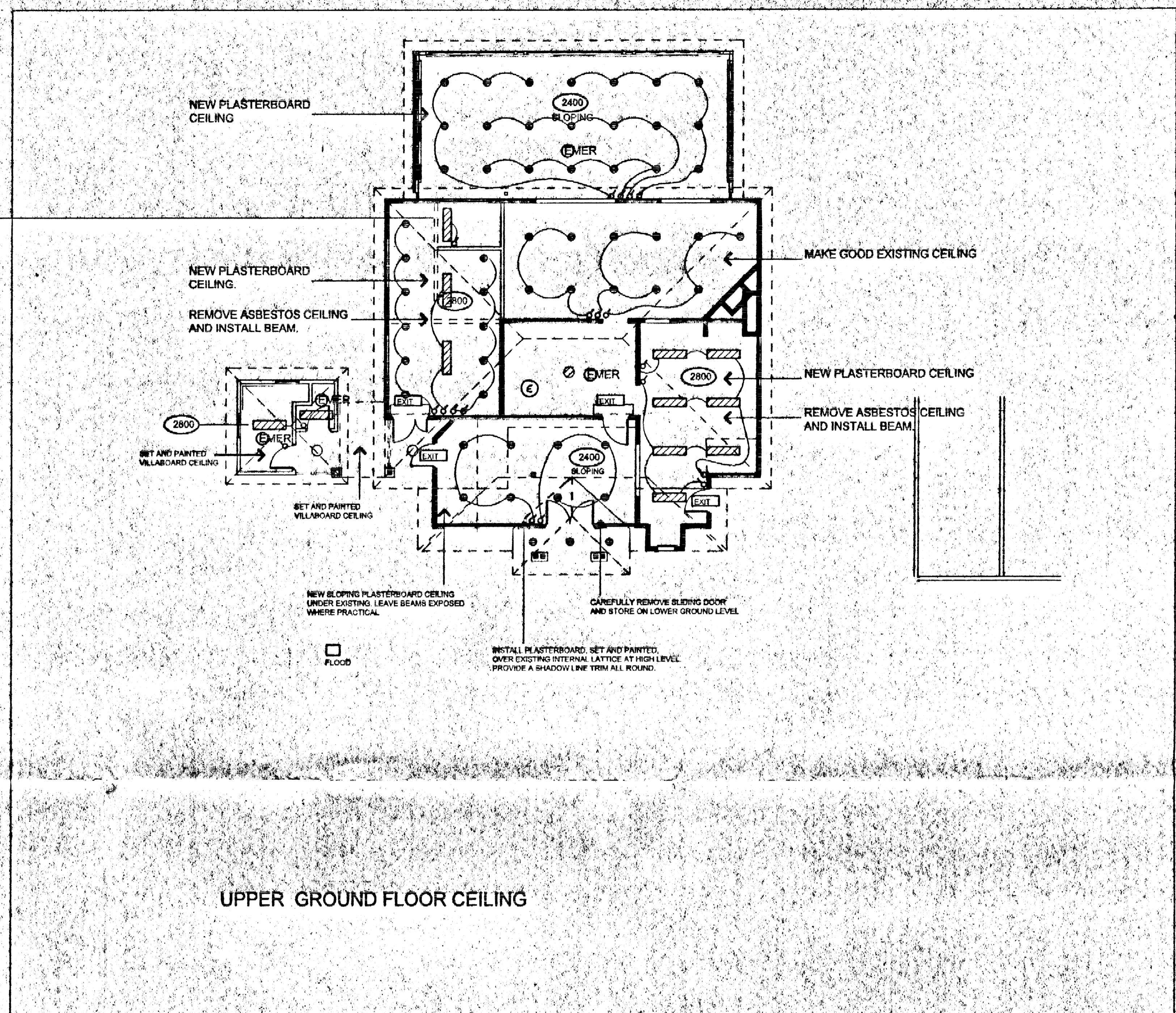
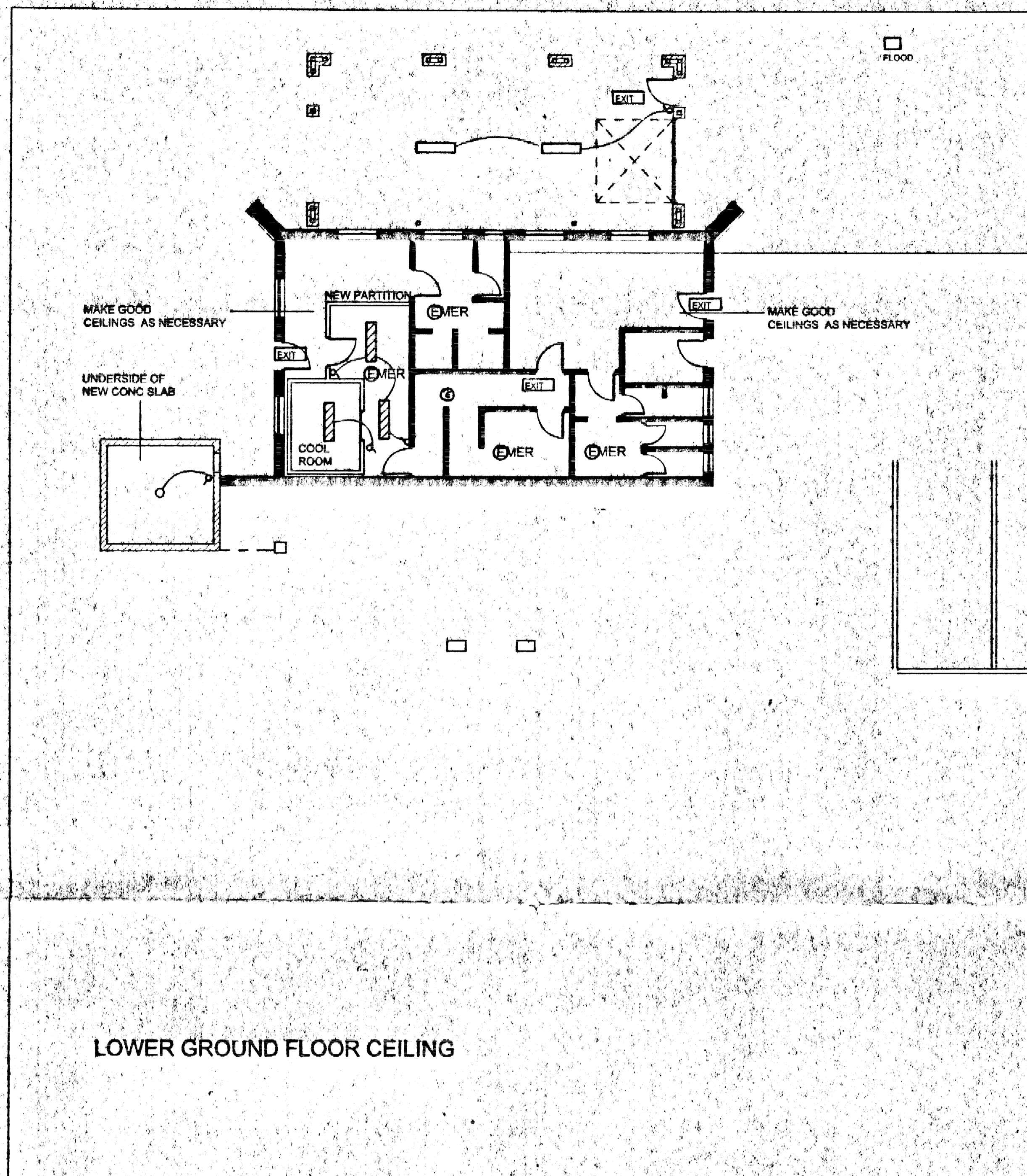
PROPOSED ALTERATIONS FOR
PITTWATER COUNCIL AND VICKI
JELLIS

