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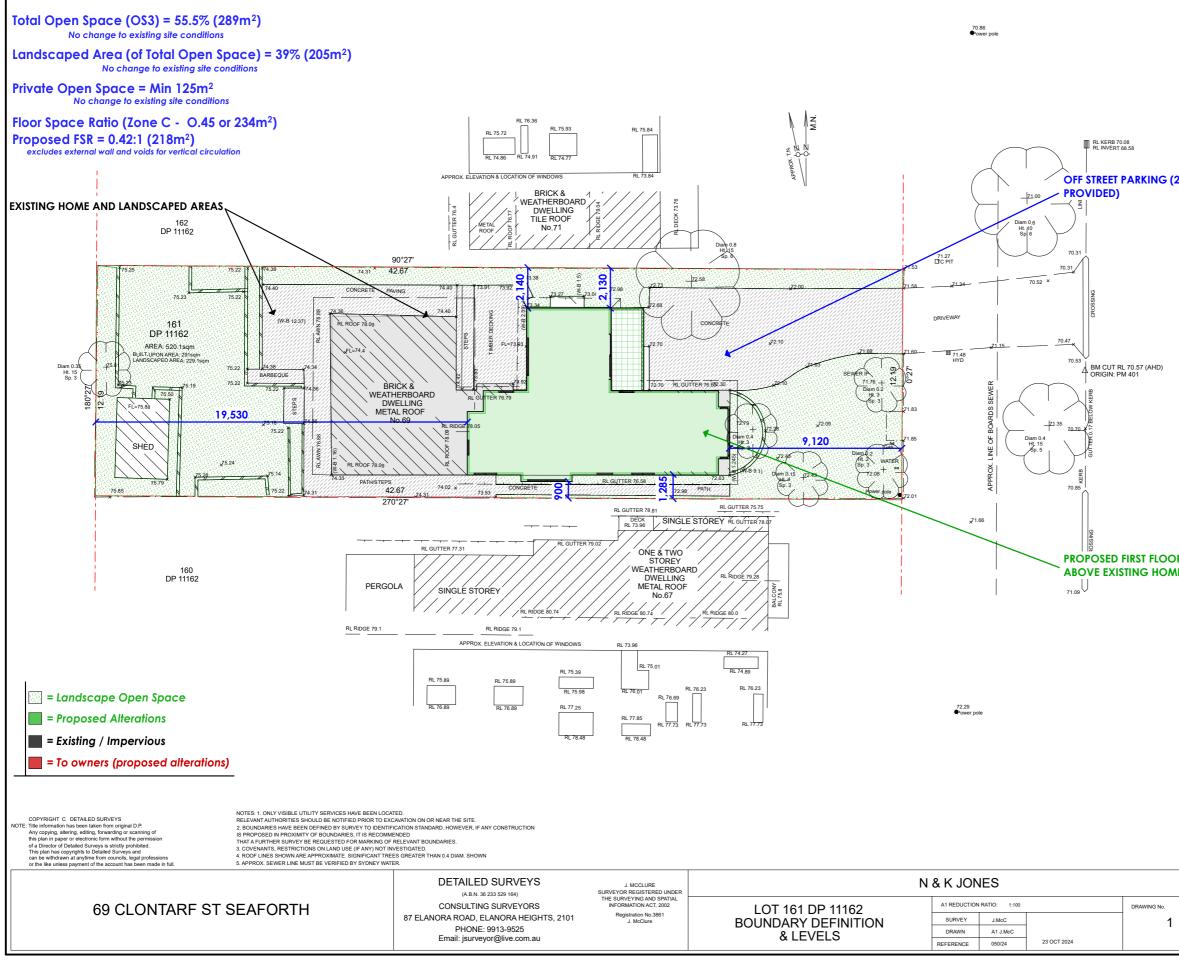
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Client Nam	ie :	NICK & KAREN	JONES						
Client Add	ress :	69 CLONTARF STRE	ET, SEAFORTH 2092						
Client No. :		JON 0724 01 D	Α						
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SITE PL

MANLY COUNCIL SITE CALCULATIONS

Site area = $520.1m^2$



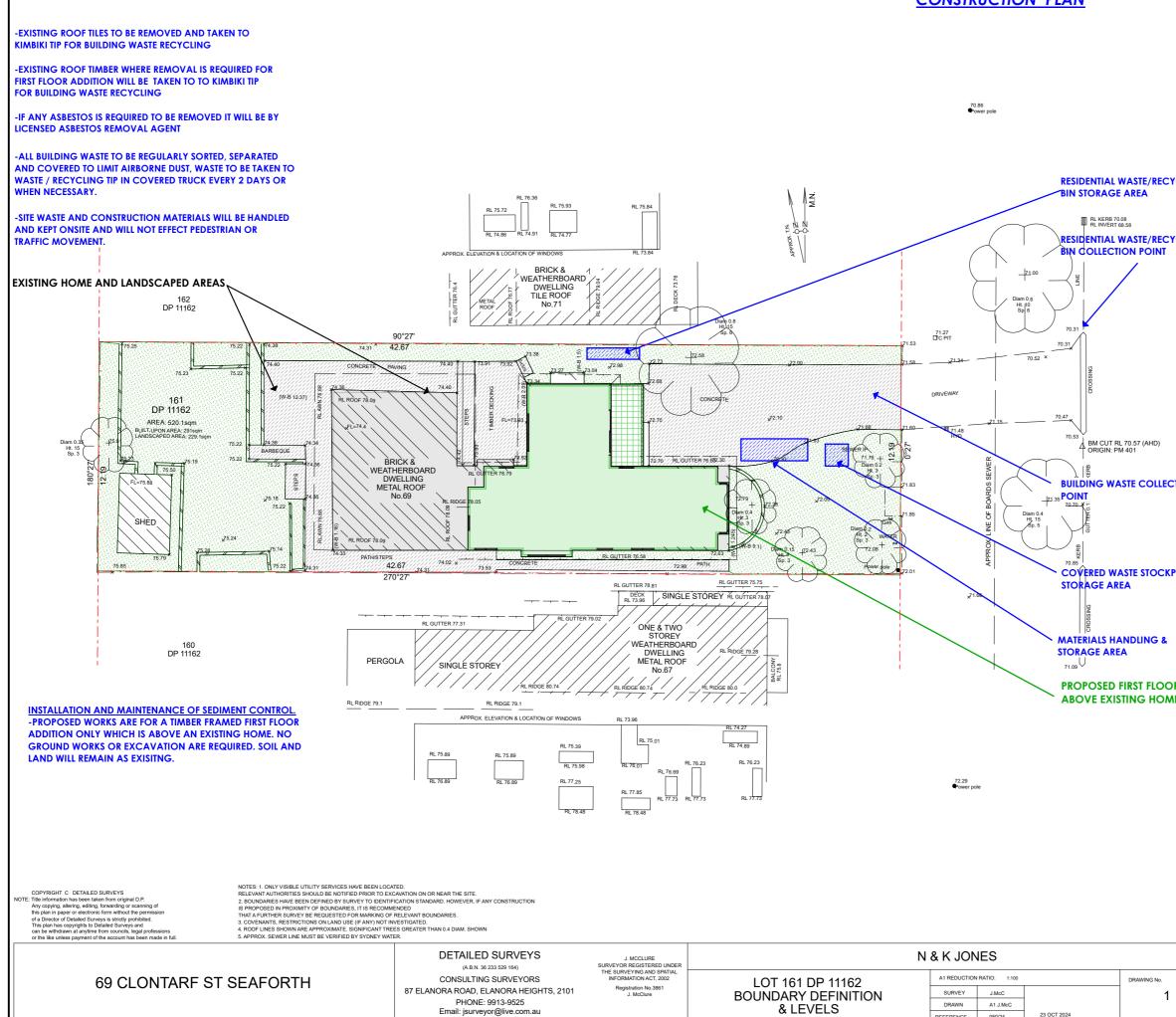
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WASTE MANAGEMENT, DEMOLITIO CONSTRUCTION PLAN

