

Site Plan

Ground Floor Plan

First Floor Plan

0005426520 25 Nov 2020
Assessor: Luis Contigiani
Accreditation No.: DMV13/1543
Address: 54 YARRABIN ST, BELROSE, NSW, 2085
hstar.com.au

Zone R2 - Low Density Residential

Control Table Calculations

Warringah LEP 2011

• Site Area		Total area of site = 701.800 sq.m	
• Gross Floor Area		Calculated excluding external walls, first floor stair void and garage area: -	
	Principal Dwelling	=	309.210 sq.m
	Secondary Dwelling (Granny Flat)	=	59.860 sq.m
	Total Gross Floor area	=	369.070 sq.m
• Private Open Space		(minimum 5m dimension)	
	Proposed Dwelling	Required	60.000 sq.m
	Granny Flat	Provided	106.880 sq.m
			84.270 sq.m
• Carparking Requirement		Required Provided	
	Principal Dwelling	2	2
	Granny Flat	0	0
• Landscaped Open Space		Minimum 40% of site area required (minimum 2m wide)	
	Required	40% of site or	280.720 sq.m
	Provided	37.1% of site	260.470 sq.m

Proposed Secondary Dwelling under SEPP (Affordable Rental Housing) 2009

REVISION	DATE	DRAWN BY	COMMENTS
B	16.11.20	DM	First floor roof pitch reduced to 22.5 degrees sewer main plotted on site plan
C	24.05.21	DM	Amended in accordance with updated Ardonet Report dated 23/05/2021

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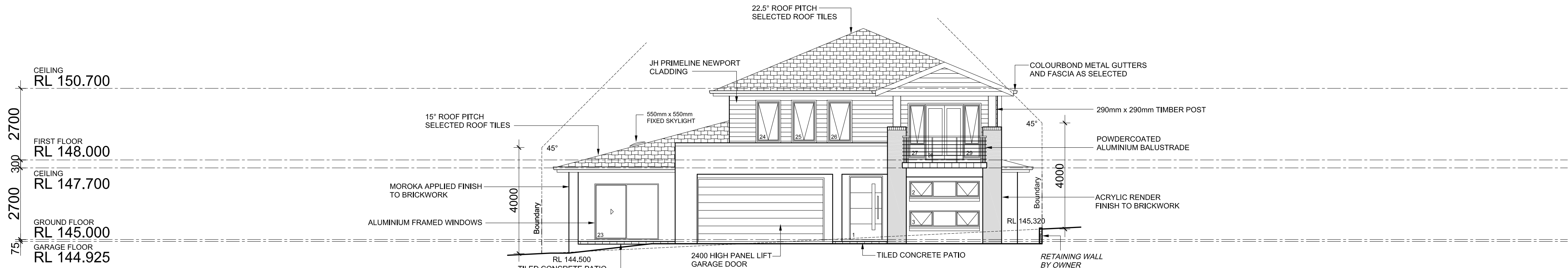
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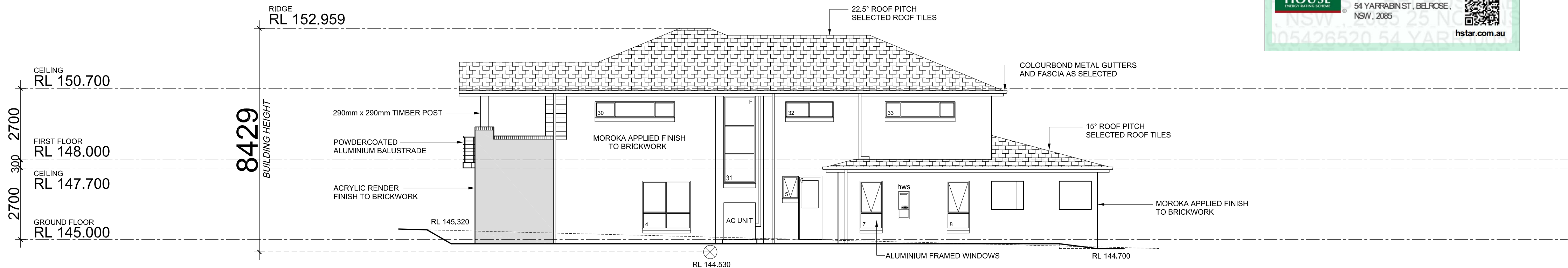
Site Plan, Floor Plans & Calculations
PROPOSED DWELLING & GRANNY FLAT

CLIENT: Mr & Mrs Kasmar
SITE ADDRESS: No.54 (Lot 3 in DP 224801) Yarrabin Street,
SUBURB: Belrose
COUNCIL: Northern Beaches
REVISION: C DATE: 24.05.2021

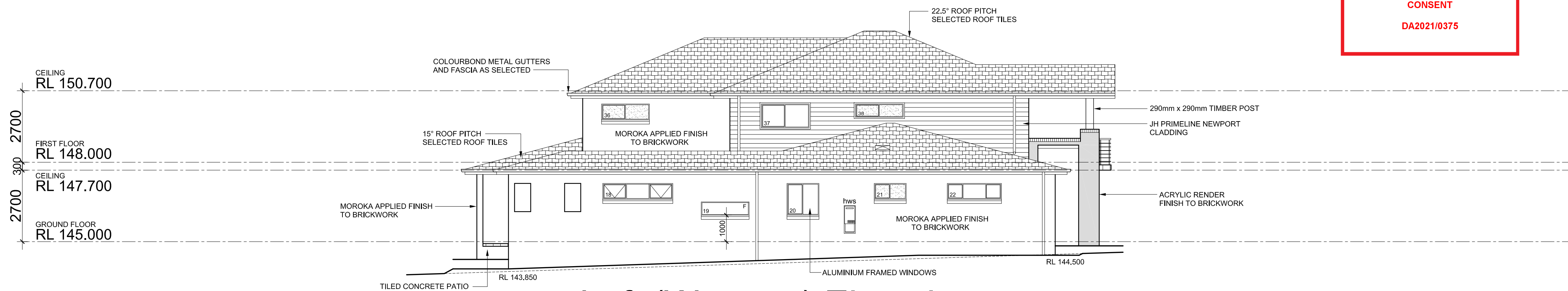
SCALE: 1 : 100
JOB No.: RL 5493
SHEET: 1 of 2