TELEPHONE 0918 2839
FACSIMILE 0918 2439

DATE 20.11.04 SCALE 1:100

POWER AND DATA
DRAWING NUMBER A4

4 ELDATA CLOSE AVALON NSW 2107
NIGEL MERRYWEATHER & ASSOC. P/L
INC IN N.S.W. ACN 003 440 908



64 OFF ● LOW VOLTAGE HALOGEN DOWNLIGHT

2 NO OFF □ THORN AQUAPROOF 2 X 18W

15 OFF ▨ 2 x 38W FLUORESCENT SURFACE MOUNTED WITH K15 DIFFUSER, 4000K C84 TRIPHOSPHOR TUBES, AND LLEC BALLAST.

▲ LOCATION OF LIGHT SWITCH LETTER INDICATES THE LIGHT CONTROLLED BY THE SWITCH

☐ PHOTO ELECTRIC CELL SWITCHING

8 OFF EXIT ILLUMINATED MAINTAINED EXIT SIGN

7 OFF EMER KEMPTHORNE EMERGENCY 10WATT QUARTZ HALOGEN NON MAINTAINED RECESSED LIGHT DISC

2 NO OFF □ EXTERNAL LIGHTING FLOODLIGHTS THORN GLAREMASTER SQUARE SHOEBOX 400MH 6 METRE POLE MOUNTED PHOTO ELEC. CELL SWITCHED

1 NO OFF ⊙ SELECTED PENDANT FITTING

○ HEIGHT OF CEILING ABOVE FINISHED FLOOR LEVEL IN MM

2005/609
CONSTRUCTION
CERTIFICATE No.
Date 27-6-05
BRUCE GAAL DIPNR - P.0055
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& Principal Certifying Authority