23 OCT 2024

REFERENCE

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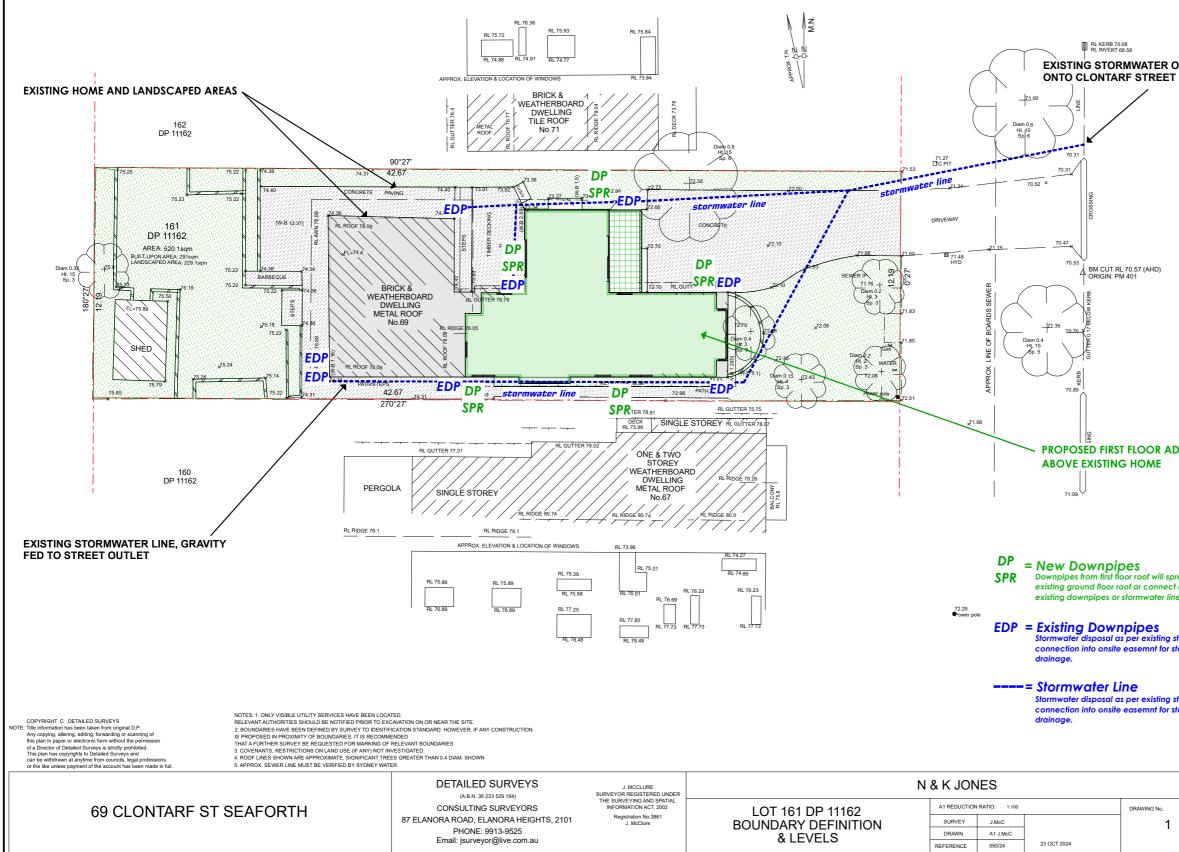
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STORMWATER DISPOSAL & MANAGEMENT

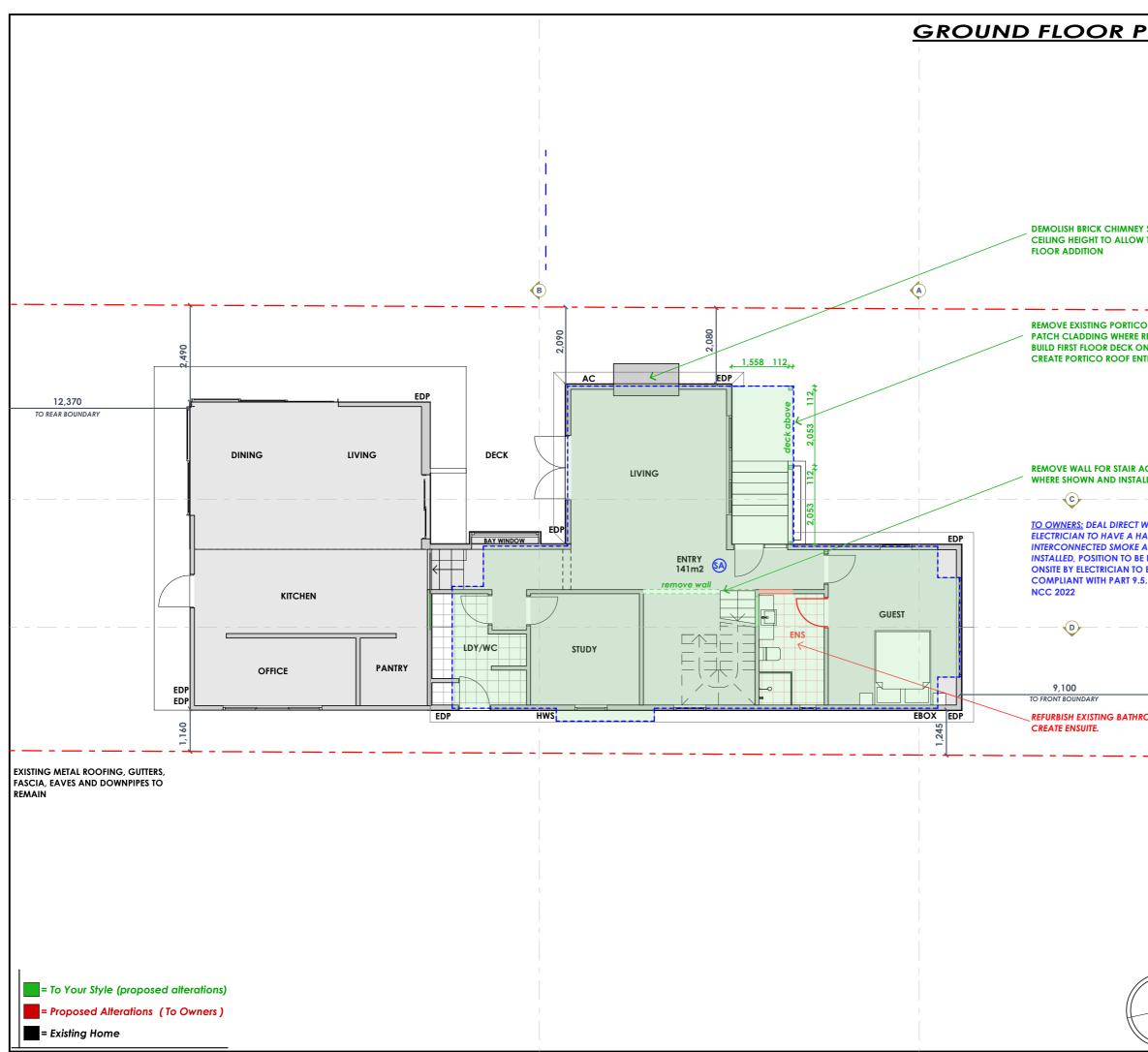
-FIRST FLOOR ADDITION IS WITHIN THE EXISTING BUILDING FOOTPRINT / ROOF AREA (NO ADDITIONAL STORMWATER LOAD ONTO EXISTING SYSTEM).

