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DA 003	Survey 1:200@A3	01
DA 004	Site Plan /Site Analysis	01
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DA 006	Notification Plans Plans	01
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List of Development Application Drawings



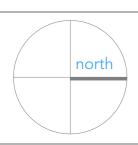
Location Plan/Satellite Imagery

Glazing Doors/ windows/ clerestory	Glazing Doors/Windows: Lourved windows or lourved windows combined with fixed glazing and sliding windows: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame)
Roof and ceilings	Plywood roofing with membrane, no insulation required Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding garage Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above. External Colour: Dark (SA>0.7)
External Walls	Lightweight cladding on framed walls with R2.50 insulation(insulation value only) Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled) with Kingspan K8 cavity board insulation to all other walls. Or minimum Total system to achieve R value of Rt2.10. No insulation required to external garage walls External Colour: Medium (0.475 <sa<0.7)< td=""></sa<0.7)<>
Internal walls	Single skin brick with R2.0 insulation only required to walls between garage and habitable areas Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled) with Kingspan K8 cavity board insulation to all other walls. Or minimum Total system to achieve R value of Rt2.10.
Floors	Concrete slab on ground, no insulation required Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas Concrete between levels, no insulation required where habitable rooms are above and below Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere
External Shading	Covered Porch and Alfresco. Eaves as per stamped plans
	Covered Porch and Alfresco. Eaves as per stamped plans BASIX Water Commitments
	· · ·
Shading	Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen
Shading Fixtures Alternative	Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank
Shading Fixtures Alternative	BASIX Water Commitments Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets
Shading Fixtures Alternative Water Hot water	BASIX Water Commitments Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets BASIX Energy Commitments
Shading Fixtures Alternative Water Hot water System Cooling	BASIX Water Commitments Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets BASIX Energy Commitments Gas storage(not rated)
Fixtures Alternative Water Hot water System Cooling system Heating	Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets BASIX Energy Commitments Gas storage(not rated) Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0
Shading Fixtures Alternative Water Hot water System Cooling system Heating system	BASIX Water Commitments Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets BASIX Energy Commitments Gas storage(not rated) Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 Gas fixed flued heater (not rated) Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/ off switch

Thermal Comfort Specifications

BASIX Notes





studio_deC**A**RTA



Drawn:
Plot Date:
Project NO.:
Project Status:

30/3/21
: WBR0002
us: DEVELOPMENT APPLICATION

ent: Celia Hooper

AdeC

266 WHALE BEACH ROAD WHALE BEACH NSW 2107 NOTE

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by studio_decarta and is to be used only for work when authorised in writing by studio_decarta

All boundaries and contours are subject to survey drawing **W-01**. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

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DRAWING :

General

Drawing List | Site Location Plan | BASIX

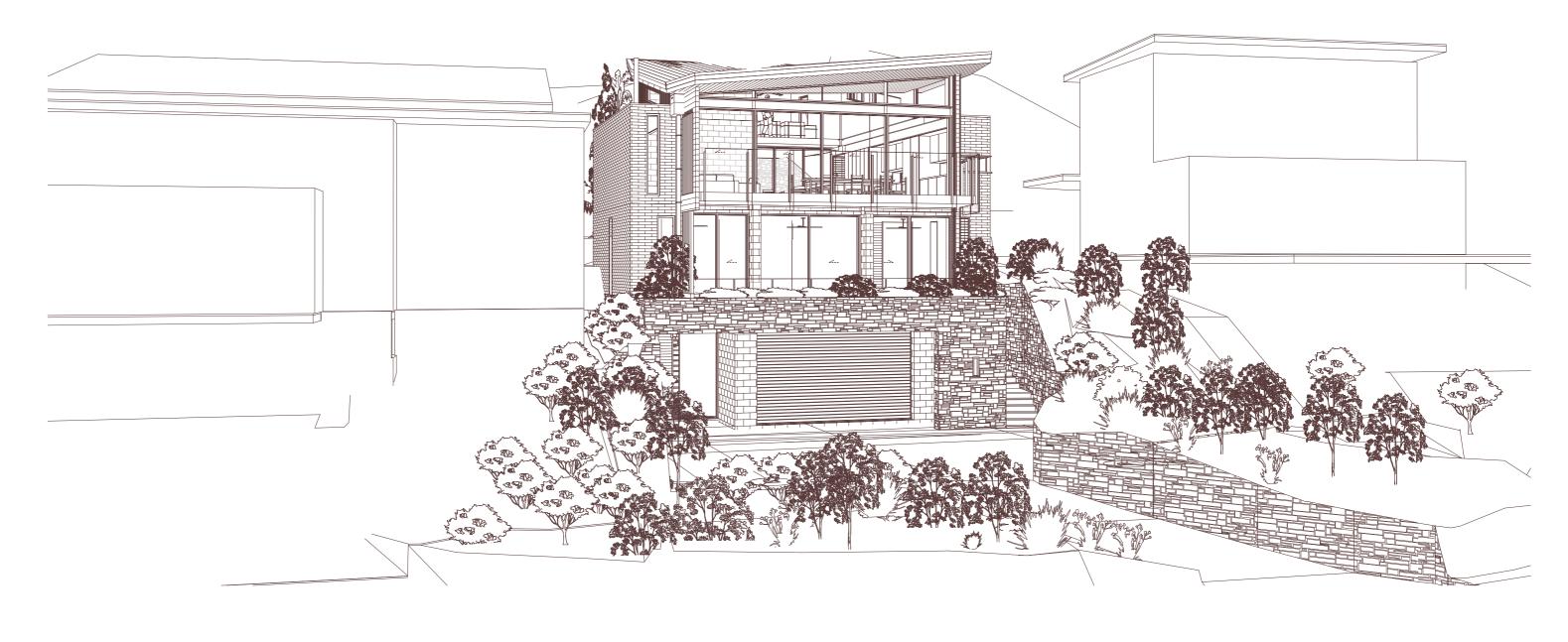
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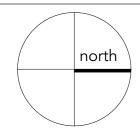
DRAWING NO.

REVISION NO.

266 WHALE BEACH ROAD







Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530





Drawn: AdeC 30/3/21 WBR0002 DEVELOPMENT APPLICATION

Celia Hooper

266 WHALE BEACH ROAD Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site: WHALE BEACH NSW 2107

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General MONTAGE 001

266 WHALE BEACH ROAD

REVISION NO. 01

DRAWING NO.









Drawn: AdeC Plot Date:

12/4/21 WBR0002 DEVELOPMENT APPLICATION

Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

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General MONTAGE 002

REVISION NO.

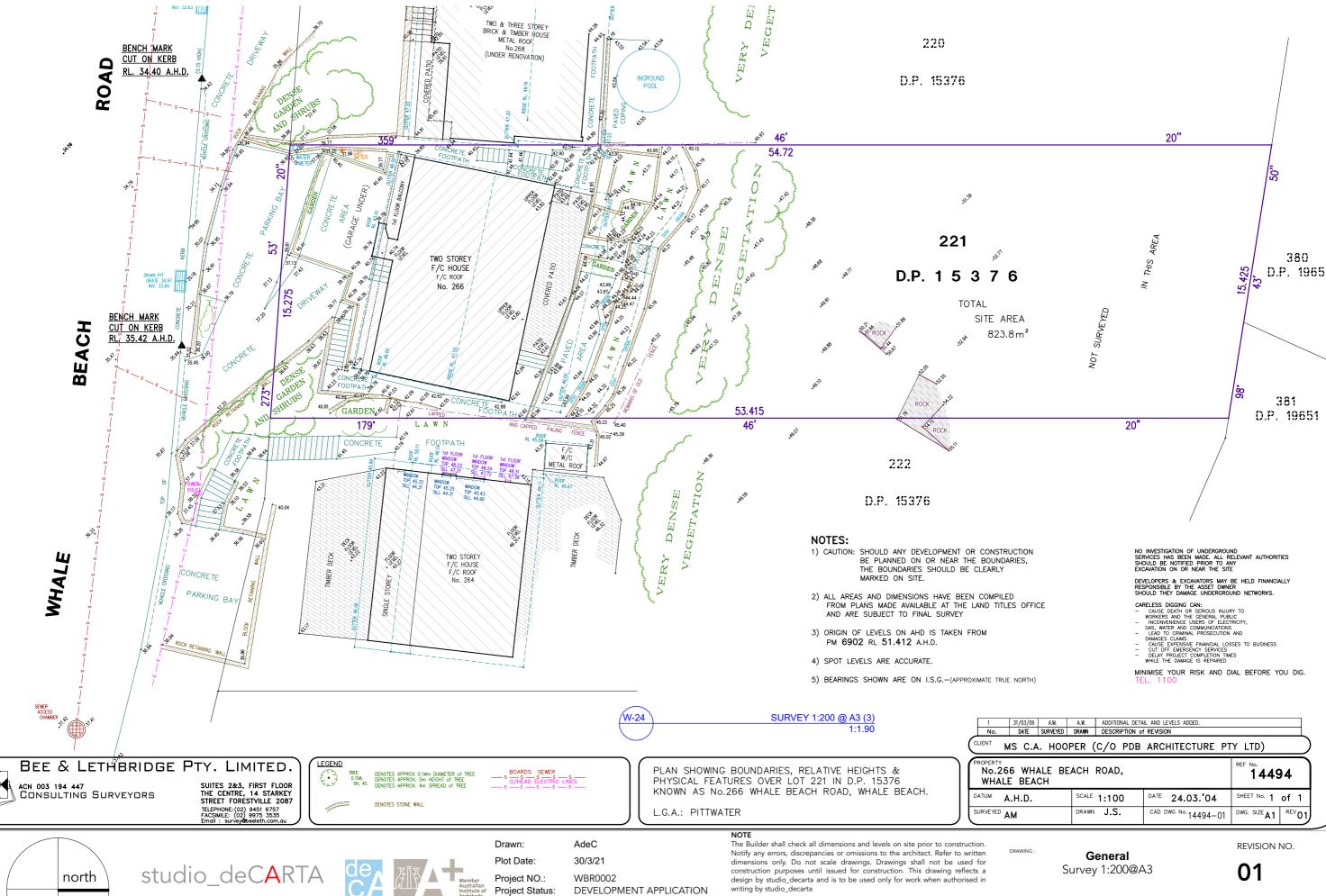
01

DRAWING NO.