AVALON GOLF CLUB

PROPOSED ALTERATIONS FOR
PITTSWATER COUNCIL AND VICKI
JELLIS

CEILINGS AND LIGHTING

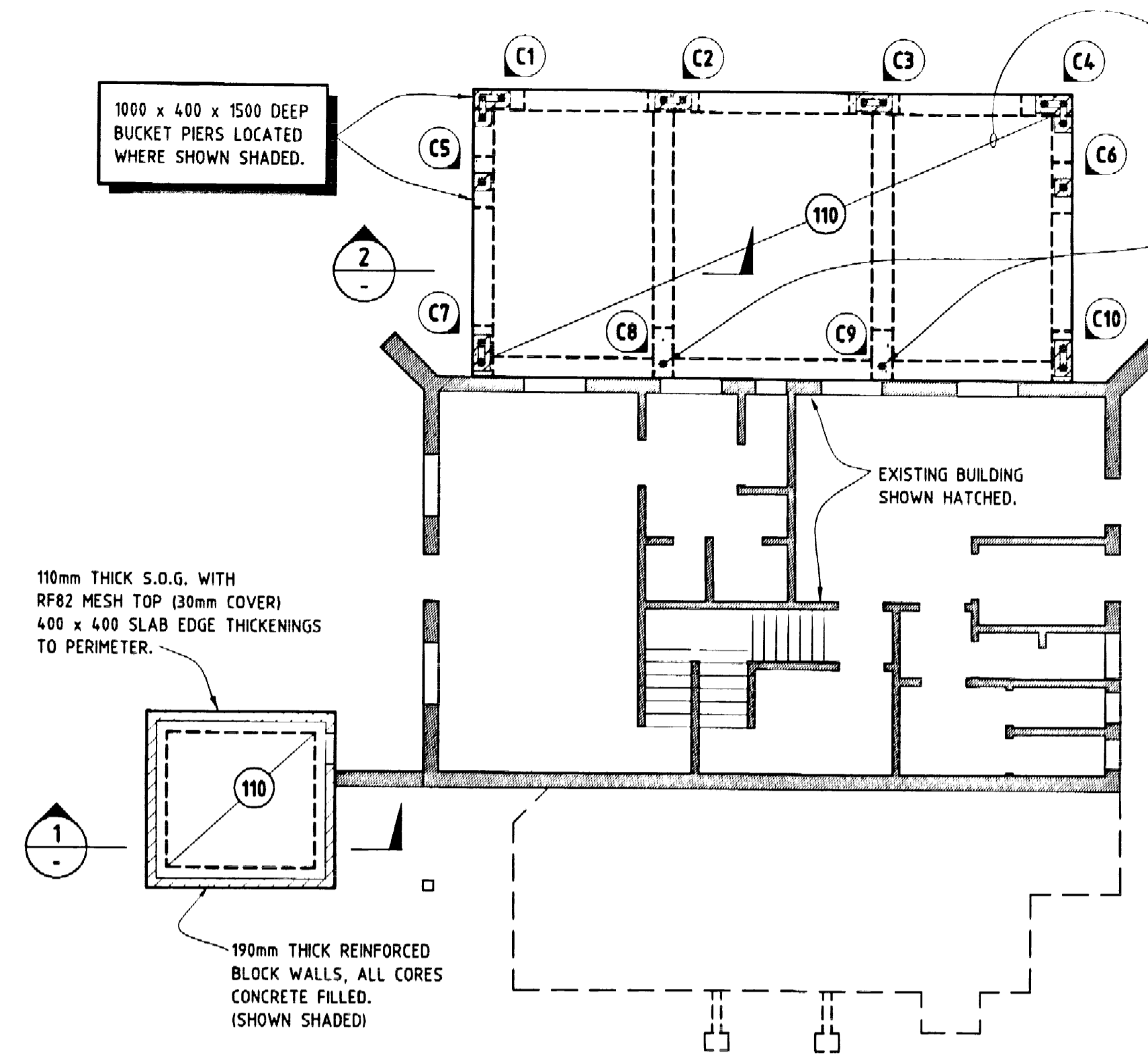
NIGEL MERRYWEATHER
ARCHITECT

TELEPHONE 9918 2839
FACSIMILE 9918 2439

DATE 24.11.04 SCALE 1:100

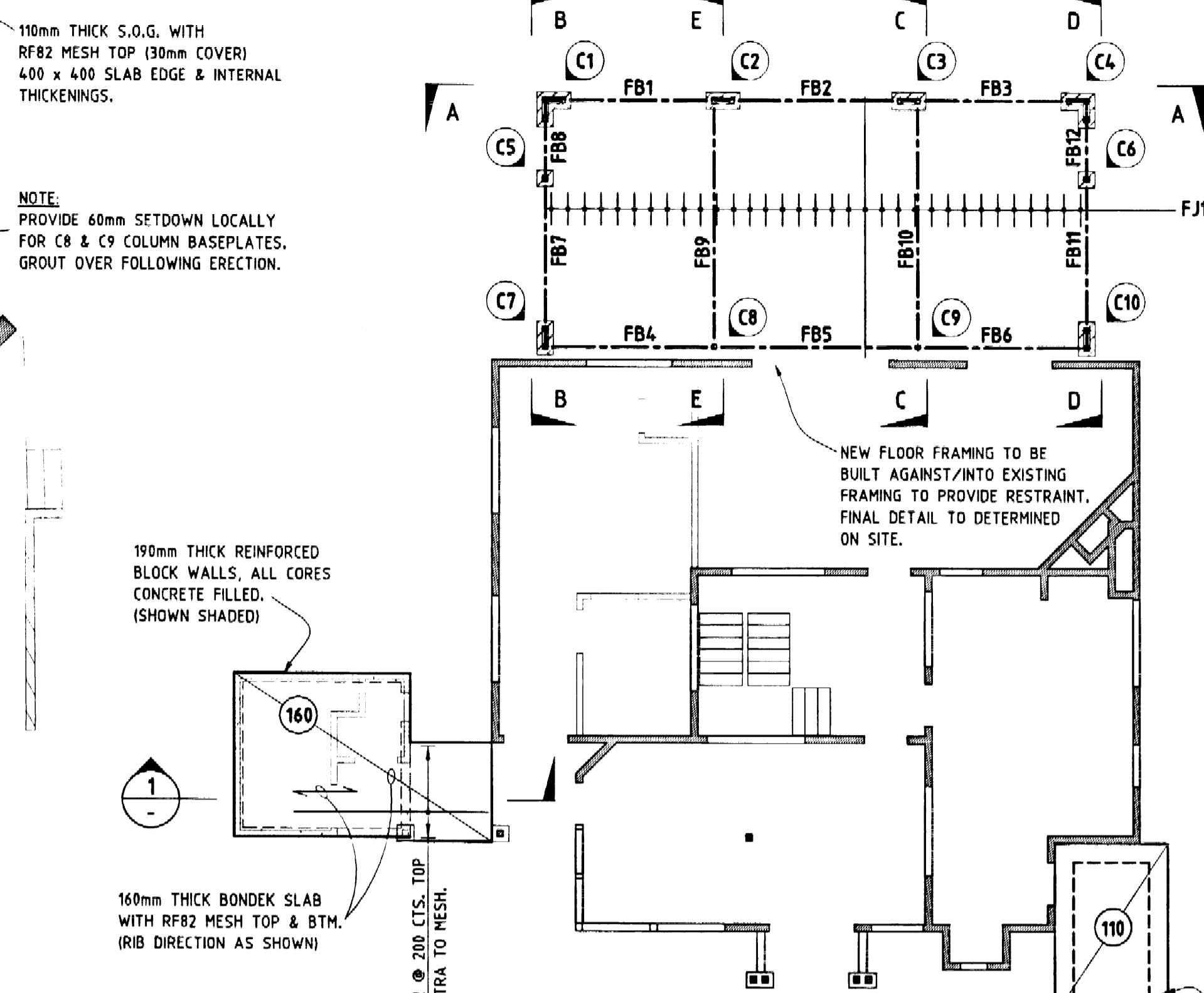
DRAWING NUMBER A5

6 ELGATA CLOSE AVALON NSW 2107
NIGEL MERRYWEATHER & ASSOC P/L
INC IN N.S.W. ACN 003 440 906



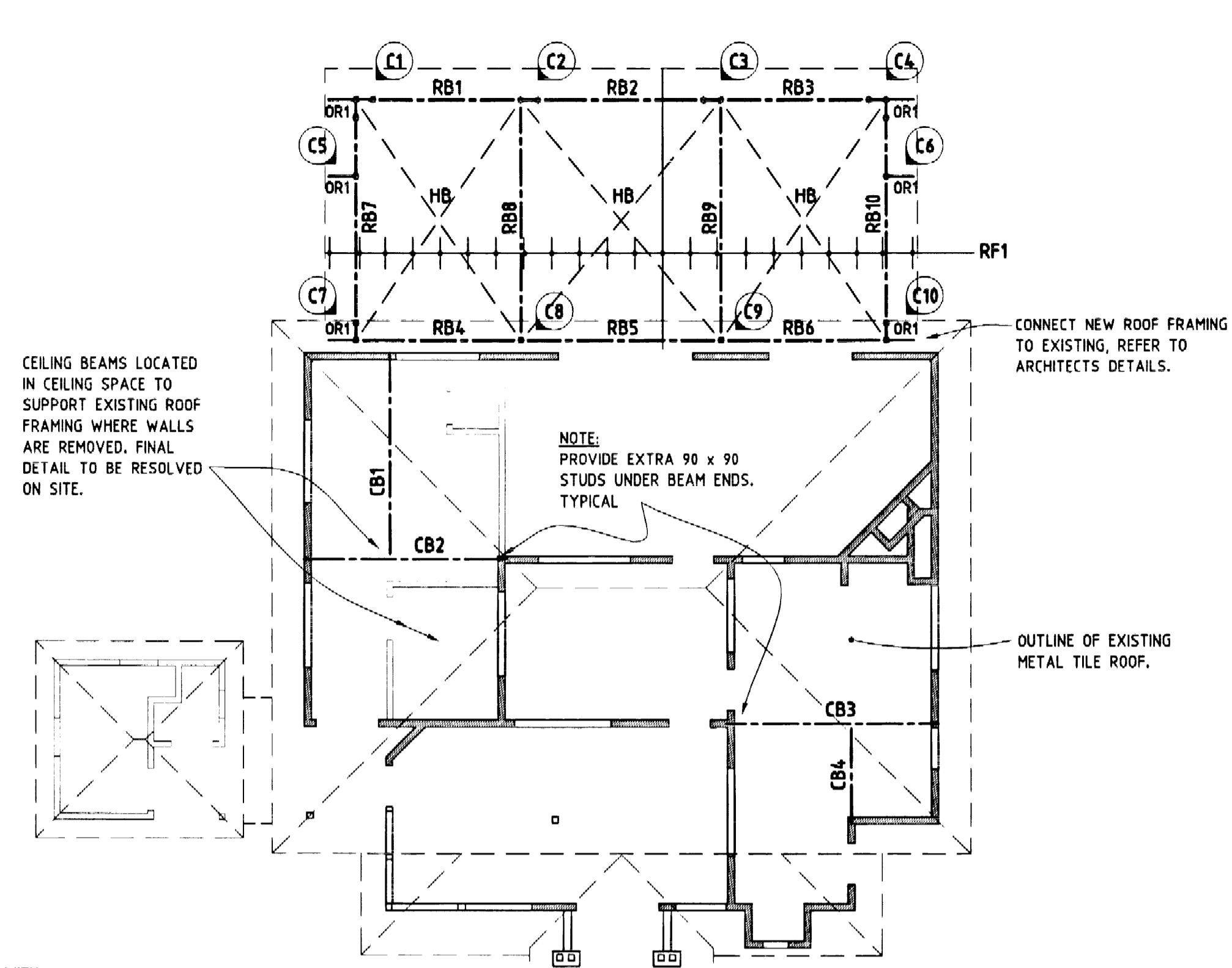
LOWER GROUND FLOOR PLAN

- BUCKET PIERS TO BEAR ON NATURAL GROUND WITH A BEARING CAPACITY OF AT LEAST 300 kPa.
- PROVIDE FORTECON SHEETING LAPPED, TAPED & SEALED TO ARCHITECTS SPECIFICATIONS, PLACED ON 100mm THICK COMPACTED BASECOURSE.
- WHERE NEW BRICKWORK ABUTS EXISTING PROVIDE A 10mm WIDE VERTICAL JOINT AND SEALANT, SUCH AS 'SIKAFLEX-15LM' OR AN APPROVED EQUAL.
- TIES TO BE 'M.E.T. TYPE 1-3' OR AN APPROVED EQUAL.



GROUND FLOOR PLAN

- ALL TIMBER FRAMING (INCLUDING BRACING & HOLDING DOWN DETAILS) SHALL BE STRICTLY IN ACCORDANCE WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE.
- ALL TIMBER TO TIMBER FRAMING CONNECTION USE 'TECO' TRIP- L-GRIP CONNECTORS OR AN APPROVED EQUAL.
- ALL STEELWORK SHALL BE SECURELY BUILT IN & STABILISED AT EVERY SUPPORT.



ROOF FRAMING PLAN

MEMBER SCHEDULE:

