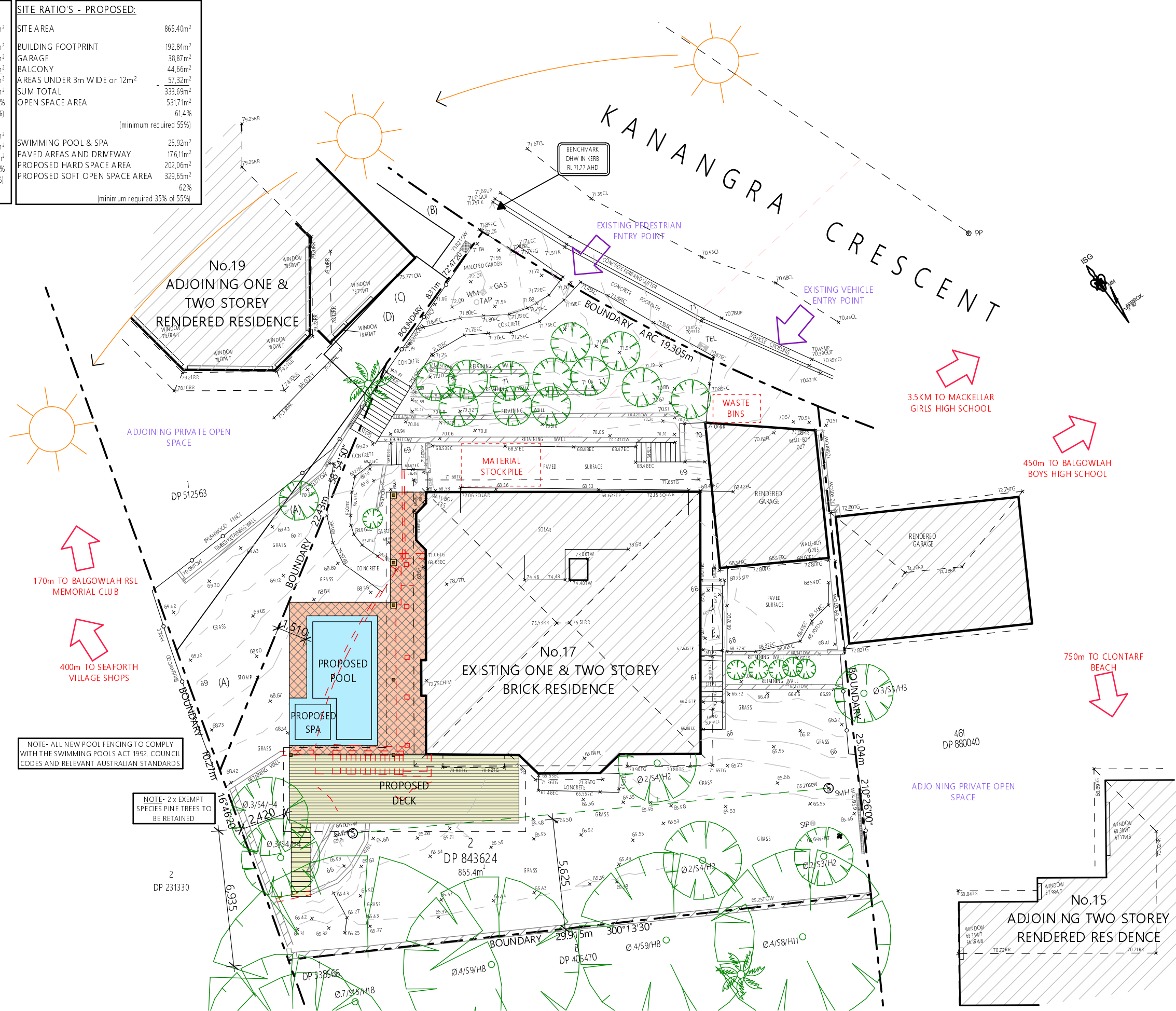


SITE RATIO'S - EXISTING:		SITE RATIO'S - PROPOSED:	
SITE AREA	865.40m <sup>2</sup>	SITE AREA	865.40m <sup>2</sup>
BUILDING FOOTPRINT	192.84m <sup>2</sup>	BUILDING FOOTPRINT	192.84m <sup>2</sup>
GARAGE	38.87m <sup>2</sup>	GARAGE	38.87m <sup>2</sup>
AREAS UNDER 3m WIDE or 12m <sup>2</sup>	26.40m <sup>2</sup>	BALCONY	44.66m <sup>2</sup>
SUM TOTAL	258.11m <sup>2</sup>	AREAS UNDER 3m WIDE or 12m <sup>2</sup>	57.32m <sup>2</sup>
OPEN SPACE AREA	607.29m <sup>2</sup>	SUM TOTAL	333.69m <sup>2</sup>
	70.2%	OPEN SPACE AREA	531.71m <sup>2</sup>
	(minimum required 55%)		61.4%
			(minimum required 55%)
PAVED AREAS AND DRIVEWAY	164.65m <sup>2</sup>	SWIMMING POOL & SPA	25.92m <sup>2</sup>
PROPOSED HARD SPACE AREA	164.65m <sup>2</sup>	PAVED AREAS AND DRIVEWAY	176.11m <sup>2</sup>
PROPOSED SOFT OPEN SPACE AREA	442.64m <sup>2</sup>	PROPOSED HARD SPACE AREA	202.06m <sup>2</sup>
	72.8%	PROPOSED SOFT OPEN SPACE AREA	329.65m <sup>2</sup>
	(minimum required 35% of 55%)		62%
			(minimum required 35% of 55%)



1 SITE PLAN 1:200  
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

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Maximum size pool shall be 22 kilolitres. It must have a pool pump timer, pool cover and have an electric heat pump heating system.

**Spa:**  
Maximum size spa shall be 1.8 kilolitres. It must have a spa pump timer, spa cover and have an electric heat pump heating system.

**GLAZED DOORS:**  
All door numbers shown on the door schedule correspond to matching door numbers shown in the Basic certificate.

**Sizes:**  
The total area of glazing for each door shall be no greater than that shown on the Basic certificate.

**Shading devices:**  
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**Frames and glazing:**  
Frame and glazing types shall meet the requirements of the Basic certificate.