266 WHALE BEACH ROAD

Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

DA 002A





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Celia Hooper

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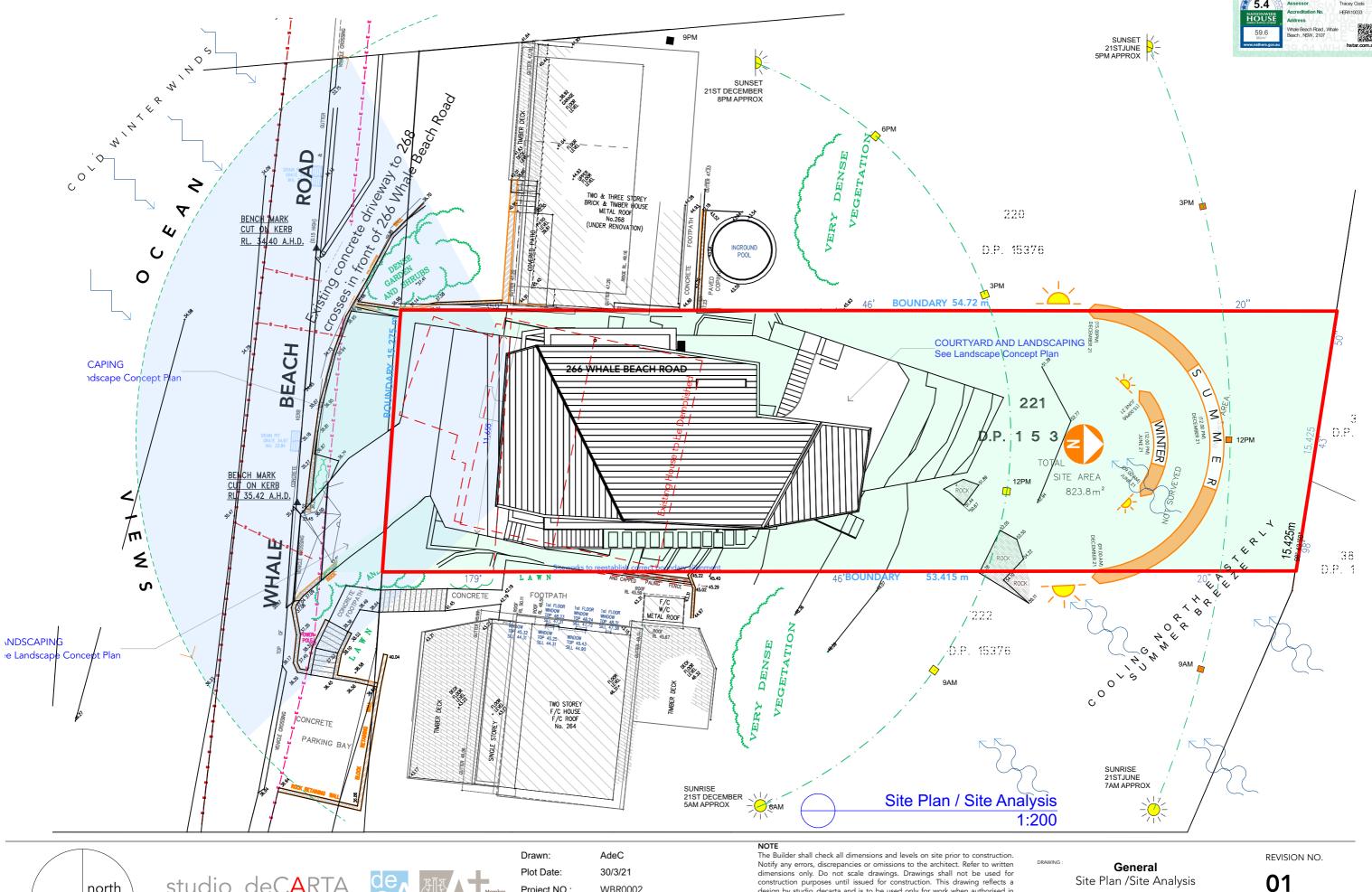
All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm al

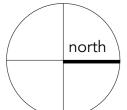
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measurements on site and locations of any services prior to work on site.

DRAWING NO.

266 WHALE BEACH ROAD





Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530

Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:



Project NO.: WBR0002

Project Status: DEVELOPMENT APPLICATION Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

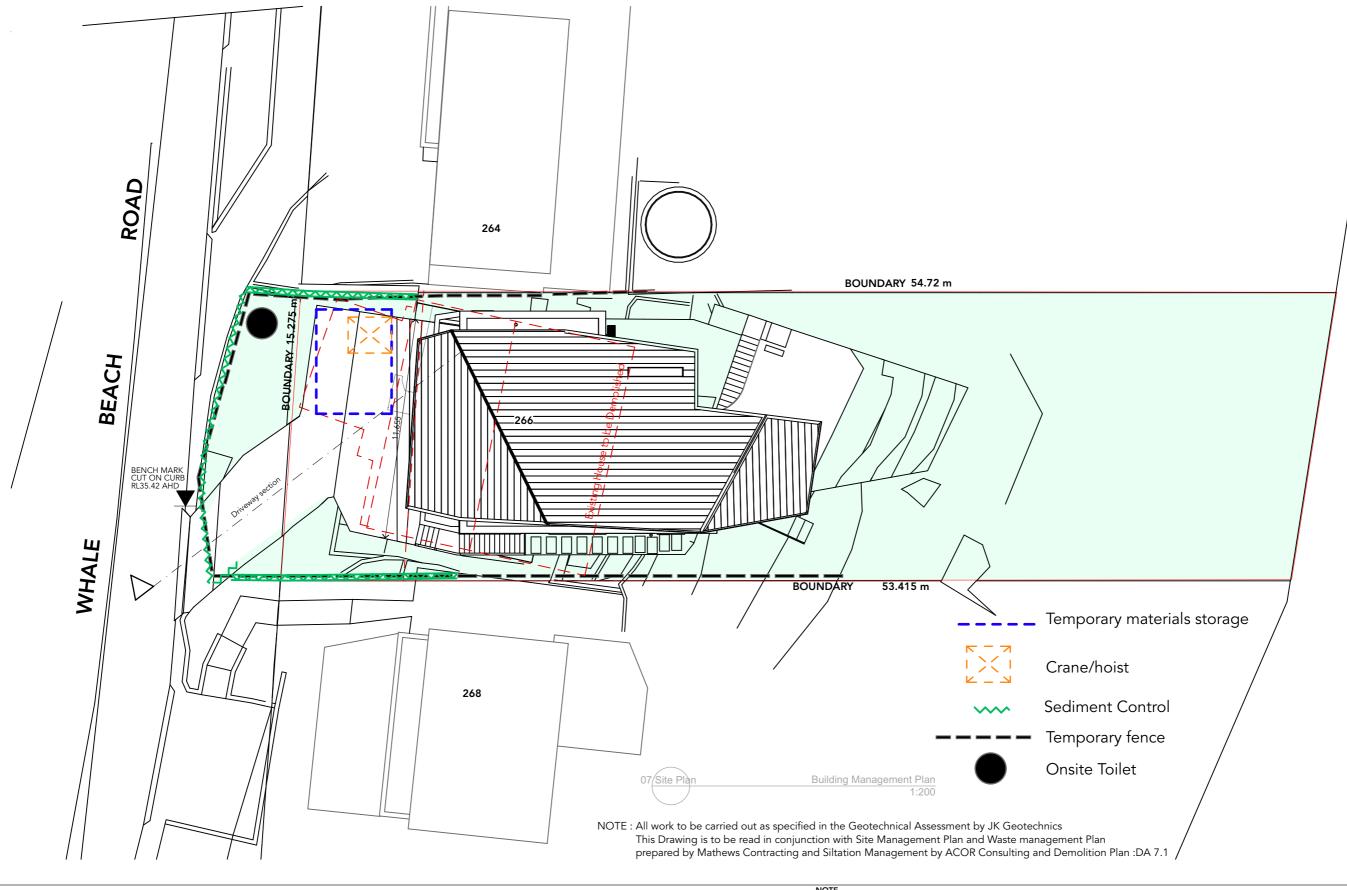
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266 WHALE BEACH ROAD

DRAWING NO.









Drawn: AdeC Plot Date: Project NO.:

9/4/21 WBR0002

DEVELOPMENT APPLICATION Project Status: Celia Hooper

WHALE BEACH NSW 2107

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General

Building Management Plan

01

REVISION NO.

DRAWING NO.