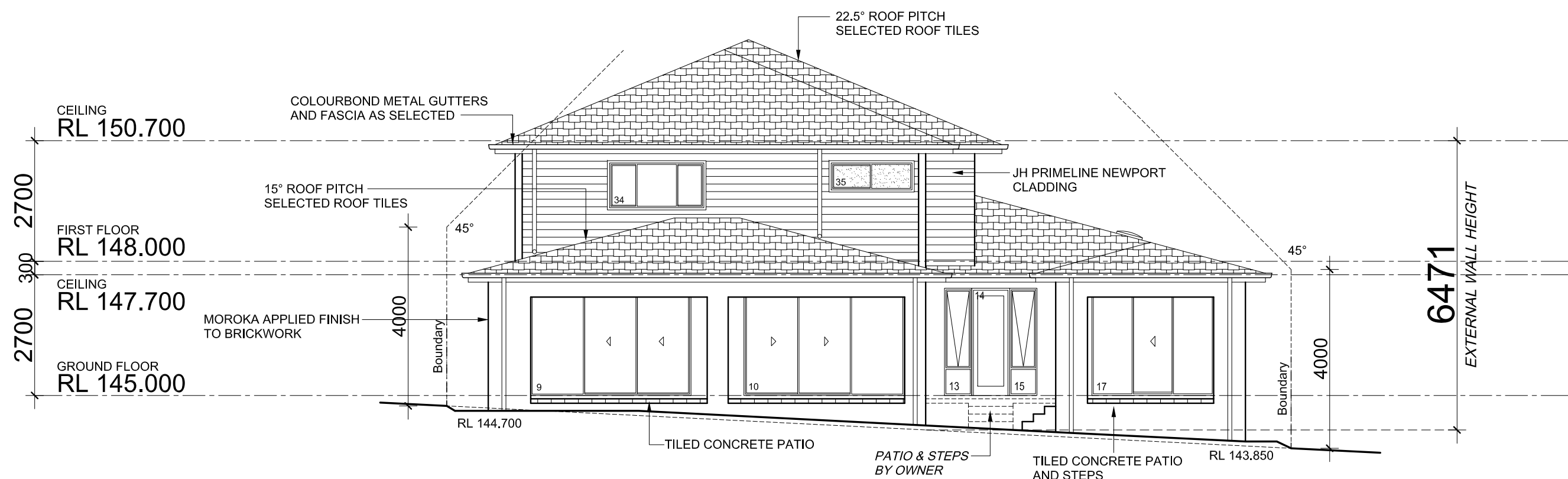
Yarrabin Street (Southern) Elevation



Right (Eastern) Elevation



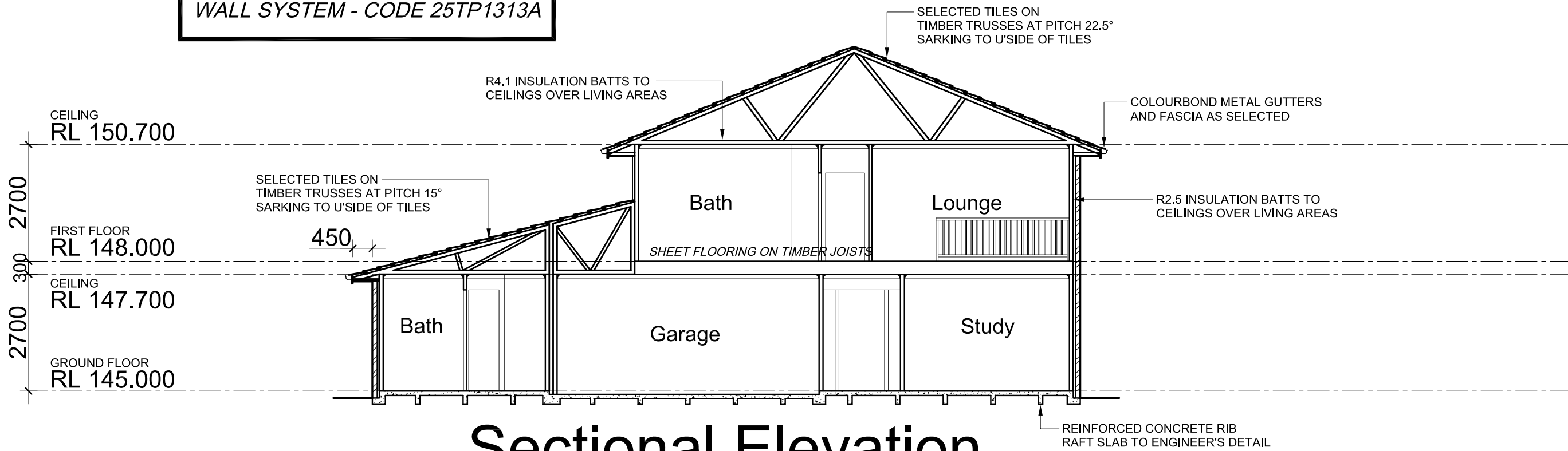
Left (Western) Elevation



Rear (Northern) Elevation



NOTE:
BORAL-SHAFT LINER PARTY
WALL SYSTEM - CODE 25TP1313A



Sectional Elevation

NOTE: BASIX CERTIFICATE MUST TAKE PRECEDENCE OVER THIS TEMPLATE

BASIX'S REQUIREMENT

ADDRESS: No 54 YARRABIN STREET, BELROSE
STORMWATER
PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE - Main Dwelling: Min 4700 litres / Granny Flat: Min 2300 litres
HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT - Main Dwelling: At least 206sqm / Granny Flat: At least 120sqm
RAINWATER TANK MUST SERVICE - All toilets, cold water washing machine taps & at least one outdoor tap per dwelling
WATER
SHOWERHEAD RATING - 3 Star (> 7.5 but <= 9 L/min)
TOILET FLUSHING SYSTEM RATING - 4 Star
KITCHEN TAP RATING - 4 Star
BATHROOM TAP RATING - 4 Star
THERMAL COMFORT / SIMULATION METHOD
PLEASE SEE ABSA NATHERS SPECIFICATION TABLE, CERTIFICATION NUMBER - 0005426520
ENERGY
ACTIVE COOLING FOR LIVING ROOMS - Main Dwelling: 3-Phase (EER 3.0 - 3.5) / Granny Flat: 1-Phase (5.5 Stars)
ACTIVE COOLING FOR BED ROOMS - Main Dwelling: 3-Phase (EER 3.0 - 3.5) / Granny Flat: N/A
ACTIVE HEATING FOR LIVING ROOMS - Main Dwelling: 3-Phase (EER 3.0 - 3.5) / Granny Flat: 1-Phase (5.5 Stars)
ACTIVE HEATING FOR BED ROOMS - Main Dwelling: 3-Phase (EER 3.0 - 3.5) / Granny Flat: N/A
WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED - 6 STAR GAS INSTANTANEOUS (both dwellings)
DOES THE KITCHEN HAVE NATURAL LIGHTING? YES (both dwellings)
DO BATHROOMS HAVE NATURAL LIGHTING? YES - 2 off to Main Dwelling / 1 off to Granny Flat
VENTILATION DETAILS? At least 1 Bathroom per dwelling: Ducted exhaust fan; Operation control: manual switch on / off Laundries: Main Dwelling - Natural Ventilation / Granny Flat - Ducted exhaust fan; Interlocked to light Kitchens: Ducted rangehood; Operation control: manual switch on / off
WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED? Gas Cooktop & Electric Oven (both dwellings)