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**Client**

MR + MRS FAULKNER

Project Name  
PROPOSED ALTERATIONS + ADDITIONS  
17 KANANGRA CRESCENT  
LOT 2, DP 843624  
CLONTARF NSW 2093

**JAH DESIGN SERVICES**

ABN 22 630 690 834  
SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085  
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

**Drawing Title:**

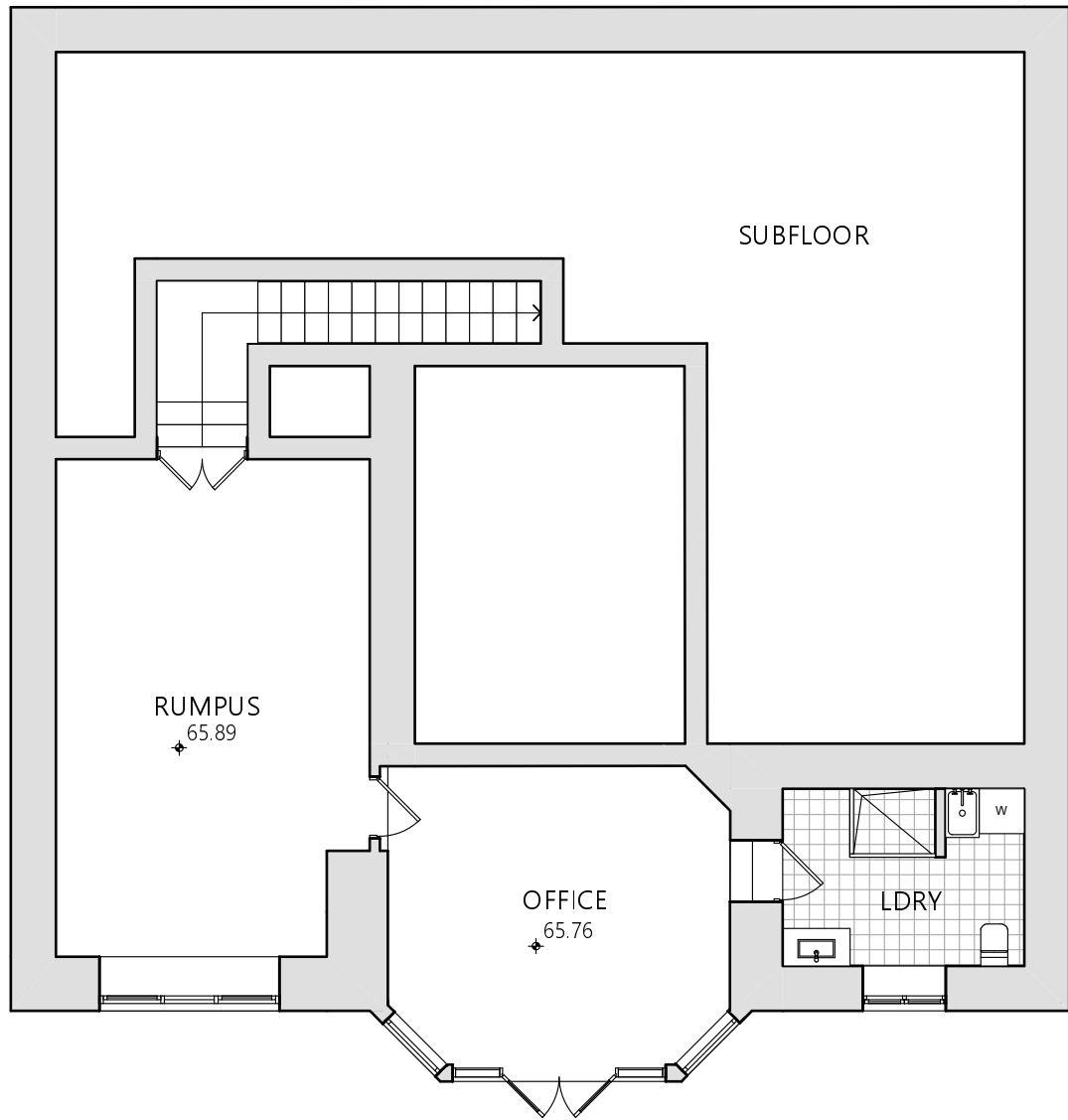
SITE PLAN

Scale:	1:200 @ A3	Date:	FEBRUARY 2025
Status:	DA submission	Checked By:	JAH
Project No:	2414	Drawing No:	DA01

Plot Date:	11/02/2025
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BOUNDARY 22.43m 58°54'50"

BOUNDARY 10.27m 16°46'20"



NOTE- NO INTERNAL CHANGES PROPOSED TO THE LOWER GROUND FLOOR PLAN

BOUNDARY 29.915m 300°13'30"

# 1 EXISTING LOWER GROUND FLOOR PLAN 1:100

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**MR + MRS FAULKNER**

Project Name

**PROPOSED ALTERATIONS + ADDITIONS**

**17 KANANGRA CRESCENT**

**LOT 2, DP 843624**

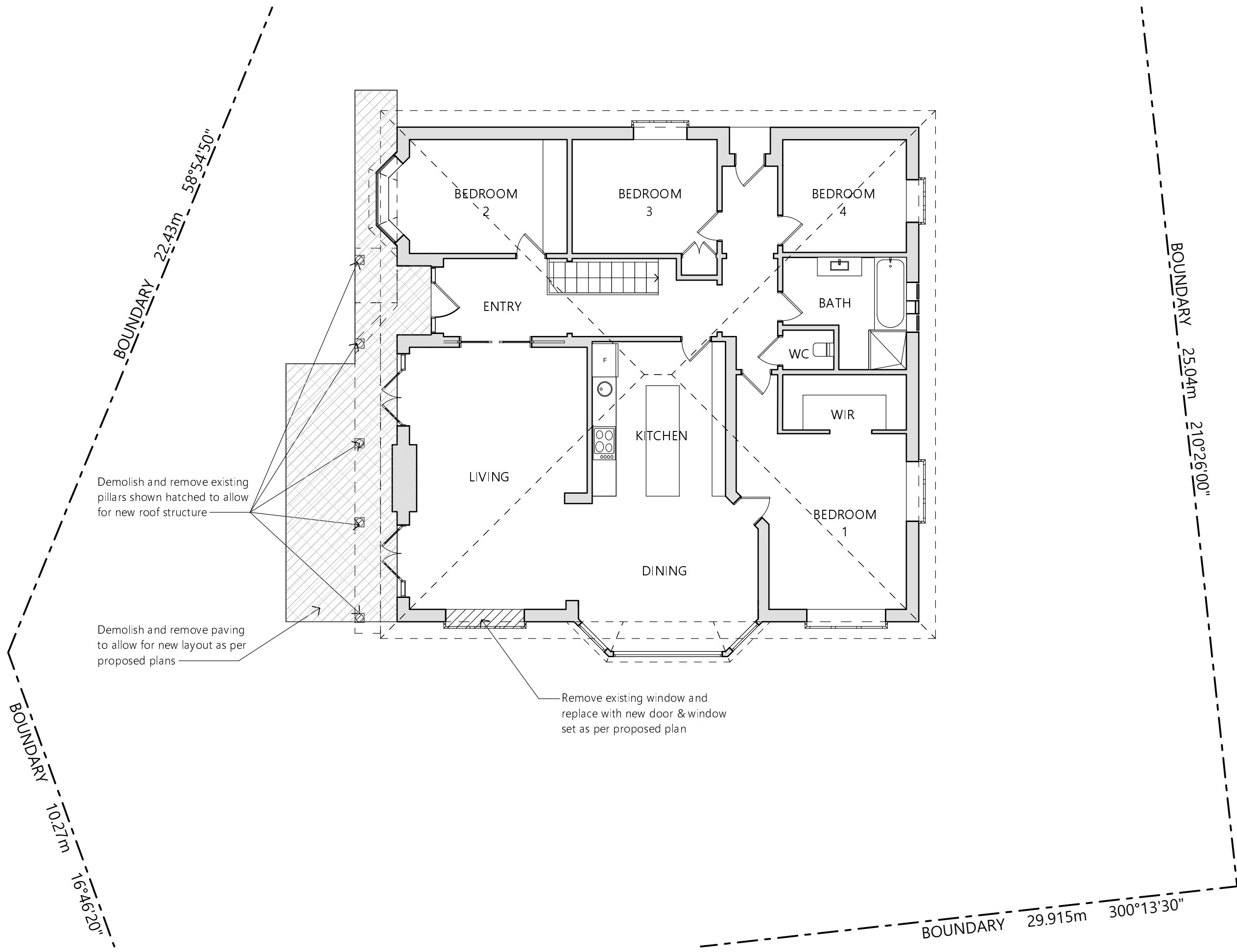
**CLONTARF NSW 2093**



Drawing Title:

