

53a WARRIEWOOD ROAD,  
WARRIEWOOD 2102

DEVELOPMENT APPLICATION  
LANDSCAPE DRAWINGS

Dwg No.	Title	Scale	Size
LA - 00	Cover Page & Drawing Schedule	NTS	A1
LA - 01	Landscape Statement & Schedules	NTS	A1
LA - 02	Tree Protection & Removal Plan	1:300	A1
LA - 03	Landscape Zoning	NTS	A1
LA - 04	Site Masterplan	1:300	A1
LA - 05	Landscape Plan 1	1:100	A1
LA - 06	Landscape Plan 2	1:100	A1
LA - 07	Landscape Plan 3	1:100	A1
LA - 08	Planting Palettes	NTS	A1

LANDSCAPE STATEMENT

The proposed DA Landscape Drawings for 53a Warriewood Drive have been designed and set out in accordance with;

- The Northern Beaches Council Documents & Pittwater Council DCP
- Warriewood Valley Landscape Masterplan & Design Guidelines (Public Domain) 2018
- Warriewood Valley Roads Masterplan 2018
- Architectural plans by Saturday Studio
- Civil plans by Craig & Rhodes
- The Client's Brief

The proposed development consists of;

- 21 Residential Lots
- New Community Street & Footpath
- Extension & Connection of Lorikeet Grove to align with the Warriewood Valley Roads Masterplan
- Rehabilitation & Revegetation of the Narrabeen Creek Corridor Parkland
- Extension & Connection of shared bike and pedestrian pathway to Warriewood Valley Landscape Masterplan
- Vegetated OSD bioretention basin for stormwater management and treatment

The sites topography falls from Warriewood Road down to Narrabeen Creek, providing views over the creekline southwards. The existing site consists of a single dwelling and primarily lawned open space with little to no canopy cover. The site will form the final link along the Warriewood Road / Narrabeen Creek Corridor, connecting roads and public pathways planned within the 2018 Warriewood Valley Landscape & Roads Masterplans. Lorrikeet Grove will connect to existing road infrastructure along the south west of the site and form the edge to the 50m parkland corridor along Narrabeen Creek. Within the 25m creek corridor set back, rehabilitation and revegetation of native flora will improve habitat corridors within the Valley and along the creek. Connection of pedestrian & bike links through a 2.5m wide shared path will connect to the Valleys public shared path network. Within the 50m creek corridor set back, a biorention OSD basin planted with endemic native grasses will capture, filter & ameliorate stormwater run off.

The landscape proposal consists of three zones, residential gardens and landscapes, streetscapes and the Narrabeen Creek parkland Corridor. The landscape strategy for these areas consists of the the following;

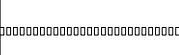
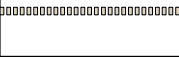





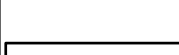









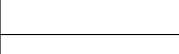
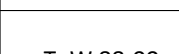


- RESIDENTIAL LOTS
- Richly planted front gardens that contribute to streetscape character.
  - Side gardens planted with shade tolerant species to provide green outlooks and privacy between residences.
  - Flexible Outdoor Entertaining Areas which flow out from Living & Dining Areas.
  - Open space lawn areas with border plantings of screening plants, and Small Trees for privacy and canopy cover.

- STREETSCAPES
- Footpath connections.
  - Street Trees plantings for canopy cover, shade and habitat.
  - Planted and Turfed verges.

- NARRABEEN CREEK PARKLAND CORRIDOR
- Heavily revegetated parklands with endemic local native plants.
  - Stormwater management including OSD Biorentention Basin planted with endemic local native grasses and reeds.
  - Shared 2.5m wide pathway.
  - Connection boardwalk from Lorikeet Grove to shared pathway & creekland corridor.

The landscape design aims to improve the communities access to local flora & fauna by vastly enhancing the existing creekline landscape through the rehabilitation and revegetation of native endemic species. Native species will be prioritised to provide a mixed canopy cover throughout the development site supplemented with hardy exotic plantings which reflect the local coastal aesthetic of Warriewood Valley. New residents will benefit through the thoughtful creation of valued landscape spaces providing a valuable community addition to the Warriewood Valley.