DA 005

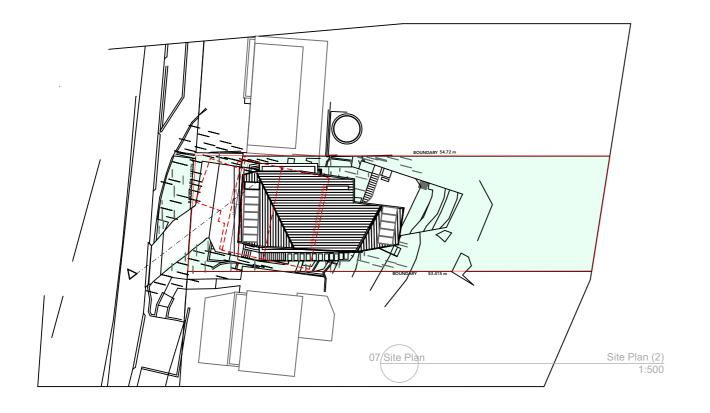
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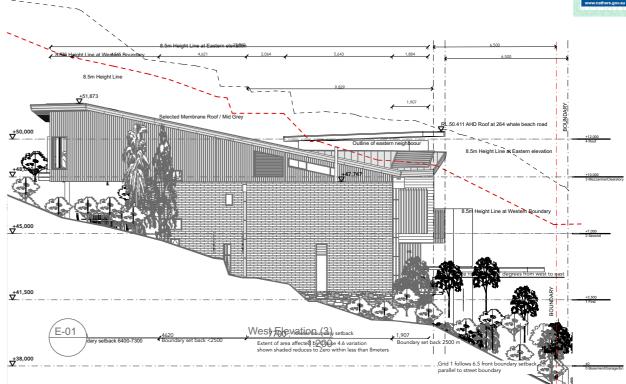
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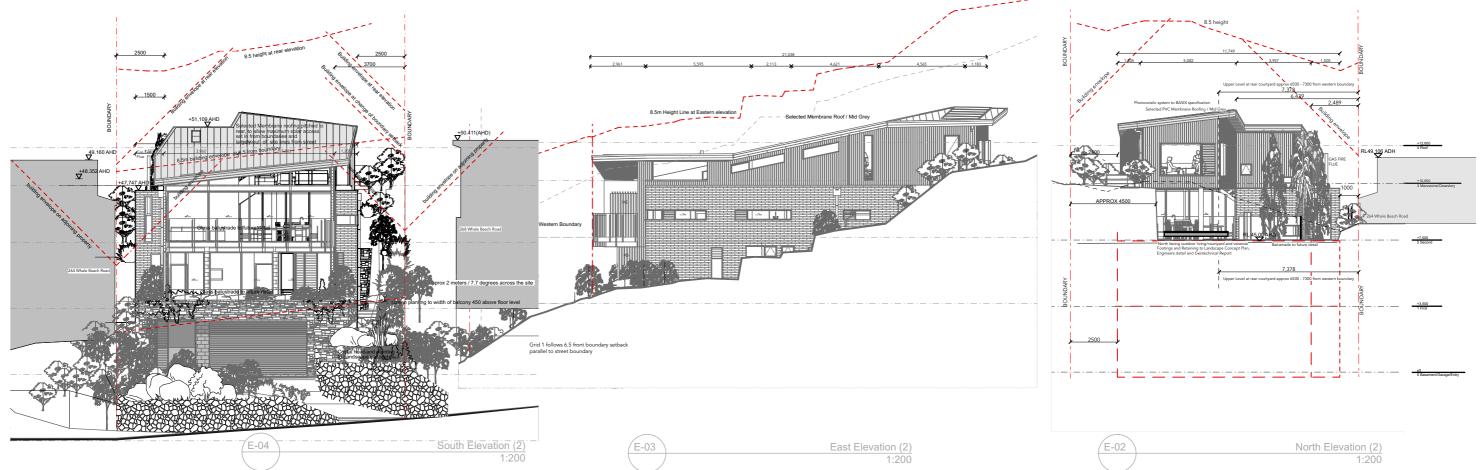
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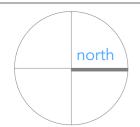
Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:











Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530



Plot Date:

Drawn: AdeC 30/3/21 WBR0002 Project NO.: DEVELOPMENT APPLICATION Project Status:

266 WHALE BEACH ROAD

WHALE BEACH NSW 2107

Celia Hooper

Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

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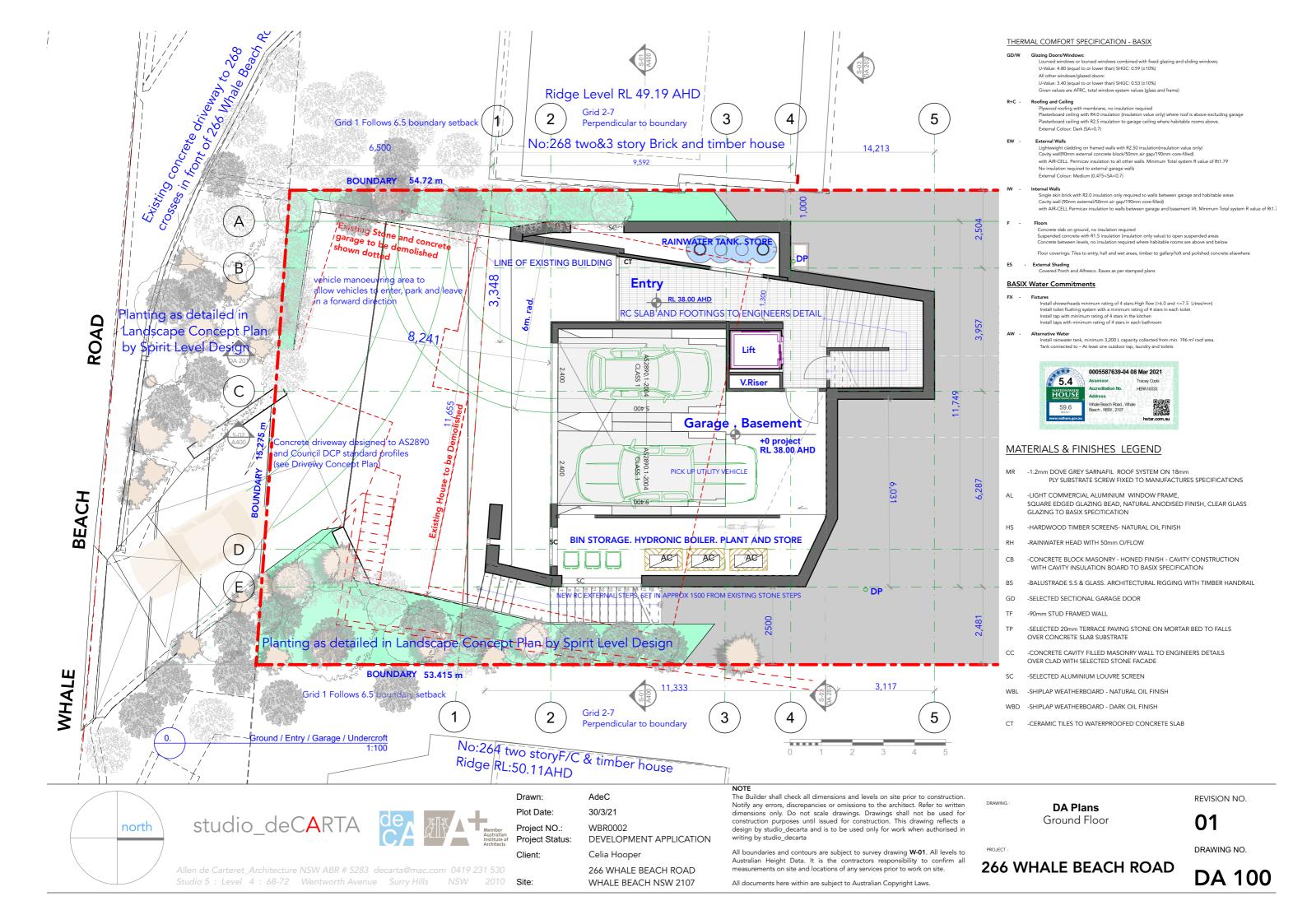
All boundaries and contours are subject to survey drawing **W-01**. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

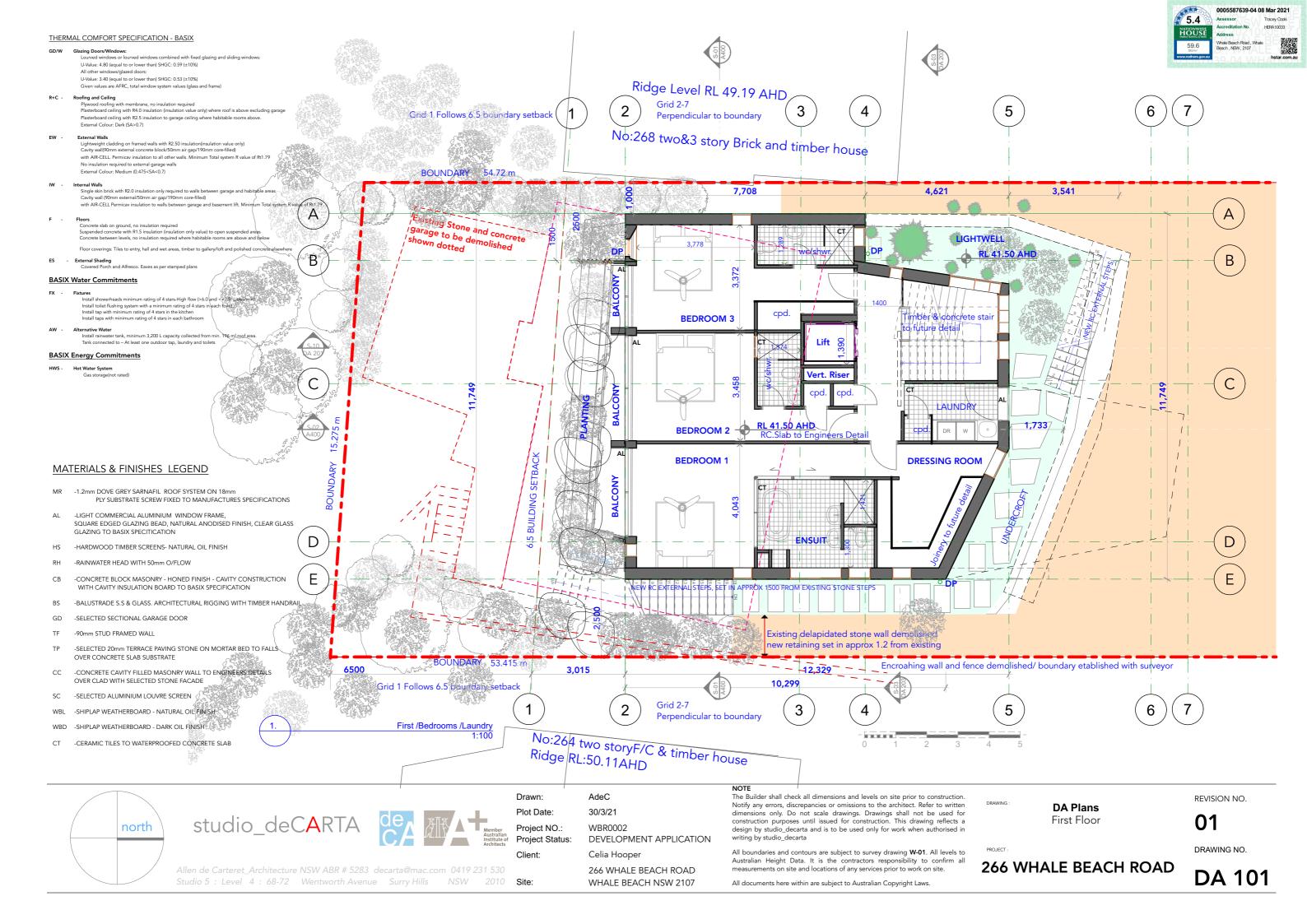
All documents here within are subject to Australian Copyright Laws.