-NEW ROOFS FROM THE FIRST FLOOR ADDITION ROOF WILL BE SPREAD ONTO THE EXISTING ROOF OR CONNECT DIRECTLY INTO EXISTING DOWNPIPES.

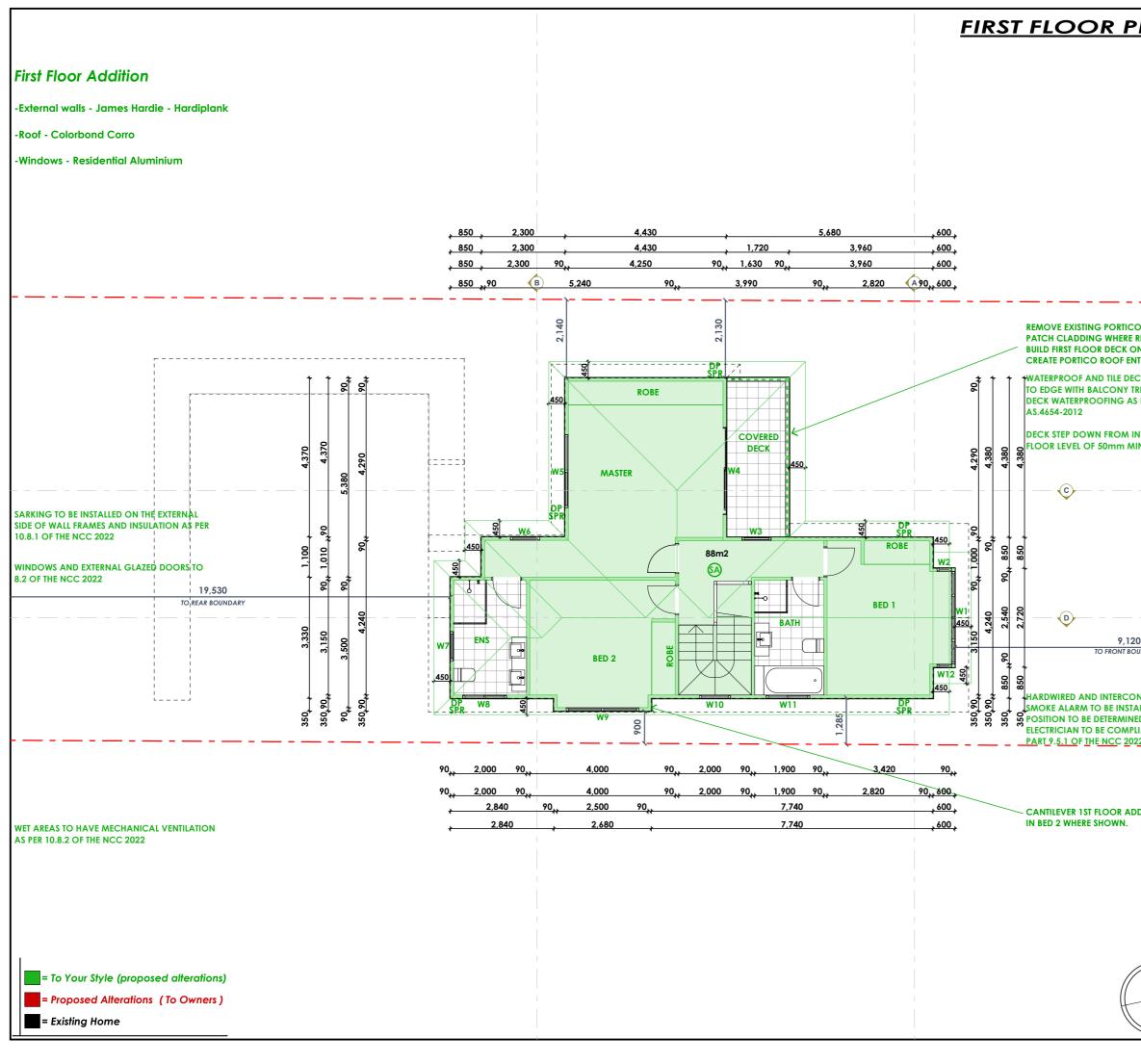
-THE STORMWATER SYSTEM IS GRAIVTY FED INTO AN EXISTING ONSITE EASEMENT FO



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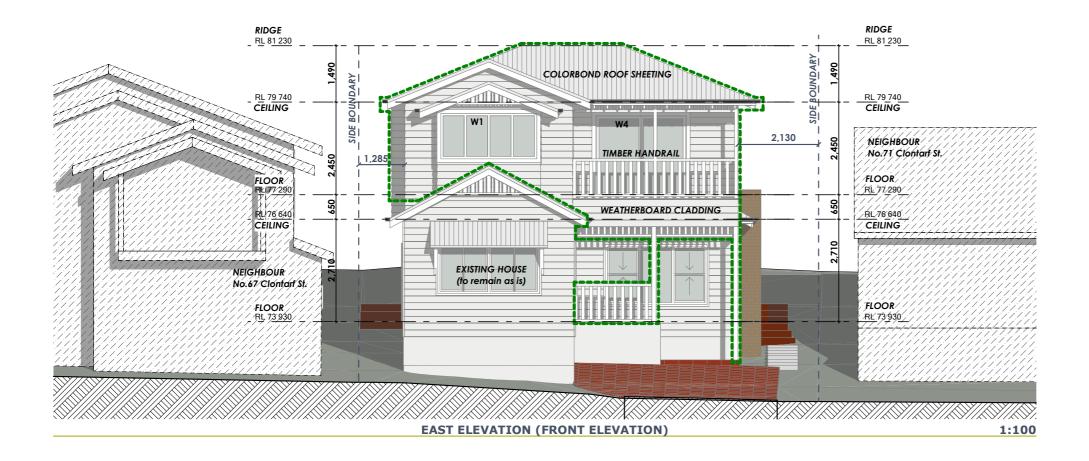