**EXIST. LOWER GROUND FLOOR**

Scale:	1:100 @ A3	Date:	FEBRUARY 2025
Status:	DA submission	Checked By:	JAH
Project No:	2414	Drawing No:	DA02
Plot Date:	11/02/2025		



1 EXISTING UPPER GROUND FLOOR PLAN 1:100

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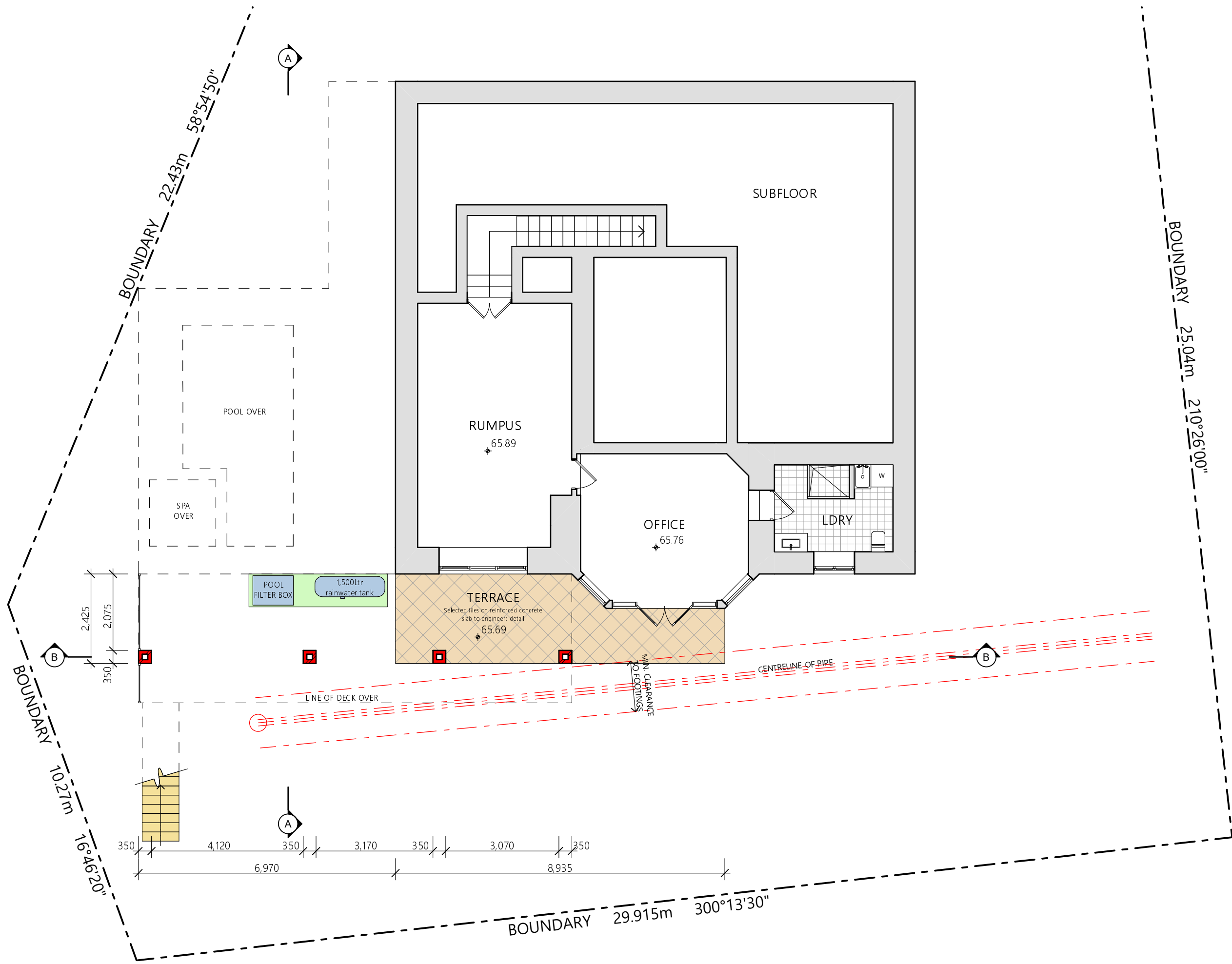


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**MR + MRS FAULKNER**  
Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**17 KANANGRA CRESCENT**  
**LOT 2, DP 843624**  
**CLONTARF NSW 2093**



Drawing Title: <b>EXISTING UPPER FLOOR PLAN</b>	
Scale: 1:100 @ A3	Date: FEBRUARY 2025
Status: DA submission	Checked By: JAH
Project No: <b>2414</b>	Drawing No.: <b>DA03</b>
Plot Date:	11/02/2025



