

**OPTION 1A**



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ABN 92 003 918 116 • ACN 003 918 116  
BUILDER LICENCE • 60007C  
A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name :	NICK & KAREN JONES
Client Address :	69 CLONTARF STREET, SEAFORTH 2092
Client No. :	JON 0724 01 DA

All construction work to be performed in accordance with Australian Standards and National Construction Code 2022.

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Project Number: JON 0724 01 DA      Included Pages: 1-

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Drawing Title :	PERSPECTIVES		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	1
File Location:	JON 0724 01 DA.pln		

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# MANLY COUNCIL SITE CALCULATIONS

- Site area = 520.1m<sup>2</sup>
- Total Open Space (OS3) = 55.5% (289m<sup>2</sup>)  
No change to existing site conditions
- Landscaped Area (of Total Open Space) = 39% (205m<sup>2</sup>)  
No change to existing site conditions
- Private Open Space = Min 125m<sup>2</sup>  
No change to existing site conditions
- Floor Space Ratio (Zone C - 0.45 or 234m<sup>2</sup>)  
Proposed FSR = 0.42:1 (218m<sup>2</sup>)  
excludes external wall and voids for vertical circulation

## SITE PLAN

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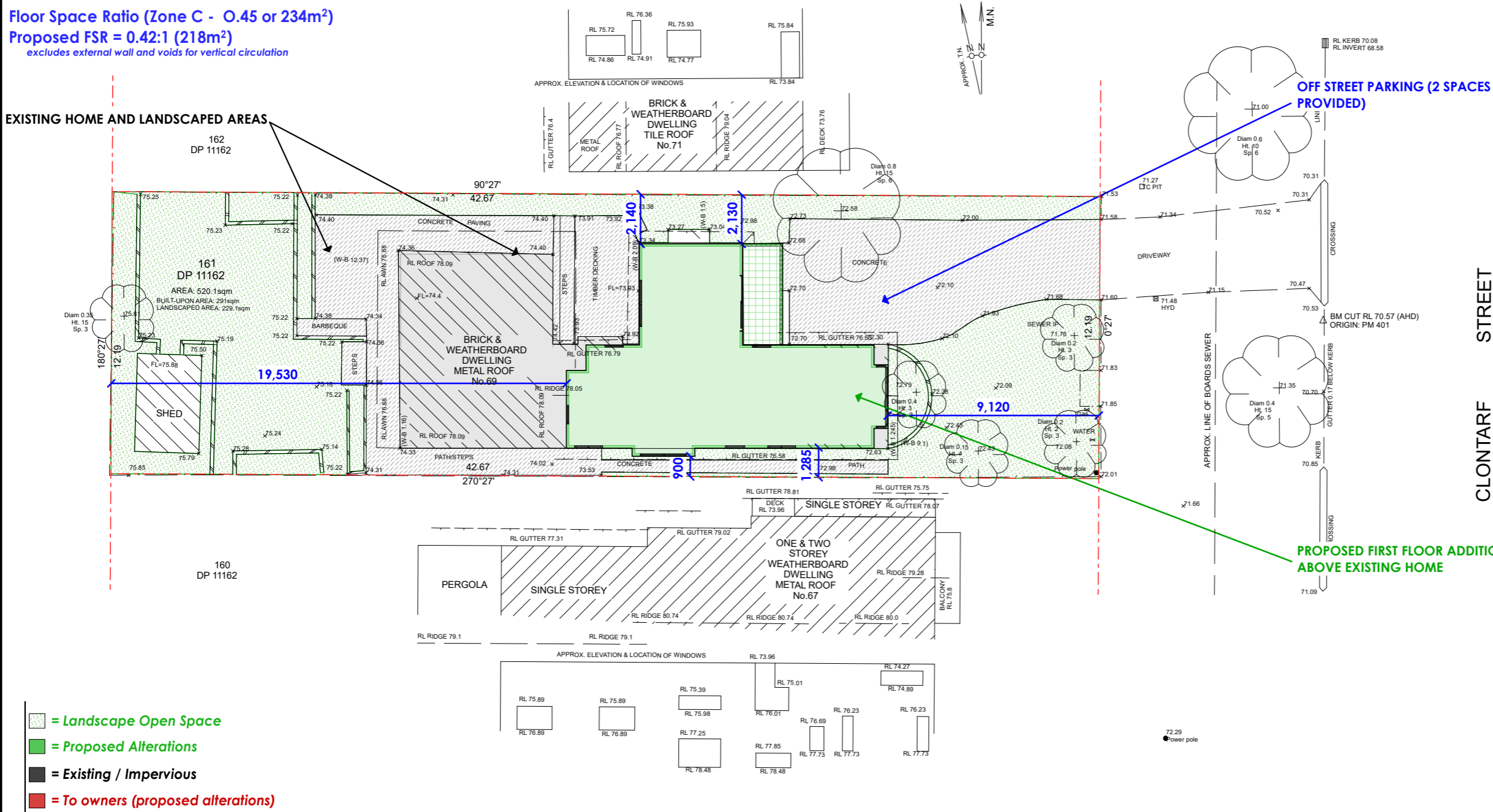
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Drawing Title :	SITE PLAN		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	3
File Location:	JON 0724 01 DA.pln		

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**WASTE MANAGEMENT, DEMOLITION & CONSTRUCTION PLAN**

-EXISTING ROOF TILES TO BE REMOVED AND TAKEN TO KIMBIKI TIP FOR BUILDING WASTE RECYCLING

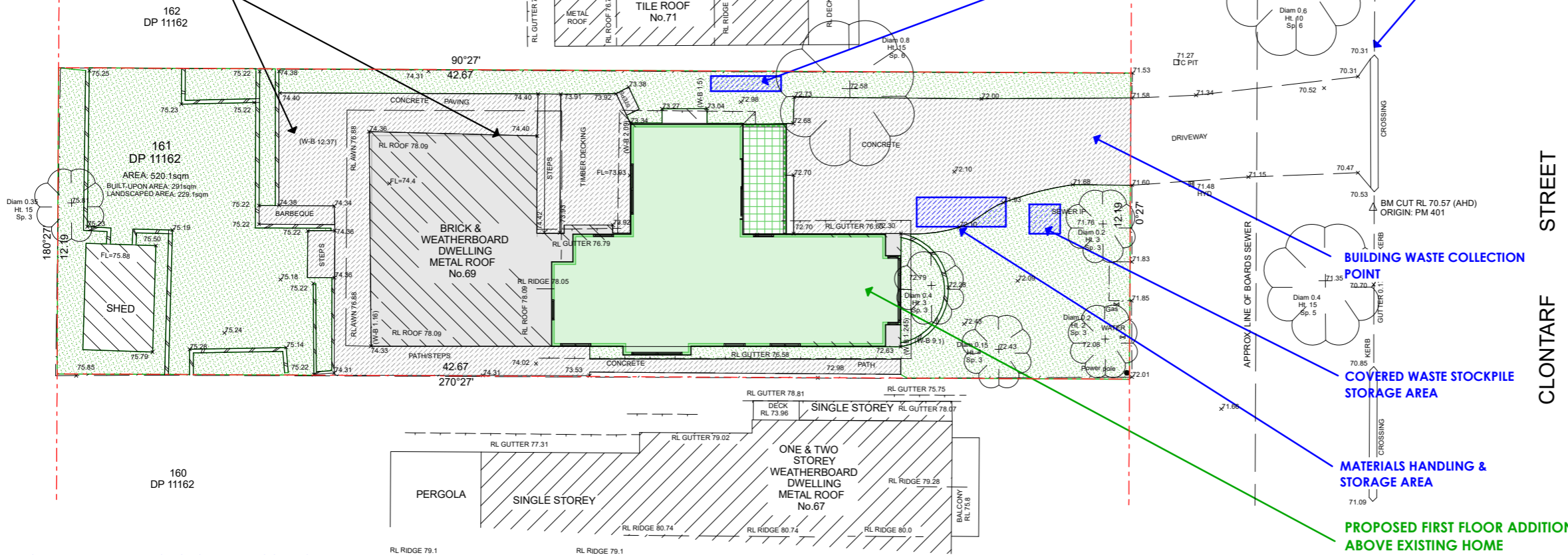
-EXISTING ROOF TIMBER WHERE REMOVAL IS REQUIRED FOR FIRST FLOOR ADDITION WILL BE TAKEN TO KIMBIKI TIP FOR BUILDING WASTE RECYCLING

-IF ANY ASBESTOS IS REQUIRED TO BE REMOVED IT WILL BE BY LICENSED ASBESTOS REMOVAL AGENT

-ALL BUILDING WASTE TO BE REGULARLY SORTED, SEPARATED AND COVERED TO LIMIT AIRBORNE DUST, WASTE TO BE TAKEN TO WASTE / RECYCLING TIP IN COVERED TRUCK EVERY 2 DAYS OR WHEN NECESSARY.

-SITE WASTE AND CONSTRUCTION MATERIALS WILL BE HANDLED AND KEPT ONSITE AND WILL NOT EFFECT PEDESTRIAN OR TRAFFIC MOVEMENT.

**EXISTING HOME AND LANDSCAPED AREAS**



**INSTALLATION AND MAINTENANCE OF SEDIMENT CONTROL.**  
-PROPOSED WORKS ARE FOR A TIMBER FRAMED FIRST FLOOR ADDITION ONLY WHICH IS ABOVE AN EXISTING HOME. NO GROUND WORKS OR EXCAVATION ARE REQUIRED. SOIL AND LAND WILL REMAIN AS EXISTING.

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3. COVENANTS, RESTRICTIONS ON LAND USE (IF ANY) NOT INVESTIGATED.  
4. ROOF LINES SHOWN ARE APPROXIMATE. SIGNIFICANT TREES GREATER THAN 0.4 DIAM. SHOWN  
5. APPROX. SEWER LINE MUST BE VERIFIED BY SYDNEY WATER.