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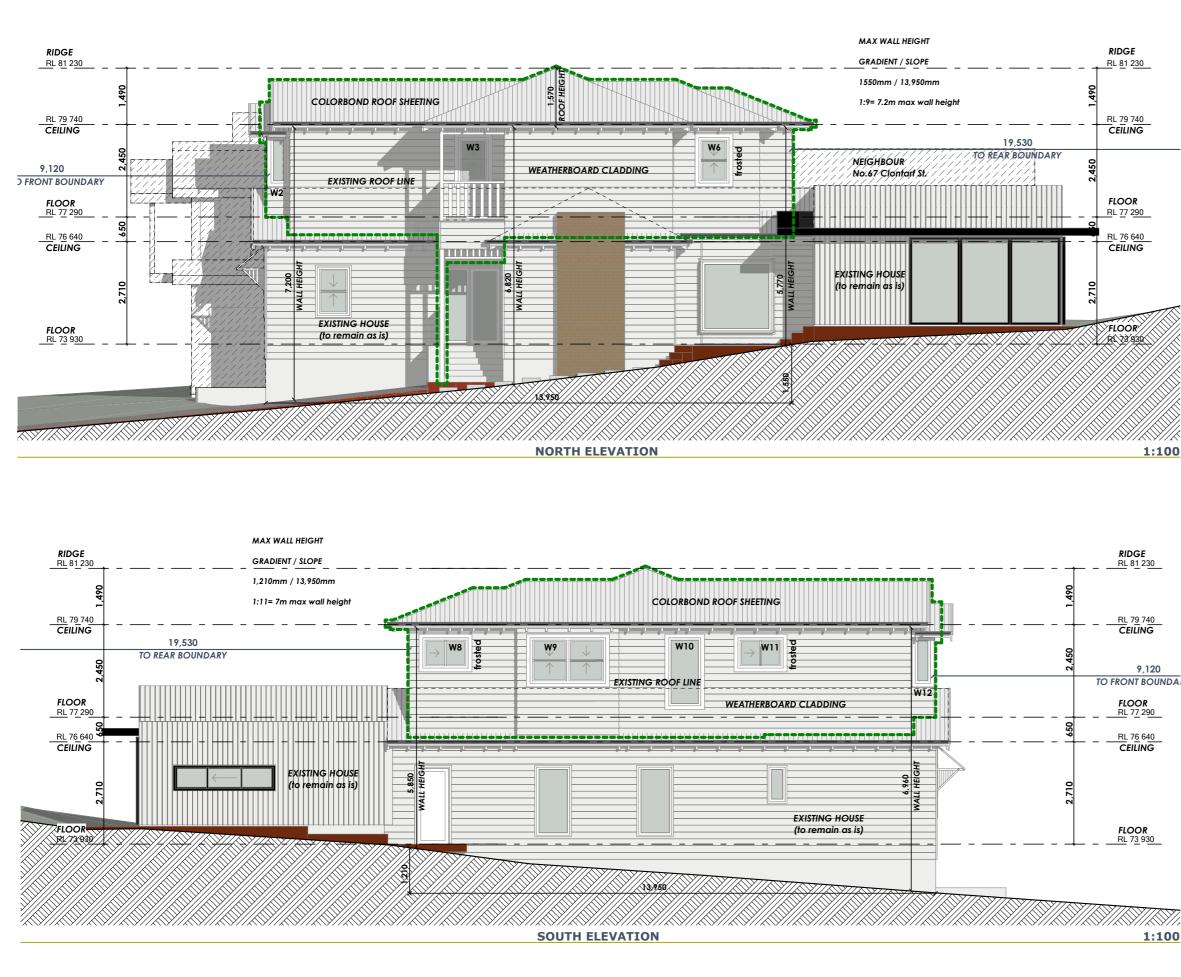
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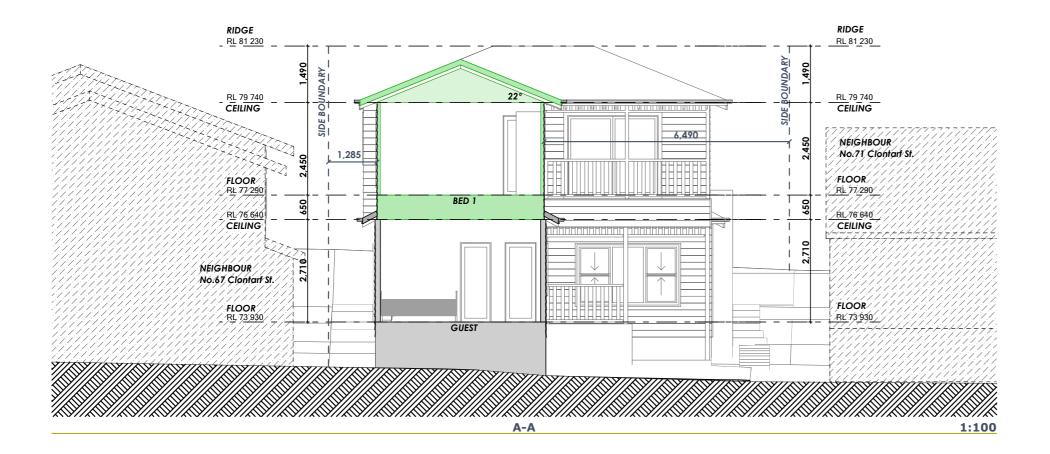
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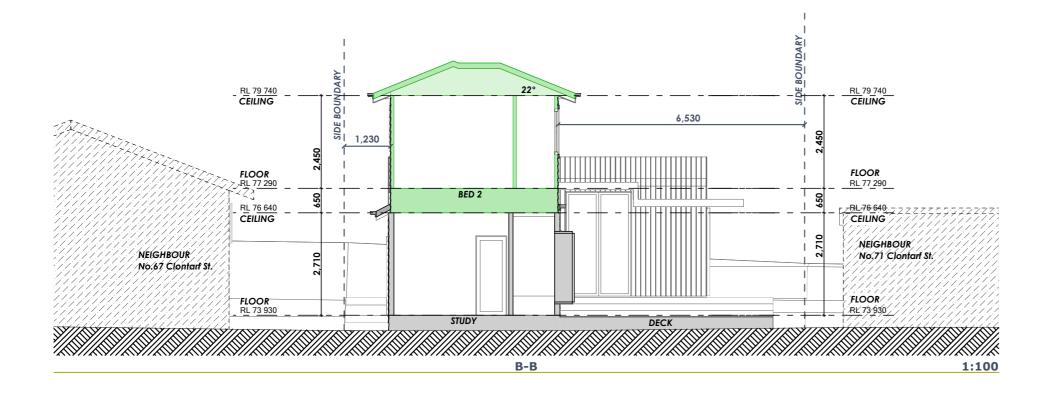
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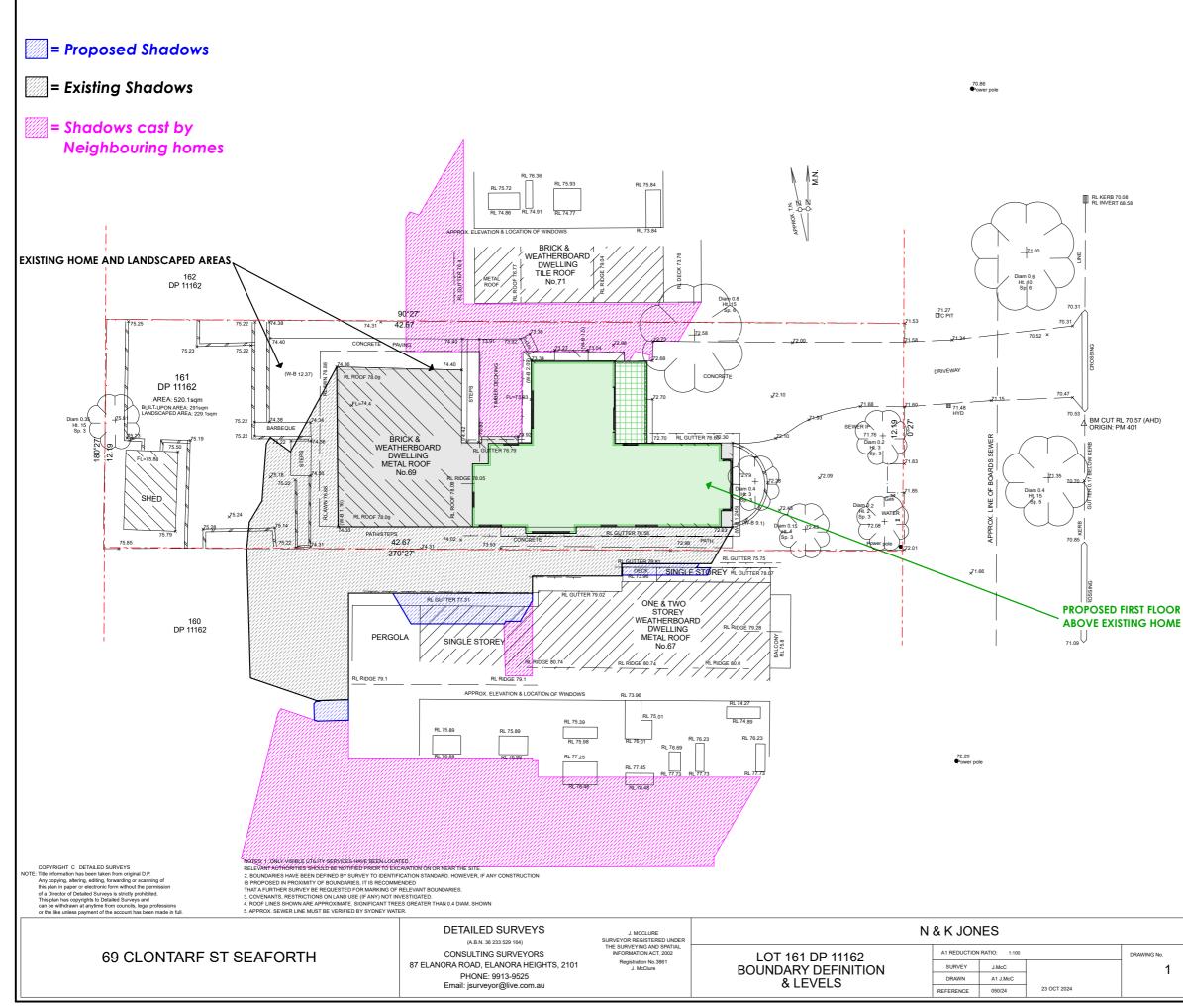
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TEL: 9938 5411 FAX: 9938 5911 EMAIL: sales@yourstyle.com.au A DIVISION OF TAG TEAM CONSTRUCTIONS PTY D EMAIL: sales@yourstyle.com.au A DIVISION OF TAG TEAM CONSTRUCTIONS PTY D Client Name: NICK & KAREN JONES Client Address: 69 CLONTARF STREET, SEAFORTH 2092 Client No.: JON 0724 01 DA