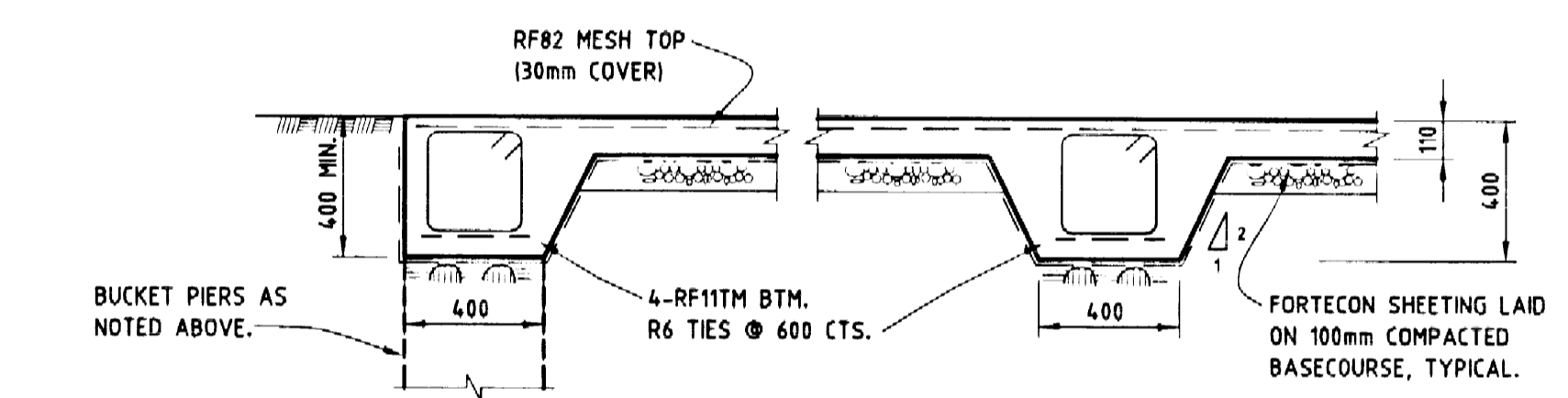
MEMBER	MARK No.	DESCRIPTION
COLUMNS	C1 & C4	FRAME OF 3/100 x 100 x 5.0mm S.H.S. COLUMNS & 200 x 75 P.F.C. HORIZ. BEAMS, ALL FULLY WELDED.
	C2, C3, C7 & C10	FRAME OF 2/100 x 100 x 5.0mm S.H.S. COLUMNS & 200 x 75 P.F.C. HORIZ. BEAMS, ALL FULLY WELDED.
	C5, C6, C8 & C9	100 x 100 x 5.0mm S.H.S.
FLOOR BEAMS	FB1, FB2, FB3, FB7, FB8, FB11 & FB12	200 x 75 P.F.C. + 150 x 90 x 10 'U' FIX TOGETHER WITH M16Ø BOLTS @ 500 CTS.
	FB4, FB5, FB6, FB9, FB10	200 x 75 P.F.C.
FLOOR JOISTS	FJ1	240 x 63 'HYSPAN' @ 350 CTS. PROVIDE BLOCKING AT 3RD POINTS.
WINDOW SUPPORT	WS1 - WS7 INCL.	100 x 50 P.F.C. (LAID FLAT)
CEILING BEAMS	CB1 - CB4 INCL.	240 x 63 'HYSPAN' (IN CEILING SPACE)
ROOF BEAMS	RB1 - FB10 INCL.	150 x 75 P.F.C.
OUTRIGGER	OR1	150 x 75 P.F.C. (FULLY WELDED TO COLUMN)
RAFTERS	RF1	240 x 45 'HYSPAN' @ 600 CTS. PROVIDE BLOCKING AT 3RD POINTS.
ROOF BRACING	HB	'SPEEDBRACE' STRAP BRACING

NOTE: ALL STEELWORK HOT DIP GALVANISED.

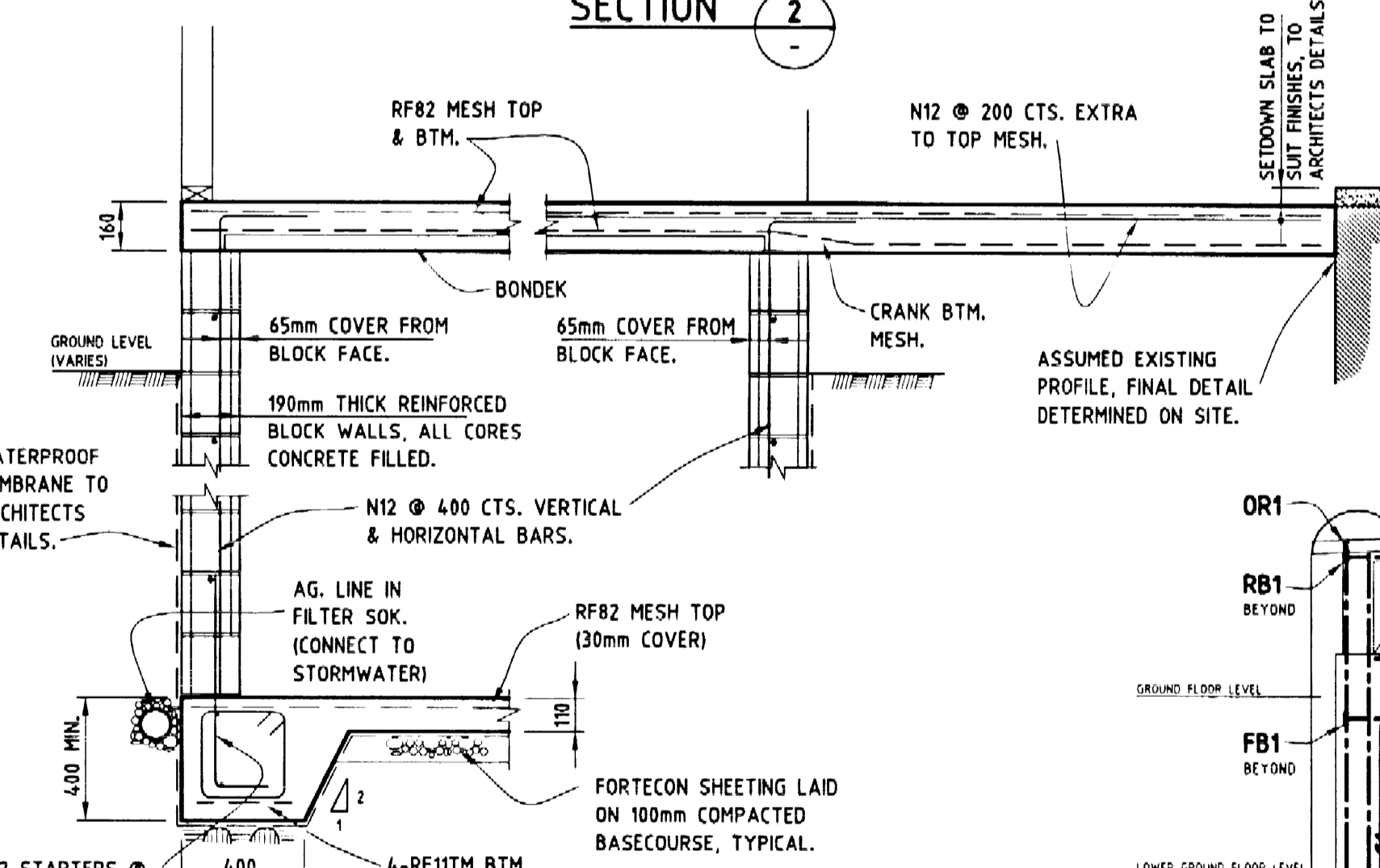
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SUBJECT TO COUNCIL APPROVAL

NOTE:
1. FOR GENERAL CONCRETE & STEELWORK NOTES REFER TO DRAWING No. S1.