LANDSCAPE SCHEDULE

HARDWORKS		
	Fence Type 1	1.2m H White Timber Fence Capped
	Fence Type 2	Boundary Fence to Architects Specification
	Fence Type 2	Pool Fence to Australian Standards
	Paving Type 1	Stone Paving
	Paving Type 2	Unit Paving Stone Cobbles
	Paving Type 3	Unit Paving Urban Stone Cobble Top Paving
	Paving Type 4	Concrete Pavement to Civil Engineer Specification
	Timber Deck	Hardwood Timber Deck
	Wall Type 1	Blockwork Wall Clad in Sandstone
	Wall Type 2	Rendered & Painted Blockwork Retaining Wall to Structural Engineers Detail
SOFTWORKS		
	Tree to be Retained and Protected	Refer to Arborist Report
	Tree to be Removed	Refer to Arborist Report
	New Tree / Palm	Refer to Plant Schedule
	Garden Bed	Garden Bed on Grade
	Gravel Mulch	Pebble Mulch 10-20mm
	Turf	Empire Zoysia with Metal Edging
GENERALS		
	Site Boundary	Refer to Survey's Drawings
	Building Over	Refer to Architect's Drawigs
LEVELS		
	Existing Level	To be Retained
	Reduced Level	Top of Finish Level
	Top of Wall RL	Top of Finish Level

PLANTING SCHEDULE

Planting Schedule - Residential Lots			
BOTANICAL NAME	COMMON NAME	POT SIZE	NATIVE
TREES & PALMS			
<i>Banksia integrifolia</i>	Coastal Banksia	100L	✓
<i>Buckinghamia celissima</i>	Ivory Curl Flower	300L	✓
<i>Cupaniopsis anacardioides</i>	Tuckeroo	300L	✓
<i>Cyathea cooperi</i>	Tree Fern	300mm	✓
<i>Howea forestiana</i>	Kentia Palm	ex ground	✓
<i>Lagerstramia indica</i>	Crepe Myrtle	300L	
<i>Livistonia australis</i>	Cabbage Tree Palm	ex ground	✓
<i>Pandanus tectorius</i>	Screw Pine	300L	✓
<i>Plumeria rubra</i>	Frangipani	300L	
<i>Strelitzia nicholai</i>	Giant Bird of Paradise	100L	
<i>Tristaniopsis lauria 'Luscious'</i>	WaterGum	300L	✓
<i>Waterhousea floribunda</i>	Weeping Lillipilly	400L	✓
SCREENING PLANTS			
<i>Acmena 'Sublime'</i>	Sublime Lillipilly	300mm	✓
<i>Rhapis exarisa</i>	Lady Palm	300mm	
<i>Dichorisandra thyrsiflora</i>	Blue Ginger	200mm	
<i>Thysanolaena maxima</i>	Tiger Grass	200mm	
<i>Syzygium paniculatum</i>	Magenta Lillipilly	200mm	✓
<i>Viburnum odoratissimum</i>	Sweet Viburnum	300mm	
SHRUBS, PERENNIALS , FERNS, GRASSES & LILIES			
<i>Alcaecia brisbanensis</i>	Elephants Ear	200mm	✓
<i>Aspidistra elatior</i>	Cast Iron Plant	200mm	
<i>Blechnum nudum</i>	Wishbone Fern	150mm	✓
<i>Dianella caerulea</i>	Blue Flax Lily	150mm	✓
<i>Heliconia bihai x caribaea 'Hot Rio Nights'</i>	Hot Rio Nights	200mm	
<i>Ligularia reniformis</i>	Tractor Plant	200mm	
<i>Molineria capitulata</i>	Palm Grass	200mm	✓
<i>Monstera deliciosa 'Tauerii'</i>	Dwarf Fruit Salad Plant	300mm	
<i>Neomarica gracilis</i>	Brazilian Walking Iris	200mm	
<i>Philodendron 'Xanadu'</i>	Xanadu Philodendron	200mm	
<i>Plectranthus argentatus</i>	Silver Spurge	200mm	✓
<i>Rhaphiolepis 'Oriental Pearl'</i>	Oriental Pearl	300mm	
<i>Westringia fruticosa</i>	Coastal Rosemary	300mm	✓
GROUNDCOVERS & CLIMBERS			
<i>Carpobrotus glaucescens</i>	Pig Face	150mm	✓
<i>Ficus pumila</i>	Creeping Fig	200mm	
<i>Pandorea jasminoides 'Lady Di'</i>	Wonga Vine	200mm	✓
<i>Pratia pedunculata</i>	White Star Creeper	150mm	✓
<i>Viola hederacea</i>	Native Violet	150mm	✓