All construction work to be performed in accordance with Australian Standards and National Construction Code 2022. © Copyright Acknowledgement We agree and understand these drawings and plans are solely and entirely the interlectual property of Your Style Designer Home Additions and the normal copyright laws apply. License is not granted for the use of these designs or drawings. Project Number: JON 0724 01 DA Included Pages: 1- Signed
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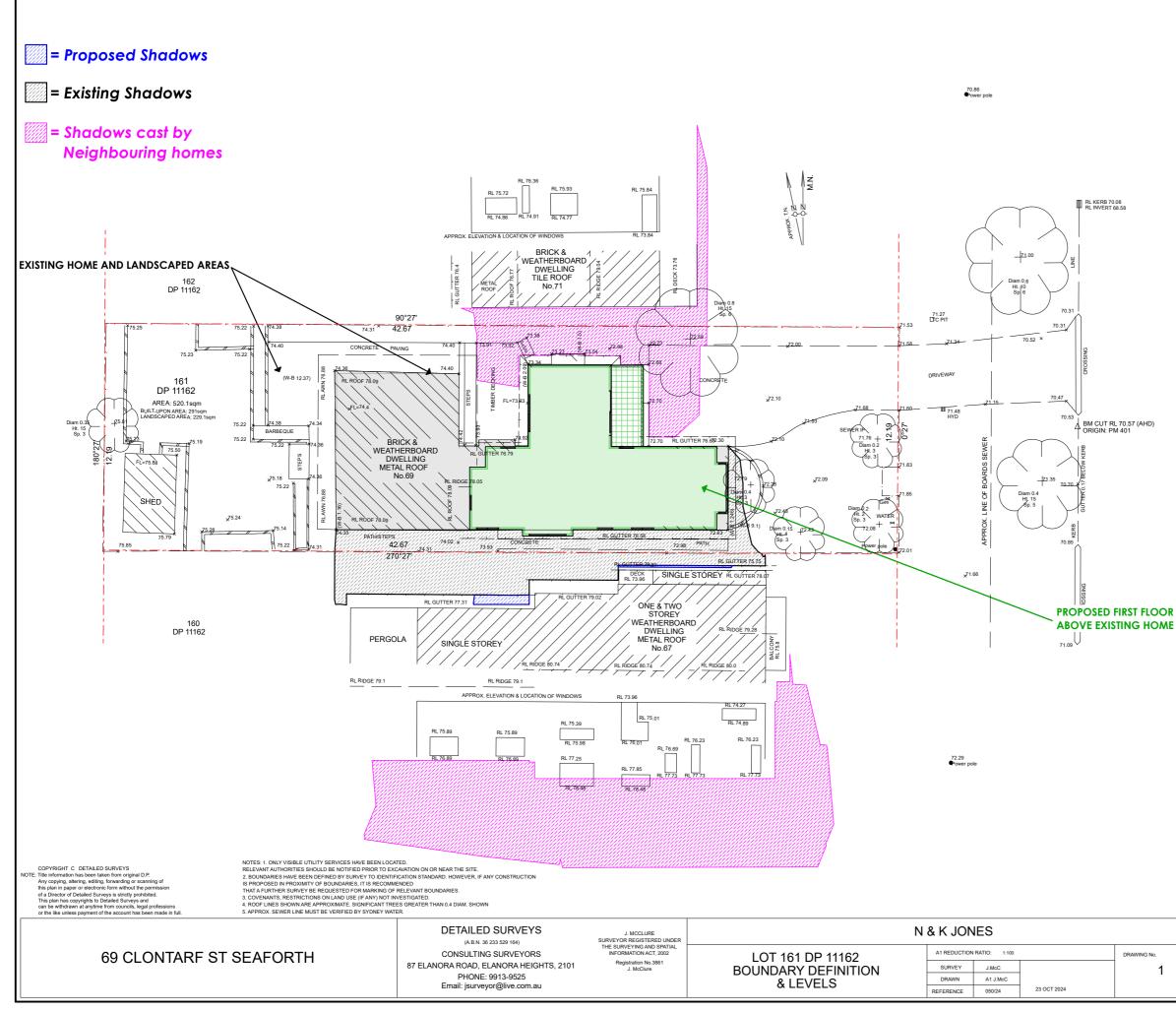
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	Client Name	:	NICK & KAREN J	ONES	
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#### SHADOWS DIAGRAMS 21 JUNE - 9