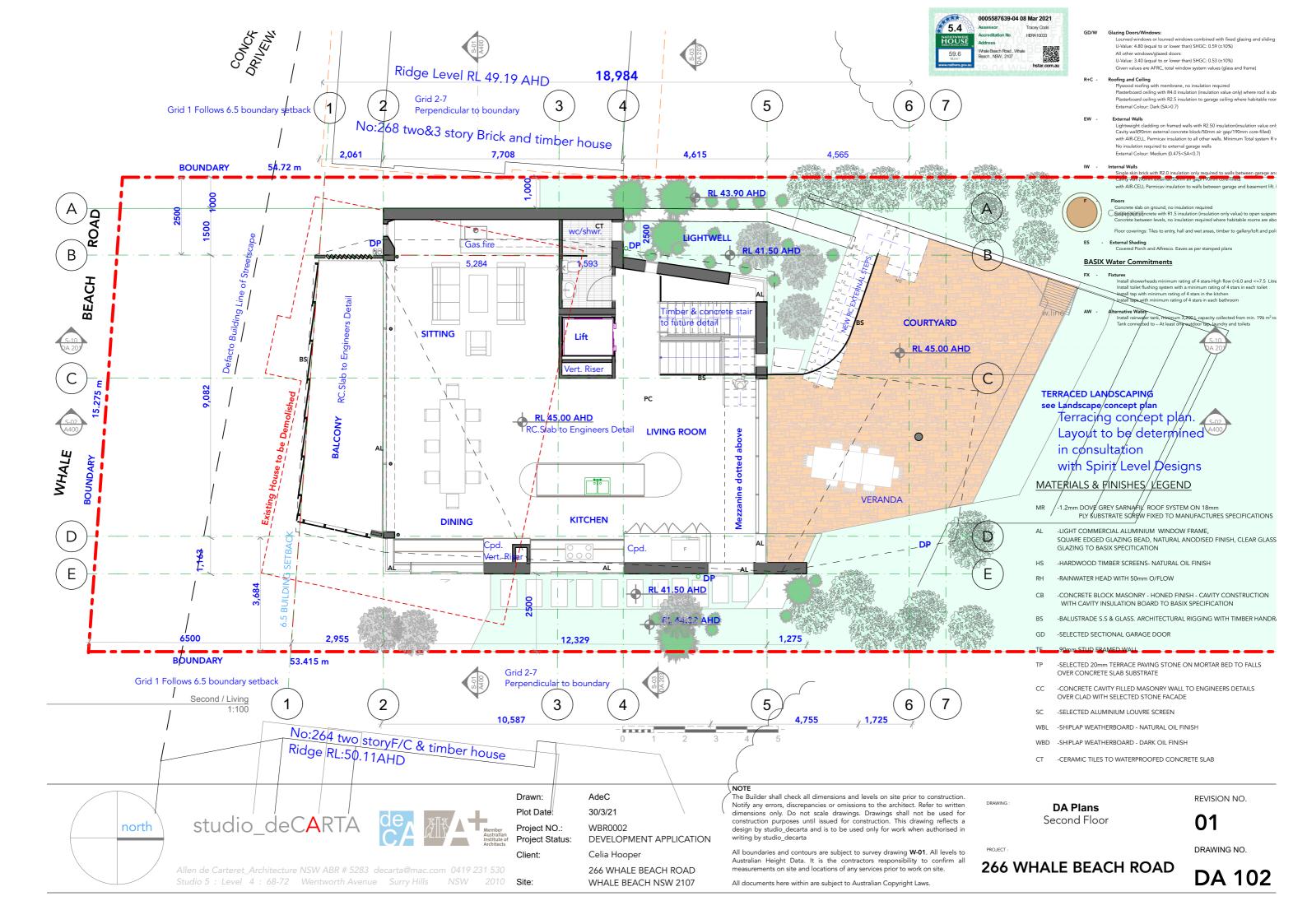
General Notification Plans Plans REVISION NO. 01

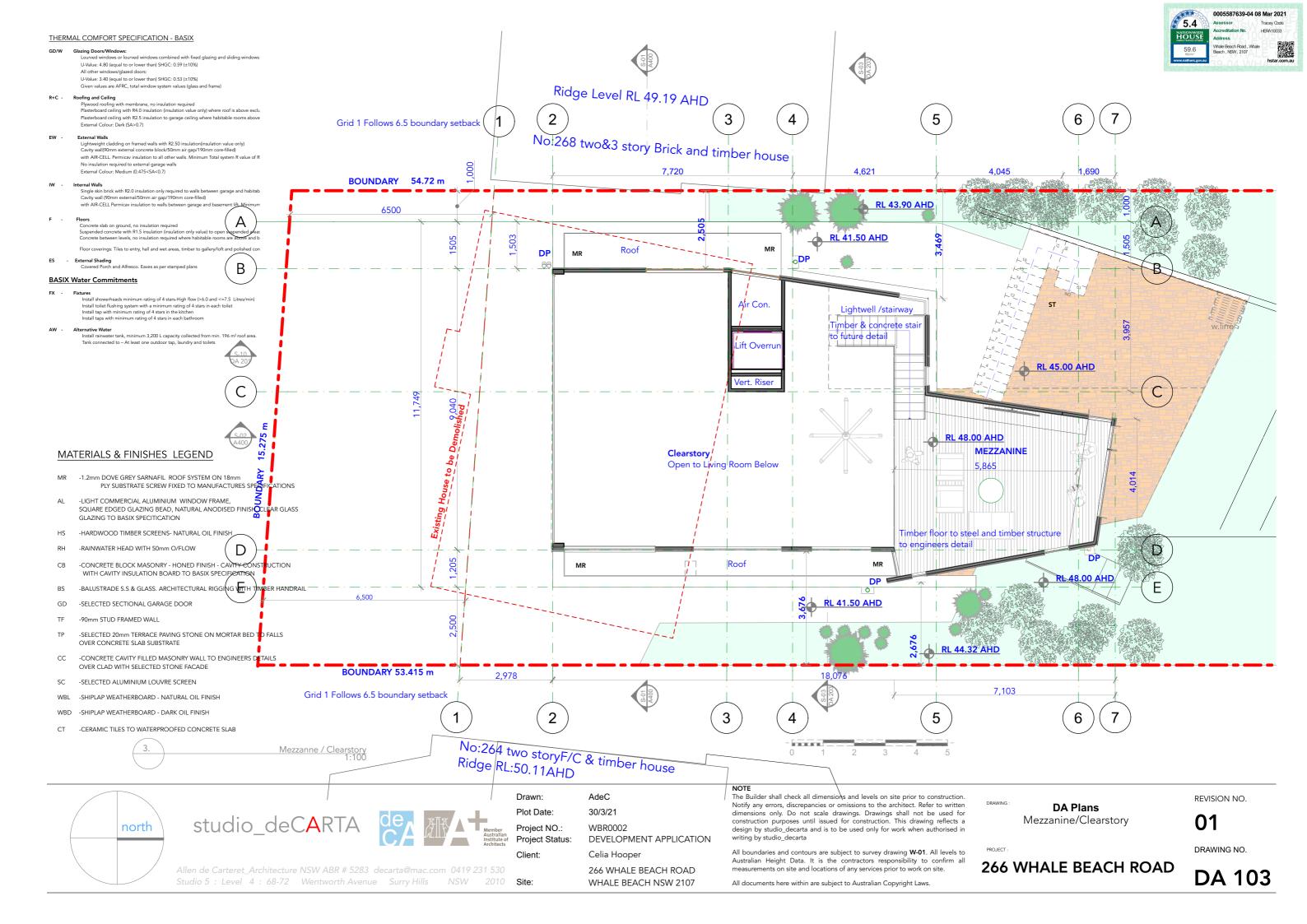
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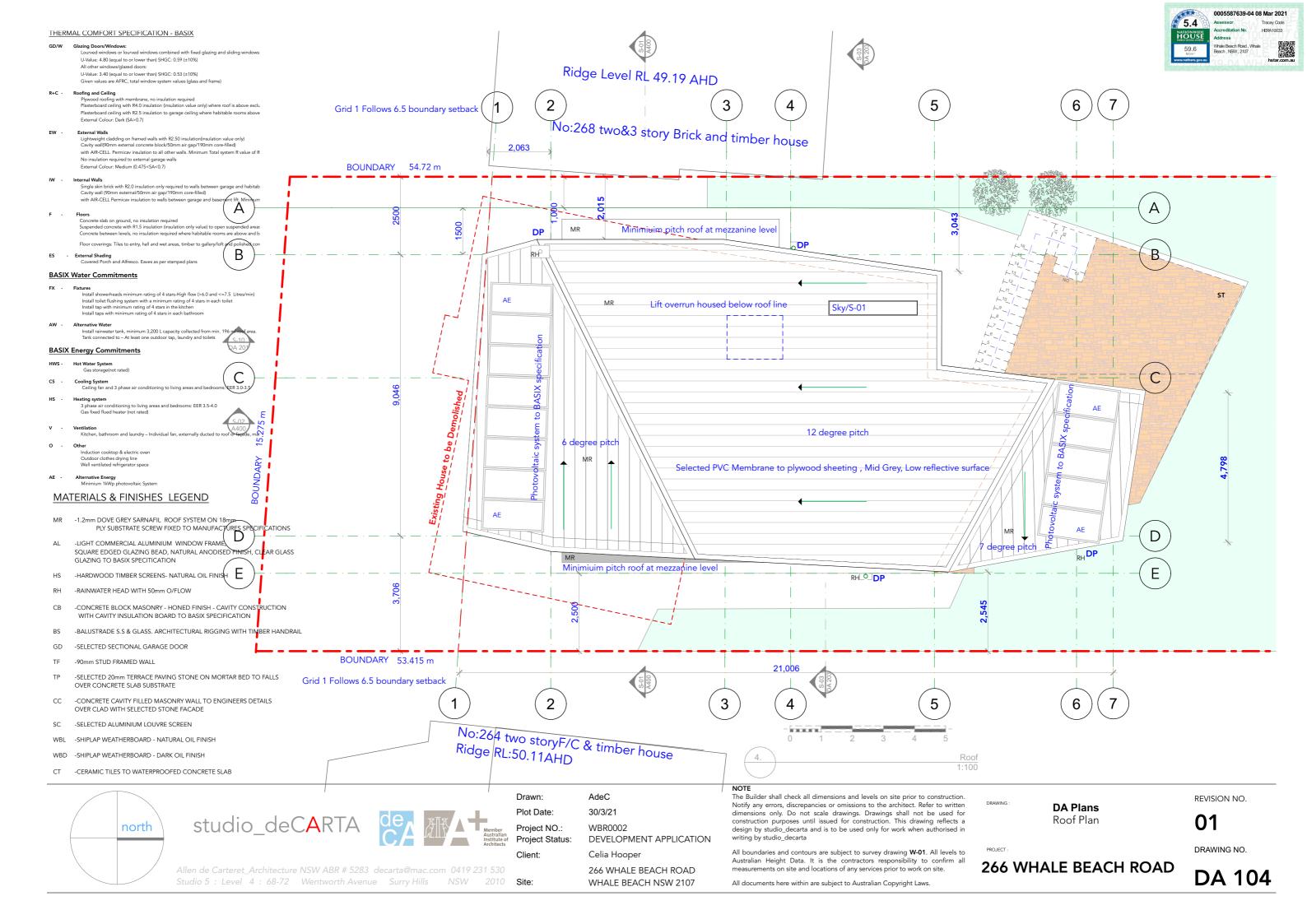
266 WHALE BEACH ROAD

