



**67 OCEANA STREET
NARRAWEENA**

**STATEMENT OF ENVIRONMENTAL EFFECTS
FOR DEMOLITION OF A DWELLING AND
CONSTRUCTION OF A NEW DWELLING**



Report prepared for
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1. Introduction

- 1.1 This is a statement of environmental effects for demolition of the existing dwelling and construction of a new two storey dwelling at 67 Oceana Street, Narraweena.
- 1.2 The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2011, and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3 This statement of environmental effects has been prepared with reference to the following:
- Site visit
 - Site Survey prepared by Donovan Associates
 - DA Plans prepared by Icon Homes (Issue J)
 - BASIX Certificate
 - Geotechnical Report by AWGEOTECHNICS
- 1.4 The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the coastal setting and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The subject site is located on the western side of Oceana Street, directly opposite its intersection with The Circle in Narraweena. It is legally described as Lot 127 DP 36192 and is known as 67 Oceana Street, Narraweena.
- 2.2 It is an approximately rectangular shaped lot with a front (east) boundary of 18.29 metres, a rear (west) boundary of 18.36 metres and side boundaries of 33.645 metres (south) and 32.06 metres (north). It has frontage to and vehicular access from Oceana Street and comprises an area of 600.8m². A drainage easement exists on the northern side of the site being 1.83 metres in width.
- 2.3 The site is currently occupied by a single storey brick dwelling with a tile roof, with a concrete driveway and hardstand on the northern side of the lot and a metal shed in the rear yard. It is set within a residential lot with a gentle slope of approximately two metres from the rear down to the street frontage.
- 2.4 The property is surrounded to the east, west and south by detached residential dwellings and an open reserve opposite to the north. The site is located in close proximity to Dee Why Grand Shopping Centre, as well as other retail and commercial facilities in Dee Why, and Dee Why Beach to the east. Transport services are available nearby on Warringah Road and Pittwater Road.