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Drawing Title :	WASTE/DEMO/CONSTRUCTION PLAN		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	4
File Location:	JON 0724 01 DA.pln		

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	LOT 161 DP 1162 BOUNDARY DEFINITION & LEVELS		A1 REDUCTION RATIO: 1:100 SURVEY: J.McC DRAWN: A1 J.McC REFERENCE: 050/24 23 OCT 2024 DRAWING No. 1

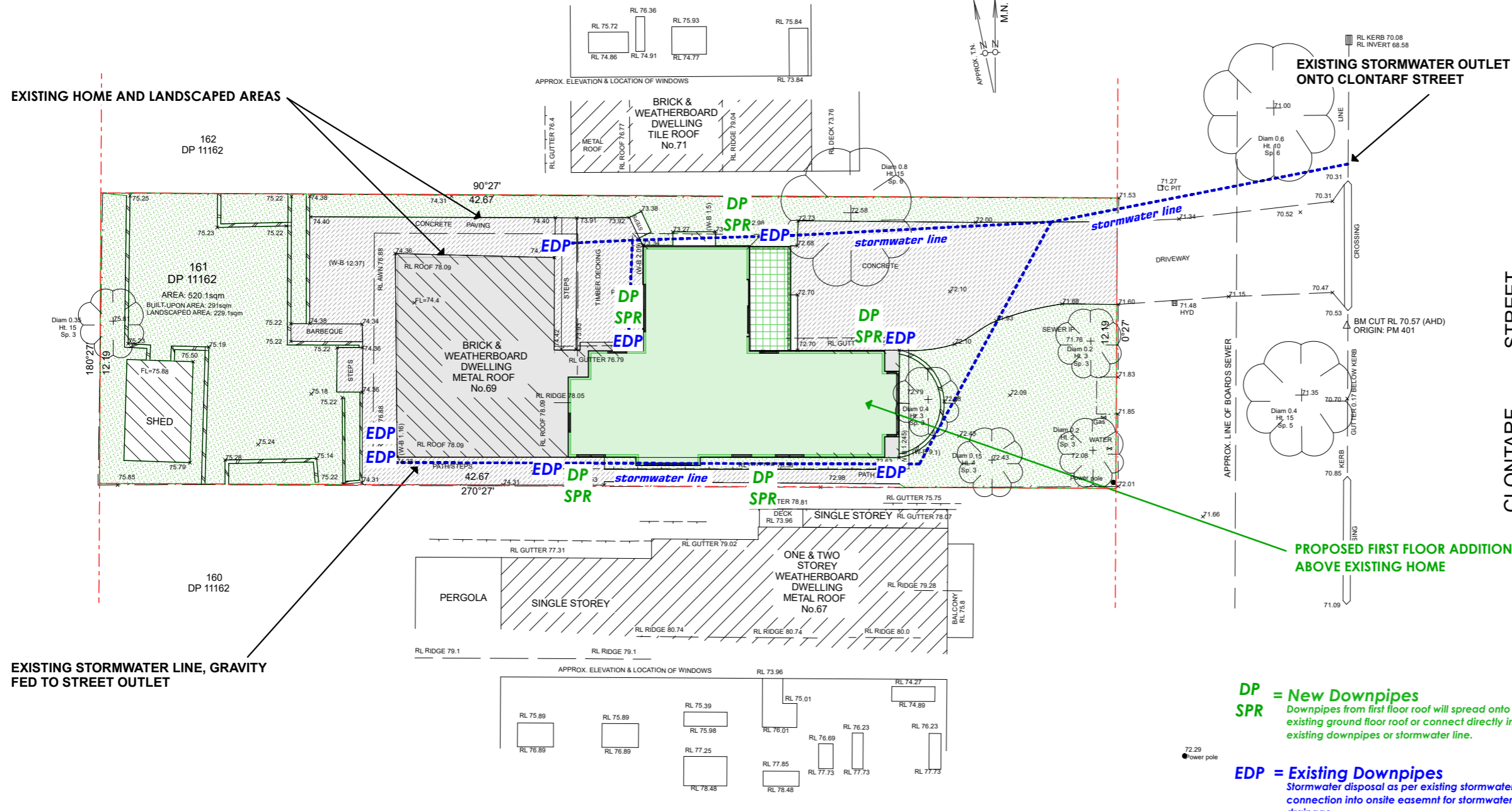


# STORMWATER DISPOSAL & MANAGEMENT PLAN

-FIRST FLOOR ADDITION IS WITHIN THE EXISTING BUILDING FOOTPRINT / ROOF AREA (NO ADDITIONAL STORMWATER LOAD ONTO EXISTING SYSTEM).

-NEW ROOFS FROM THE FIRST FLOOR ADDITION ROOF WILL BE SPREAD ONTO THE EXISTING ROOF OR CONNECT DIRECTLY INTO EXISTING DOWNPIPES.

-THE STORMWATER SYSTEM IS GRAVITY FED INTO AN EXISTING ONSITE EASEMENT FOR STORMWATER DRAINAGE.



- DP = New Downpipes**  
Downpipes from first floor roof will spread onto existing ground floor roof or connect directly into existing downpipes or stormwater line.
- SPR = Existing Downpipes**  
Stormwater disposal as per existing stormwater connection into onsite easement for stormwater drainage.
- EDP = Existing Downpipes**  
Stormwater disposal as per existing stormwater connection into onsite easement for stormwater drainage.
- = Stormwater Line**  
Stormwater disposal as per existing stormwater connection into onsite easement for stormwater drainage.



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Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	5
File Location:	JON 0724 01 DA.pln		

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# GROUND FLOOR PLAN



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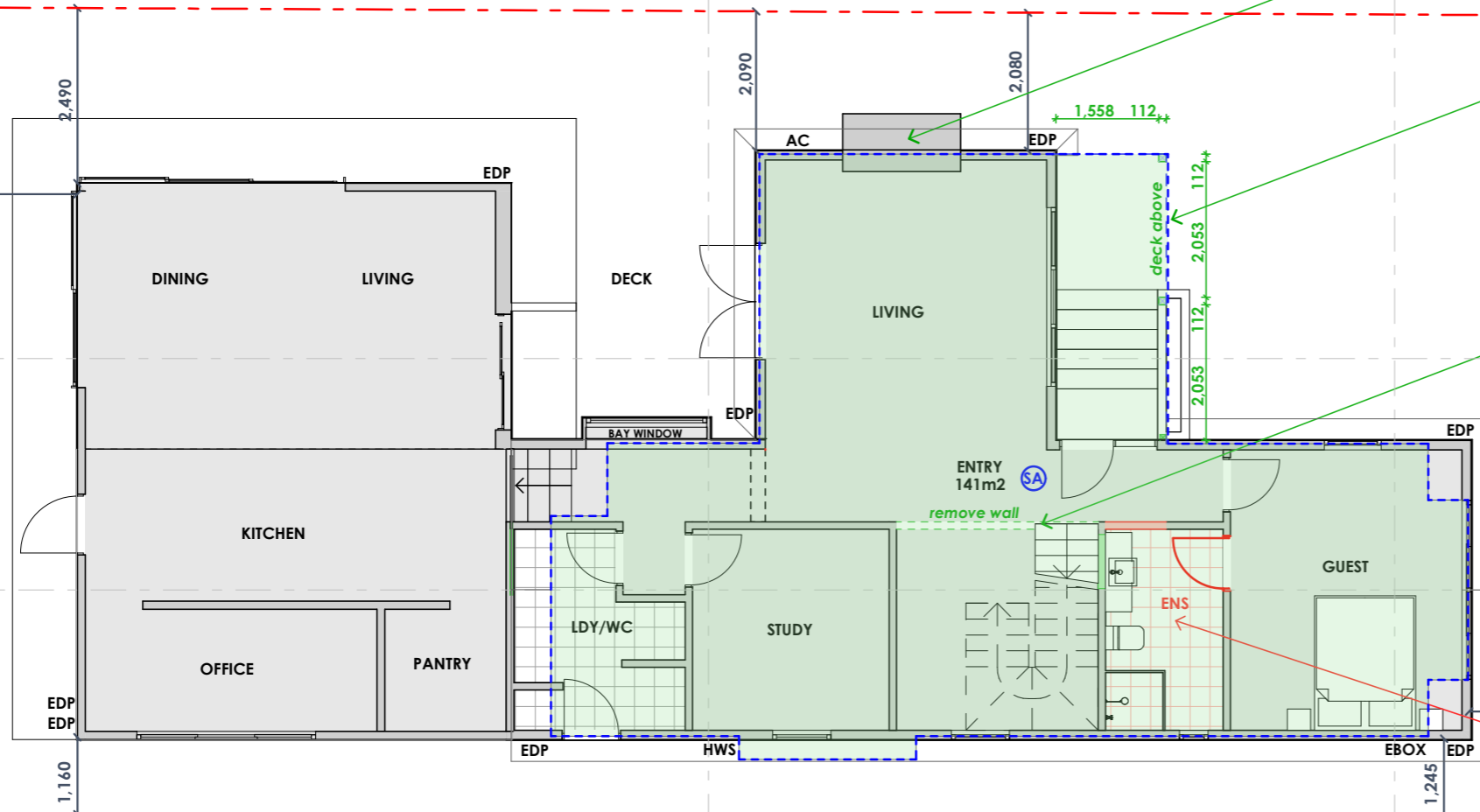
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Drawing Title :	GROUND FLOOR PLAN		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	6
File Location :	JON 0724 01 DA.pln		

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DEMOLISH BRICK CHIMNEY STACK TO CEILING HEIGHT TO ALLOW THE 1ST FLOOR ADDITION

REMOVE EXISTING PORTICO ROOF, PATCH CLADDING WHERE REQUIRED. BUILD FIRST FLOOR DECK ON POSTS TO CREATE PORTICO ROOF ENTRY

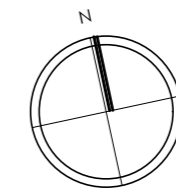
REMOVE WALL FOR STAIR ACCESS WHERE SHOWN AND INSTALL STAIR

TO OWNERS: DEAL DIRECT WITH ELECTRICIAN TO HAVE A HARDWIRED & INTERCONNECTED SMOKE ALARM INSTALLED. POSITION TO BE DETERMINED ONSITE BY ELECTRICIAN TO BE COMPLIANT WITH PART 9.5.1 OF THE NCC 2022

REFURBISH EXISTING BATHROOM TO CREATE ENSUITE.