Planting Schedule - Creekline, Parkland, OSD & Street Trees			
BOTANICAL NAME	COMMON NAME	POT SIZE	NATIVE
TREES & PALMS			
<i>Banksia integrifolia</i>	Coastal Banksia	75L	✓
<i>Casuarina glauca</i>	Swamp SheOak	75L	✓
<i>Cyathea australis</i>	Tree Fern	300mm	✓
<i>Eucalyptus robusta</i>	Swamp Mahogany	100L	✓
<i>Glochidion ferdinandi</i>	Cheese Tree	75L	✓
<i>Livistonia australis</i>	Cabbage Tree Palm	ex ground	✓
<i>Melaleuca ericifolia</i>	Swamp Paperbark	75L	✓
<i>Melaleuca quinquenervia</i>	Paperbark	100L	✓
<i>Tristaniopsis lauria 'Luscious'</i>	WaterGum	400L	✓
<i>Waterhousea floribunda 'Green Avenue'</i>	Weeping Lillipilly	400L	✓
SHRUBS & CYCADS			
<i>Casuarina 'Green Wave'</i>	Green Wave	200mm	✓
<i>Banksia robur</i>	Swamp Banksia	200mm	✓
<i>Macrozamia communis</i>	Burrawang	200mm	✓
<i>Banksia spinulosa</i>	Hairpin Banksia	200mm	✓
<i>Grevillea sericea</i>	Pink Spider Flower	200mm	✓
GRASSES, UTTORIAL & AQUATIC PLANTS			
<i>Isalepis nodosa</i>	Knotted Club Rush	150mm	✓
<i>Carex appressa</i>	Tall Sedge	150mm	✓
<i>Lomandra longifolia</i>	Sping head Mat Rush	150mm	✓
<i>Dianella caerulea</i>	Blue Flax Lily	150mm	✓
<i>Juncus usitatus</i>	Common Rush	150mm	✓
<i>Gahnia sieberana</i>	Saw Sedge	150mm	✓
<i>Phragmites australis</i>	Common Reed	150mm	✓
<i>Baumea juncea</i>	Dwarf Fruit Salad Plant	150mm	✓
<i>Poa 'Eskdale'</i>	Tussock Grass	150mm	✓
<i>Microlaena stipoides</i>	Weeping Grass	150mm	✓

GENERAL NOTES

- \* All tree dimensions and RLs in metres. All other dimensions in mm unless stated otherwise.
- \* Do not scale from drawings. Use figured dimensions only. Larger scale drawings and written dimensions take preference.
- \* All work shall be carried out in accordance with current versions of Australian Standards, BCA and Local Government Regulations.


\* Service location on plans are indicative only. *Karen Ruthven Landscape Architects* accepts no responsibility for the accuracy of service locations shown or for services not shown. It is the responsibility of the contractor to determine service locations prior to the commencement of work, including contacting *Dial Before You Dig* and performing on site service locations. Locate and protect all services on site and in adjacent public domain. Any damages to services and associated damages remains the responsibility of the contractor and shall be rectified at no cost to the client or any other party.

\*All adjoining property elements including but not limited to buildings, walls, trees and paving to be protected. Damaged elements remain the responsibility of the contractor and shall be rectified at no cost to the client or any other party.