1 PROPOSED LOWER GROUND FLOOR PLAN 1:100

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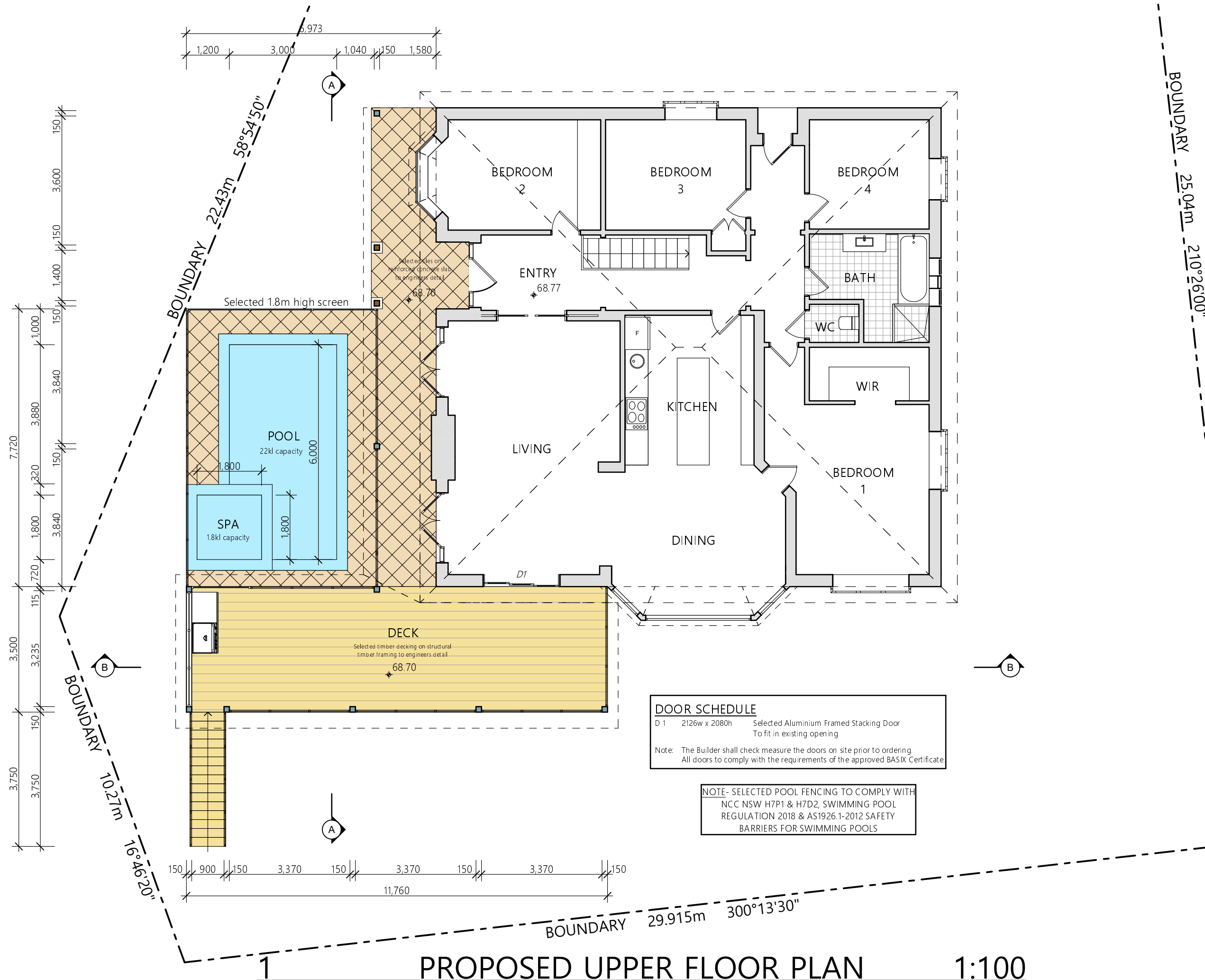


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Client  
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Project Name  
**PROPOSED ALTERATIONS + ADDITIONS**  
**17 KANANGRA CRESCENT**  
**LOT 2, DP 843624**  
**CLONTARF NSW 2093**



Drawing Title: <b>PROP. LOWER GROUND FLOOR</b>	
Scale: 1:100 @ A3	Date: FEBRUARY 2025
Status: DA submission	Checked By: JAH
Project No: <b>2414</b>	Drawing No: <b>DA04</b>
Plot Date:	11/02/2025



DOOR SCHEDULE		
D 1	2126w x 2080h	Selected Aluminium Framed Stacking Door To fit in existing opening
Note: The Builder shall check measure the doors on site prior to ordering. All doors to comply with the requirements of the approved BASIX Certificate		

NOTE- SELECTED POOL FENCING TO COMPLY WITH  
NCC NSW H7P1 & H7D2, SWIMMING POOL  
REGULATION 2018 & AS1926.1-2012 SAFETY  
BARRIERS FOR SWIMMING POOLS

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**PROPOSED ALTERATIONS + ADDITIONS**  
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**LOT 2, DP 843624**  
**CLOUTARF NSW 2093**

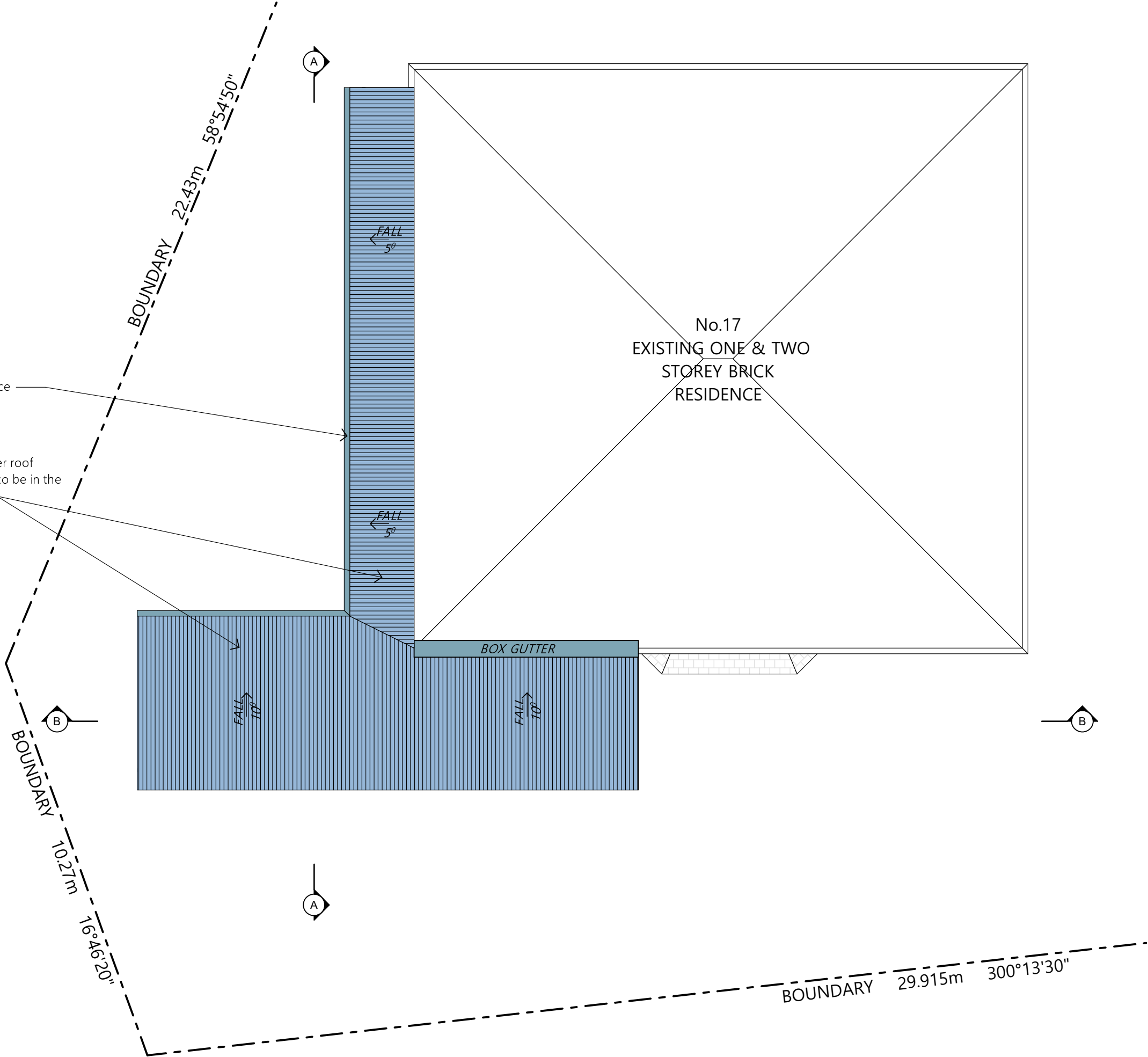
**JAH**  
DESIGN SERVICES

ABN 22 630 690 834  
SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085  
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:	
PROPOSED UPPER FLOOR PLAN	
Scale: 1:100 @ A3	Date: FEBRUARY 2025
Status: DA submission	Checked By: JAH
Project No: 2414	Drawing No: DA05
Plot Date:	11/02/2025