IS THERE AN OUTDOOR CLOTHES DRYING AREA? YES - INDOOR or SHELTERED CLOTHESLINE (both dwellings)

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 1154874_04

REFER TO BASIX CERTIFICATE FOR ARTIFICIAL LIGHTING REQUIREMENTS

WINDOW SCHEDULE				
No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1		2388	1260	TIMBER ENTRY FRAME
2	AW0627	600	2650	AWNING
3	AW0627	600	2650	AWNING
4	SW1818	1800	1810	SLIDING
5	AW0906	900	610	AWNING
6		2388	881	TIMBER ENTRY FRAME
7	AW1809	1800	850	AWNING
8	AW1809	1800	850	AWNING
9	ASD2436-3	2400	3588	ALFRESCO (STACKER) DOOR
10	ASD2436-3	2400	3588	ALFRESCO (STACKER) DOOR
11	SW1227	1200	2650	SLIDING
12	FW1018	1029	1810	FIXED
13	AW2406	2400	610	AWNING
14	HD2409-L	2400	850	ALUMINIUM HINGED DOOR
15	AW2406	2400	610	AWNING
16	AW2406	2400	610	AWNING
17	SD2427-3	2400	2725	ALUM SLIDING DOOR
18	AW0627	600	2650	AWNING
19	FW0518	500	1810	FIXED
20	SW1212	1200	1210	SLIDING
21	SW0612	600	1210	SLIDING / OBSCURE GLASS
22	SW0621	600	2050	SLIDING
23	SD2424-2	2400	2410	ALUM SLIDING DOOR
24	AW1509	1457	850	AWNING
25	AW1509	1457	850	AWNING
26	AW1509	1457	850	AWNING
27	AW2106	2057	610	AWNING
28	HD2118	2100	1450	ALUMINIUM HINGED DOORS
29	AW2106	2057	610	AWNING
30	SW0630	600	3010	SLIDING
31	FW3312	3300	1210	FIXED
32	SW0618	600	1810	SLIDING
33	SW0627	600	2650	SLIDING
34	SW1021	1029	2050	SLIDING
35	SW0618	600	1810	SLIDING / OBSCURE GLASS
36	SW0618	600	1810	SLIDING / OBSCURE GLASS
37	SW0918	857	1810	SLIDING
38	SW0518	500	1810	SLIDING / OBSCURE GLASS

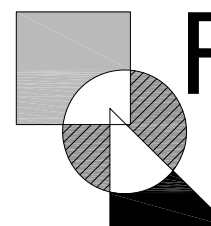
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HEAD OFFICE 02 9601 4088
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Suite 1, Level 1
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Elevations, Section & BASIX Commitments
PROPOSED DWELLING & GRANNY FLAT

CLIENT: Mr & Mrs Kasmar
SITE ADDRESS: No 54 (Lot 3 in DP 224801) Yarrabin Street,
SUBURB: Belrose SCALE: 1 : 100
COUNCIL: Northern Beaches JOB No.: RL 5493
REVISION: B DATE: 16.11.2020 SHEET: 2 of 2