EXISTING METAL ROOFING, GUTTERS, FASCIA, EAVES AND DOWNPIPES TO REMAIN

- = To Your Style (proposed alterations)
- = Proposed Alterations (To Owners)
- = Existing Home





**FIRST FLOOR PLAN**

**First Floor Addition**

- External walls - James Hardie - Hardiplank
- Roof - Colorbond Corro
- Windows - Residential Aluminium

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<b>Drawing Title :</b>	<b>FIRST FLOOR PLAN</b>		
<b>Project Name :</b>	<b>First Floor Addition</b>		
<b>Architect:</b>	<b>Your Style Designer Home Additions</b>		
<b>Status :</b>	<b>DA STAGE</b>	<b>Scale :</b>	<b>1:100</b>
<b>Plot Date :</b>	<b>Wednesday, 18 December 2024</b>	<b>Drawing No. :</b>	<b>7</b>
<b>File Location:</b>	JON 0724 01 DA.pln		

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SARKING TO BE INSTALLED ON THE EXTERNAL SIDE OF WALL FRAMES AND INSULATION AS PER 10.8.1 OF THE NCC 2022

WINDOWS AND EXTERNAL GLAZED DOORS TO 8.2 OF THE NCC 2022

WET AREAS TO HAVE MECHANICAL VENTILATION AS PER 10.8.2 OF THE NCC 2022

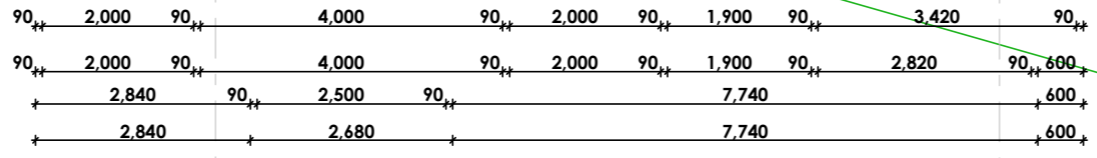
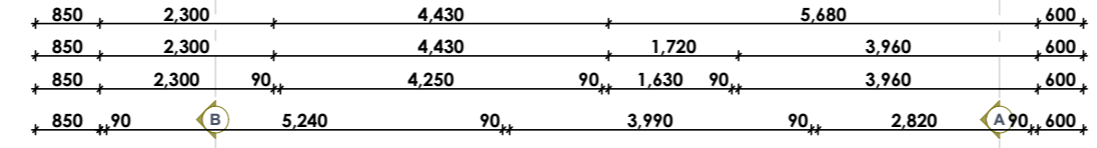
REMOVE EXISTING PORTICO ROOF, PATCH CLADDING WHERE REQUIRED. BUILD FIRST FLOOR DECK ON POSTS TO CREATE PORTICO ROOF ENTRY BELOW

WATERPROOF AND TILE DECK WITH FALL TO EDGE WITH BALCONY TRIM DETAIL. DECK WATERPROOFING AS PER AS.4654-2012

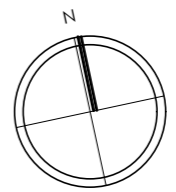
DECK STEP DOWN FROM INTERNAL FLOOR LEVEL OF 50mm MINIMUM.

HARDWIRED AND INTERCONNECTED SMOKE ALARM TO BE INSTALLED. POSITION TO BE DETERMINED ONSITE BY ELECTRICIAN TO BE COMPLIANT WITH PART 9.5.1 OF THE NCC 2022

CANTILEVER 1ST FLOOR ADDITION OUT IN BED 2 WHERE SHOWN.



- = To Your Style (proposed alterations)
- = Proposed Alterations (To Owners)
- = Existing Home





# ELEVATIONS (EAST & WEST)

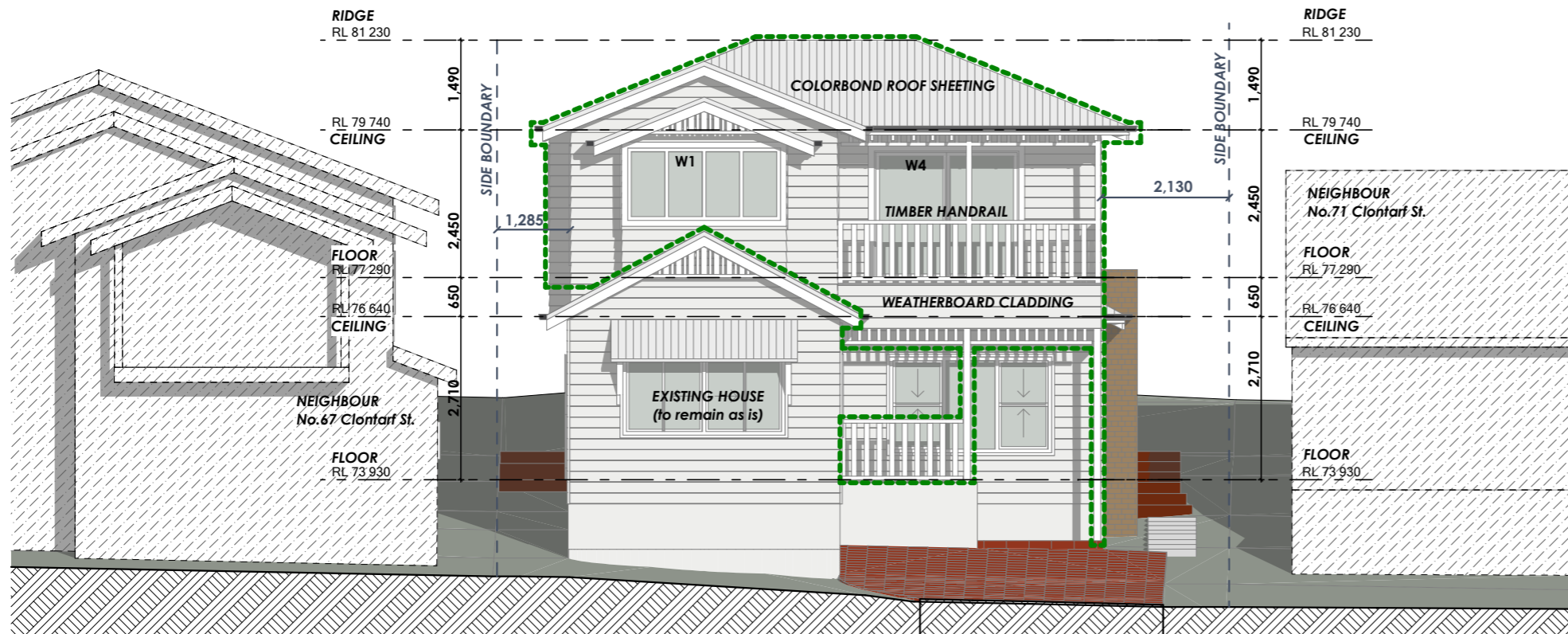


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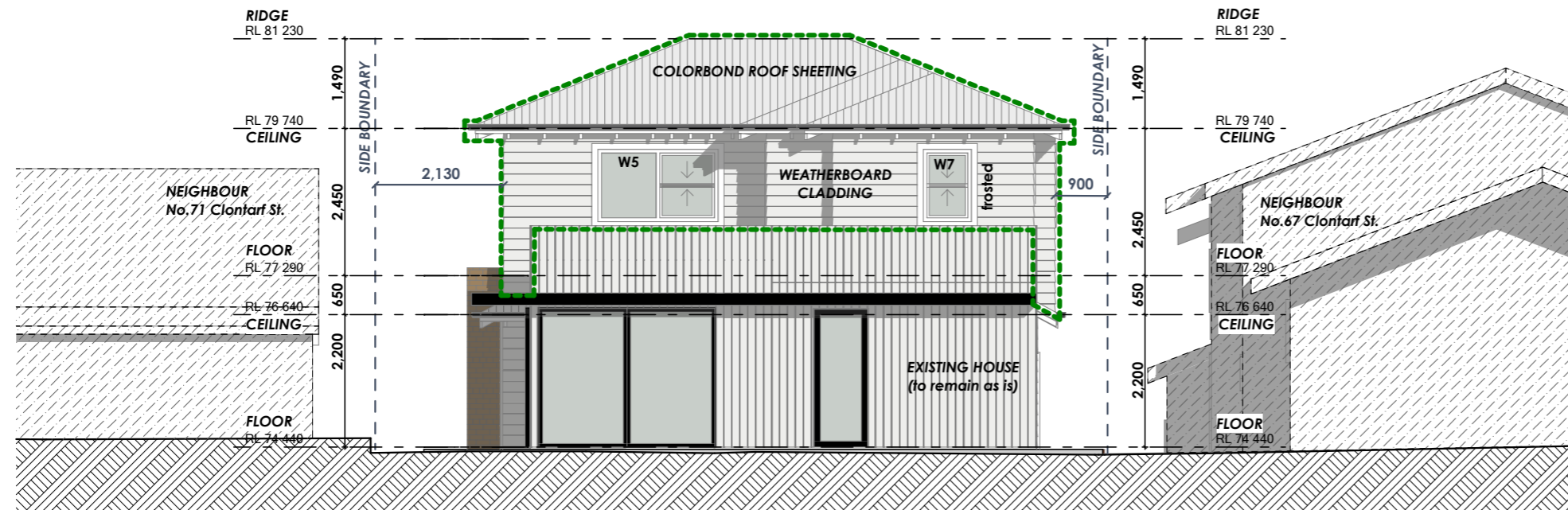
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**EAST ELEVATION (FRONT ELEVATION)**