Seleted Colorbond gutters and downpipes to match existing residence

Selected Colorbond roofing on timber roof framing to engineers details. Colour to be in the medium/dark absorption range



1 PROPOSED FIRST FLOOR PLAN 1:100

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Project Name

PROPOSED ALTERATIONS + ADDITIONS

17 KANANGRA CRESCENT

LOT 2, DP 843624

CLONTARF NSW 2093

**JAH**  
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ABN 22 630 690 834

SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085

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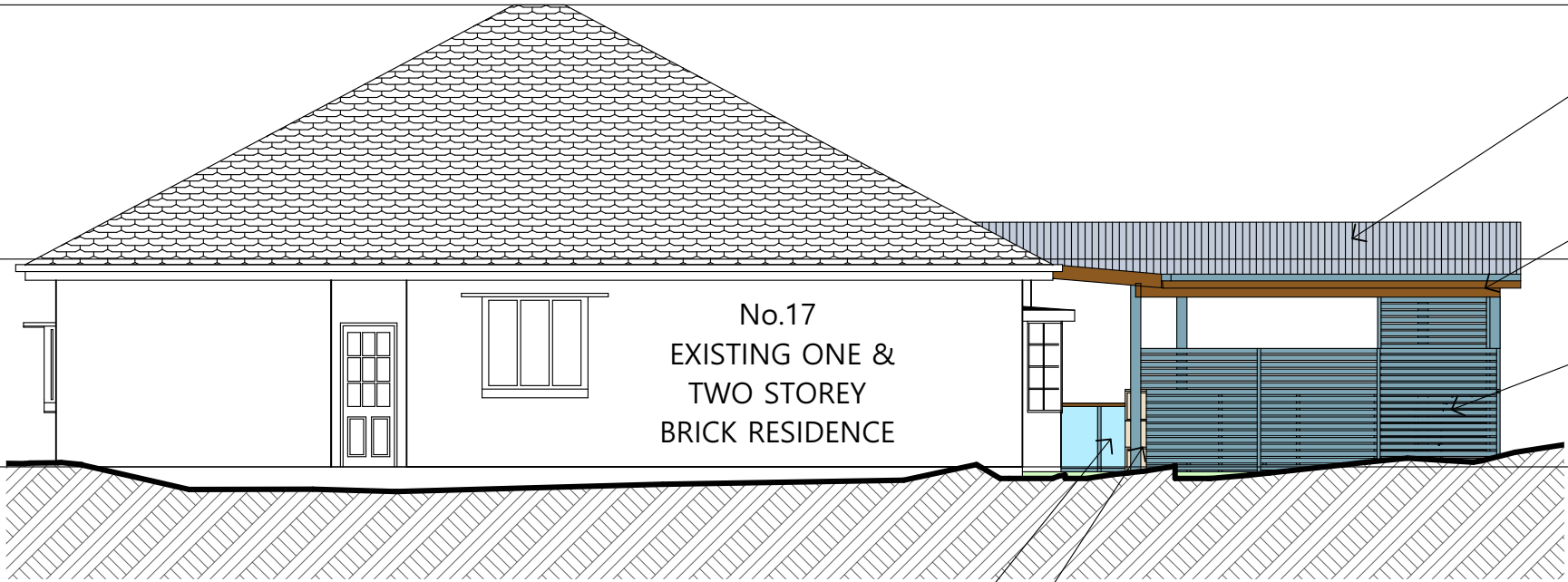
Drawing Title: <b>ROOF PLAN</b>	
Scale: 1:100 @ A3	Date: FEBRUARY 2025
Status: DA submission	Checked By: JAH
Project No: 2414	Drawing No.: DA06
Plot Date: 11/02/2025	