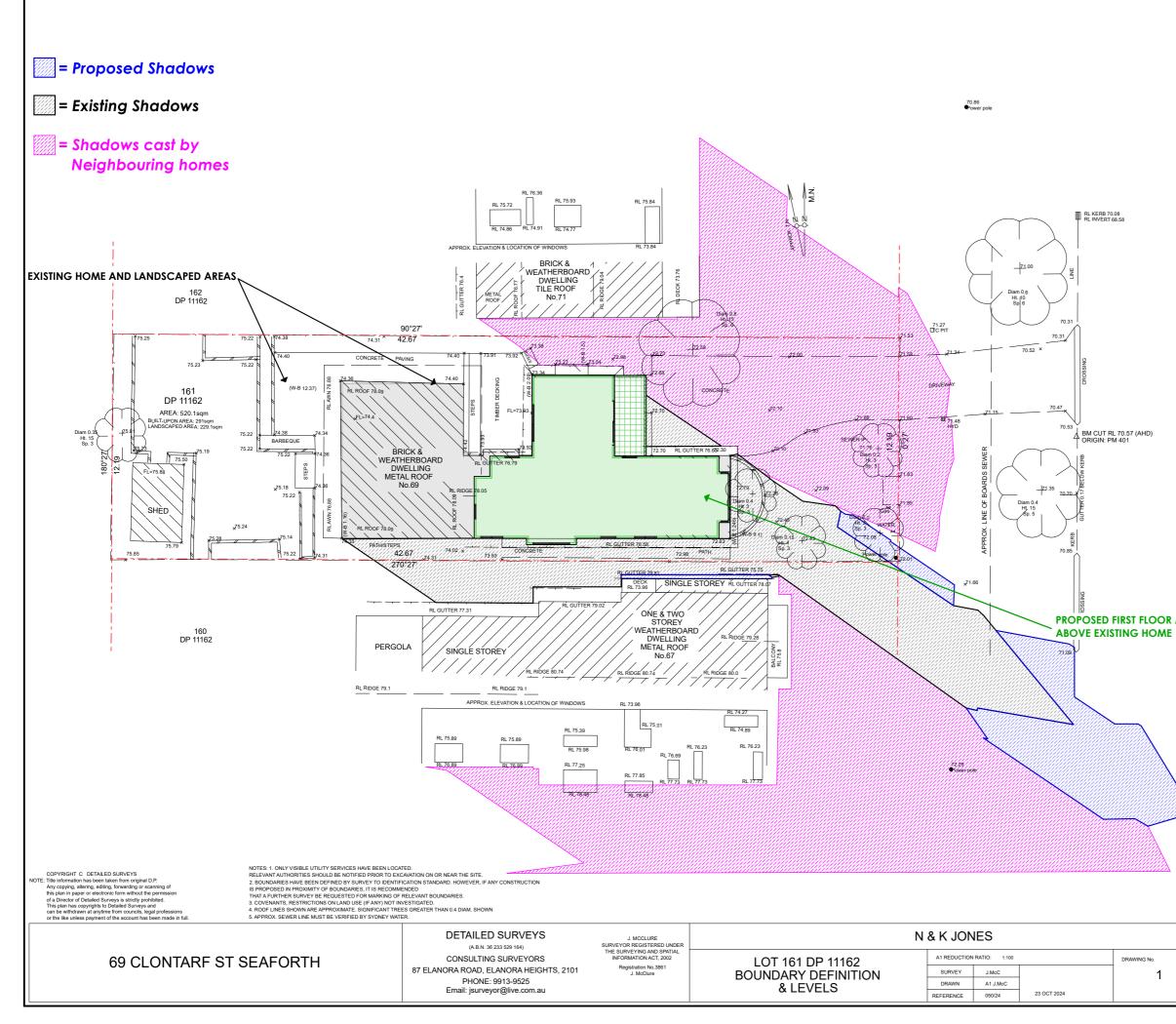
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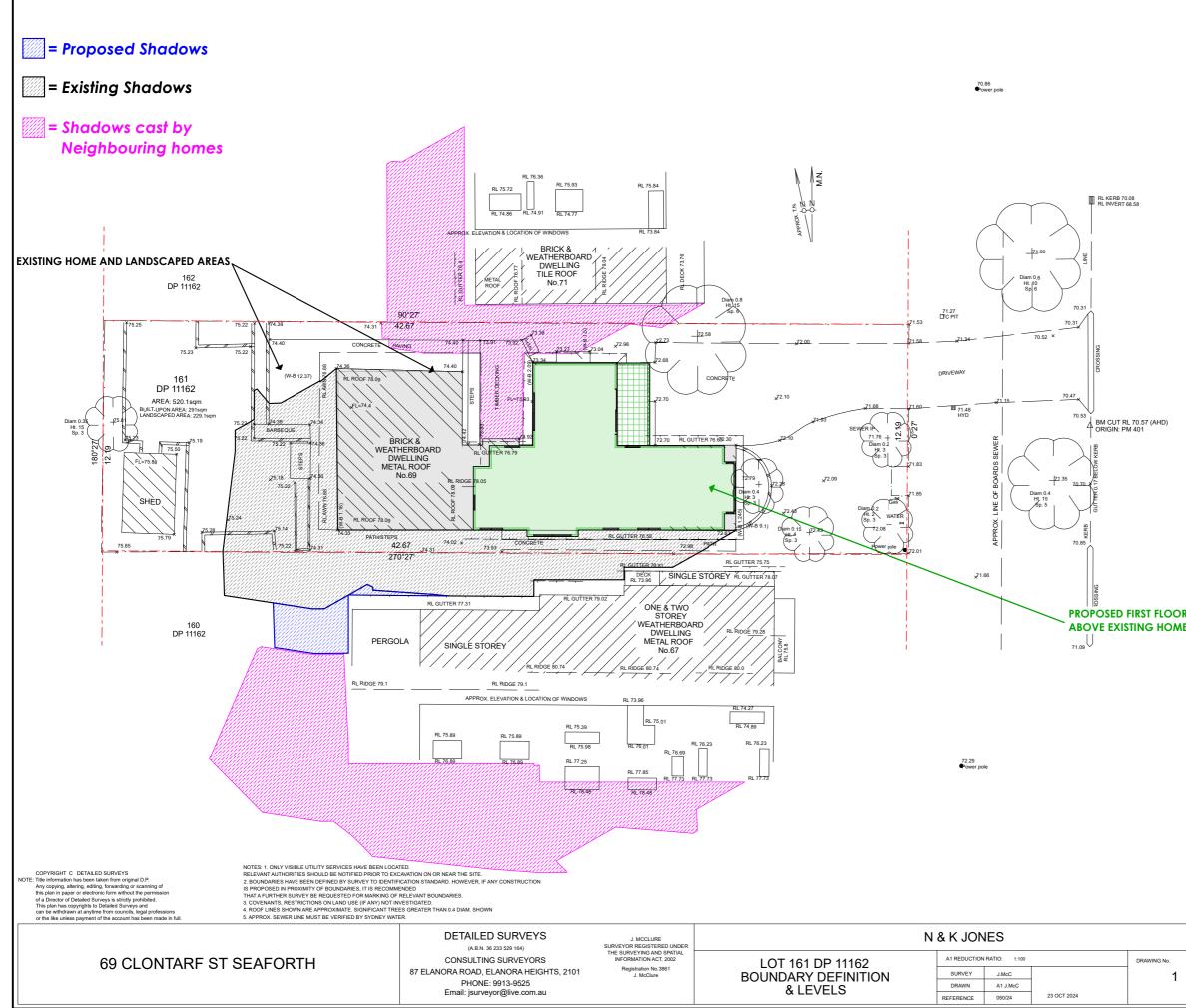
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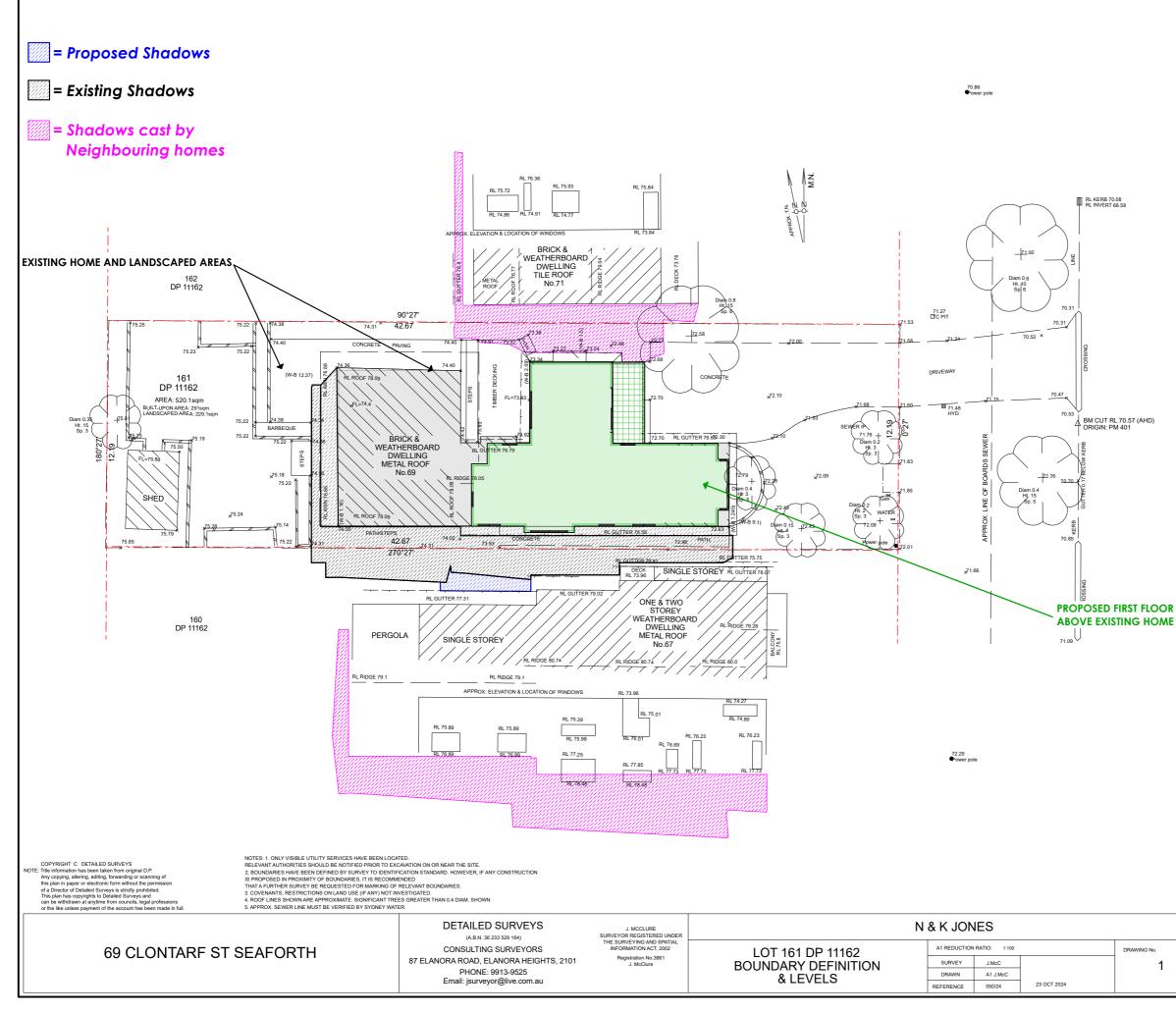
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#### SHADOWS DIAGRAMS 20 MARCH - 9