**1:100**



**WEST ELEVATION (REAR ELEVATION)**

**1:100**

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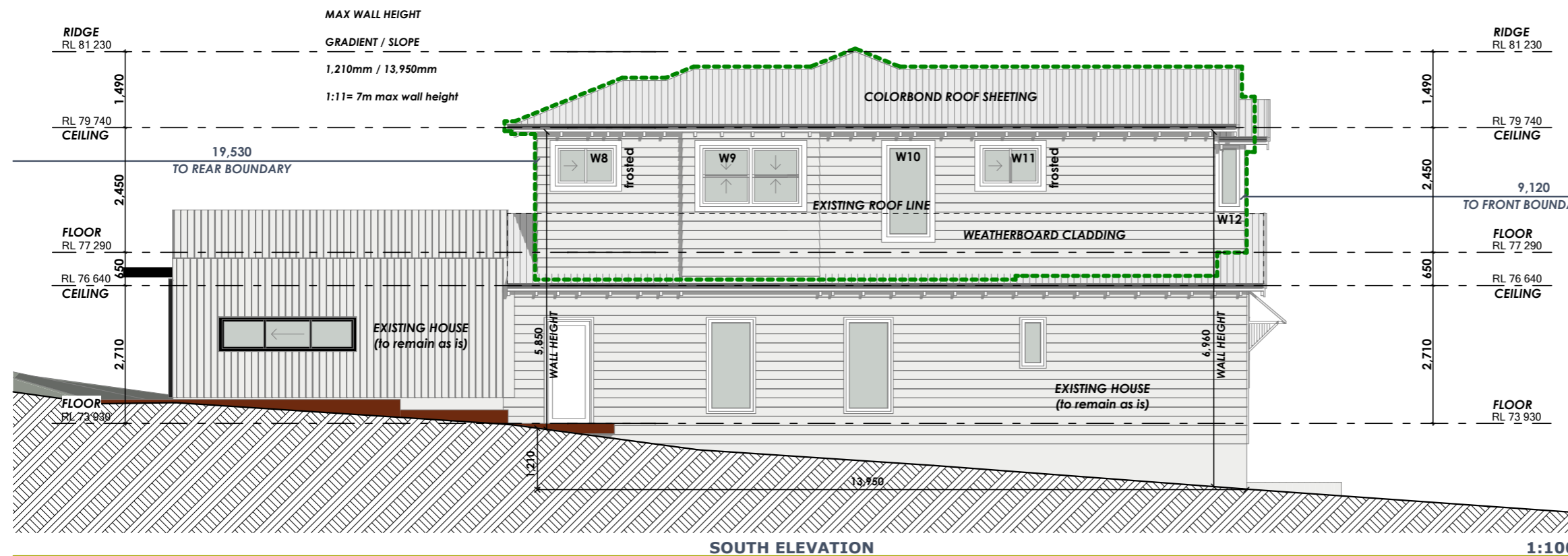
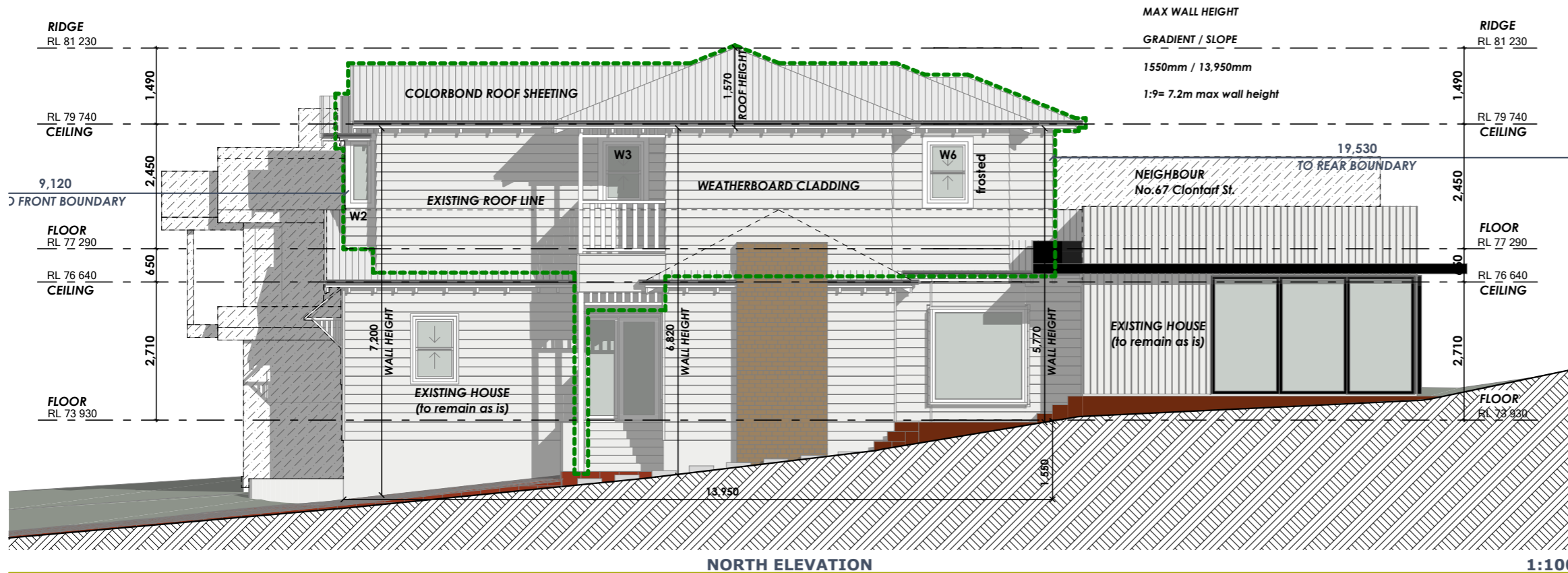
<b>Drawing Title :</b>	<b>ELEVATIONS</b>		
<b>Project Name :</b>	<b>First Floor Addition</b>		
<b>Architect:</b>	<b>Your Style Designer Home Additions</b>		
<b>Status :</b>	<b>DA STAGE</b>	<b>Scale :</b>	<b>1:100</b>
<b>Plot Date :</b>	<b>Wednesday, 18 December 2024</b>	<b>Drawing No. :</b>	<b>8</b>
<b>File Location:</b>	<b>JON 0724 01 DA.pln</b>		

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# ELEVATIONS (NORTH & SOUTH)



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Client Name :	NICK & KAREN JONES
Client Address :	69 CLONTARF STREET, SEAFORTH 2092
Client No. :	JON 0724 01 DA

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Signed..... Date: Wednesday, 18 December 2024  
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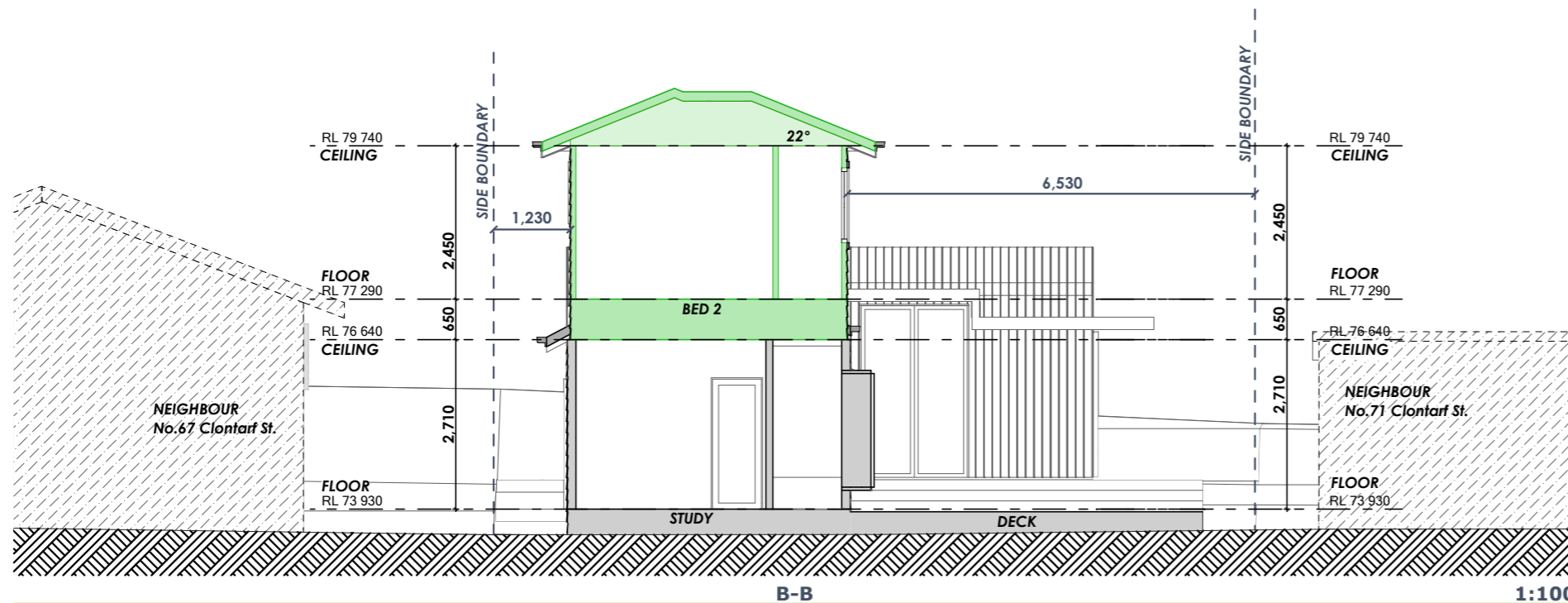
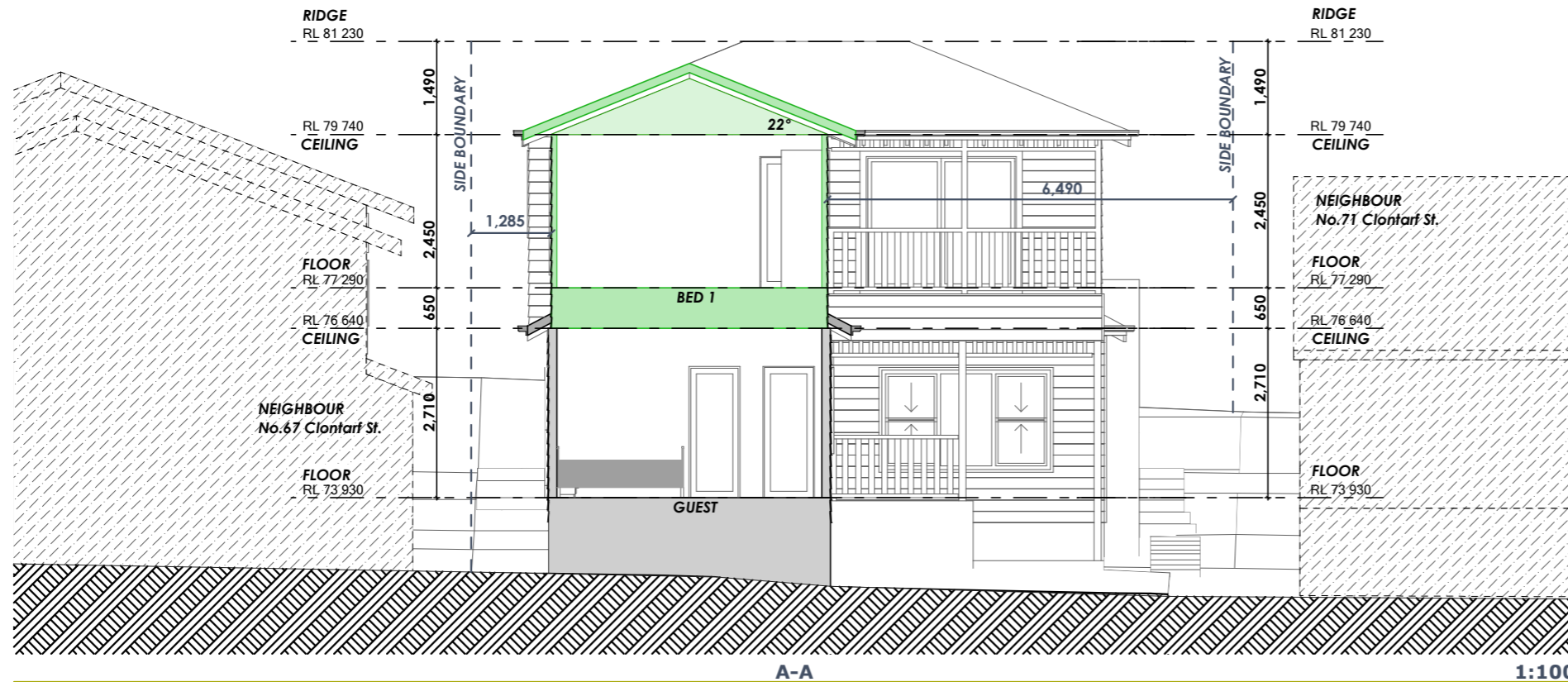
Drawing Title :	ELEVATIONS		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	9
File Location :	JON 0724 01 DA.pln		

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Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Drawing Title :	SECTIONS		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	10
File Location :	JON 0724 01 DA.pln		