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

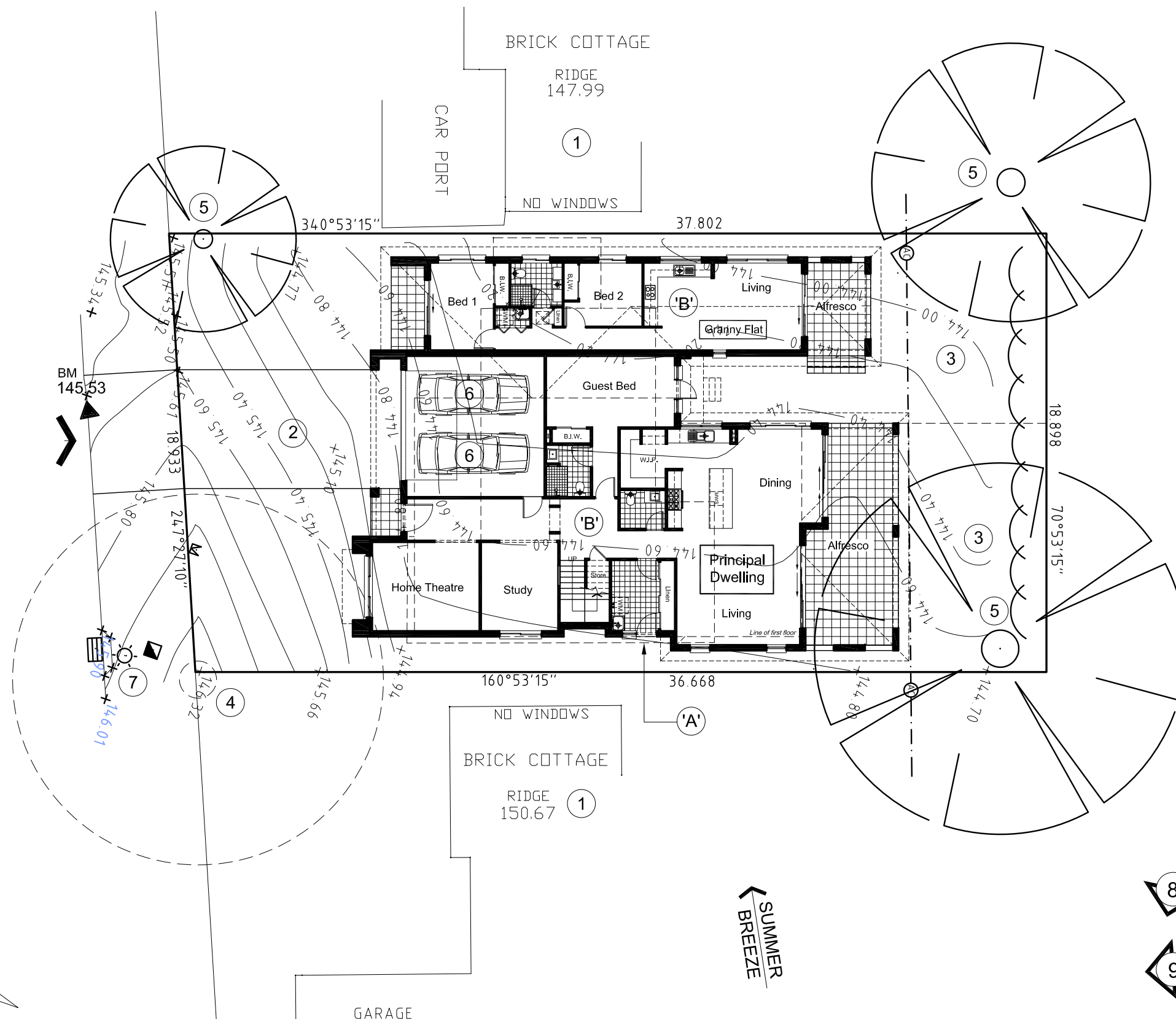
DA2021/0375

KEY

- 'A' EXISTING DWELLING & OUTBUILDINGS
- 'B' PROPOSED DWELLINGS
- 1 ADJOINING DWELLING/S
- 2 PROPOSED DRIVEWAY & VEHICULAR CROSSING
- 3 SECLUDED PRIVATE OPEN SPACE
- 4 EXISTING TREE/S TO BE REMOVED
- 5 EXISTING TREE/S TO BE RETAINED
- 6 CARPARKING SPACE/S
- 7 ELECTRICITY POLE
- 8 SCHOOL
- 9 RECREATIONAL FACILITIES

- CONTOURS
- VEHICULAR SITE ENTRY
- PREVAILING WINDS
- NOISE

- 8 WAKEHURST PUBLIC SCHOOL
900m
- 9 LIONEL WATTS SPORTS
& COMMUNITY CENTRE
1.1km



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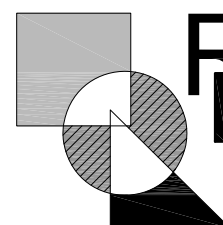
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Suite 1, Level 1
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SITE ANALYSIS PLAN

CLIENT: *Mr & Mrs Kasmar*
SITE ADDRESS: *No.54 (Lot 3 in DP 224801) Yarrabin Street,*
SUBURB: *Belrose* SCALE: 1 : 200
COUNCIL: *Northern Beaches* JOB No.: *RL 5493*
REVISION: *A* DATE: *18.12.2020* SHEET: *1 of 1*