2005/609
CONSTRUCTION
CERTIFICATE NO.
Date 27.11.05

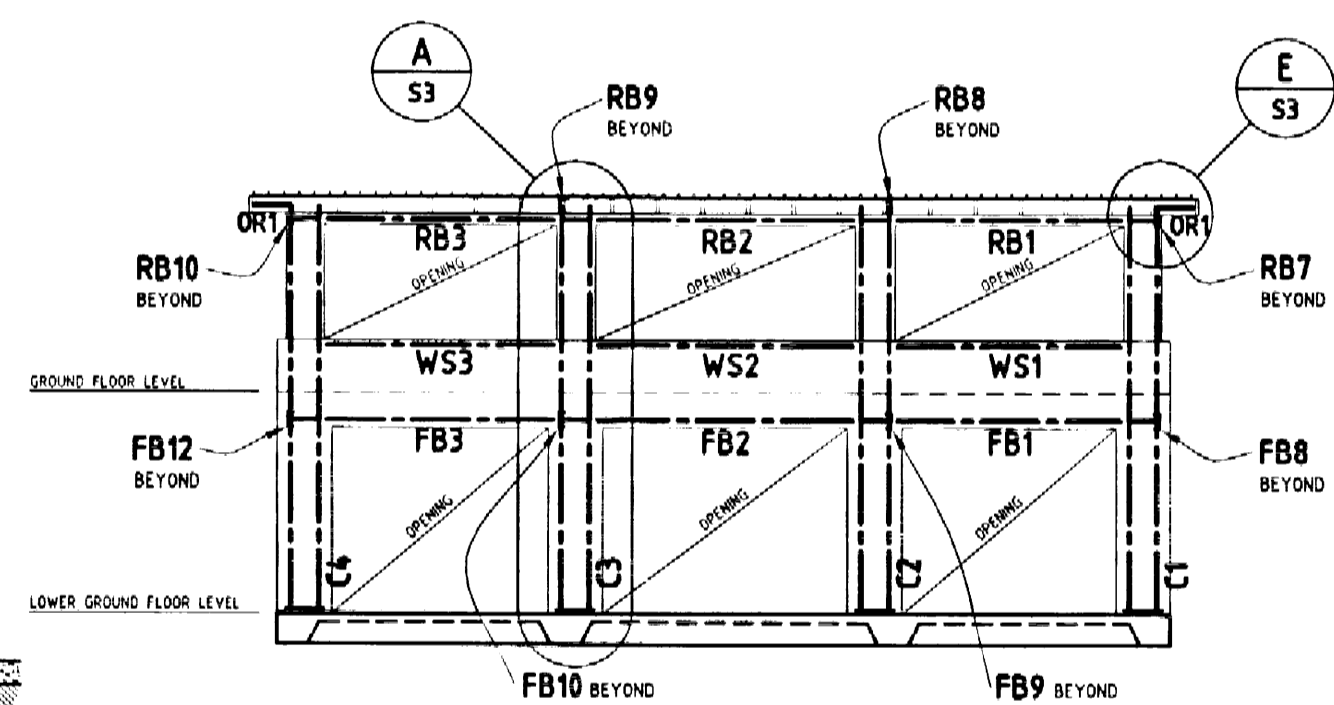


SECTION 2

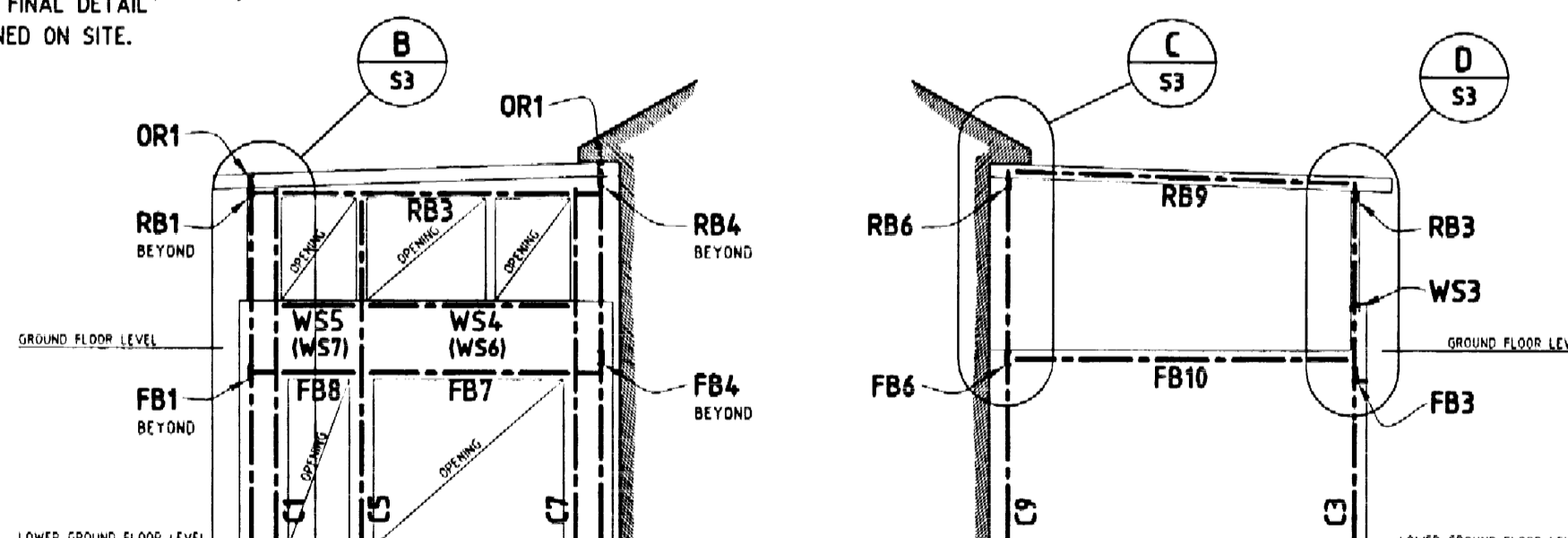


SECTION 1

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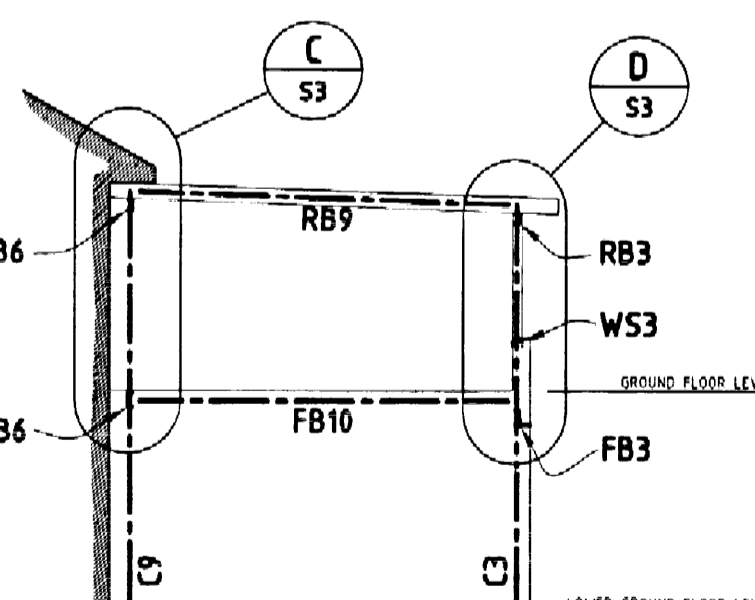


ELEVATION A - A



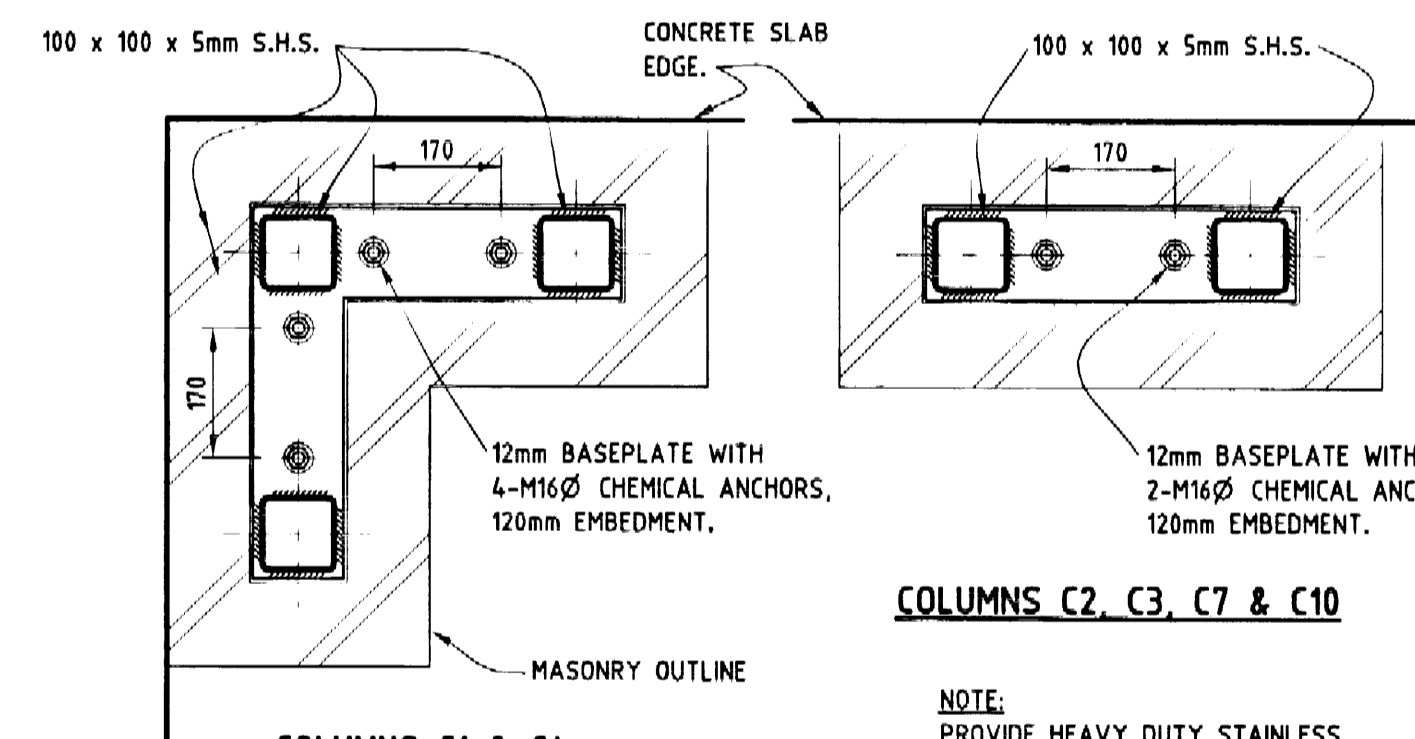
ELEVATION B - B

(ELEVATION D - D SIMILAR, OPPOSITE HAND)