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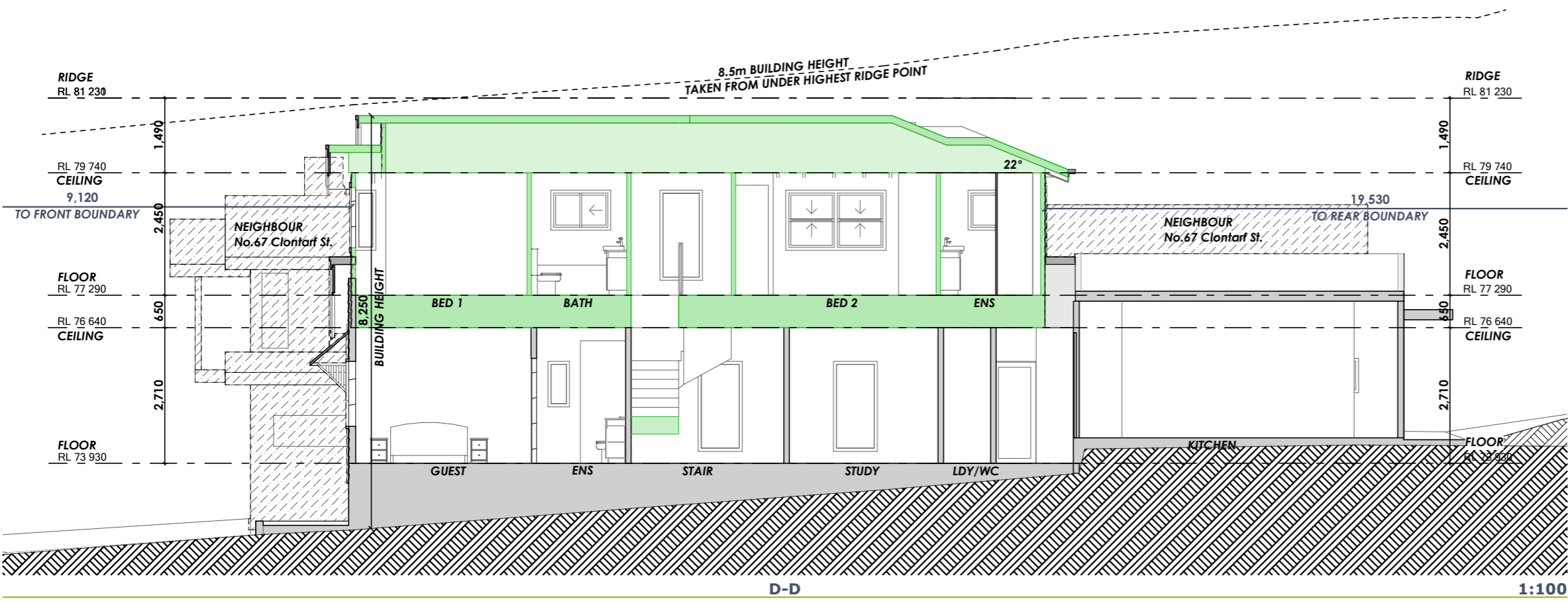
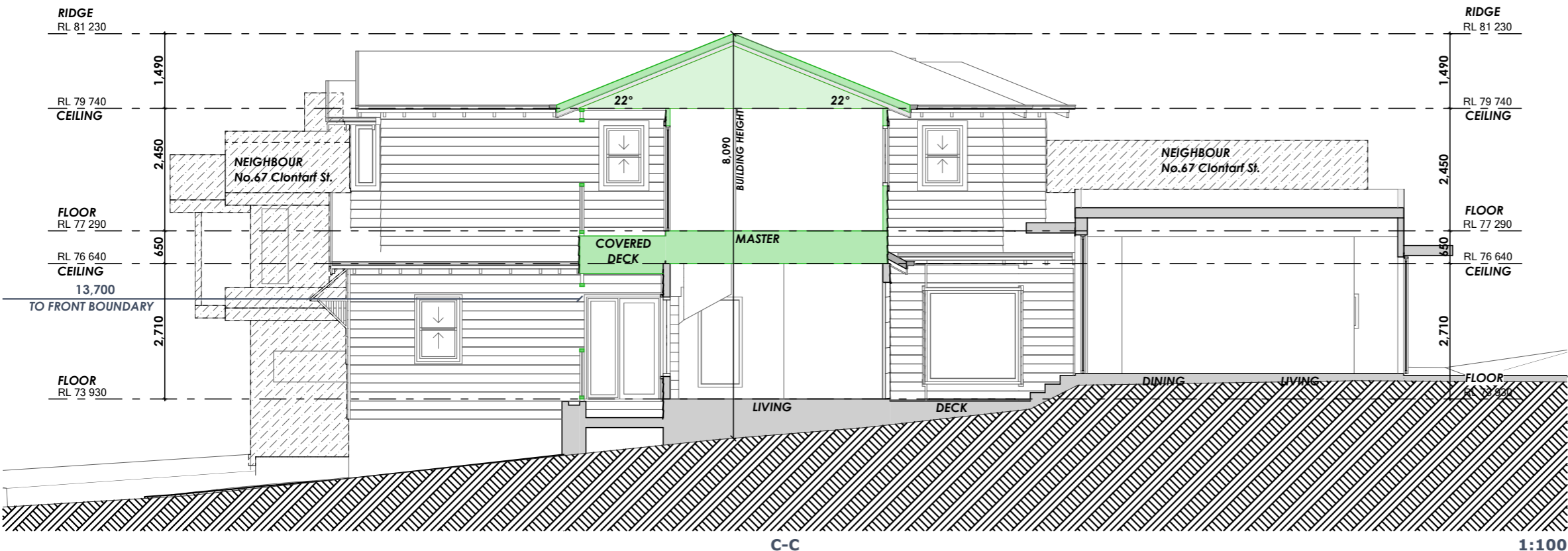


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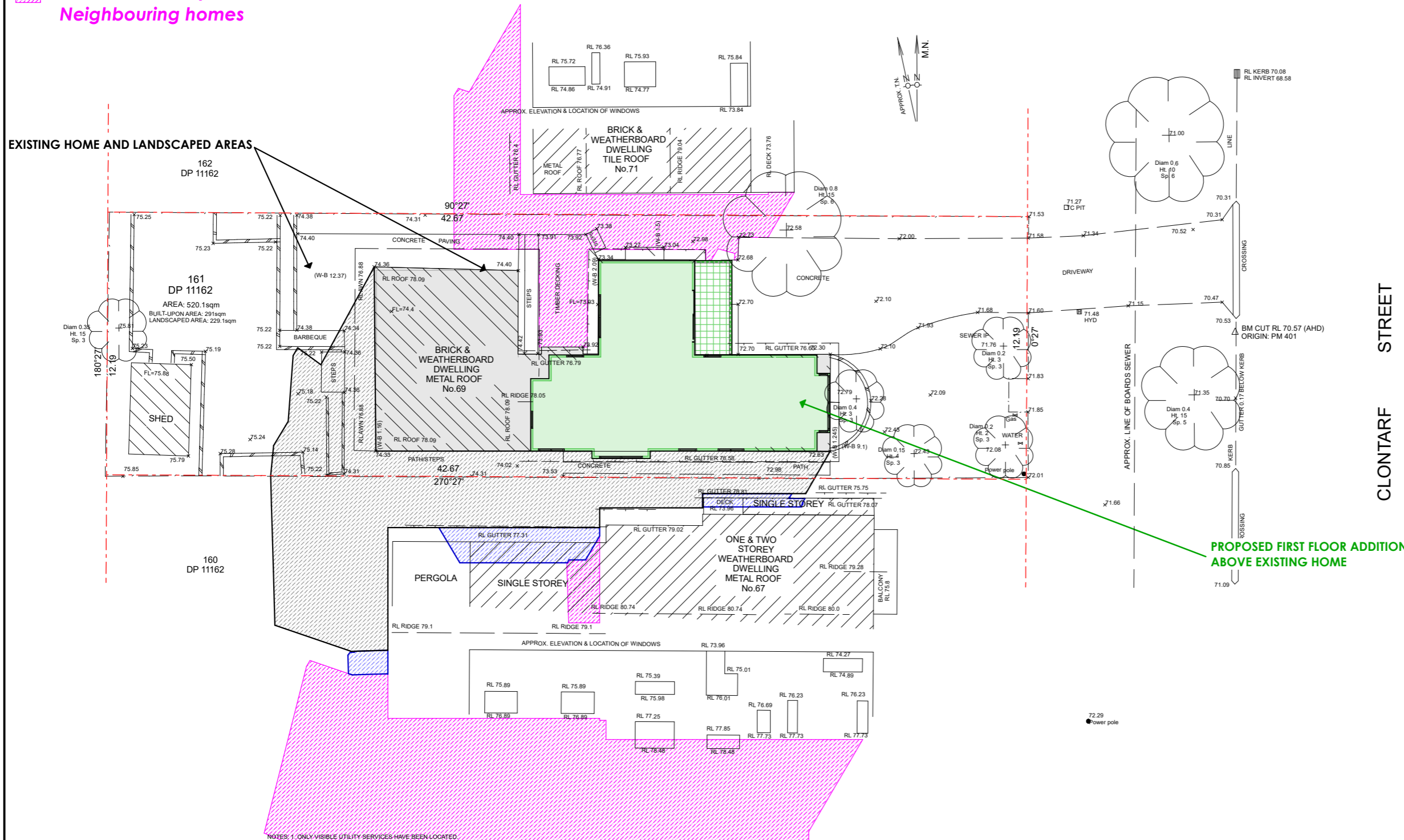
Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Drawing Title :	SECTIONS		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:100
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	11
File Location :	JON 0724 01 DA.pln		

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# SHADOWS DIAGRAMS 21 JUNE - 9am

- = Proposed Shadows
- = Existing Shadows
- = Shadows cast by Neighbouring homes



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Client No. :	JON 0724 01 DA

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Signed..... Date: Wednesday, 18 December 2024  
 Client's signature

Drawing Title :	SHADOWS 21 JUNE 9am		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	14
File Location:	JON 0724 01 DA.pln		