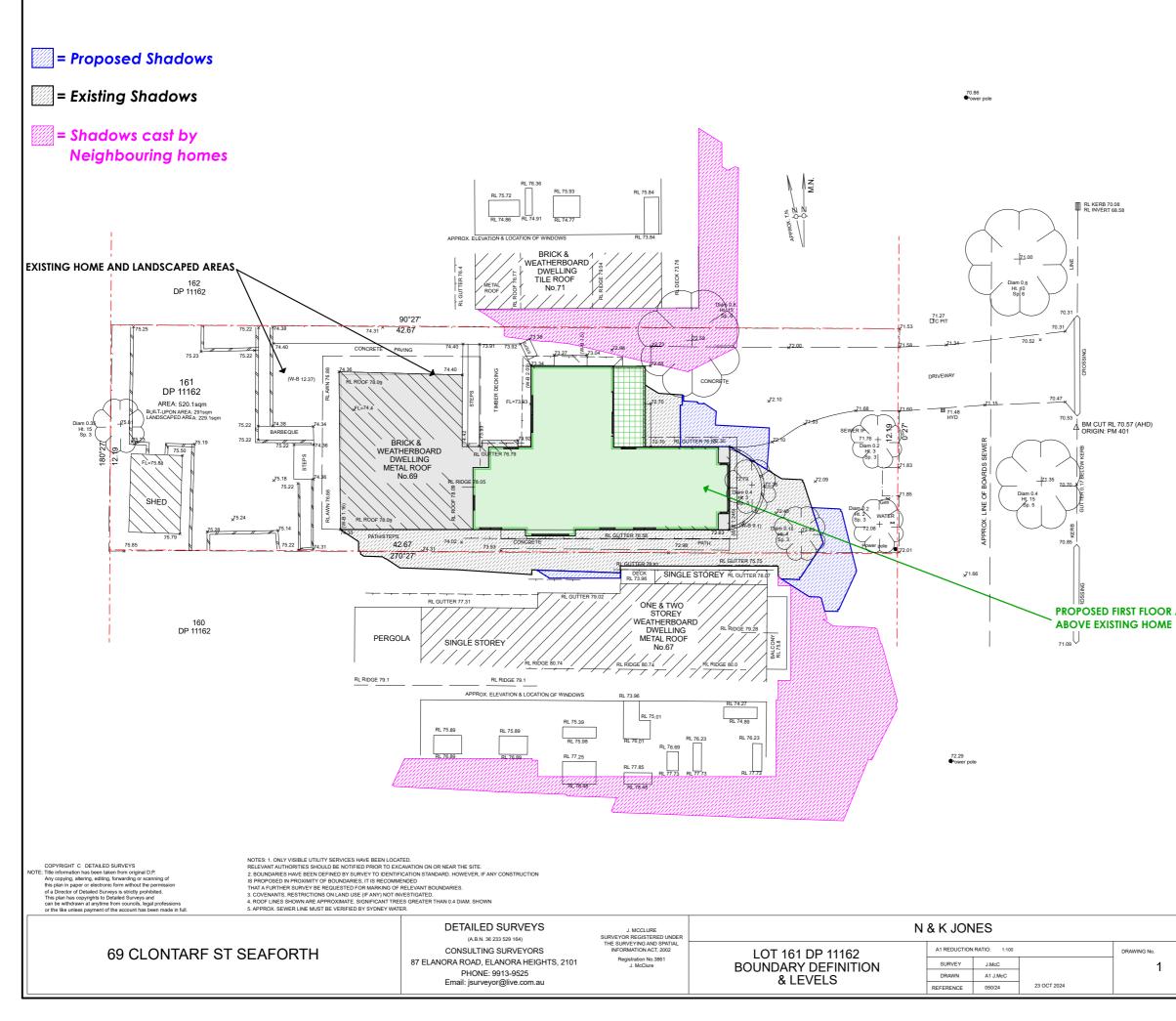
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#### SHADOWS DIAGRAMS 20 MARCH - 12