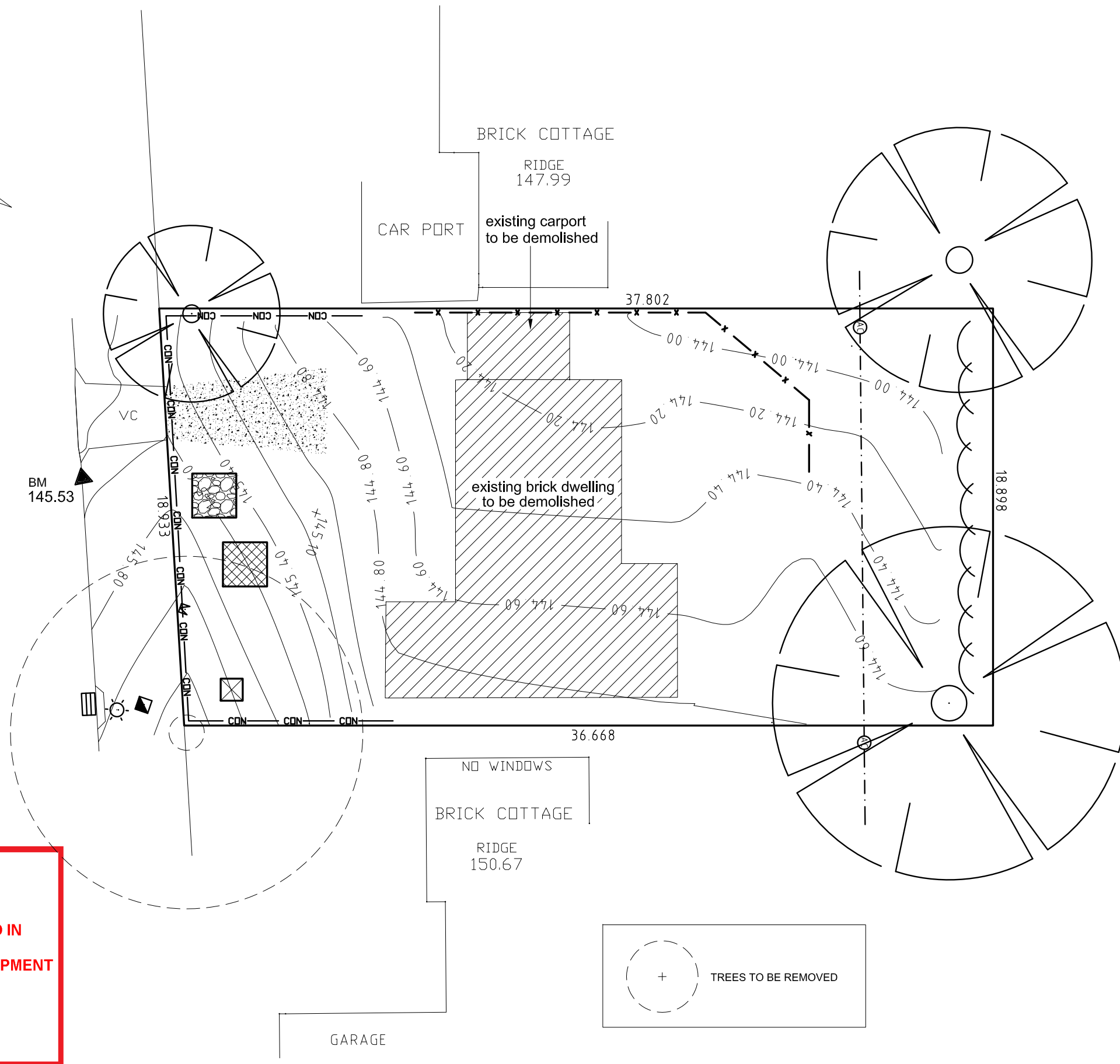
A3

YARRABIN STREET



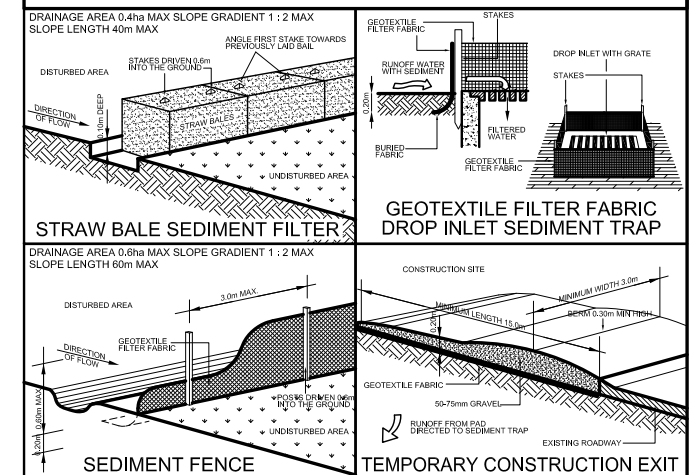
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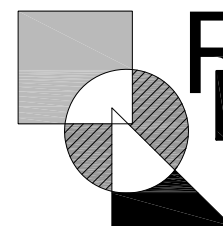
ACCOMPANY NOTES TO PLAN