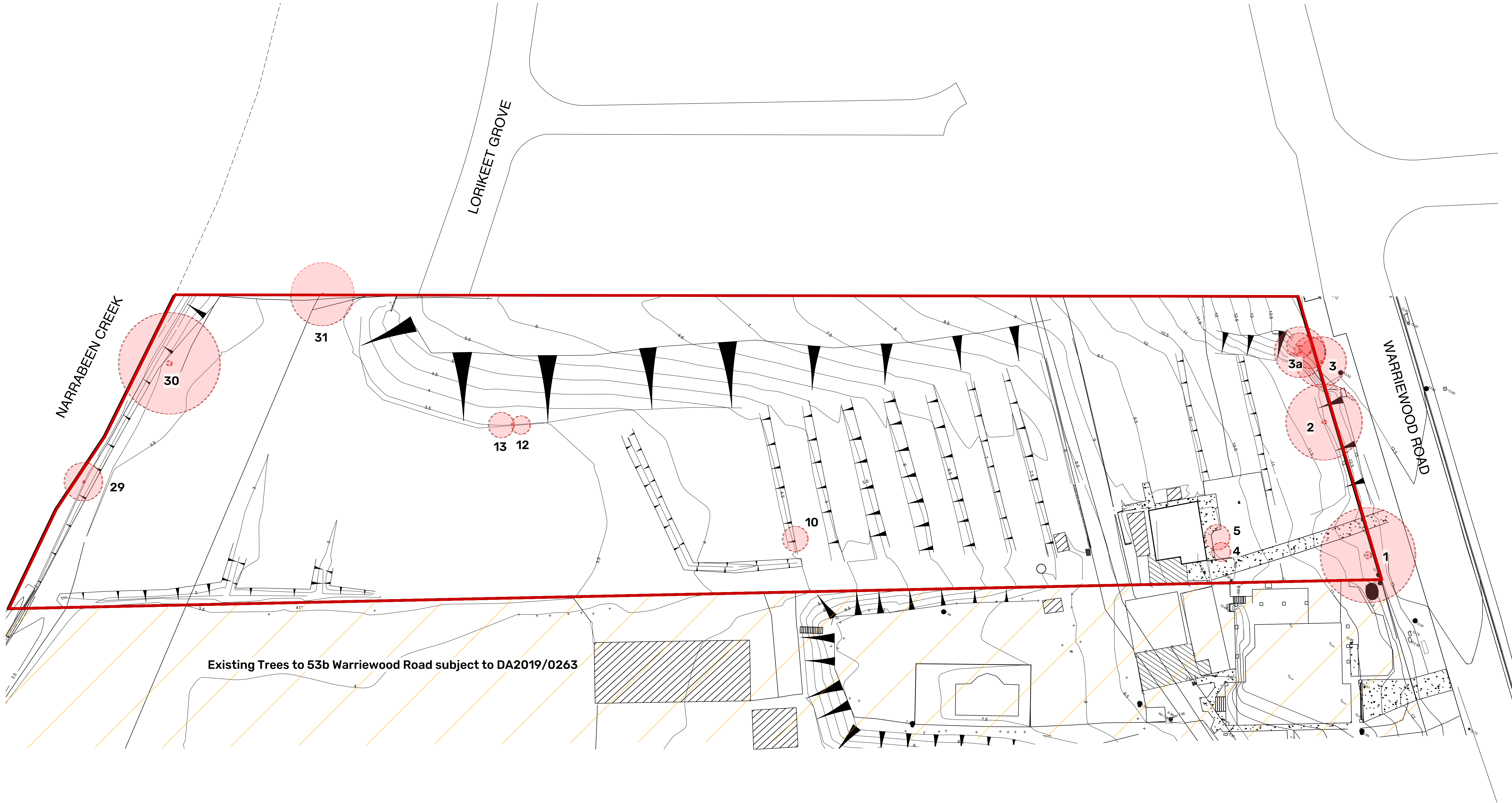
\* Existing trees to be retained are to be protected to Council and Project Arborist's requirements. No vehicular traffic, stockpiling or storage of materials within Tree Protection Zones (TPZs).

IRRIGATION NOTES

- \* Irrigation by specialist D&C Irrigation Consultant in accordance with the Performance Specification in the Landscape Technical Specification. Refer to Irrigation Consultant documentation for details and requirements of landscape irrigation system.
- \* Irrigation is to comply with Council Conditions of Consent and Water Authorities.
- \* All turf and garden beds within the site boundary are to be irrigated unless stated otherwise.
- \* Irrigation must be spaced at min. 300 centres and adjusted according to plant setout to provide adequate irrigation to all plants.
- \* Drip irrigation is to be fully concealed by 75mm minimum of mulch.