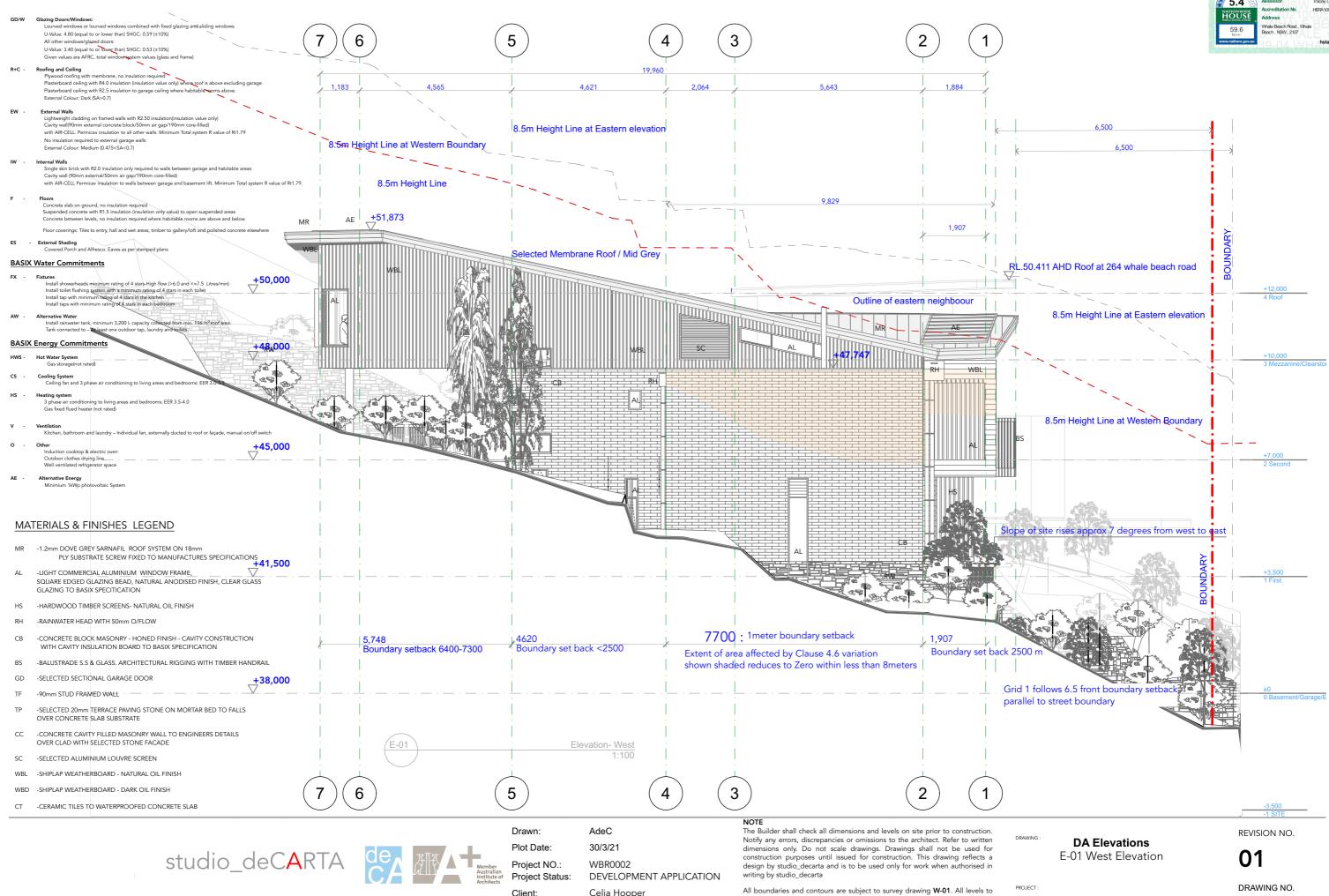












Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

Australian Height Data. It is the contractors responsibility to confirm al measurements on site and locations of any services prior to work on site.

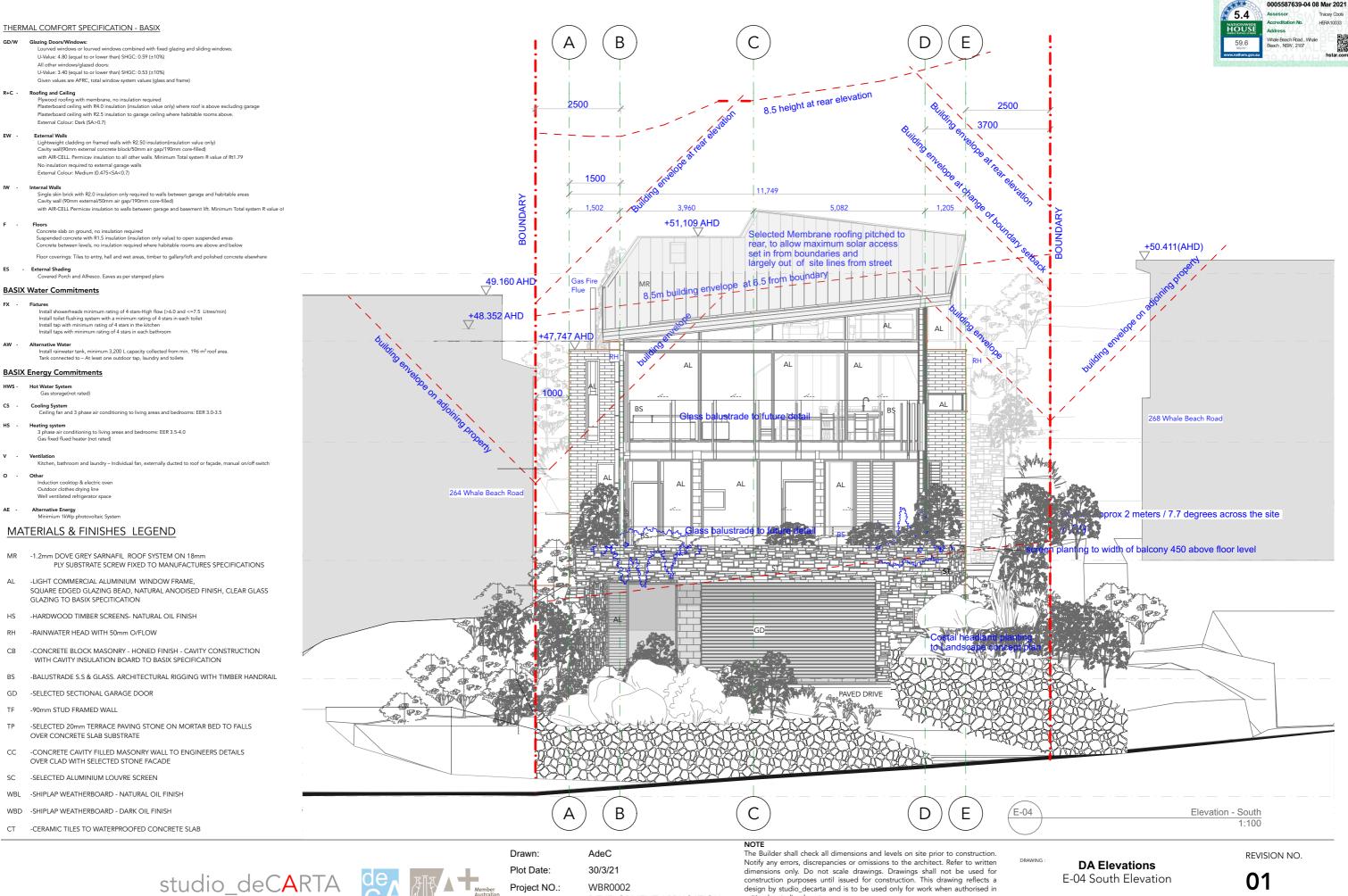
DA 300

0005587639-04 08 Mar 2021

Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

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266 WHALE BEACH ROAD







DEVELOPMENT APPLICATION Project Status:

Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

writing by studio_decarta

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm al

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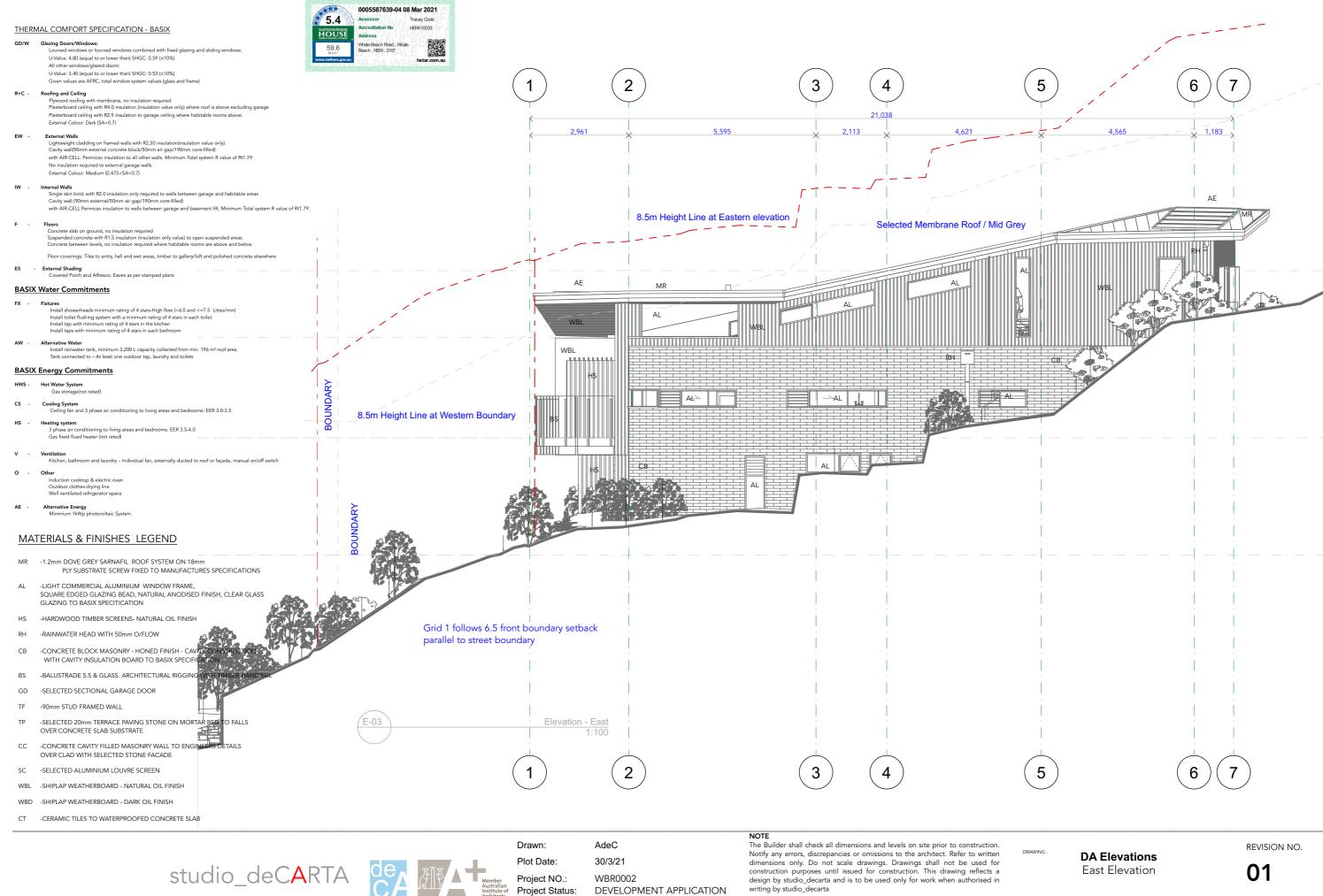
DA 301

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Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

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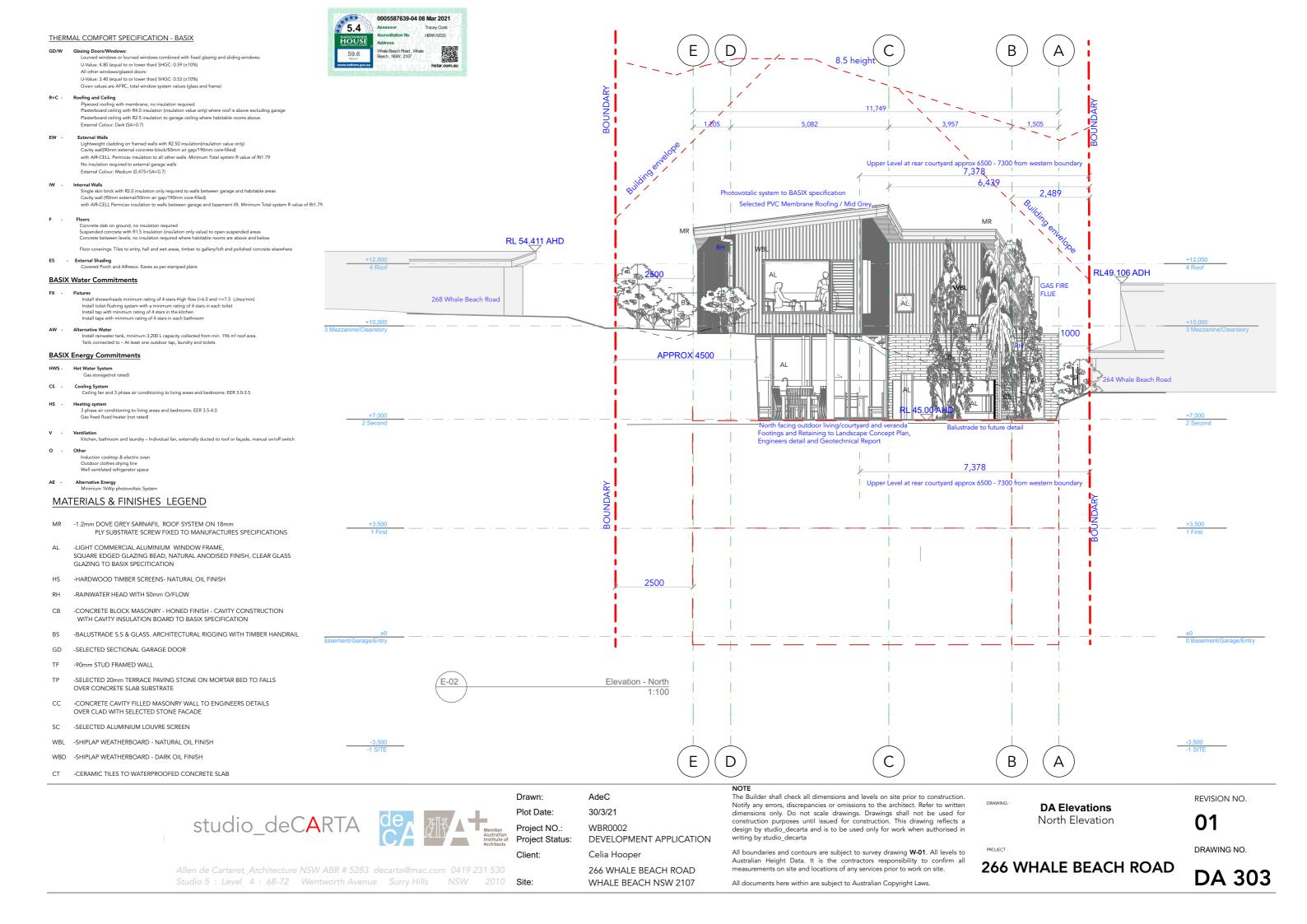
266 WHALE BEACH ROAD Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site: WHALE BEACH NSW 2107

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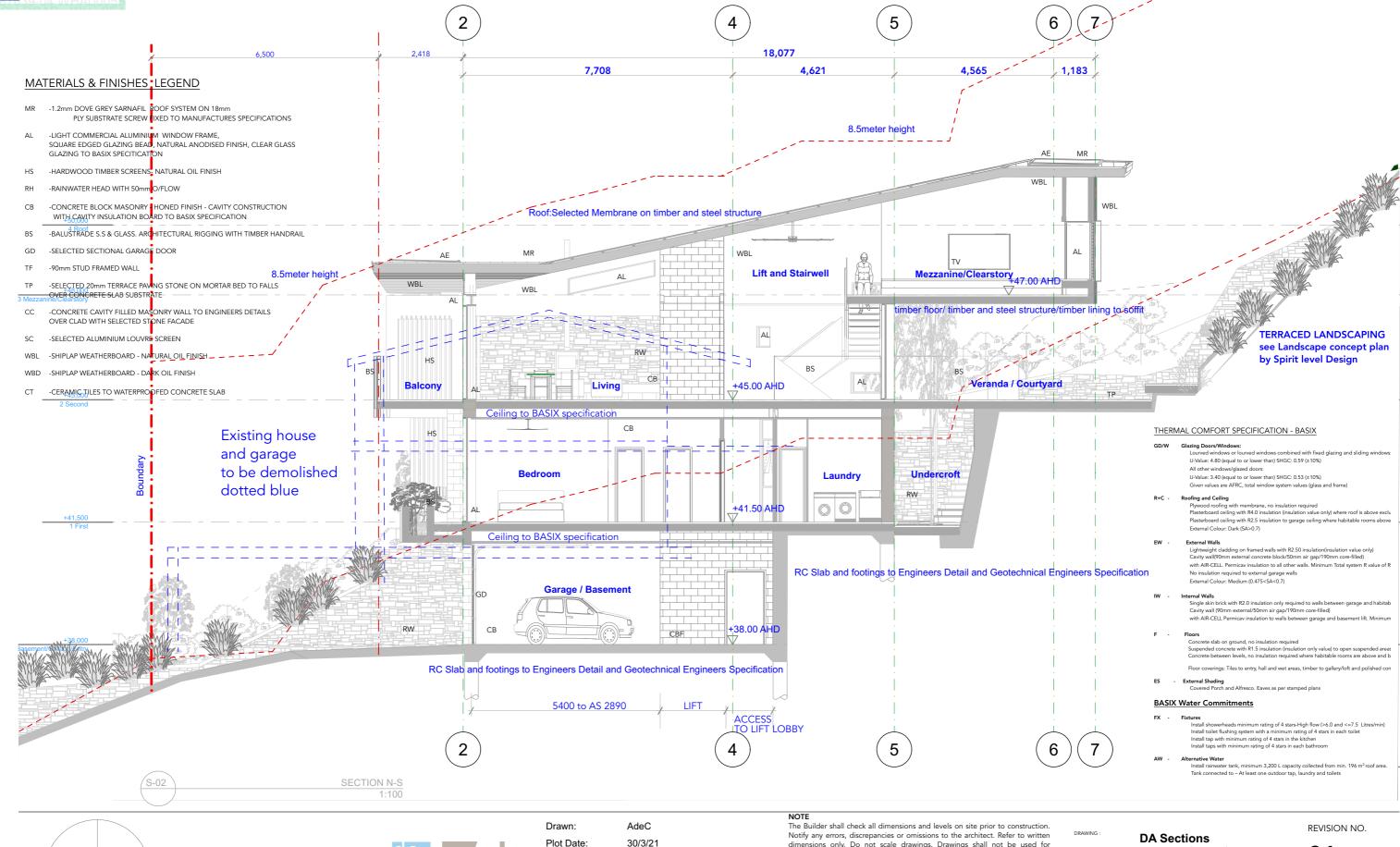
DRAWING NO.