- CONSTRUCTION VEHICLES ARE TO LEAVE & ENTER THE SITE OVER AN ALL WEATHER SURFACE CONSISTING OF COURSE CRUSHED STONE OR BLUE METAL CONSTRUCTED WITHIN THE FRONT SETBACK AREA OPPOSITE THE EXISTING FOOTPATH CROSSING.
- EXCAVATION MACHINERY ARE TO BE UNLOADED & LOADED UPON THIS ALL WEATHER SURFACE. CONCRETE PUMPS & TRUCKS WILL ALSO UTILISE THE ALL WEATHER SURFACE FOR THIER OPERATIONS.
- MATERIALS WILL BE UNLOADED UPON THE ALL WEATHER SURFACE WITHIN THE FRONT SETBACK AREA BY MEANS OF CRANES MOUNTED ON THE BACK OF DELIVERY TRUCKS OR UNLOADED BY HAND. IT IS NOT ENVISAGED THAT A MOBILE CRANE WILL BE REQUIRED DURING THE CONSTRUCTION PROCESS.
- SOME STOCKPIILING OF TOPSOIL REMOVED FROM THE BUILDING AREA MAY BE STORED ON THE SITE DURING THE CONSTRUCTION WITHIN THE PROPERTY IN AN AREA ENCLOSED WITHIN THE SEDIMENT CONTROL FENCING.
- ALL EXCAVATED & CONSTRUCTION MATERIALS, SHED, SKIP BINS, TEMPORARY WATER CLOSETS, SPOIL & EQUIPMENT, ETC SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL STAND ON COUNCIL FOOTPATHS FOR LARGE LENGTHS OF TIME.
- ALL RUBBISH & RECYCLABLE MATERIAL SHALL BE STOCKPILED IN WASTE BINS IN THE AREA NOMINATED ON THE SITE PLAN WITHIN THE SITE BOUNDARY. PUBLIC PROPERTY WILL BE KEPT FREE OF RUBBISH & RECYCLABLES AT ALL TIMES ANY WASTE MATERIALS SHALL BE REGULARLY COLLECTED FROM THE SITE & DISPOSED OF IN AN APPROPRIATE FASHION.
- ANY BUILDING / DEMOLITION WORKS INVOLVING ASBESTOS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELAVANT STANDARDS.
- VEHICLES LEAVING THE SITE WILL DO SO VIA THE ALL WEATHER BALLAST DRIVEWAY MADE OF COURSE AGGREGATE OR SIMILAR LOCATED WITHIN THE FRONT SETBACK AREA OF THE DEVELOPMENT. ANY DIRT OR MATERIAL DEPOSITED ON THE ROAD RESERVE OR ROADWAY IS TO BE PROMPTLY CLEANED.
- ANY EXCAVATED AREA REQUIRING SUPPORT WILL BE UNDERTAKEN BY THE OWNER USING STRUCTURALLY APPROVED RETAINING STRUCTURES.
- ADEQUATE SAFETY SIGNAGE MUST BE ERRECTED IN A PROMINENT POSITION ON THE WORK SITE, WARNING OF UNAUTHORISED ENTRY TO WORK SITE & INTENDING DANGERS.
- SAFETY FENCES SHALL BE PROVIDED AROUND ALL BOUNDARIES UNLESS A CONTINUOUS STRUCTURALLY ADEQUATE FENCE PRESENTLY EXISTS, THE FENCING SHALL BE ADEQUATE TO RESTRICT PUBLIC ACCESS TO THE SITE WHEN BUILDING WORK IS NOT IN PROGRESS OR THE SITE IS UNOCCUPIED.
- NOISE LEVELS SHALL BE KEPT BELOW COUNCIL REGULATION LEVELS. BUILDING & DEMOLITION WORKS SHALL ONLY BE CARRIED OUT BETWEEN HOURS & DAYS SPECIFIED BY COUNCIL.
- GEOTEXTILE FABRIC SHALL BE PLACED ON THE INSIDE OF THE SITE FENCING PRIOR TO SITE DISTURBANCE TO PREVENT SEDIMENT WASHING FROM CLEARED AND DISTURBED AREAS OF THE SITE INTO THE STORMWATER SYSTEM DURING CONSTRUCTION UNCONTAMINATED RUNOFF FROM CLEARED OR DISTURBED AREAS IS TO BE DIRECTED TO A TEMPORARY SILT ARRESTOR PIT THAT SHALL BE PROVIDED WITHIN THE SITE AT THE STREET BOUNDARY PROCESSING SITE STORMWATER BEFORE IT IS DISCHARGED TO THE STREET DRAINAGE SYSTEM OR WATERCOURSE.
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REVISION	DATE	DRAWN BY	COMMENTS

LEGEND TO SYMBOLS ON PLAN	
	TEMPORARY DRIVEWAY ACCESS TO SITE DURING DEMOLITION PHASE
	MATERIALS STOCKPILE AREA DURING DEMOLITION PHASE
	TEMPORARY ON SITE SANITATION FACILITIES
	WASTE STOCKPILE AREA DURING DEMOLITION PHASE
	SEDIMENT FENCING AS PER EPA REQUIREMENTS
	1.80m HIGH TEMPORARY FENCING TO SITE DURING CONSTRUCTION PHASE