	Rev	Amendment	Date	By	<p>IMPORTANT NOTES: Do not scale from drawings All dimensions to be taken to the attention of the Project Landscape Architect Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated. Use figure dimensions only. Verify all dimensions on site before the commencement of any work. Consult with the client and project manager prior to any work. Revised Details shall be subject to Engineer's Specifications. Observe all Water Protection Details and be subject to Engineer's Specifications. All work shall be carried out in accordance with the Council's Performance Specification in Landscape Design and Engineering Specifications. No responsibility will be taken by Karen Ruthven Landscape Architects for any variations in design, construction method, materials specified, and general conditions without permission from the Project Engineer or Landscape Architect. This Drawing is copyright to Karen Ruthven Landscape Architects</p>	CLIENT PVD No.21 Pty Ltd		CHECKED KR	DWG. TITLE <b>Landscape Statement &amp; Schedules</b>	DWG. No. <b>LA-01</b>
	A	Draft DA Issue	29.06.21	KR		ARCHITECT Saturday Studio		DRAWN KR		
	B	DA Issue	01.07.21	KR		SCALE NTS		SIZE A1		
							STAGE DA			
							PROJECT <b>53a Warriewood Rd Warriewood NSW</b>			





- KEY**
- Existing Trees to be retained & protected
  - Existing Trees to be removed - Refer to Arborist Report

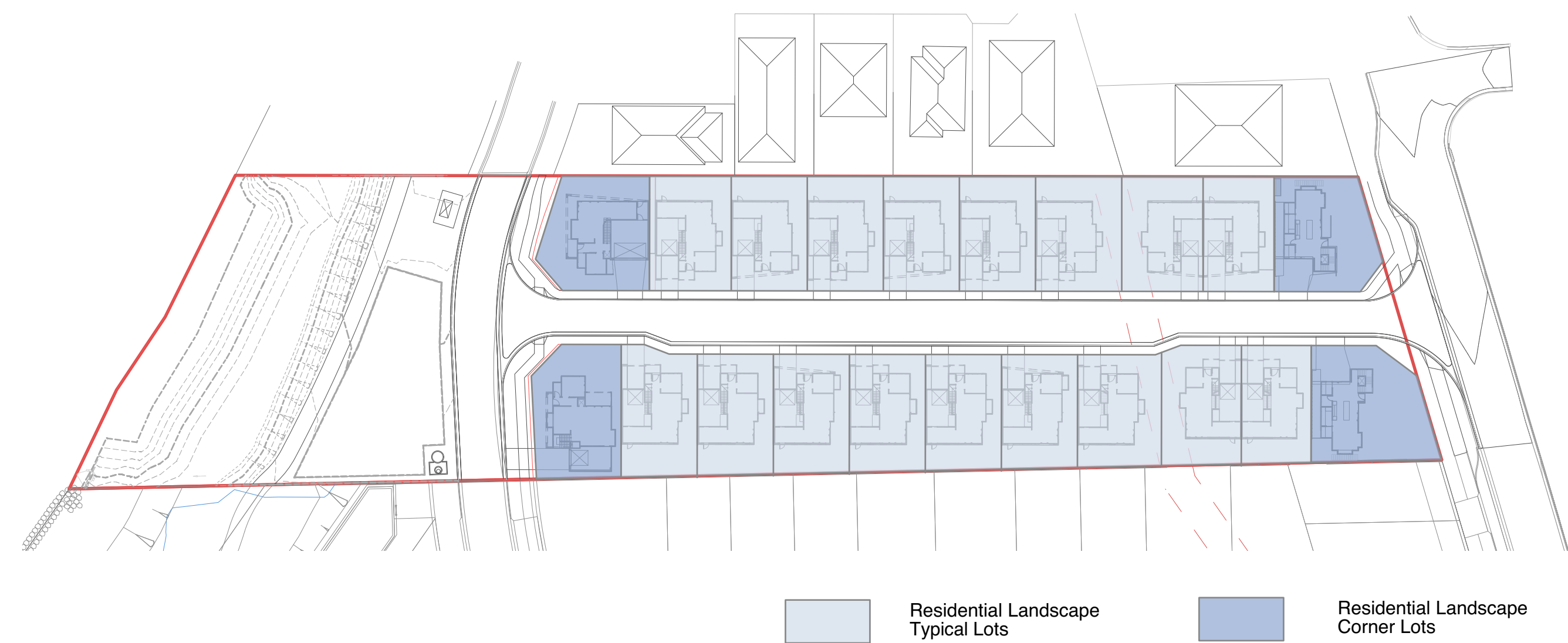
Refer to Rain Tree Consulting  
Arborist Report 9521