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Project NO.:

30/3/21 WBR0002 Project Status: DEVELOPMENT APPLICATION

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266 WHALE BEACH ROAD Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site: WHALE BEACH NSW 2107

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Section North South

01

DRAWING NO.

266 WHALE BEACH ROAD

THERMAL COMFORT SPECIFICATION - BASIX

Glazing Doors/Windows

ed windows or lourved windows combined with fixed glazing and sliding windows

5.4

HOUSE

U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)

U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) values are AFRC, total window system values (glass and frame

Roofing and Ceiling

ining air ceining

Phywood roofing with membrane, no insulation required

Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above exclu

Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above

External Colour: Dark (SA>0.7) External Walls

Lightweight cladding on framed walls with R2.50 insulation(insulation value only)

Cavity wall(90mm external concrete block/50mm is ear (400) with AIR-CELL. Permicav insulation to all other walls. Minimum Total system R value of R No insulation required to external garage walls External Colour: Medium (0.475<SA<0.7)

Internal Walls

Single skin brick with R2.0 insulation only required to walls between garage and habitab

Cavity wall (90mm external/50mm air gap/190mm core-filled)

Floors
Concrete slab on ground, no insulation required
Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas
Concrete between levels, no insulation required where habitable rooms are above and b

coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished con

External Shading

Covered Porch and Alfresco. Eaves as per stamped plans

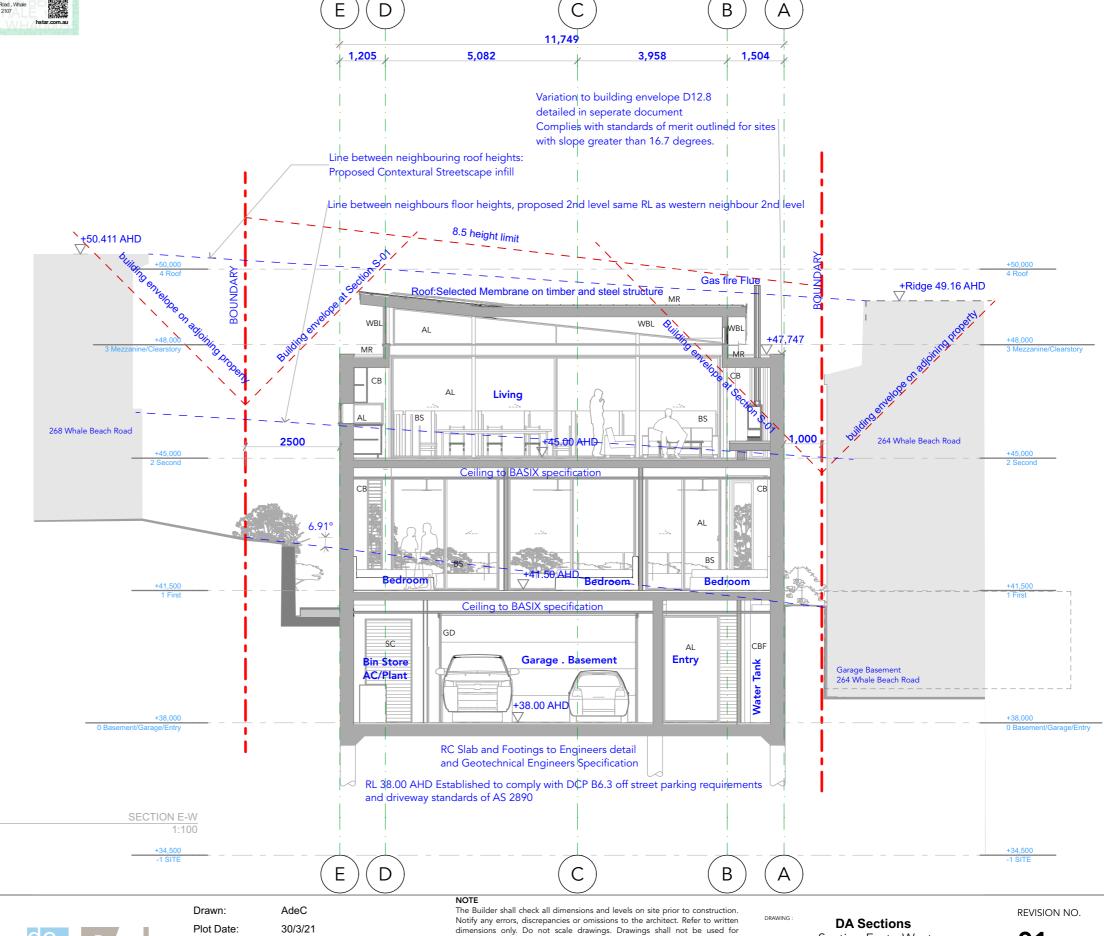
BASIX Water Commitments

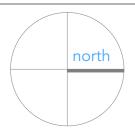
heads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroon

Alternative Water
Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area.
Tank connected to – At least one outdoor tap, laundry and toilets

MATERIALS & FINISHES LEGEND

- -1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS
- -LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECITICATION
- -HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH
- -RAINWATER HEAD WITH 50mm O/FLOW
- -CONCRETE BLOCK MASONRY HONED FINISH CAVITY CONSTRUCTION CB WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION
- -BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL
- -SELECTED SECTIONAL GARAGE DOOR
- -90mm STUD FRAMED WALL
- -SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE
- -CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS CC OVER CLAD WITH SELECTED STONE FACADE
- SC. -SELECTED ALUMINIUM LOUVRE SCREEN
- -SHIPLAP WEATHERBOARD NATURAL OIL FINISH WBL
- WBD -SHIPLAP WEATHERBOARD - DARK OIL FINISH
- CT -CERAMIC TILES TO WATERPROOFED CONCRETE SLAB









WBR0002 Project NO.: Project Status: DEVELOPMENT APPLICATION

Celia Hooper

WHALE BEACH NSW 2107

construction purposes until issued for construction. This drawing reflects a design by studio_decarta and is to be used only for work when authorised in writing by studio_decarta

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Section East - West

01

266 WHALE BEACH ROAD

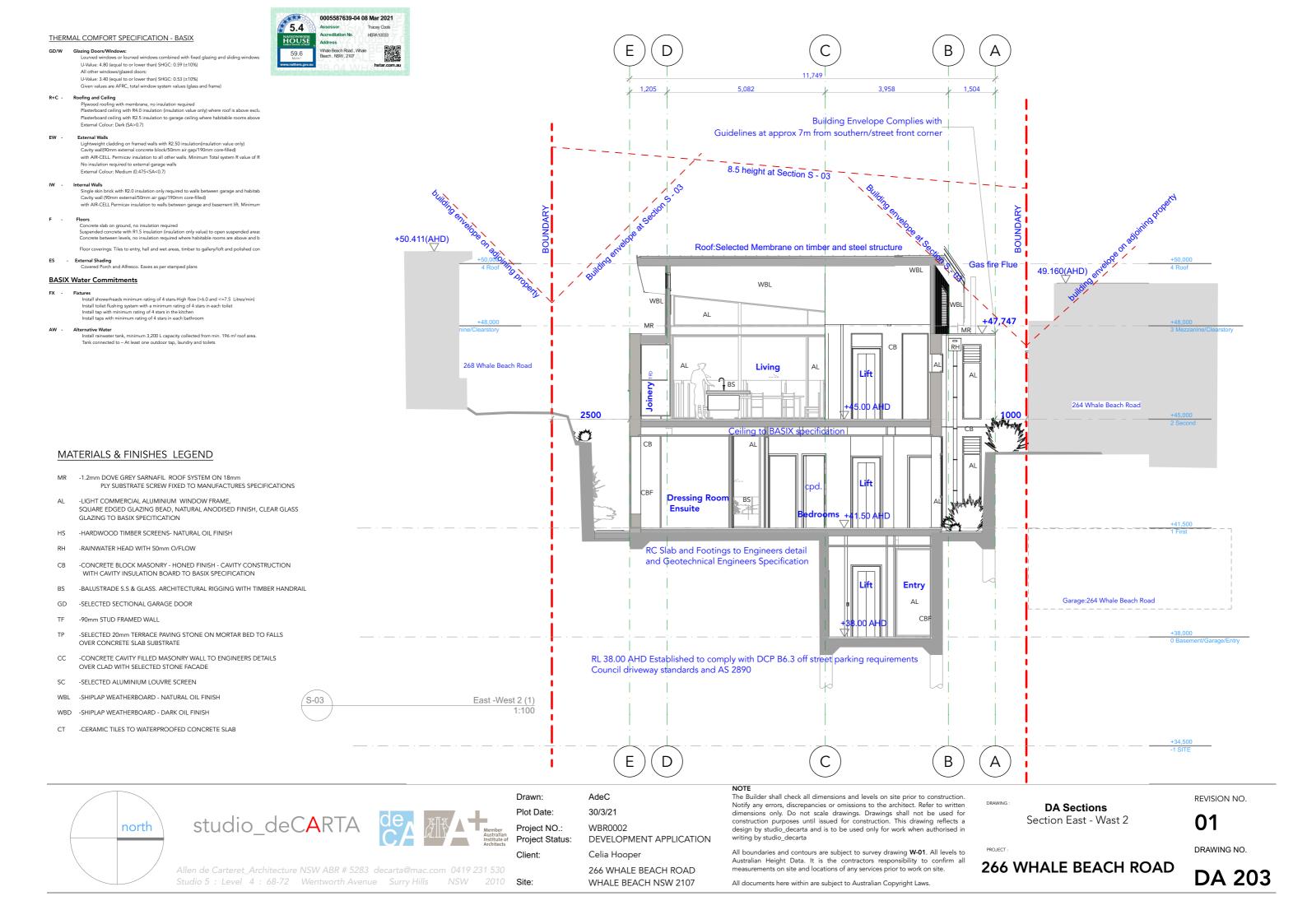
DA 202

DRAWING NO.

Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

266 WHALE BEACH ROAD

measurements on site and locations of any services prior to work on site.