ELEVATION C - C

(ELEVATION E - E SIMILAR)



COLUMNS C1 & C4

COLUMNS C2, C3, C7 & C10

COLUMNS C5 & C6

COLUMNS C8 & C9

TYPICAL BASEPLATE DETAILS

CONSTRUCTION DRAWINGS	Director	Design Engineer	NOV. '04
TENDER DRAWINGS	Director	Design Engineer	
DOCUMENTATION TO 90%	Director	Design Engineer	NOV. '04
DOCUMENTATION TO 50%	Director	Design Engineer	
CONCEPT DESIGN	Director	Design Engineer	MAR. '03
DRAWING STATUS	REVIEWED BY	INITIALS	DATE

DOCUMENT CONTROL RECORD

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THE WORK INDICATED ON THIS DRAWING IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL WORKCOVER REQUIREMENTS AND OCCUPATIONAL HEALTH & SAFETY ACT REGULATIONS.



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Knox & Partners Holdings Pty Limited trading as D.W. Knox & Partners. ACN 002 248 818

D.W.KNOX & PARTNERS

CLIENT: NIGEL MERRYWEATHER & ASSOC.

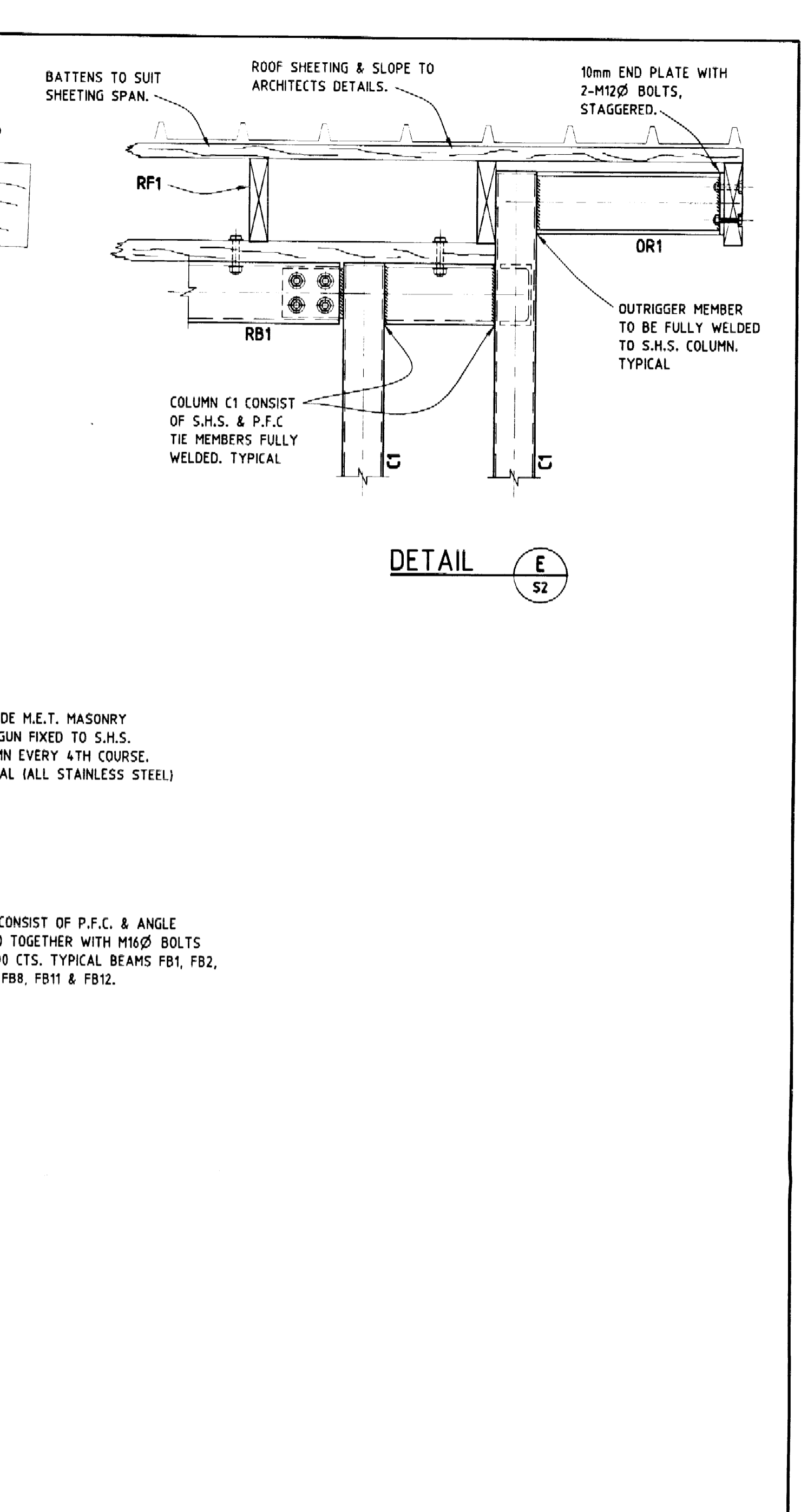
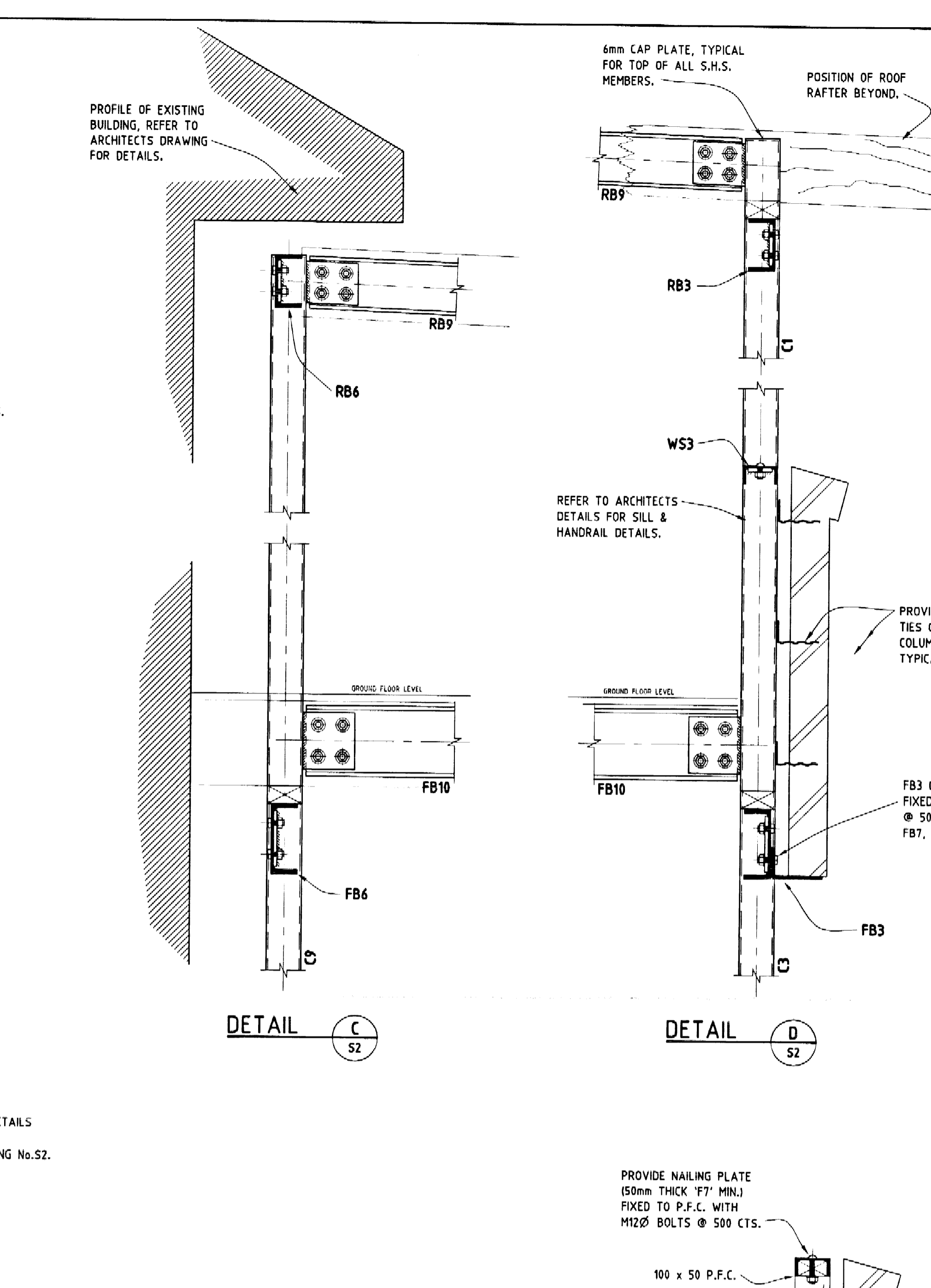
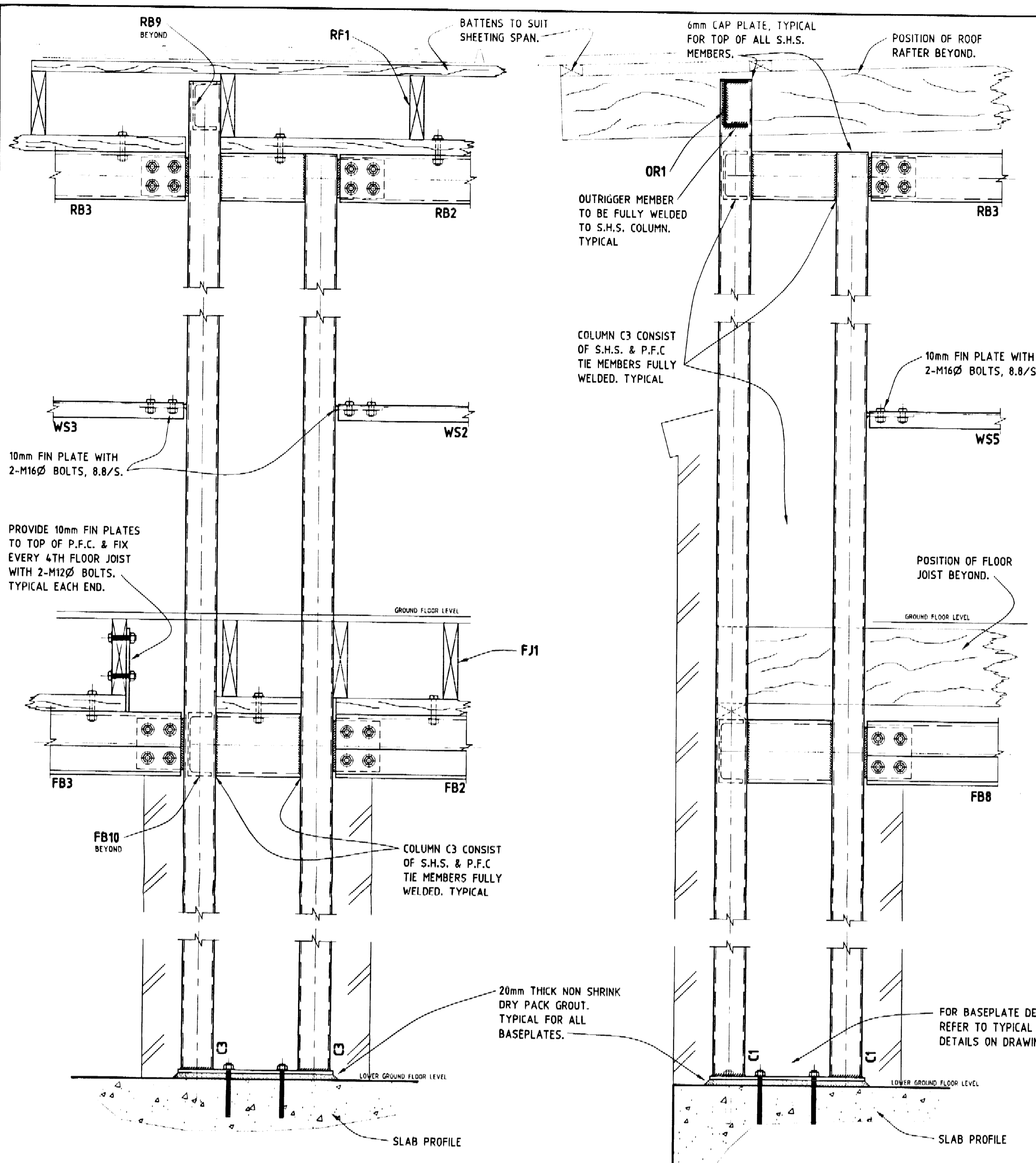
PROJECT: AVALON GOLF CLUB HOUSE & RESTAURANT

DRAWING TITLE: LOWER GROUND, GROUND, ROOF FRAMING PLANS, ELEVATIONS & MEMBER SCHEDULE

ISSUED	DATE	BY	NO.
G.L.L.	NOV. '04		
NOV. '10			
120, 1100			

DRAWING NO. 203133/S2

SCALE: B