EXISTING RIDGE LEVEL  
RL 75.53

EXISTING CEILING LEVEL  
RL 71.805

EXISTING FIRST FLOOR LEVEL  
RL 68.77



1

NORTH ELEVATION

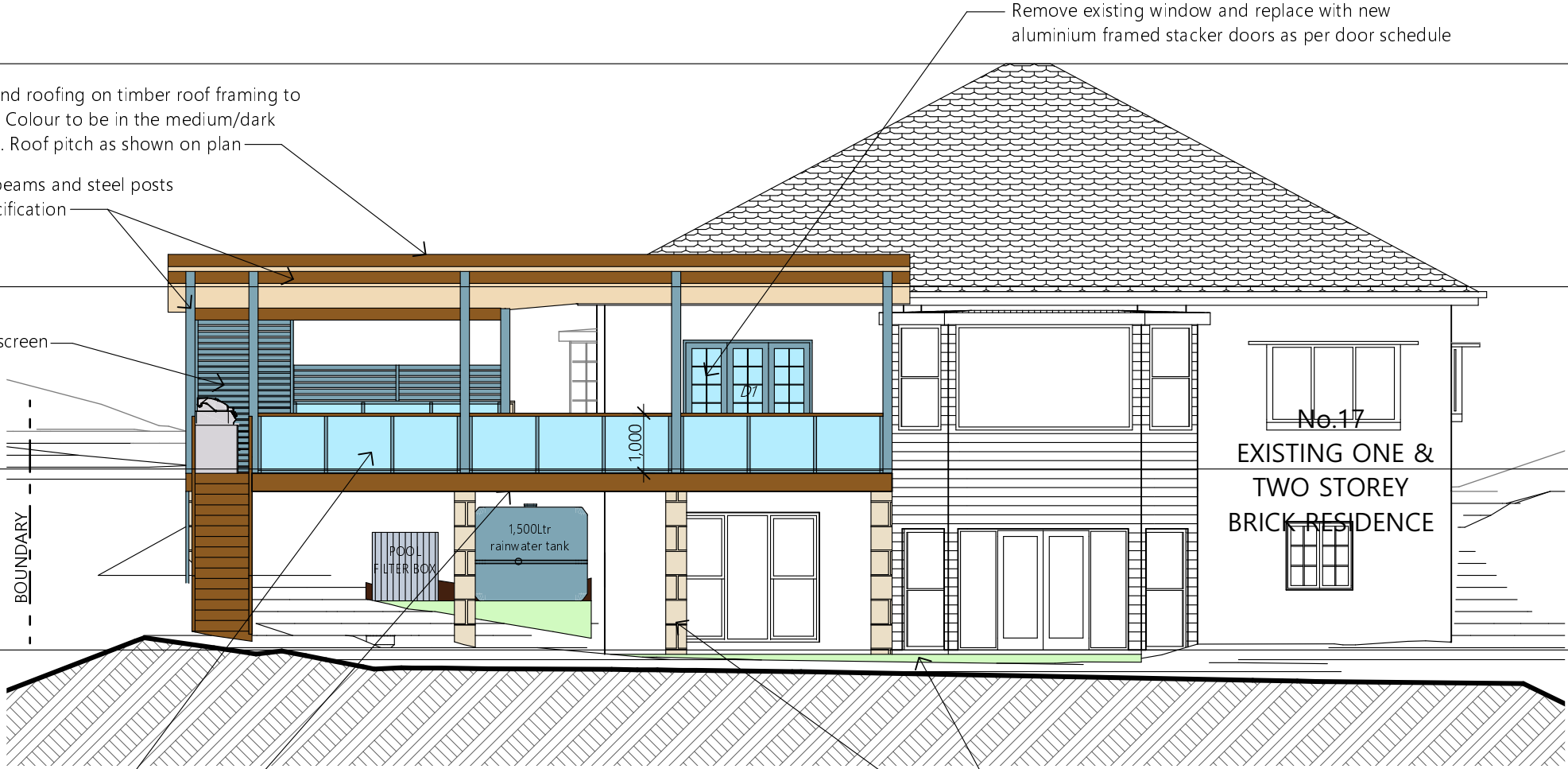
1:100

EXISTING RIDGE LEVEL  
RL 75.53

EXISTING CEILING LEVEL  
RL 71.805

EXISTING FIRST FLOOR LEVEL  
RL 68.77

EXISTING GROUND FLOOR LEVEL  
RL 65.89



2

SOUTH ELEVATION

1:100

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**17 KANANGRA CRESCENT**  
**LOT 2, DP 843624**  
**CLONTARF NSW 2093**

**JAH**  
**DESIGN SERVICES**  
ABN 22 630 690 834  
SUITE 105, 138 NARABANG WAY, BELROSE NSW 2085  
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:  
**NORTH & SOUTH ELEVATIONS**  
Scale: 1:100 @ A3 Date: FEBRUARY 2025  
Status: DA submission Checked By: JAH  
Project No: 2414 Drawing No: DA07  
Plot Date: 11/02/2025

EXISTING RIDGE LEVEL  
RL 75.53

Selected Colorbond roofing on timber roof framing to engineers details. Colour to be in the medium/dark absorption range. Roof pitch as shown on plan

Selected timber beams and steel posts to engineers specification

EXISTING CEILING LEVEL  
RL 71.805

Selected privacy screen

Selected glazed balustrade

EXISTING FIRST FLOOR LEVEL  
RL 68.77

EXISTING GROUND FLOOR LEVEL  
RL 65.89

Selected stone cladding on masonry pillars to support structure of deck to engineers detail

1

EAST ELEVATION

1:100

8.5m Maximum Building Height

EXISTING RIDGE LEVEL  
RL 75.53

No.17  
EXISTING ONE &  
TWO STOREY  
BRICK RESIDENCE

EXISTING CEILING LEVEL  
RL 71.805

EXISTING FIRST FLOOR LEVEL  
RL 68.77

Selected stone base and timber posts to new covered area

Selected glass pool fencing to comply with the Swimming Pools Act 1992, Concil Codes and any relevant Australian Standards

2

WEST ELEVATION

1:100

Selected Colorbond roofing on timber roof framing to engineers details. Colour to be in the medium/dark absorption range. Roof pitch as shown on plan

Selected timber beams and steel posts to engineers specification

Selected privacy screens

Selected glazed balustrade

Selected fc sheeting on timber framing

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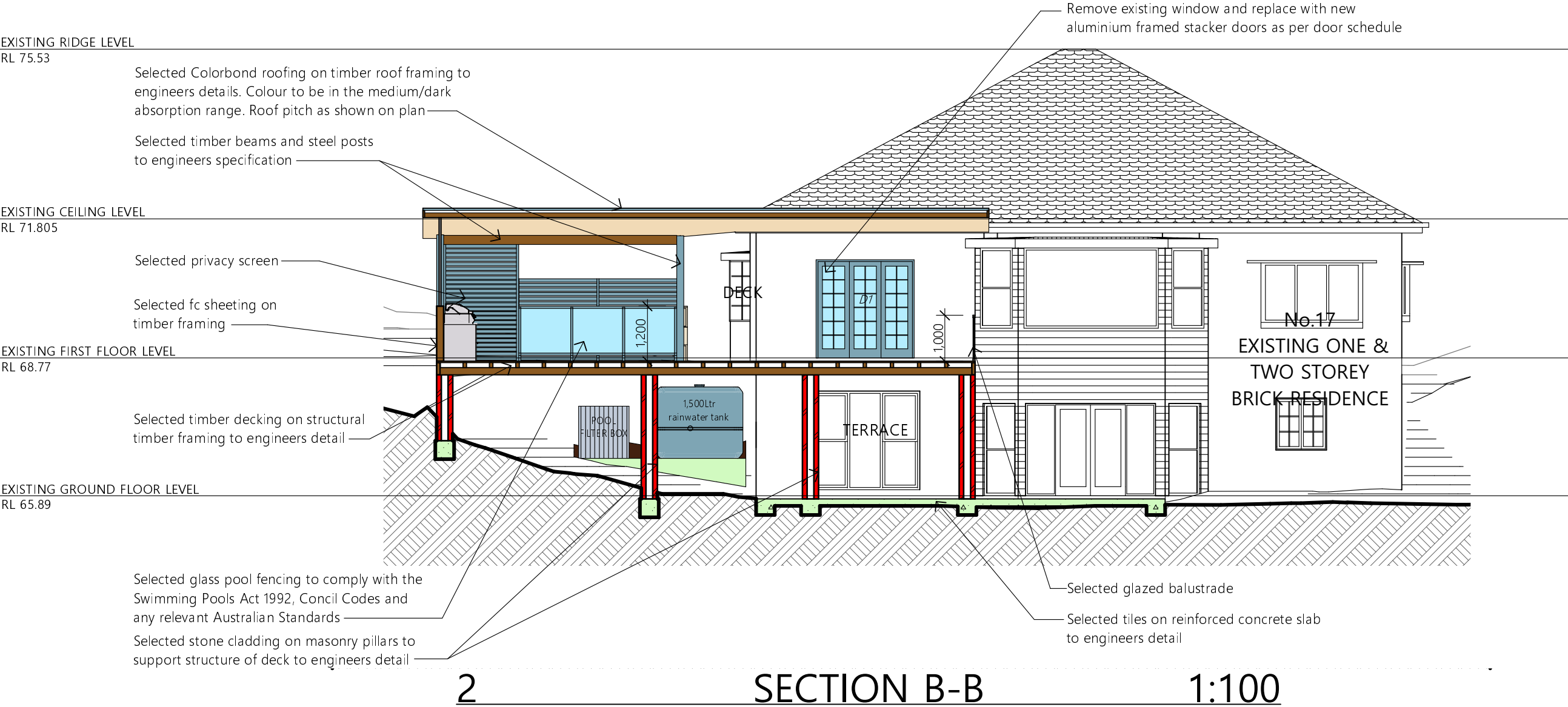
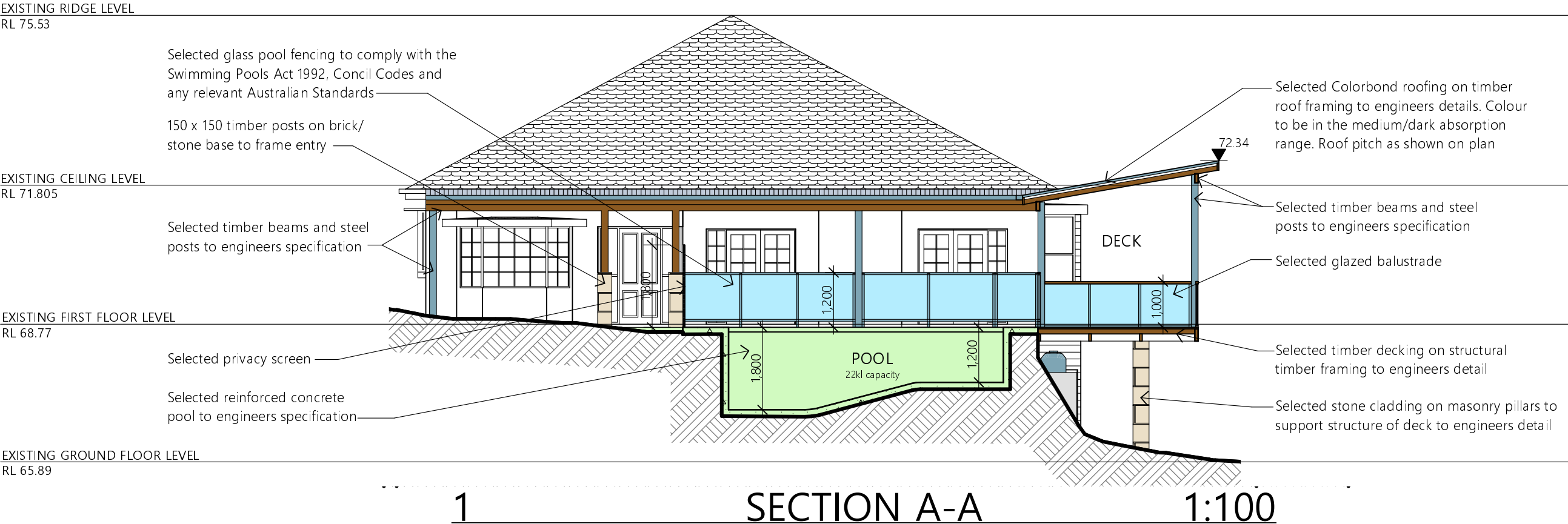
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17 KANANGRA CRESCENT  
LOT 2, DP 843624  
CLONTARF NSW 2093