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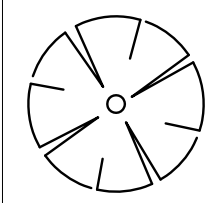
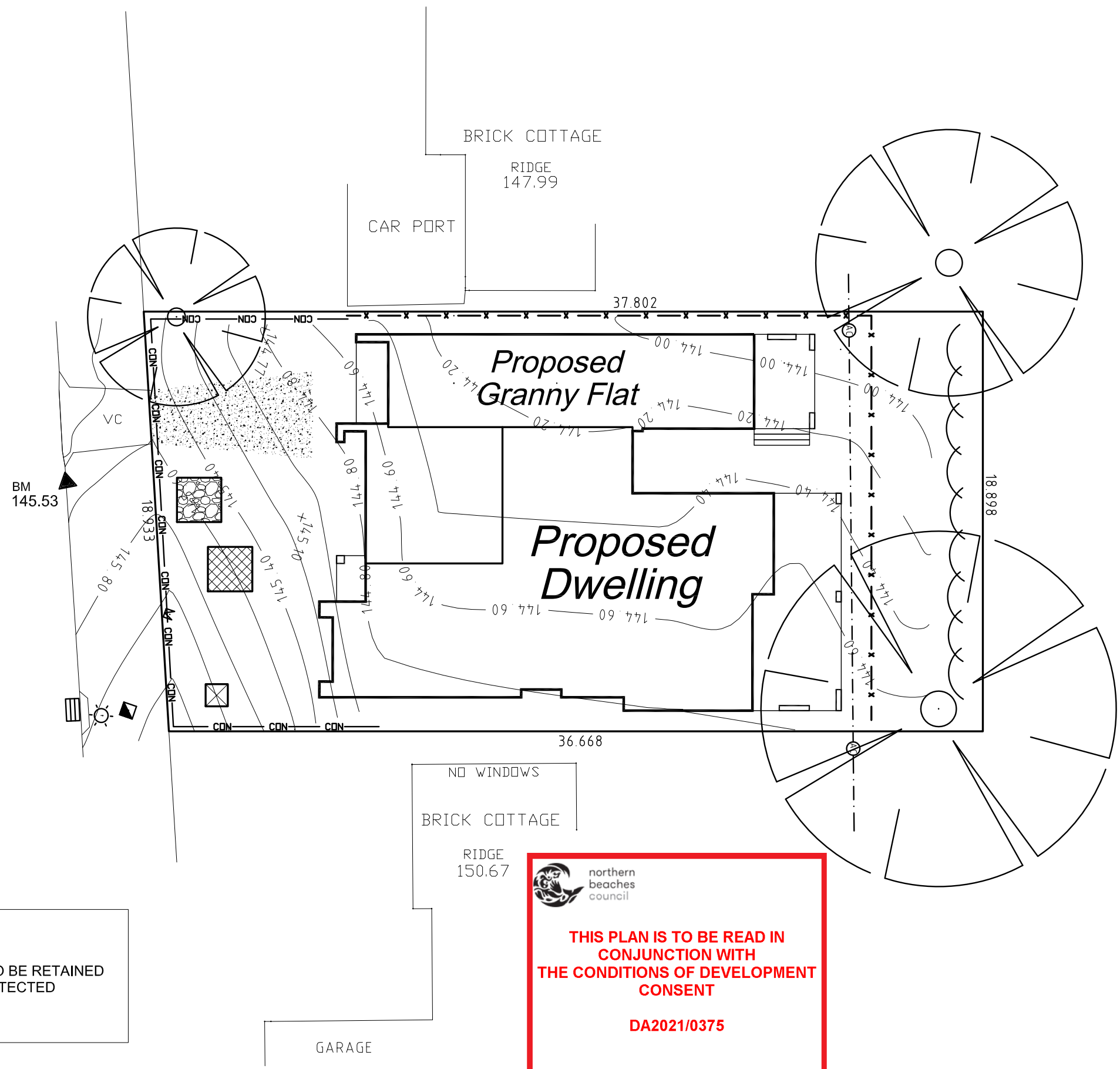
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DEMOLITION WORK PLAN

CLIENT: *Mr & Mrs Kasmar*
SITE ADDRESS: *No.54 (Lot 3 in DP 224801) Yarrabin Street,*
SUBURB: *Belrose* SCALE: *1 : 200*
COUNCIL: *Northern Beaches* JOB No.: *RL 5493*
REVISION: *A* DATE: *18.12.2020* SHEET: *1 of 1*



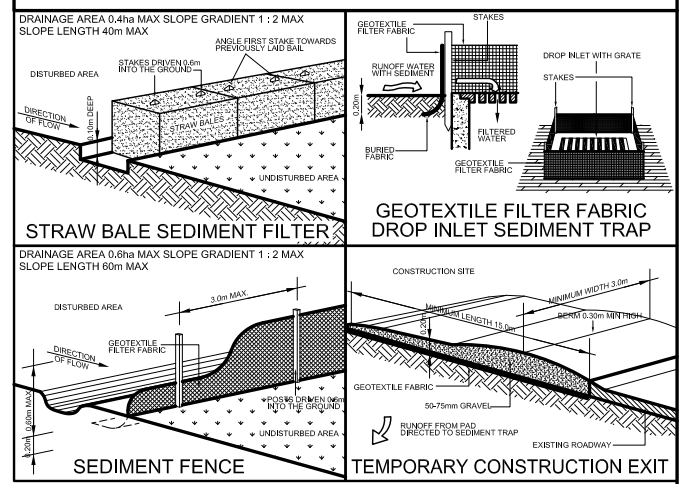
YARRABIN STREET









TREES TO BE RETAINED
AND PROTECTED

ACCOMPANY NOTES TO PLAN

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[illegible]

LEGEND TO SYMBOLS ON PLAN

	TEMPORARY DRIVEWAY ACCESS TO SITE DURING CONSTRUCTION PHASE		WASTE STOCKPILE AREA DURING CONSTRUCTION PHASE
	MATERIALS STOCKPILE AREA DURING CONSTRUCTION PHASE		SEDIMENT FENCING AS PER EPA REQUIREMENTS
	TEMPORARY ON SITE SANITATION FACILITIES		1.80m HIGH TEMPORARY FENCING TO SITE DURING CONSTRUCTION PHASE



**RESIDENTIAL
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Suite 1, Level 1
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EROSION & SEDIMENT CONTROL PLAN