NOTE:
 ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTION TO BE 10mm FIN PLATE WITH 4-M16Ø BOLTS, GRADE 8.8/S UNLESS NOTED OTHERWISE. ALTERNATIVELY CONNECTION CAN BE FULLY SITE WELDED. MAKE GOOD COATING TO STEEL NOTES S2.C.

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CONSTRUCTION DRAWINGS	Director Design Engineer	NOV. '04
TENDER DRAWINGS	Director Design Engineer	
DOCUMENTATION TO 90%	Director Design Engineer	NOV. '04
DOCUMENTATION TO 50%	Director Design Engineer	
CONCEPT DESIGN	Director Design Engineer	HAR. '03
DRAWING STATUS	REVIEWED BY INITIALS DATE	

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ISSUE	REV	DESCRIPTION	DATE
B		ISSUED FOR CONSTRUCTION	30-11-04
A		PRELIMINARY ISSUE	23-11-04

CONSULTING ENGINEERS AND MANAGERS
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 Knox & Partners Holdings Pty Limited trading as D.W. Knox & Partners A/CN 002 046 615

D.W.KNOX & PARTNERS

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2005-609
 CONSTRUCTION
 CERTIFICATE No.
 Date 27-6-05
 BRUCE GAAL DIPNR - P.0055
 Accredited Certifier
 NSW State Government

NOTE:
 1. FOR GENERAL, CONCRETE & STEELWORK NOTES REFER TO DRAWING No. S1.
 2. FOR STEELWORK MEMBER SCHEDULE REFER TO DRAWING No. S2.