THERMAL COMFORT SPECIFICATION - BASIX Glazing Doors/Window

U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%)

Plywood roofing with membrane, no insulation required
Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above exclu
Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above External Colour: Dark (SA>0.7)

External Walls

Lightweight cladding on framed walls with R2.50 insulation(insulation value only)

Cavity wall(90mm external concrete block/50mm ext with AIR-CELL. Permicav insulation to all other walls. Minimum Total system R value of R External Colour: Medium (0.475<SA<0.7)

nternal Walls
Single skin brick with R2.0 insulation only required to walls between garage and habitab
Cavity wall (90mm external/50mm air gap/190mm core-filled)

with AIR-CELL Permicav insulation to walls between garage and basement lift. Minimum

Floors
Concrete slab on ground, no insulation required
Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas
Concrete between levels, no insulation required where habitable rooms are above and b

Covered Porch and Alfresco. Eaves as per stamped plans

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rnative WaterInstall rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. Tank connected to - At least one outdoor tap, laundry and toilets

MATERIALS & FINISHES LEGEND

GLAZING TO BASIX SPECITICATION

RAINWATER HEAD WITH 50mm O/FLOW

-SELECTED SECTIONAL GARAGE DOOR

OVER CLAD WITH SELECTED STONE FACADE -SELECTED ALUMINIUM LOUVRE SCREEN

-SHIPLAP WEATHERBOARD - NATURAL OIL FINISH -SHIPLAP WEATHERBOARD - DARK OIL FINISH CT -CERAMIC TILES TO WATERPROOFED CONCRETE SLAB

-90mm STUD FRAMED WALL

OVER CONCRETE SLAB SUBSTRATE

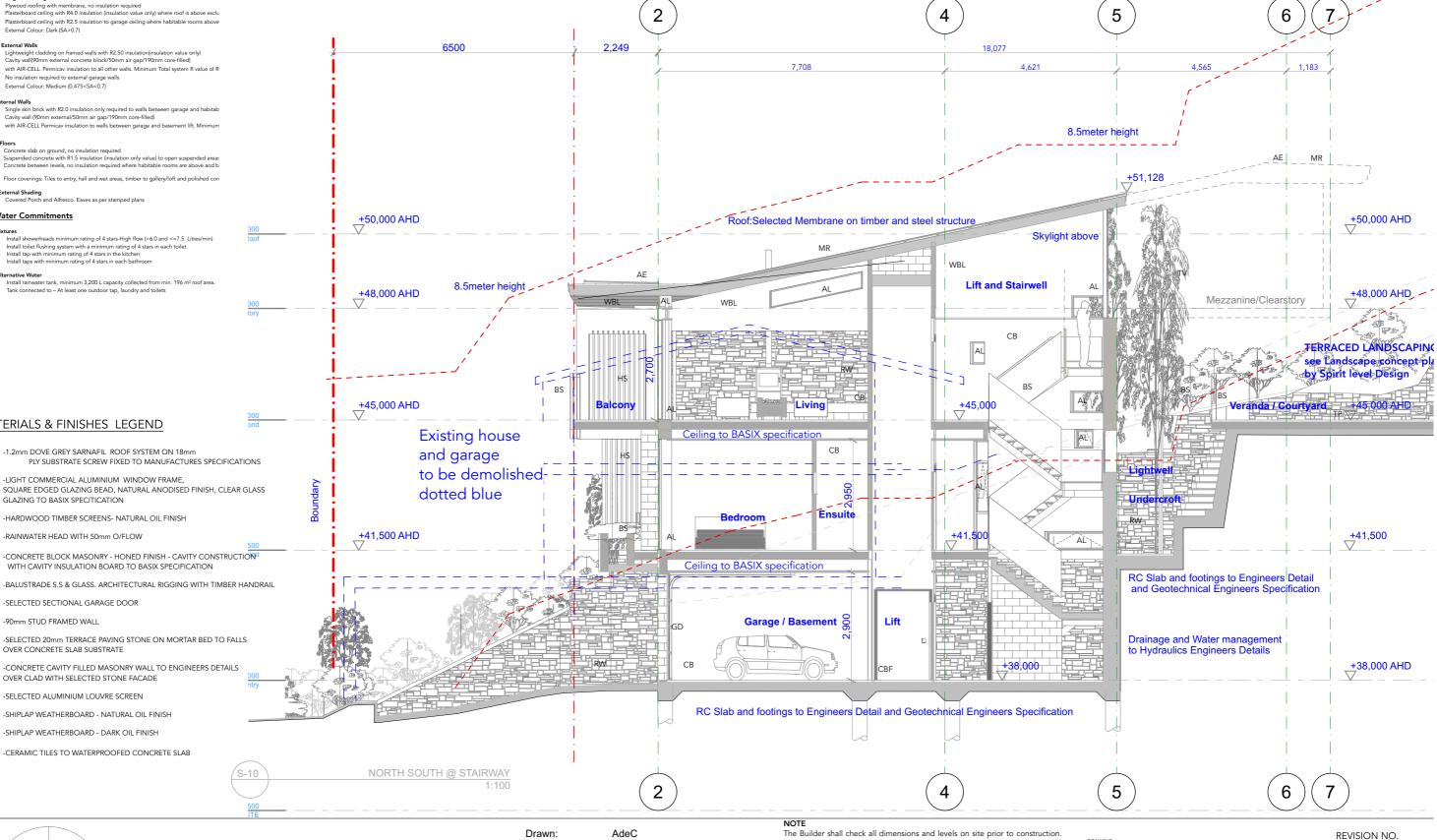
-1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm

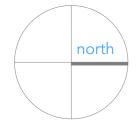
-LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME,

-HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH

WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION







 $studio_de C \textcolor{red}{\textbf{A}} RT A$



30/3/21 Plot Date:

WBR0002 Project NO.: DEVELOPMENT APPLICATION Project Status:

Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

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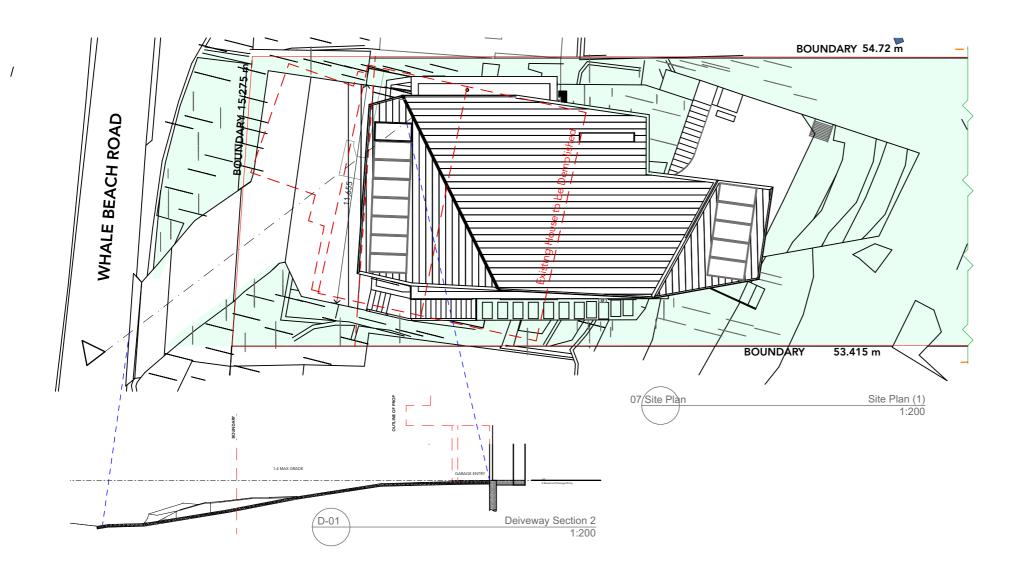
DA Sections North South Section at Stairway

01

DRAWING NO. **266 WHALE BEACH ROAD**

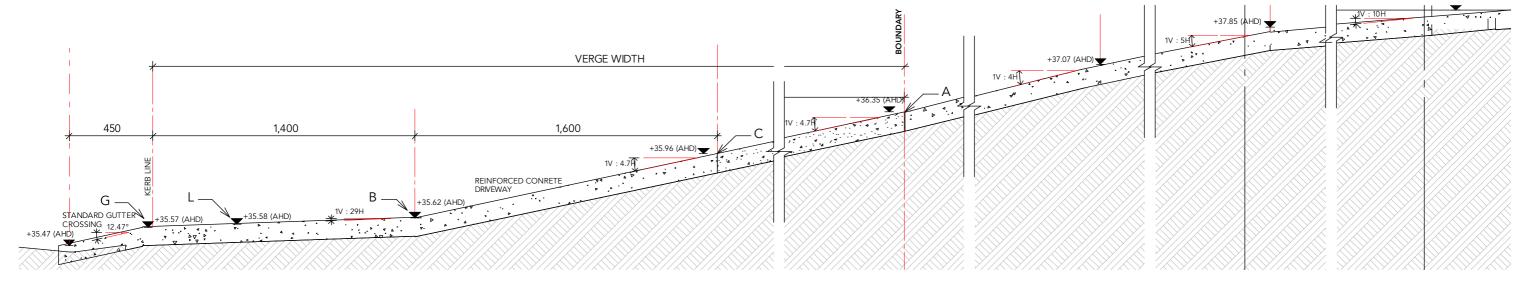
DA 201

Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010 Site:

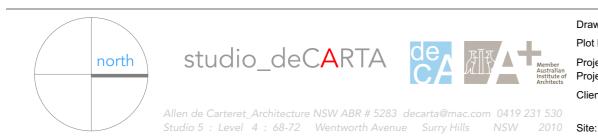




Concept Driveway Plan: To comply with ASNZ 2890.1 and Council Vehicular Crossing Standard Profiles in conjunction with Pittwater 21 Development Controls



DRIVEWAY Cross Section 1:20



studio_deCARTA



Drawn: AdeC 30/3/21 Plot Date: WBR0002 Project NO.: Project Status: DEVELOPMENT APPLICATION

Celia Hooper

266 WHALE BEACH ROAD WHALE BEACH NSW 2107

NOTE

The Builder shall check all dimensions and levels on site prior to construction.

Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by studio_decarta and is to be used only for work when authorised in writing by tudio_decarta.

All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

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DA Sections Driveway Concept Plan

266 WHALE BEACH ROAD

01

DRAWING NO.

DA 204

REVISION NO.