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69 CLONTARF ST SEAFORTH

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 J. McClure

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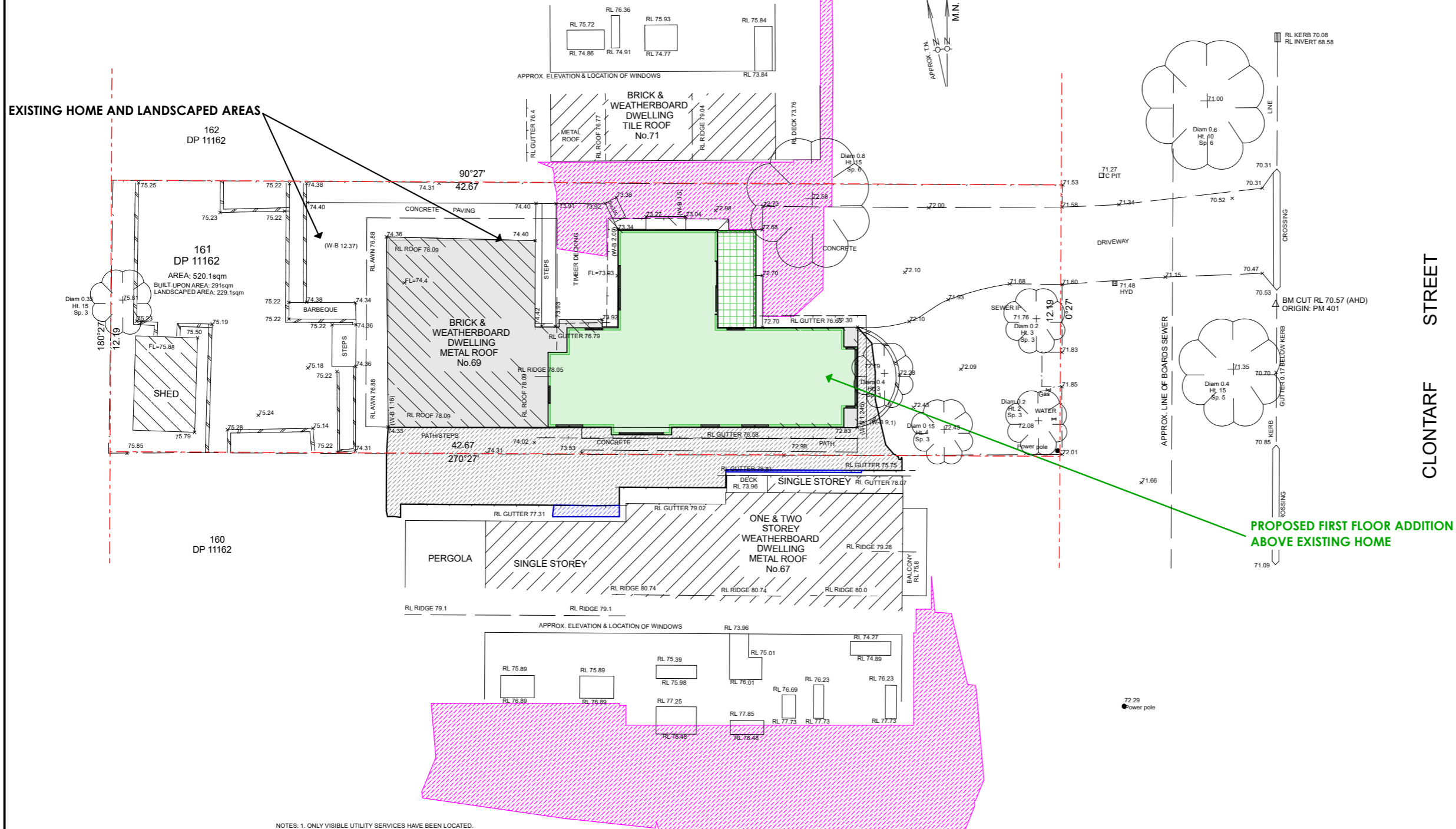
LOT 161 DP 1162  
 BOUNDARY DEFINITION  
 & LEVELS

A1 REDUCTION RATIO: 1:100		DRAWING No. <b>1</b>
SURVEY	J.McC	
DRAWN	A1 J.McC	
REFERENCE	050/24 23 OCT 2024	



# SHADOWS DIAGRAMS 21 JUNE - 12pm

- = Proposed Shadows
- = Existing Shadows
- = Shadows cast by Neighbouring homes





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Client Name :	NICK & KAREN JONES
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Client No. :	JON 0724 01 DA

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Signed..... Date: Wednesday, 18 December 2024  
 Your Style Designer Home Additions

Signed..... Date: Wednesday, 18 December 2024  
 Client's signature

Signed..... Date: Wednesday, 18 December 2024  
 Client's signature

Drawing Title :		SHADOWS 21 JUNE 12pm	
Project Name :		First Floor Addition	
Architect:		Your Style Designer Home Additions	
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	15
File Location :	JON 0724 01 DA.pln		

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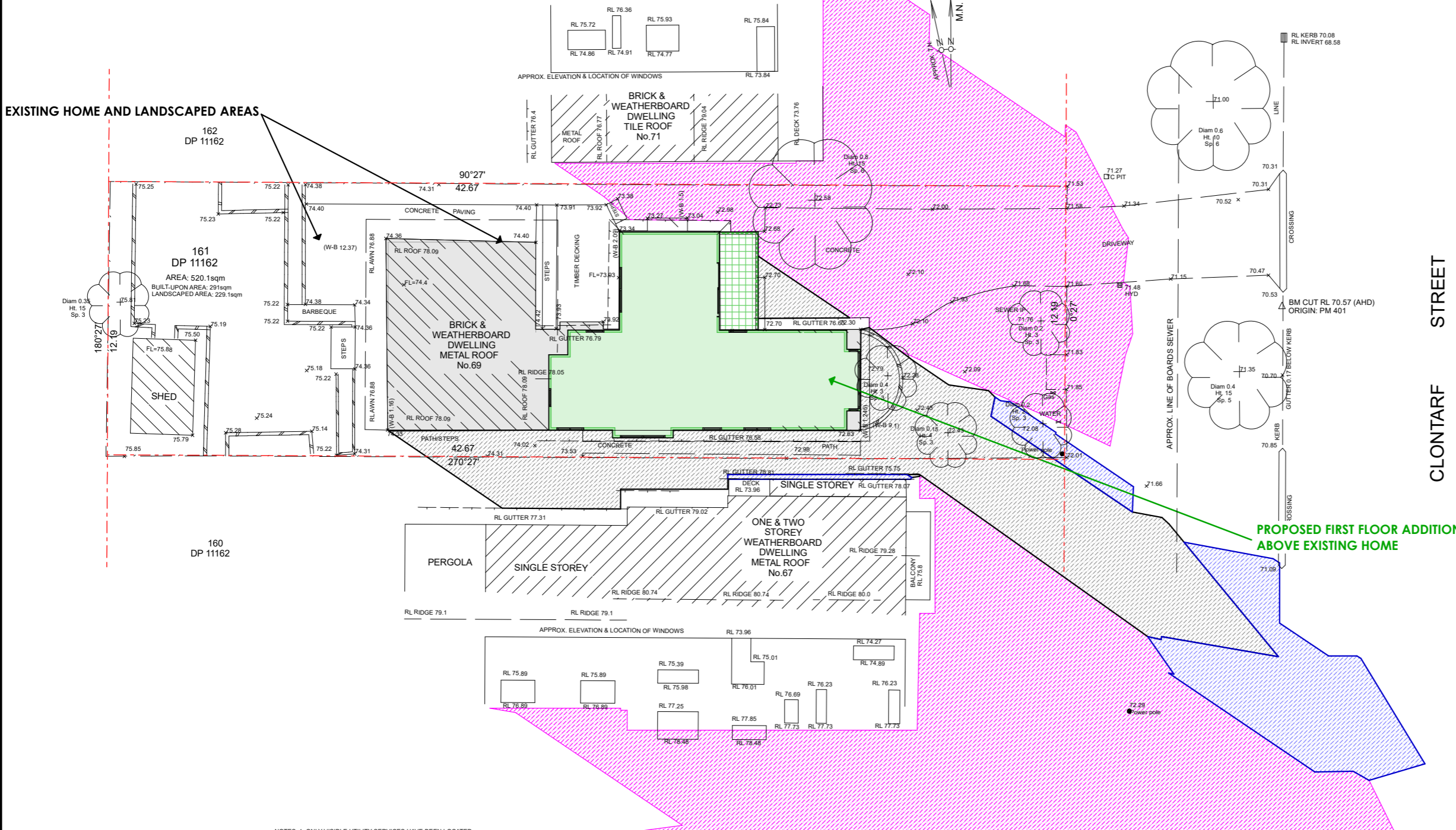
<b>69 CLONTARF ST SEAFORTH</b>	<b>DETAILED SURVEYS</b> (A.B.N. 36 233 529 164) CONSULTING SURVEYORS 87 ELANORA ROAD, ELANORA HEIGHTS, 2101 PHONE: 9913-9525 Email: <a href="mailto:jsurveyor@live.com.au">jsurveyor@live.com.au</a>	J. MCCLURE SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT, 2002 Registration No 3861 J. McClure	<b>N &amp; K JONES</b>
	<b>LOT 161 DP 11162                  BOUNDARY DEFINITION                  &amp; LEVELS</b>	A1 REDUCTION RATIO: 1:100 SURVEY: J.McC DRAWN: A1 J.McC REFERENCE: 050/24 23 OCT 2024	DRAWING No. <b>1</b>

# SHADOWS DIAGRAMS 21 JUNE - 3pm

= Proposed Shadows

= Existing Shadows

= Shadows cast by Neighbouring homes



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Client No. :	JON 0724 01 DA

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Signed..... Date: Wednesday, 18 December 2024  
Client's signature

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Signed..... Date: Wednesday, 18 December 2024  
Your Style Designer Home Additions

Signed..... Date: Wednesday, 18 December 2024  
Client's signature

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Drawing Title :	SHADOWS 21 JUNE 3pm		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	16
File Location:	JON 0724 01 DA.pln		

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BOUNDARY DEFINITION & LEVELS