PRELIMINARY  
NOT FOR CONSTRUCTION

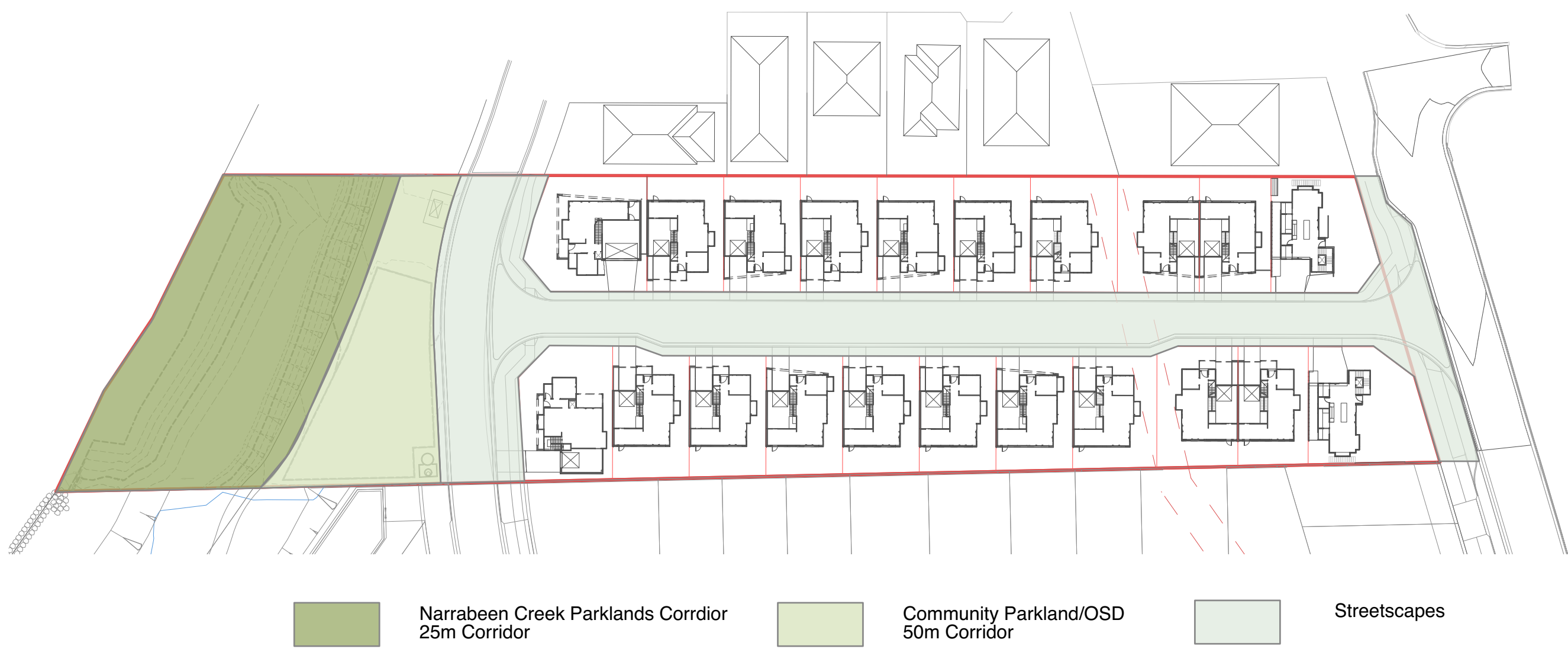
		Rev	Amendment	Date	By	<b>IMPORTANT NOTES:</b> Do not scale from drawings All dimensions to be taken to the center of the Project Landscape Architect Large scale drawings and section elevations are preferred. All dimensions in mm unless otherwise stated. All line dimensions and 10.4m notes. Use 30mm dimensions only. Verify all dimensions on site before the commencement of any work. Consent and all other and permit documents are to be submitted to the relevant Government Departments. Standard Details shall be subject to Engineer's Specifications. Design & Water Planning Details shall be subject to Engineer's Specifications. All work shall be carried out in accordance with the relevant Government Departments. Specifications. No responsibility will be taken by KRA or Rain Tree Consulting for any variations in design, construction method, materials specified, and general conditions without permission from the Project Engineer or Landscape Architect. This Drawing is copyright to KRA or Rain Tree Consulting	CLIENT	PVD No.21 Pty Ltd	CHECKED	KR	DWG. TITLE <b>Tree Protection and Removal Plan</b>	PROJECT <b>53a Warriewood Rd Warriewood NSW</b>	DWG. No. <b>LA-02</b>
		A	Draft DA Issue	29.06.21	KR		ARCHITECT	Saturday Studio	DRAWN	KR			
		B	DA Issue	01.07.21	KR		SCALE	1:300	SIZE	A1			
							STAGE	DA					