Figure 1. Aerial Image of the subject site

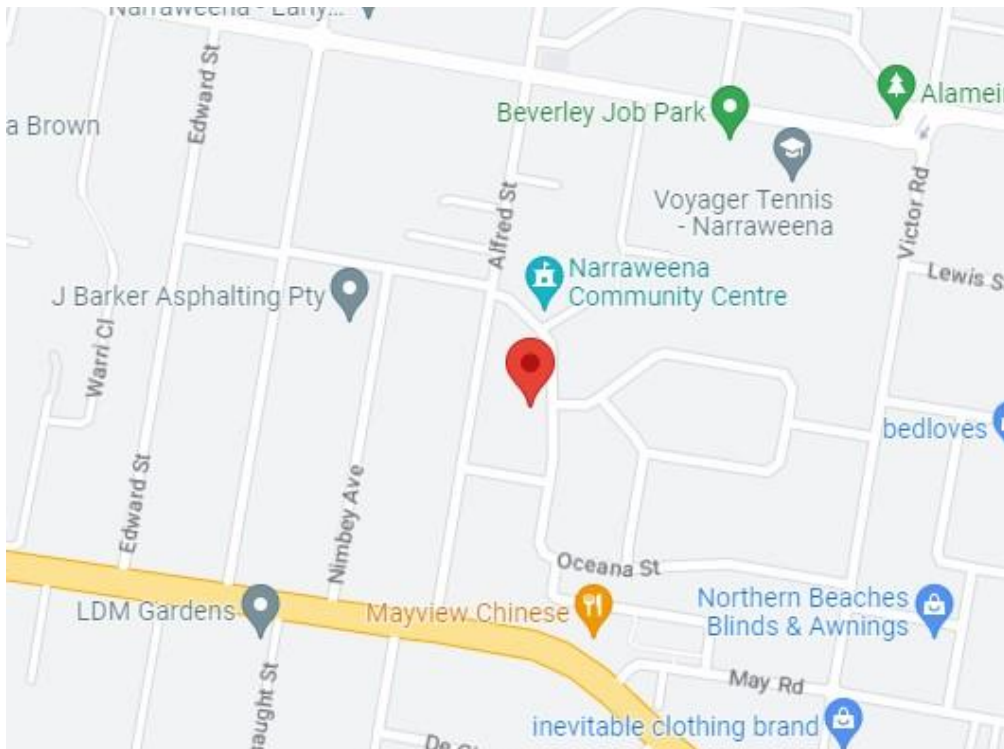


Figure 2. The site within the locality

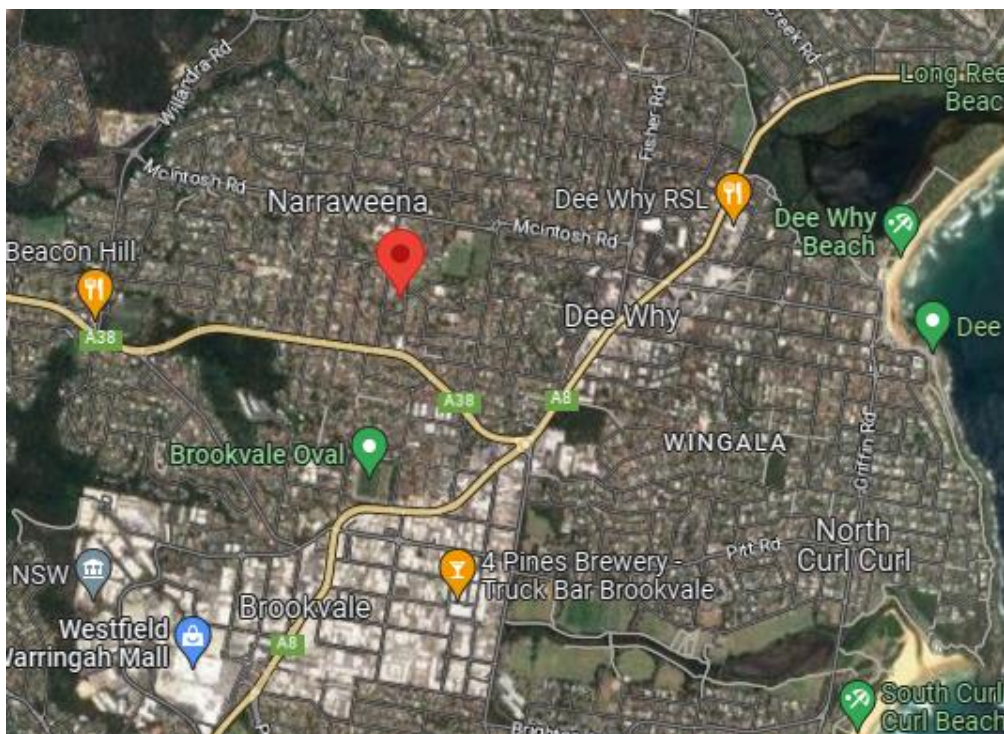


Figure 3. Aerial Image of the site within the locality

3. Site Photos



Figure 4. The existing dwelling, looking south west from Oceana Street



Figure 5. The existing rear of dwelling and yard looking north east



Figure 6. The existing rear yard, hard stand area and metal shed at the rear of the site, looking west



Figure 7. Looking east, the park directly opposite the site adjoining The Circle

4. Proposed Development

- 4.1 The proposed development is for the demolition of the existing dwelling and all structures on the site, and the construction of a new two storey dwelling.
- 4.2 The proposed dwelling has been designed to ensure that it compliments and improves the existing streetscape maintaining a scale consistent with dwellings in the locality and on Oceana Street.
- 4.3 The proposed will be made up as follows:

Existing dwelling

- To be demolished (including sheds, hardstand and driveway)

New dwelling

Ground floor

- Double enclosed garage
- Entry foyer
- Study
- Guest room
- Open plan kitchen, meals and family room with butler's pantry and fireplace
- Bathroom
- Laundry
- Internal stairs to first floor level
- Covered alfresco area at rear

First floor

- Master bedroom with ensuite and dressing room/walk-in robe
- Bedroom 2 with robe
- Bedroom 3 with robe
- Internal staircase
- Bathroom
- Sitting room with study nook and small balcony
- Two small skylights above kitchen

Site

- A new driveway on the northern side of the site to access the double garage.
- 2 X 6,000 litre slimline rainwater tanks are provided within the southern side setback
- Retaining wall in rear yard (as detailed on Proposed Site Plan).