A1 REDUCTION RATIO:	1:100	DRAWING No.	1
SURVEY	J.McC		
DRAWN	A1 J.McC		
REFERENCE	050/24	23 OCT 2024	

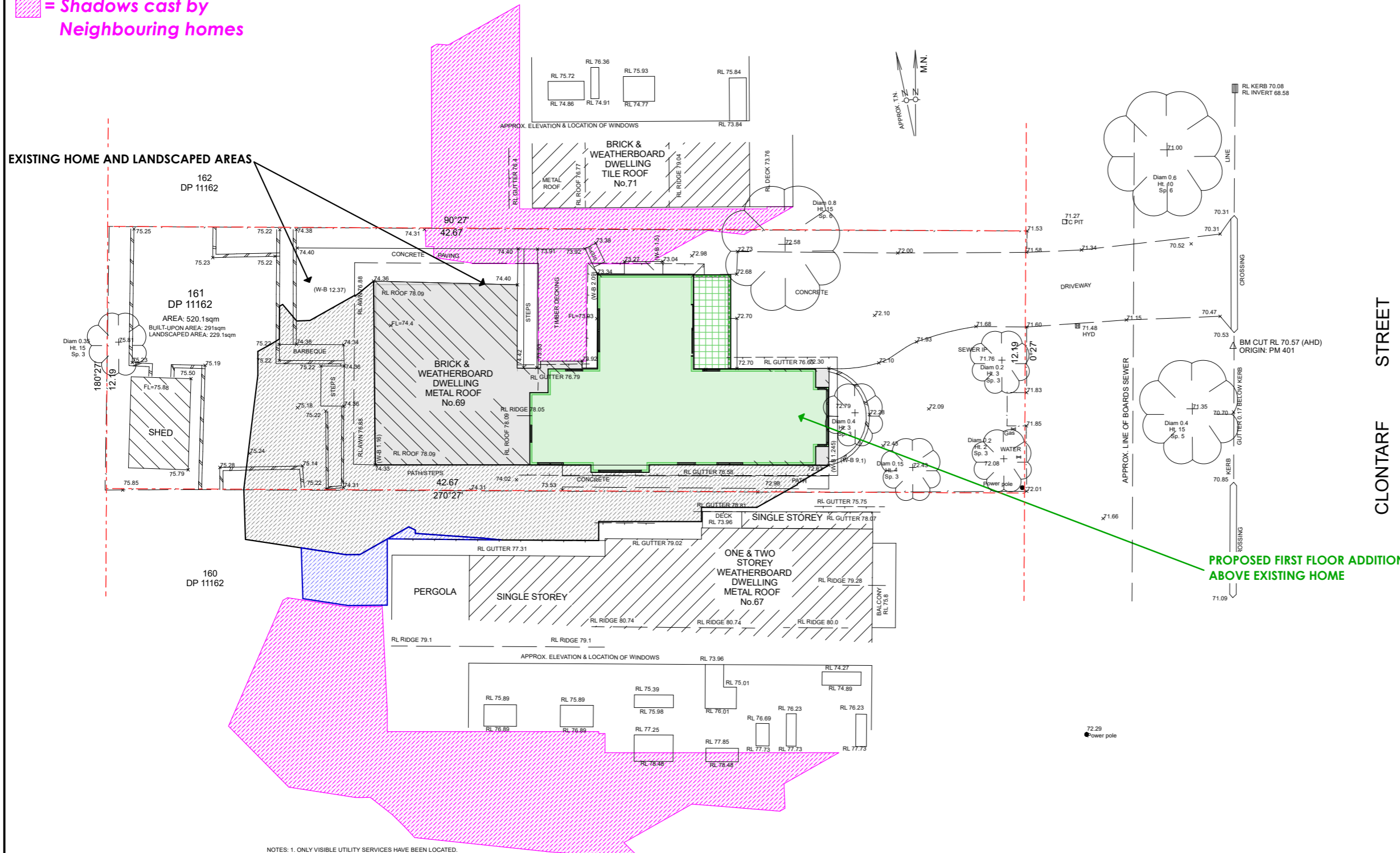


# SHADOWS DIAGRAMS 20 MARCH - 9am

= Proposed Shadows

= Existing Shadows

= Shadows cast by Neighbouring homes



**PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME**

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Signed..... Date: Wednesday, 18 December 2024  
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Drawing Title :	SHADOWS 20 MARCH 9am		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	17
File Location :	JON 0724 01 DA.pln		

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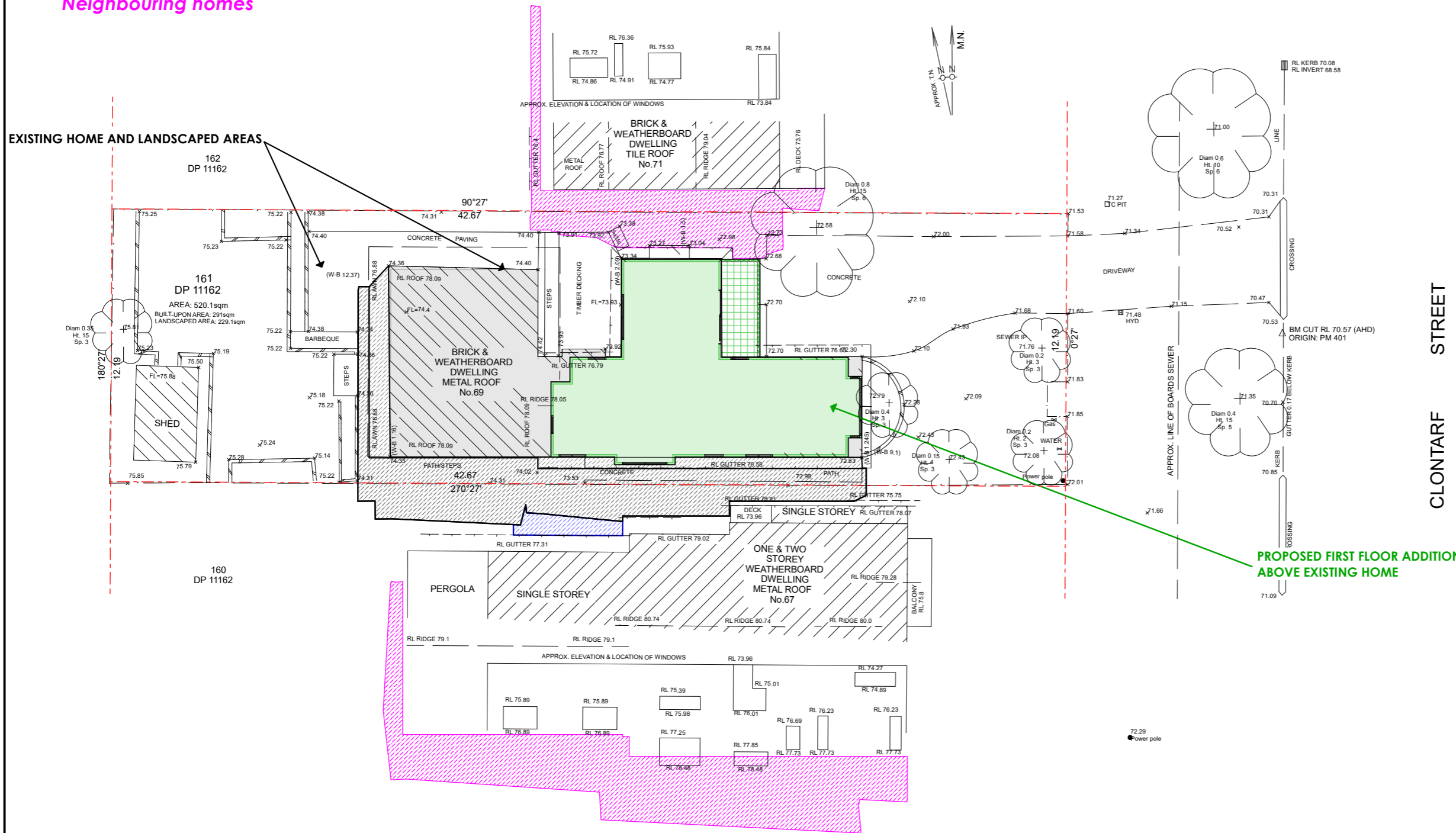
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	LOT 161 DP 11162 BOUNDARY DEFINITION & LEVELS		A1 REDUCTION RATIO: 1:100 SURVEY: J.McC DRAWN: A1 J.McC REFERENCE: 050/24      23 OCT 2024 DRAWING No. 1

# SHADOWS DIAGRAMS 20 MARCH - 12pm

= Proposed Shadows

= Existing Shadows

= Shadows cast by Neighbouring homes



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Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Drawing Title :	SHADOWS 20 MARCH 12pm		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	18
File Location :	JON 0724 01 DA.pln		

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69 CLONTARF ST SEAFORTH	DETAILED SURVEYS (A.B.N. 36 233 529 164) CONSULTING SURVEYORS 87 ELANORA ROAD, ELANORA HEIGHTS, 2101 PHONE: 9913-9525 Email: <a href="mailto:jsurveyor@live.com.au">jsurveyor@live.com.au</a>	J. MCCLURE SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT, 2002 Registration No 3861 J. McClure	N & K JONES
	LOT 161 DP 11162 BOUNDARY DEFINITION & LEVELS		A1 REDUCTION RATIO: 1:100 SURVEY: J.McC DRAWN: A1 J.McC REFERENCE: 050/24 23 OCT 2024 DRAWING No. 1

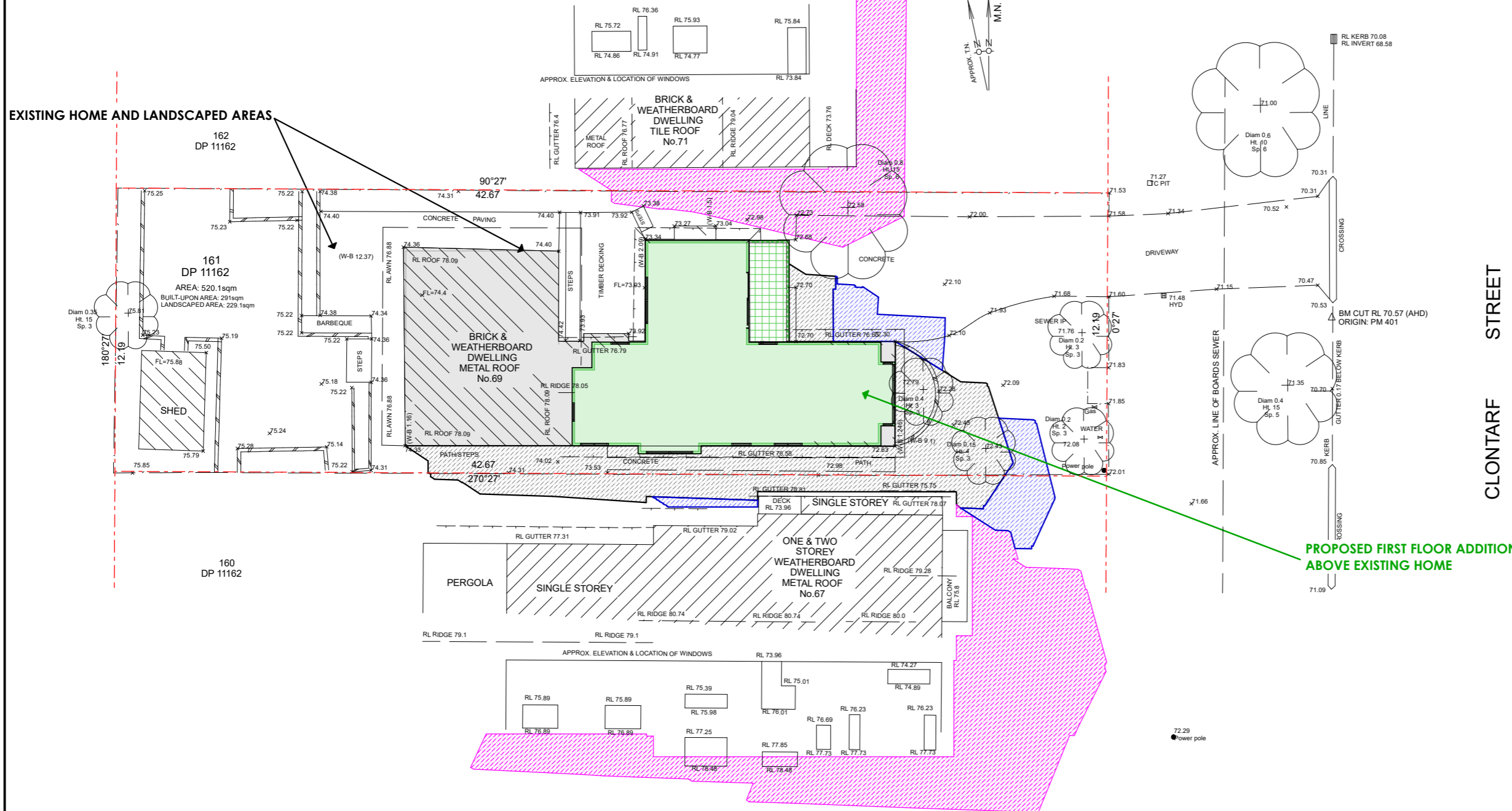


# SHADOWS DIAGRAMS 20 MARCH - 3pm

= Proposed Shadows

= Existing Shadows

= Shadows cast by Neighbouring homes



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A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name :	NICK & KAREN JONES
Client Address :	69 CLONTARF STREET, SEAFORTH 2092
Client No. :	JON 0724 01 DA