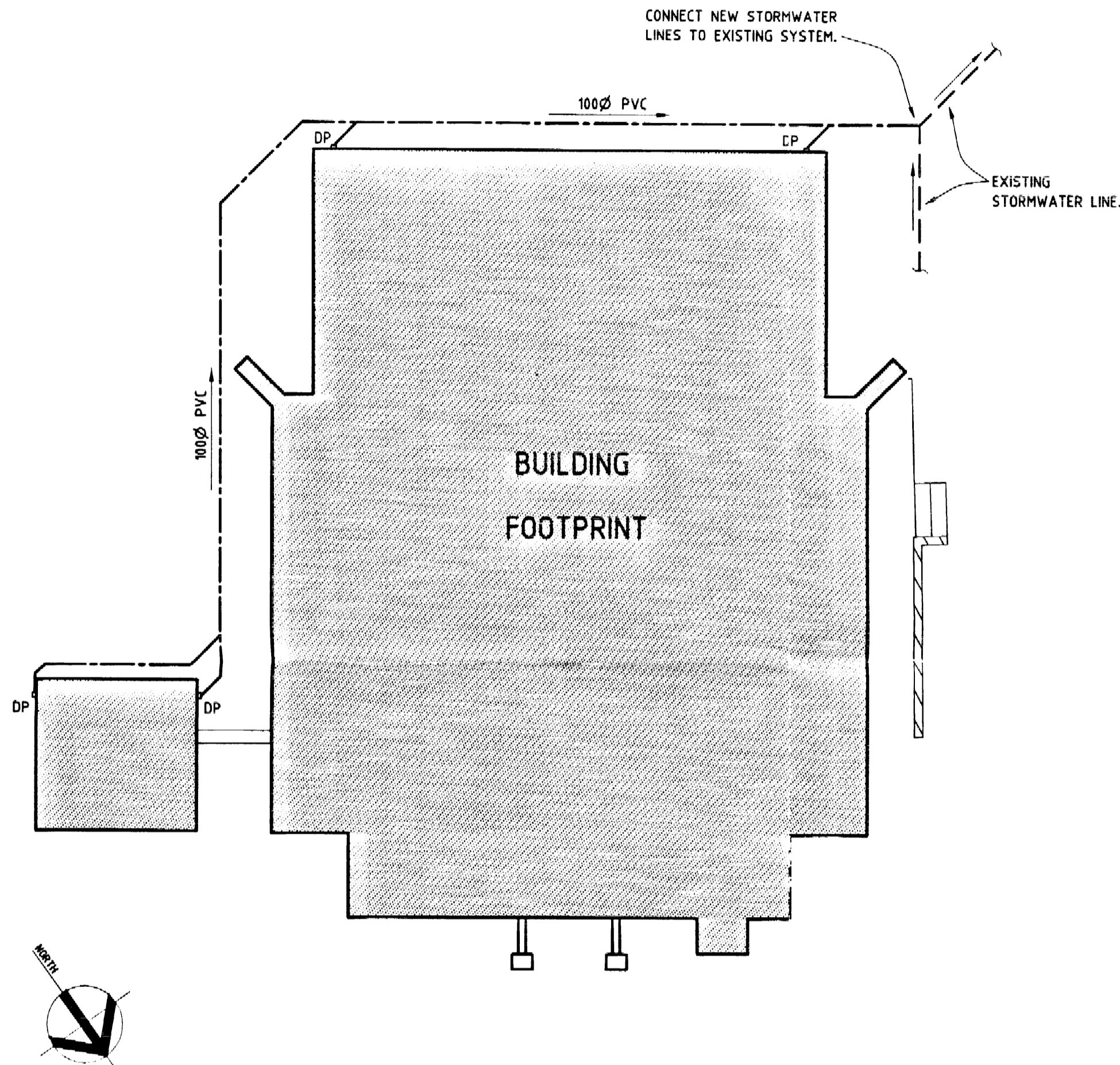
PROJECT	DATE	SCALE	NO.
NIGEL MERRYWEATHER & ASSOC.			
AVALON GOLF CLUB HOUSE & RESTAURANT			
SECTIONS & TYPICAL DETAILS			
G.L.L.	D.K.	NOV. '04	203133/S3
SCALE	1:10		

TYPICAL ROOF RAFTER DETAILS

TYPICAL FLOOR JOIST DETAILS



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STORMWATER LAYOUT PLAN

DRAINAGE NOTES:

1. SIZE AND LEVELS OF UTILITY SERVICES WHERE THEY CROSS PROPOSED PIPELINES SHALL BE ESTABLISHED IN THE FIELD PRIOR TO CONSTRUCTION OF DRAINAGE LINES.
2. PITS LESS THAN 600mm IN DEPTH SHALL HAVE 450 x 450mm INTERNAL DIMENSIONS, U.N.O.
3. PITS GREATER THAN 600mm BUT LESS THAN 1000mm IN DEPTH SHALL HAVE 600 x 600mm INTERNAL DIMENSIONS, U.N.O.
4. PITS GREATER THAN 1000mm IN DEPTH SHALL HAVE 900 x 900mm INTERNAL DIMENSIONS, U.N.O.
5. PITS OR UNDERGROUND TANKS GREATER THAN 1200mm IN DEPTH EQUIPPED WITH STEP IRONS.
6. ALL PITS TO BE FITTED WITH GALVANISED GRATES.
7. DRAINAGE PIPES DIRECTLY CONNECTED TO DOWNPIPES SHALL BE 100mm DIAMETER LAID AT 1% MIN. GRADE, U.N.O.
8. ALL DOWNPIPES SHALL BE 125mmØ, U.N.O.
9. DRAINAGE PIPES SHALL BE SEWER GRADE P.V.C. U.N.O.
10. PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS.
11. ISOLATION JOINTS TO BE PROVIDED AROUND ALL PITS IN CONCRETE PAVEMENTS.
12. THE DOWNHILL BOUNDARY OF THE SITE IS TO BE PROTECTED BY HAY BALES OR A FILTER FABRIC FENCE DURING THE CONSTRUCTION PERIOD. REFER TO DETAIL.
13. THE DOWNSTREAM STREET DRAINAGE PIT NEAREST TO THE SITE SHALL BE PROTECTED FROM SEDIMENTS WITH HAY BALES.
14. A SINGLE CONSTRUCTION ENTRANCE MUST BE PROVIDED DURING THE WORKS. REFER TO DETAIL.
15. SEDIMENT CONTROL DEVICES MUST BE PLACED PRIOR TO ANY SITE SURFACE DISTURBANCES AND MUST REMAIN IN PLACE UNTIL THE SITE IS PAVED AND/OR TURFED.

2005/609
**CONSTRUCTION
 CERTIFICATE No.**
 Date 27.4.05
BRUCE GAAL DIPNR - P.0055
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NOTE:

1. FOR GENERAL, CONCRETE & STEELWORK NOTES REFER TO DRAWING No. S1.

CONSTRUCTION DRAWINGS	Director: <i>D.Knox</i>	MAR. '05	The information shown on this drawing is applicable to this project only and is subject to copyright. The information shall not be reproduced in part or whole, without the written permission of D.W.KNOX & PARTNERS.	A	ISSUED FOR CONSTRUCTION	3-3-05	CONSULTING ENGINEERS AND MANAGERS Level 8, 53 Watkey Street, North Sydney N.S.W. 2060 Phone: (02) 9966 1170 Fax: (02) 9966 1171 Email: innovation@dwnknox.com.au Website: http://www.dwnknox.com.au Knox & Partners Holdings Pty. Limited trading as D.W. Knox & Partners ACN 062 246 815	ARCHITECT	NIGEL MERRYWEATHER & ASSOC.									
TENDER DRAWINGS	Director: <i>D.Knox</i>							PROJECT	AVALON GOLF CLUB HOUSE & RESTAURANT									
DOCUMENTATION TO 90%	Director: <i>D.Knox</i>							DRAWING TITLE	STORMWATER MANAGEMENT PLAN									
DOCUMENTATION TO 50%	Director: <i>D.Knox</i>																	
CONCEPT DESIGN	Director: <i>D.Knox</i>																	
DRAWING STATUS	REVIEWED BY	INITIALS	DATE	ISSUE	REV	DESCRIPTION	DATE	DRAWN	G.L.L.	CHECKED	D.K.	DATE	MAR. '05	DRAWING No.	203133/S4	ISSUE	REV.	A
DOCUMENT CONTROL RECORD				COPYRIGHT NOTE														