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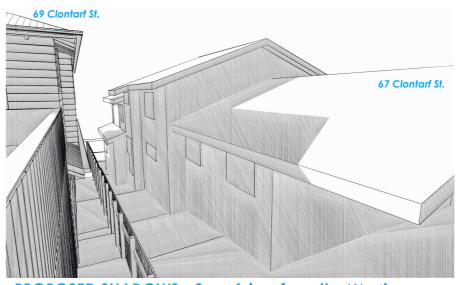
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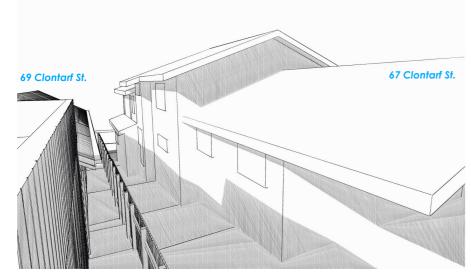
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#### EXISTING & PROPOSED SHADOWS - JUNE 21 SOUTHERN NEIGHBOUR

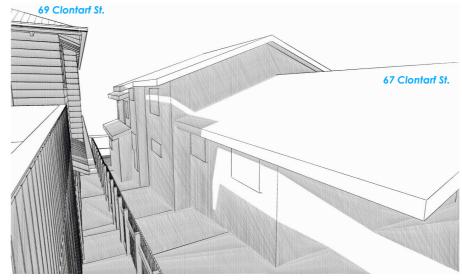




**PROPOSED SHADOWS - 9am (view from the West)** 

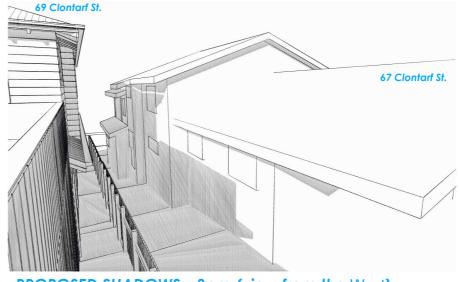


EXISTING SHADOWS - 12pm (view from the West)



**PROPOSED SHADOWS - 12pm (view from the West)** 



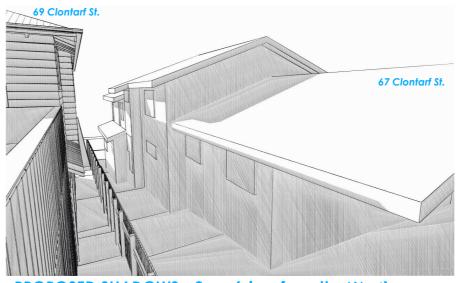


PROPOSED SHADOWS - 3pm (view from the West)

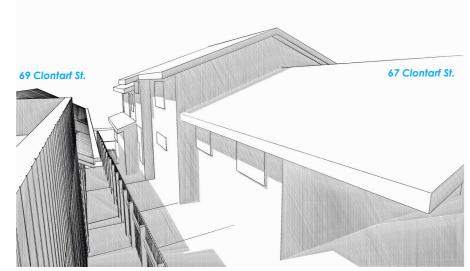
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#### **EXISTING & PROPOSED SHADOWS - MARCH 20 SOUTHERN NEIGHBOUR**

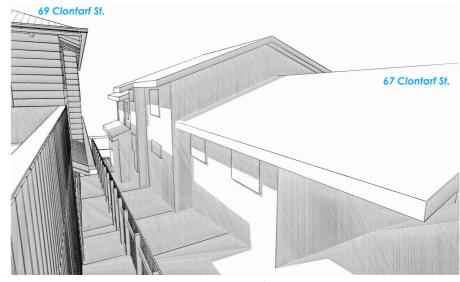




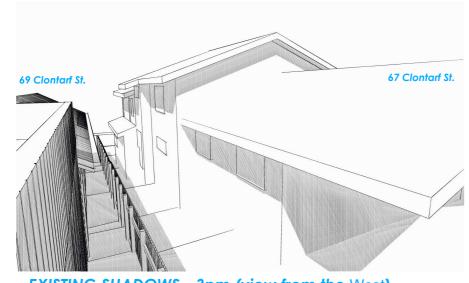
PROPOSED SHADOWS - 9am (view from the West)



EXISTING SHADOWS - 12pm (view from the West)



PROPOSED SHADOWS - 12pm (view from the West)







PROPOSED SHADOWS - 3pm (view from the West)

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Client Addre	ess : 69 CLONTAR	STREET, SEAFORTH 2	092
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Client Name :	NICK & KAREN JONES	Drawing Title :	SCHEDULE OF FIN	NISHES	
Client Address : 69 CLONTARF STREET, SEAFORTH 2092		Drawing No. :	29	DRAWINGS	
	Plot Date :	Wednesday, 18 December 2024	NOT TO SCALE	TYLE	
Client No. :	JON 0724 01 DA	PO BOX 1183 • DEE W TEL : 9938 5611	HY 2099		DESIGNER HOME ADDITIONS Licence 60007c
Project Name :	First Floor Addition	FAX : 9938 5911 ABN 92 003 918 116 • ACN 003 918 116 EMAIL : sales@yourstyle.com.au BUILDER LICENCE • 60007C WEB : www.yourstyle.com.au A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD		9938 5611 www.yourstyle.com.au	



EXTERNAL WALLS	DULUX - LEXICON
FASCIA	DULUX - LEXICON
EAVES	DULUX - LEXICON
GUTTERS	COLORBOND NIGHTSKY
DOWNPIPES	COLORBOND NIGHTSKY
ROOF SHEETING	COLORBOND SHALE GREY
WINDOWS	PEARL WHITE