4.4 The proposed design has taken into consideration the location of neighbouring sites, existing windows and private open space areas.

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the swimming pool and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as no significant trees are to be removed.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

5.2 Warringah Local Environmental Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 Low Density Residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed development is for a new dwelling which is permissible with development consent in the R2 zone.



Figure 8. Extract from Warringah LEP 2011 Zoning Map

Demolition

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the new dwelling.

Minimum Lot Size

The site is mapped with a minimum lot size of 600m². The subject site comprises a compliant area of 600.8m² and no subdivision is proposed.

Development on Sloping Land

The site is located in the area nominated the LEP maps as Area A – Slope <5. As such the consent authority must be satisfied that:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions.*

Due to the low-level risk within Area A, no additional details are required at DA stage. However, a Site Classification Report has been provided with the application.

5.3 Warringah Development Control Plan

The relevant sections of the DCP are addressed below.

Part A Introduction

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Part B General Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted by the DCP and the development proposes a compliant maximum wall height of 5.885 metres on the northern side and 5.835 metres on the southern side of the dwelling.

Side Building Envelope

The site requires a side boundary envelope of 5m/45°. The variation is minor having a negligible and reasonable impact.

The eaves to the first floor level on the southern side of the dwelling encroach within the side boundary envelope. Given the minor nature of the encroachment, the proposal remains consistent with the objectives of the control and is considered acceptable, having a negligible and reasonable impact. See Figure 10 below.



Figure 10. Extract from DA Plans showing minor variation to the side boundary envelope

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site by the DCP.

The new dwelling proposes compliant side setbacks of 2.578 (north) and 1.15 metres (south).

Front Setback

A front setback of 6.5 metres is required by the DCP. A compliant setback of 6.5 metres is provided to the ground floor (garage).

Rear Setback

A rear setback of 6 metres is required by the DCP. A compliant rear setback of 8.084 metres is proposed to the covered alfresco area.

Part C Siting Factors

Traffic, access and safety

The subject site currently has vehicular access from Oceana Street and a new driveway is proposed which will be compliant with all council requirements.

Parking facilities

A double garage is proposed for the new dwelling. The garage door has a width of 4.81 metres and complies with the relevant internal measurements for a double garage.

The garage door has been kept to a minimum width and presents as a 2400mm high panel lift door on the northern side. The proposed garage ensures 2 parking spaces are provided and as it faces north towards the northern side boundary will not be highly visible from Oceana Street. The garage does not dominate the front elevation and fits well within the contemporary dwelling design.

Stormwater

A concept stormwater plan is provided with the development application. Rainwater tanks are provided on the southern side of the property, adjacent the dwelling.

Excavation and Landfill

Minor earthworks are proposed as a part of the application. Standard erosion and sediment control measures will be implemented, and any engineering specifications and conditions of consent adhered to, to ensure best practice procedures are followed.

Demolition and Construction

The proposed development includes demolition of the existing dwelling, hardstand, driveway and sheds. All demolition and construction works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

The design will include appropriate waste storage areas external to the dwelling, with waste to be collected by Councils regular service.

Part D Design

Landscaped open space and bushland setting

The DCP requires 40% landscaped area on the site which is equivalent to 240.32m² for the site area of 600.8m². The development proposes an easily compliant landscape area of 321.14m² or 53.45%.

Private open space

Private open space area in excess of 60m² will be retained in the rear yard as required by the DCP.

Noise

The development is appropriate and will not result in noise levels inappropriate to a residential area. Key living areas are provided on the ground floor and windows have been appropriately located. The upper level has only bedrooms and will have no unreasonable impact for neighbours. The small balcony proposed at first floor level fronts the street and is setback from the front elevation between the master bedroom and bedroom 2, being enclosed on two sides.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by this clause DCP.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in shadowing over the rear yard and southern setback of the subject site and to the rear yard and northern setback of 65 Oceana Street.