CLIENT: <i>Mr & Mrs Kasmar</i>	
SITE ADDRESS: <i>No.54 (Lot 3 in DP 224801) Yarrabin Street,</i>	
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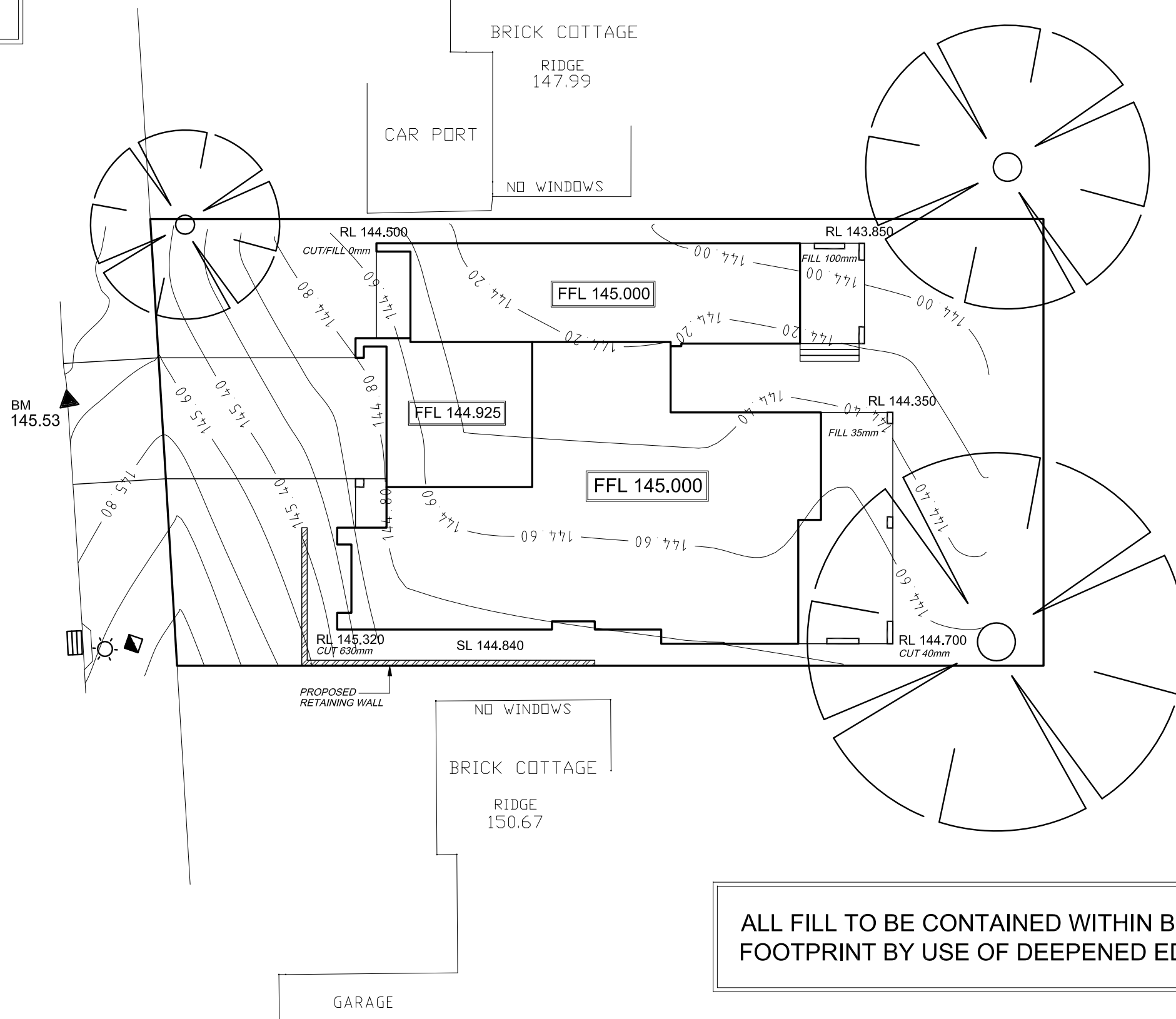
RL - Reduced (Existing) Level
SL - Proposed Surface Level

YARRABIN STREET

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0375



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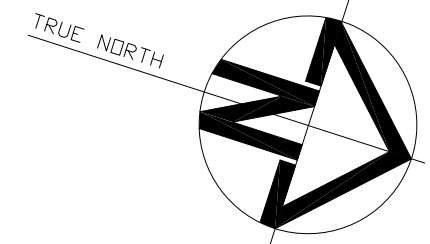
EXCAVATION & FILL PLAN

CLIENT: Mr & Mrs Kasmar
SITE ADDRESS: No.54 (Lot 3 in DP 224801) Yarrabin Street,
SUBURB: Belrose
COUNCIL: Northern Beaches
REVISION: A DATE: 18.12.2020

SCALE: 1 : 200
JOB No.: RL 5493
SHEET: 1 of 1

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0375



YARRABIN STREET

BM
145.53

SHADOW OUTLINE FOR 21 JUNE @ 9 AM

BRICK COTTAGE

RIDGE
147.99

CAR PORT

SHADOW OUTLINE FOR 21 JUNE @ 12 NOON

NO WINDOWS

*Proposed
Granny Flat*

*Proposed
Dwelling*

SHADOW OUTLINE FOR 21 JUNE @ 3 PM

NO WINDOWS

RIDGE
150.67

BRICK COTTAGE

GARAGE

SHADOW OUTLINE FOR 21 JUNE @ 9 AM

SHADOW OUTLINE FOR 21 JUNE @ 12 NOON

SHADOW OUTLINE FOR 21 JUNE @ 3 PM

REVISION	DATE	DRAWN BY	COMMENTS

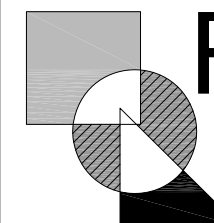
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www.masterton.com.au
HEAD OFFICE 02 9601 4066
SALES CENTRE 1300 4HOMES

MASTERTON HOMES PTY/LTD
CNR SAFFO RD & HUME HWY
WARWICK FARM NSW 2170
Lic. No.: 35558C
ABN. 52 002 873 047



**RESIDENTIAL
LOGISTICS P/L**

Suite 1, Level 1
208 -210 Northumberland St,
Liverpool NSW 2170

Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

SHADOW DIAGRAMS
(Winter Shadows)

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