RESIDENTIAL LANDSCAPE ZONING



STREETSCAPE & CREEK PARKLAND CORRDIOR



RESIDENTIAL LANDSCAPE PRECEDENTS



- 1. Paved driveways with Palm or Tree Plantings to front gardens contribute to street character
- 2. Residential Gardens planted with lush coastal plantings of Native & Exotic species
- 3. Corner Lots - Paved natural stone outdoor dinning areas
- 4. Permeable Steppers to provide access through gardens
- 5. Typical Lots - Living areas open onto Lawns in back gardens
- 6. Typical Lots - Side Gardens provide privacy between properties & green outlooks from windows
- 7. Typical Lots - Dining Areas open onto Deck Areas for indoor/outdoor dining
- 8. Typical Lots - Outdoor Deck flow onto lawn areas, with tree and palm plantings set within garden surrounds
- 9. Typical Lots - Hedges, Climbers and Palms planted along boundaries for increased privacy between properties, while providing green outlooks for residents
- 10. Corner Lots (Refer to Plans) Plunge Pools & Pool Area to AS1926.1

STRERETSCAPE & PARKLAND PRECEDENTS



- 1. Street tree plantings to provide canopy & shade cover along roads & footpaths
- 2. Street feature entry plantings of Native Cabbage Palms (*Livistona australis*)
- 3. Low Sandstone walls with intergrated letterboxes to Typical House Lots street frontages, delineate front gardens while allowing for front garden plantings to contribute to street character
- 4. Paved thresholds to private road for vehicle calming
- 5. Community Parkland & OSD Basin Corrdior planted with Native grasses & trees to provide access to Narrabeen Creek Parkland Corridor & Shared Path
- 6. OSD Basin to capture & filter stormwater run off, planted with Native Grasses suitable for temporary indunation
- 7. Narrabeen Creek Corrdior Parklands with Shared Path & respite areas, planted with local endemic species





Rev	Amendment	Date	By
A	Draft DA Issue	29.06.21	KR
B	DA Issue	01.07.21	KR

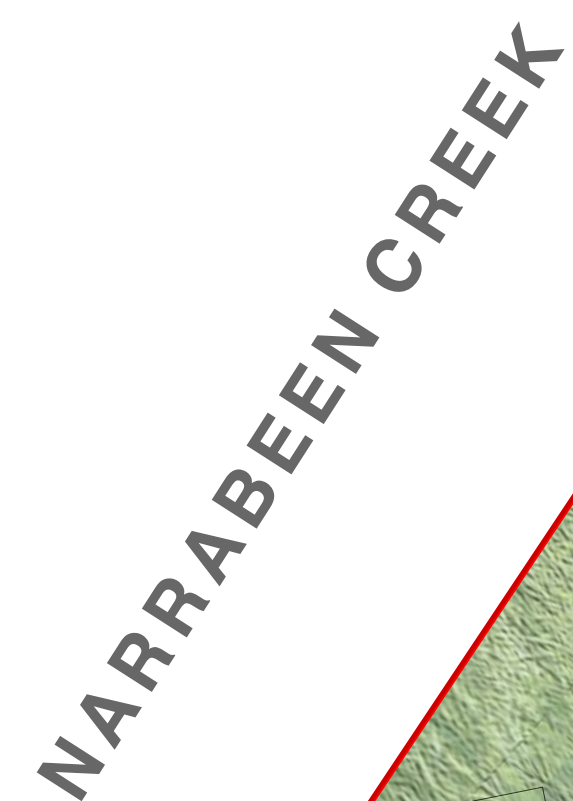
IMPORTANT NOTES:
Do not scale from drawings All dimensions to be taken to the center of the Project Landscape Architect Landscape drawings are not to be used for construction purposes All dimensions and 10.0m notes Use 10.0m dimensions only Verify all dimensions on site before the commencement of any work Construction and landscape drawings are not to be used for construction purposes Standard Details shall be subject to Engineer's Specifications Designs in Water Features Details shall be subject to Hydrology Engineer's Specifications As built and as constructed drawings shall be subject to Engineer's Specifications Revisions: No responsibility will be taken by Kasey Ruffell Landscape Architect for any variations in design, construction method, materials specified, and general conditions without permission from the Project Engineer or Landscape Architect. This Drawing is copyright to Kasey Ruffell Landscape Architect