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DESIGN SERVICES  
ABN 22 630 690 834  
SUITE 105, 138 NARABANG WAY, BELROSE NSW 2085  
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:  
**EAST & WEST ELEVATIONS**  
Scale: 1:100 @ A3 Date: FEBRUARY 2025  
Status: DA submission Checked By: JAH  
Project No: 2414 Drawing No: DA08  
Plot Date: 11/02/2025





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Project Name

PROPOSED ALTERATIONS + ADDITIONS

17 KANANGRA CRESCENT

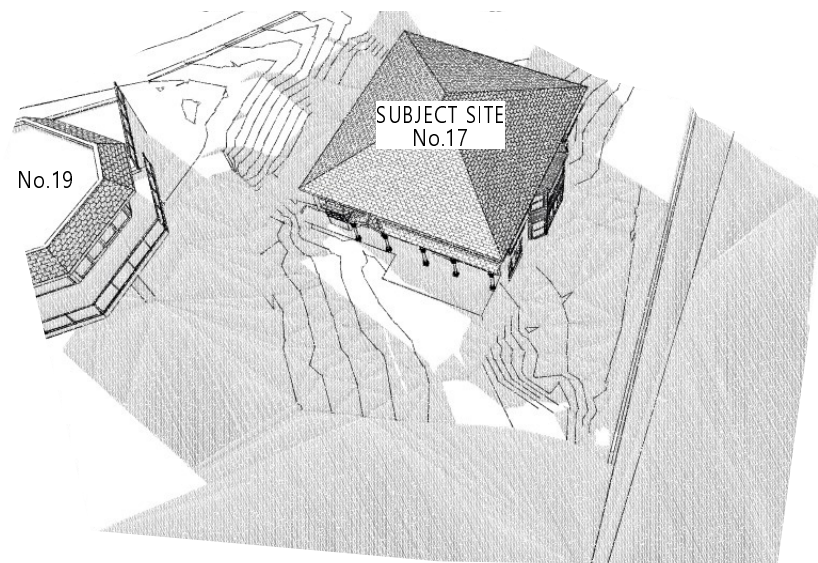
LOT 2, DP 843624

CLOUTARF NSW 2093



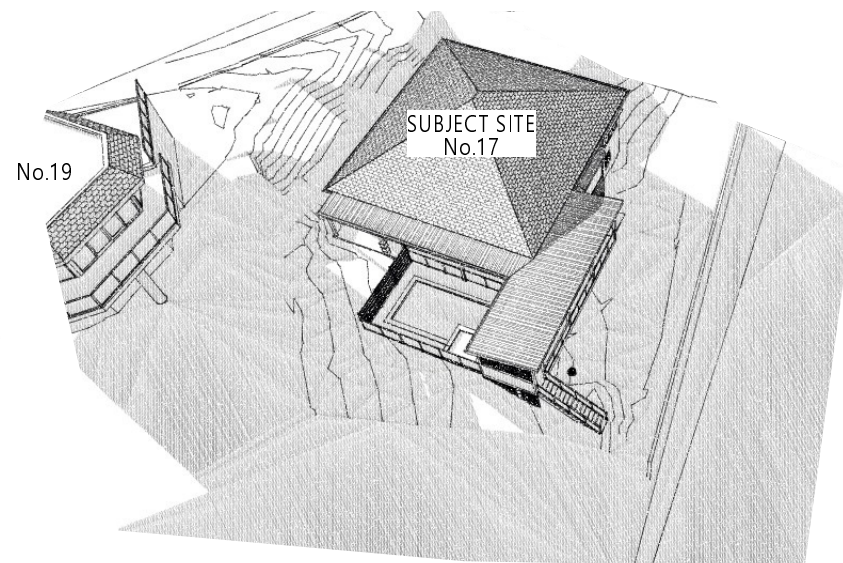
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Scale:	1:100 @ A3	Date:	FEBRUARY 2025
Status:	DA submission	Checked By:	JAH
Project No:	2414	Drawing No:	DA09
Plot Date:	11/02/2025		