12pm – The development will result in shadowing across the southern side setback of the subject site and to the northern side setback and a portion of the front yard to the adjoining property at 65 Oceana Street. It is our understanding that the window openings on the northern side of the dwelling at 65 Oceana Street are attached to a bedroom and ensuite bathroom, not living areas.

3pm – The development will result in shadowing across a portion of the front yard of the subject site and the front yard and small portion of the northern setback of 65 Oceana Street.

It is concluded that the private open space of the subject site and the adjoining properties maintain compliant solar access, with direct sunlight available to more than 50% of the rear yard at 9am, 12pm and 3pm.

Views

The subject site has been visited and no views are present or impacted by the proposed development.

Privacy

Privacy will be retained for neighbours with the design being considerate of window placement and use of upper-level rooms. The new first floor incorporates a number of privacy measures including compliant setbacks, orienting windows to the front and rear of the lot, high sill heights and privacy glazing.

Building Bulk

The proposed development incorporates both articulation and varied materials to alleviate bulk. The design is also of a scale consistent with surrounding properties and the works will result in a contemporary and complementary addition to the site and Oceana Street.

Building Colours and Materials

The proposed building materials include cladding and Colorbond. All materials and finishes are complementary to the coastal and residential surrounds and are consistent with a modern finish. See accompanying materials and colours schedule.

Roofs

The new works propose a Colorbond roof at 22.5°.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Side and Rear Fences

The existing side and rear fencing are proposed to be retained – no new fencing is proposed.

Site Facilities

Appropriate waste, recycling areas and drying facilities are proposed as part of the proposed application.

Safety and Security

The proposed new dwelling will improve safety and security features of the site, allowing for casual surveillance of the street and safer access to the site and dwelling.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

Part E: The Natural Environment

Preservation of Trees or Bushland Vegetation

No significant trees are to be removed or detrimentally impacted as a result of the proposed development.

Prescribed Vegetation

The subject site is not mapped as native vegetation, High Conservation Habitat or Wildlife Corridor.

Retaining unique Environmental Features

No unique environmental features will be impacted by the proposal.

Development on land adjoining public open space

The subject site is not mapped as land adjoining public open space.

Landslip Risk

The site is located in the area nominated by the LEP maps as Area A – <5 and no additional information is needed in this regard.

Flood Prone Land

The south eastern corner of the site is identified within the low risk precinct. As no habitable floor area is located within the mapped area there will be no impact.

6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Lot Size	600m ²	600.8m ²	Yes – no change
Building Height	8.5 metres	7.794 metres	Yes
Floor Space Ratio	Not identified	-	-
Warringah DCP 2011			
Wall Height	7.2 metres	5.885 metres (north) 5.835 metres (south)	Yes
Number of Stories	Not identified	-	-
Side Boundary Envelope	4 metres / 45 degrees	Complies	Yes
Site Coverage	Not identified	-	-
Side Boundary Setbacks	0.9 metres	2.578 (north) 1.150 (south)	Yes Yes
Front Boundary Setback	6.5 metres	6.5 metres	Yes
Rear Boundary Setbacks	6 metres	8.084m (ground) 9.708m (first)	Yes
Parking	2 spaces	2 spaces	Yes
Landscaped Open Space and Bushland Setting	40% of lot area	53.45% 321.14m ²	Yes
Private Open Space	60m ²	>60m ²	Yes
Solar Access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Compliant at 9am and 12pm and 3pm	Yes

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the R2 zone.

7.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed new dwelling has been designed to complement the site and its surrounds. The proposal is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development.

Public domain

The proposed development will not impact the public domain.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is mapped as affected by low level slip. No additional information is required at this stage.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed development is appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and is well suited to the coastal and residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally finishes, building materials and all facilities will be compliant with all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints and is highly conducive to the proposed dwelling.

Are the site attributes conducive to development?

The site is appropriate for the proposed dwelling.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for a new dwelling at 67 Oceana Street, Narraweena is appropriate considering all State and Council controls.
- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3 The minor variation proposed to the building envelope is easily justified through consideration of the positive design and resulting amenity.
- 8.4 Considering all the issues, the development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
12/04/2023	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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