CLIENT PVD No.21 Pty Ltd	CHECKED KR
ARCHITECT Saturday Studio	DRAWN KR
SCALE 1:300	SIZE A1
	STAGE DA

DWG. TITLE <b>Landscape Masterplan</b>
PROJECT <b>53a Warriewood Rd Warriewood NSW</b>



①	OSD BioRetention Basin to Civil Engineer Design. Planted with Native Aquatic and Littoral Grass & Reeds to capture & filter stormwater runoff	⑥	2.5m wide shared pedestrian & bicycle path to Warriewood Valley Landscape Masterplan Specifications. To be connected with surrounding developments, and existing shared path links
②	Street Trees - <i>Tristania laurina</i> 'Luscious' 400L planted to Warriewood Valley Landscape Masterplan Street Trees Specifications	⑦	Metal mesh boardwalk connector path to Lorikeet Grove
③	25m Creek Corridor planted with Endemic Native Plantings Refer to Planting Schedule	⑧	Substation
④	Revegetated Creekline with Endemic Native Littoral & Aquatic Grasses & Reeds	⑨	Gravelled Easement to Substation
⑤	Canopy plantings of Endemic Native Trees, Palms and Ferns. Refer to Planting Schedule		



## OSD BIO RETENTION BASIN

LORIKEET GROVE

REFER TO LA-06

[illegible]



REFER TO LA-05

REFER TO LA-07

LEGEND

- 1 Street Trees - Waterhouseia 'Green Avenue' 400L  
2 Paved threshold to street  
3 Concrete Footpath Refer Civil Drawings  
4 Paved Driveways  
5 Low Sandstone Clad Entry Wall with Letterbox  
6 Lawn with metal edge  
7 Side Gardens planted with shade tolerant species  
8 Timber Deck - Outdoor Dining  
9 Plunge Pool with Pool Fence to AS1926.1 12

KEY

- Site Boundary  
Lot Boundary  
Building Over (Roof Line)  
New Tree/Palm  
Hedging/Screening  
Garden Bed  
Lawn  
Stone Paving  
Unit Paving  
River Pebble (10-20mm)  
Sandstone Clad Wall  
Pool Fence & Gate  
Fence & Gate  
Timber Deck  
River Pebble (10-20mm)  
Sandstone Clad Wall  
Pool Fence & Gate  
Fence & Gate

KR  
LA

Rev	Amendment
A	Draft DA for Coord
B	For Information
C	Draft DA Issue
D	DA Issue

Date
17.06.21
26.06.21
29.06.21
01.07.21

By
KR
KR
KR
KR

IMPORTANT NOTES:  
Do not scale from this drawing.  
All dimensions are to be taken to the center of the object unless otherwise stated.  
Landscape elements are shown in plan view only.  
All dimensions are in meters unless otherwise stated.  
Use metric dimensions only.  
Verify all dimensions on site before the commencement of any work.  
Consultation with relevant authorities is required for all proposed works.  
Reserve Details shall be subject to Engineer's Specifications.  
Design & Water Features Details shall be subject to Engineer's Specifications.  
All work shall be carried out in accordance with the relevant standards and specifications.  
No responsibility will be taken by Kaser Architects Landscape Architects for any variations in design, construction method, materials used, and/or plant species without prior approval from the Project Engineer or Landscape Architect.  
This Drawing is copyright to Kaser Architects Landscape Architects.

CLIENT  
PVD No.21 Pty Ltd  
ARCHITECT  
Saturday Studio  
SCALE  
1:100  
SIZE  
A1

CHECKED  
KR  
DRAWN  
KR  
STAGE  
DA

DWG. TITLE  
**Landscape Plan 2**  
PROJECT  
**53a Warriewood Rd Warriewood NSW**

DWG. No.  
**LA-06**



[illegible]

CLIENT PVD No.21 Pty Ltd		CHECKED KR
ARCHITECT Saturday Studio		DRAWN KR
SCALE 1:100	SIZE A1	STAGE DA

DWG. TITLE  
**Landscape Plan 3**

PROJECT  
**53a Warriewood Rd Warriewood NSW**

DWG. No.

**LA-07**