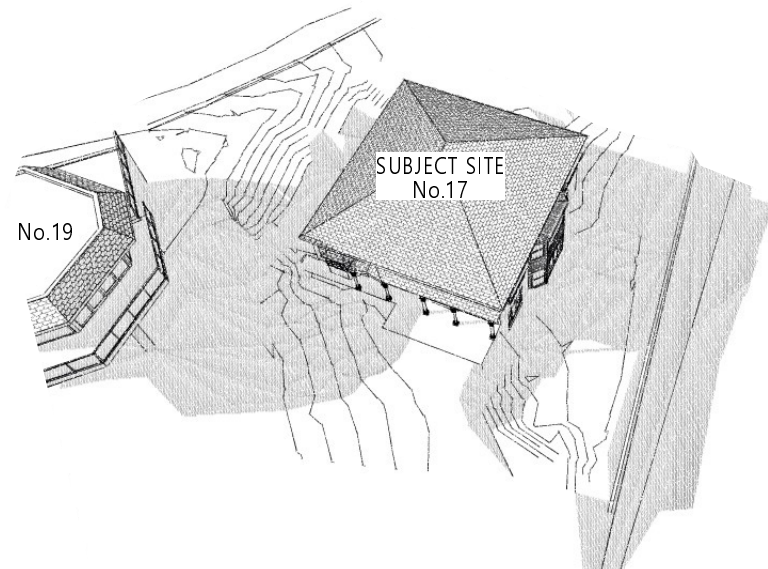


9AM JUNE 21 EXISTING

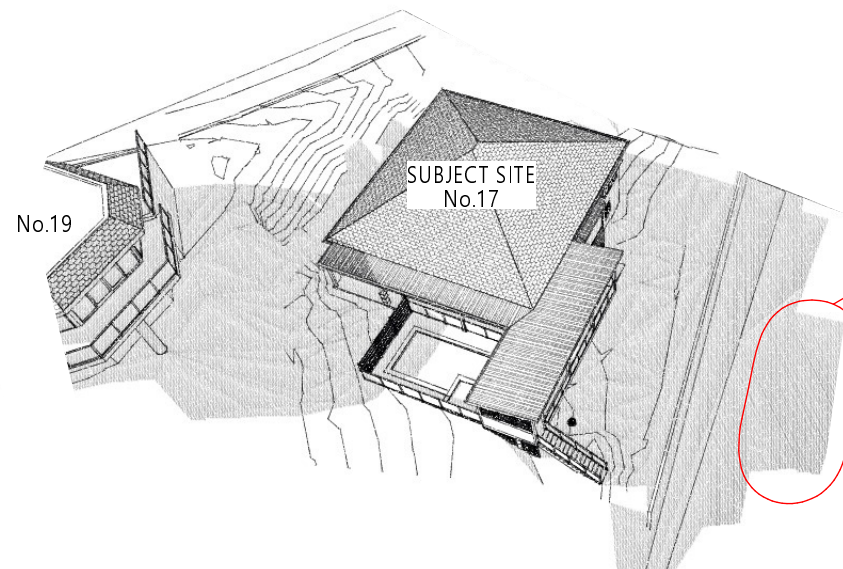
NO ADDITIONAL SHADOW CREATED  
ON ADJOINING PROPERTIES AT 9AM



9AM JUNE 21 PROPOSED



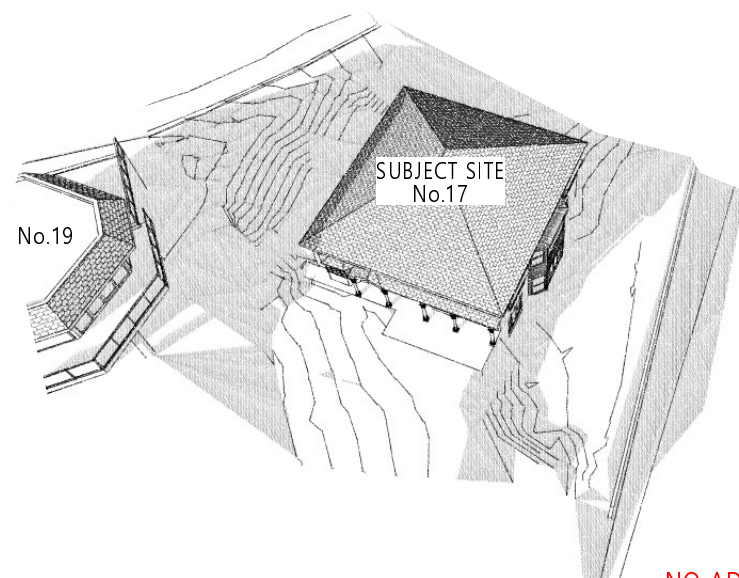
12 NOON JUNE 21 EXISTING



12 NOON JUNE 21 PROPOSED

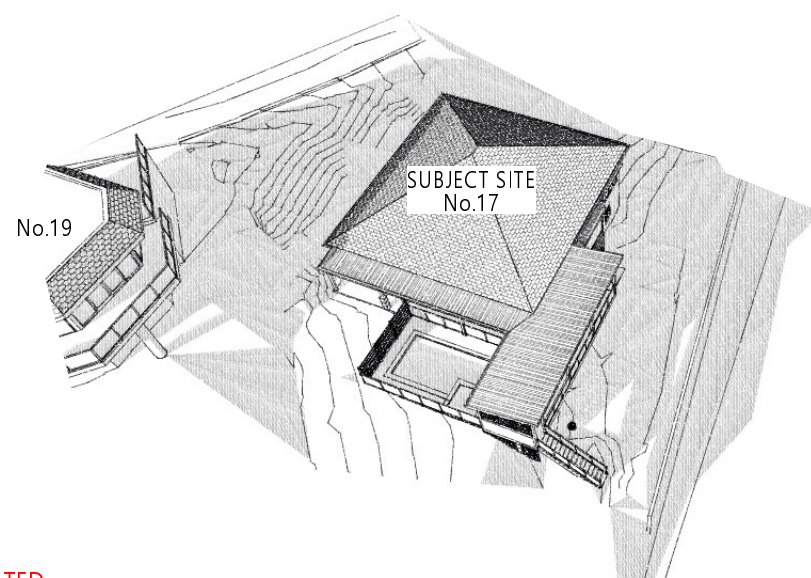
ADDITIONAL  
SHADOW ON  
REAR YARD OF 14  
HEATON AVENUE

NOTE- LANDSCAPING FEATURES ARE  
NOT INDICATED ON THIS DIAGRAM.  
THE EXISTING TREES WOULD FULLY  
SHADE THIS ENTIRE AREA WITHOUT  
THE PROPOSED ADDITION



3PM JUNE 21 EXISTING

NO ADDITIONAL SHADOW CREATED  
ON ADJOINING PROPERTIES AT 3PM



3PM JUNE 21 PROPOSED

#### NOTES

All work is to comply with the Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

All figured dimensions to be checked on site.

#### BASIX INFORMATION REQUIREMENTS:

##### WATER COMMITMENTS:

Alternative Water: A minimum of a 1,378.33 Litre rainwater tank shall be installed to collect runoff from at least 46m<sup>2</sup> of roof and connected to a tap within 10m of the pool edge.  
Swimming pool: Maximum size pool shall be 22 kilolitres. It must have a pool pump timer, pool cover and have an electric heat pump heating system.  
Spa: Maximum size spa shall be 1.8 kilolitres. It must have a spa pump timer, spa cover and have an electric heat pump heating system.

##### GLAZED DOORS:

All door numbers shown on the door schedule correspond to matching door numbers shown in the Basix certificate.

Sizes: The total area of glazing for each door shall be no greater than that shown on the Basix certificate.

Shading devices: Shading devices shall be installed in accordance with the Basix certificate.

Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate.



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#### Client

MR + MRS FAULKNER

#### Project Name

PROPOSED ALTERATIONS + ADDITIONS

17 KANANGRA CRESCENT

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#### Drawing Title:

SHADOW DIAGRAMS

Scale:	Date: FEBRUARY 2025
Status: DA submission	Checked By: JAH
Project No: 2414	Drawing No: DA10
Plot Date:	11/02/2025