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Project Number: JON 0724 01 DA Included Pages: 1-

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Client's signature

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Signed..... Date: Wednesday, 18 December 2024  
Your Style Designer Home Additions

Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Signed..... Date: Wednesday, 18 December 2024  
Client's signature

Drawing Title :	SHADOWS 20 MARCH 3pm		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	19
File Location:	JON 0724 01 DA.pln		

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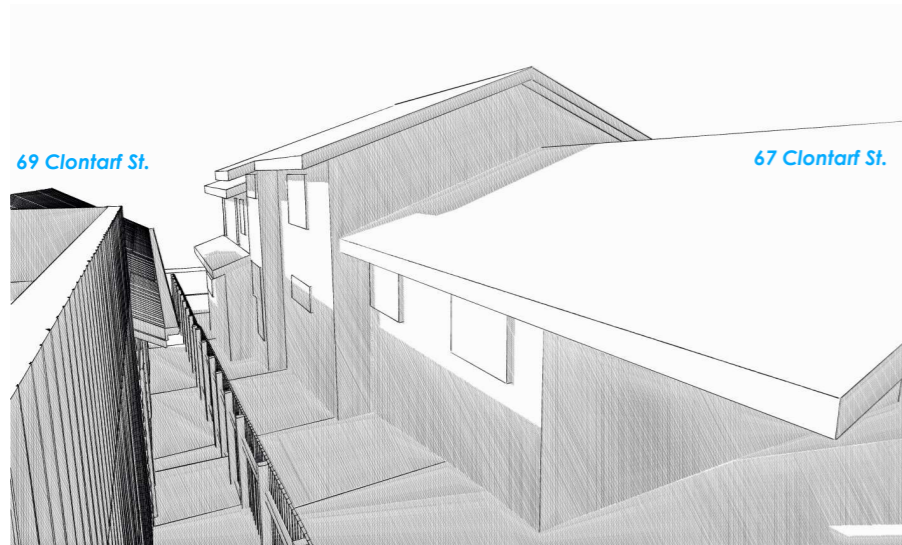
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NOTES: 1. ONLY VISIBLE UTILITY SERVICES HAVE BEEN LOCATED. RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO EXCAVATION ON OR NEAR THE SITE.  
2. BOUNDARIES HAVE BEEN DEFINED BY SURVEY TO IDENTIFICATION STANDARD. HOWEVER, IF ANY CONSTRUCTION IS PROPOSED IN PROXIMITY OF BOUNDARIES, IT IS RECOMMENDED THAT A FURTHER SURVEY BE REQUESTED FOR MARKING OF RELEVANT BOUNDARIES.  
3. COVENANTS, RESTRICTIONS ON LAND USE (IF ANY) NOT INVESTIGATED.  
4. ROOF LINES SHOWN ARE APPROXIMATE. SIGNIFICANT TREES GREATER THAN 0.4 DIAM. SHOWN  
5. APPROX. SEWER LINE MUST BE VERIFIED BY SYDNEY WATER.

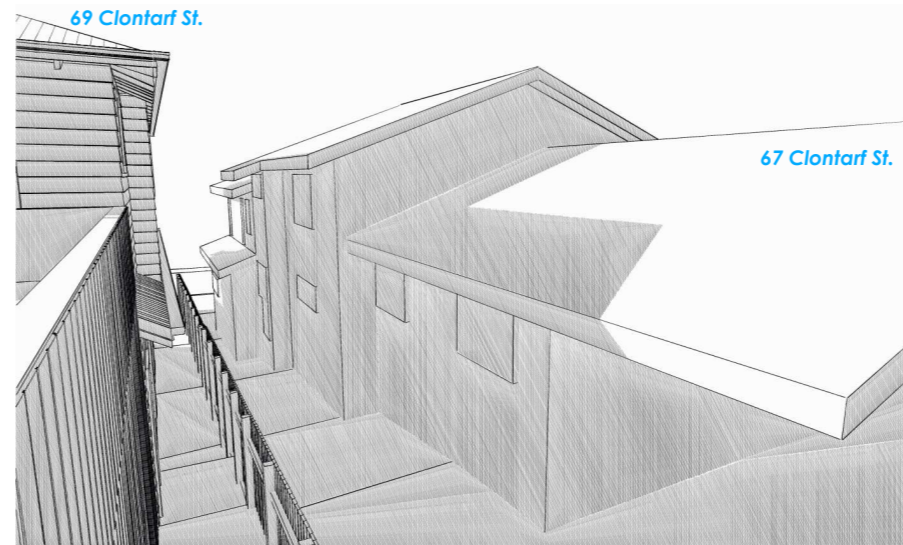
69 CLONTARF ST SEAFORTH	DETAILED SURVEYS (A.B.N. 36 233 529 164) CONSULTING SURVEYORS 87 ELANORA ROAD, ELANORA HEIGHTS, 2101 PHONE: 9913-9525 Email: <a href="mailto:jsurveyor@live.com.au">jsurveyor@live.com.au</a>	J. MCCLURE SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT, 2002 Registration No 3861 J. McClure	N & K JONES
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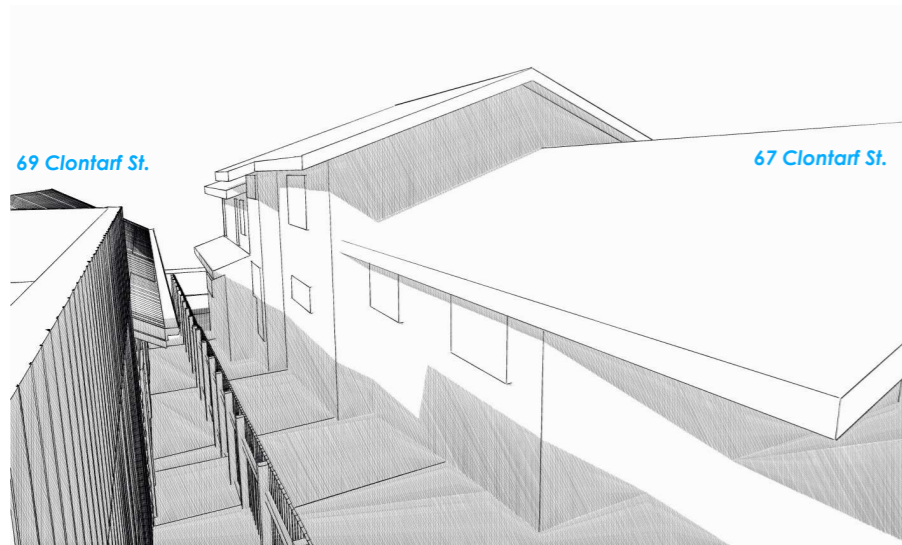
**EXISTING & PROPOSED SHADOWS - JUNE 21 SOUTHERN NEIGHBOUR**



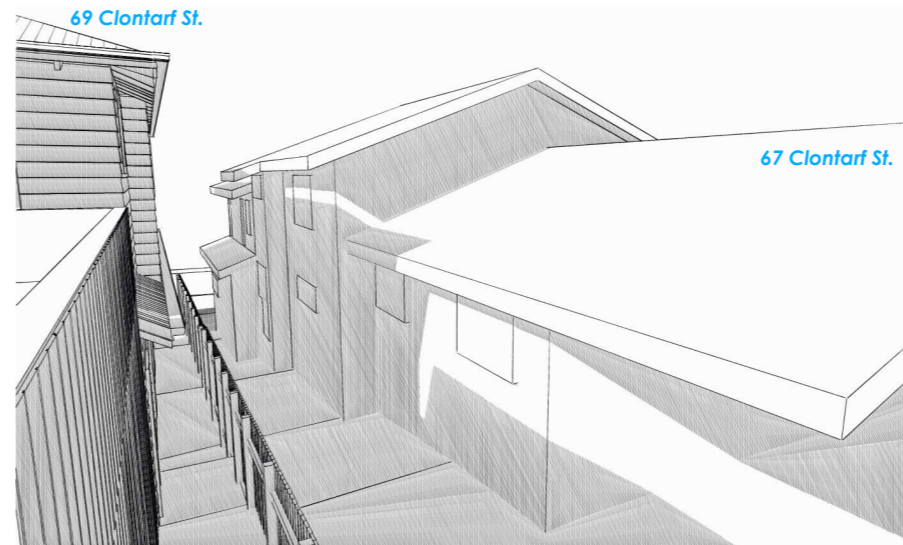
**EXISTING SHADOWS - 9am (view from the West)**



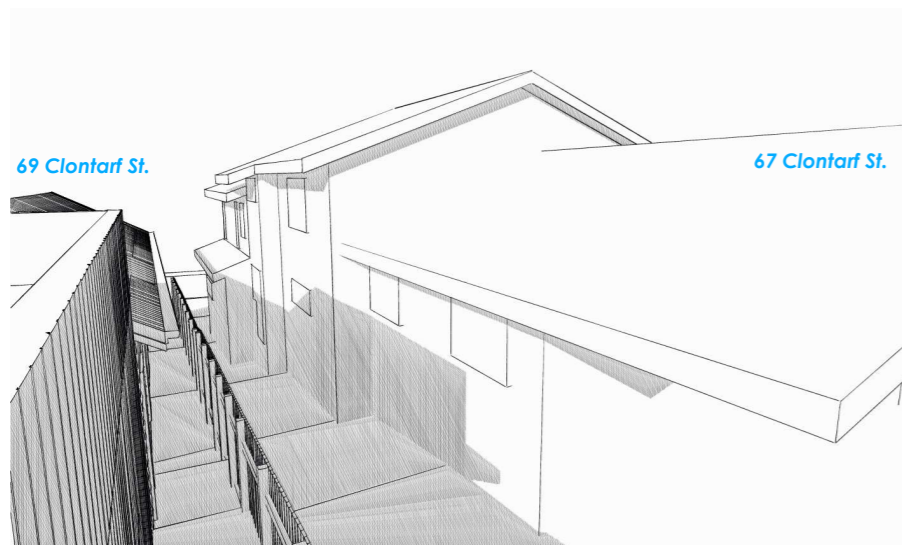
**PROPOSED SHADOWS - 9am (view from the West)**



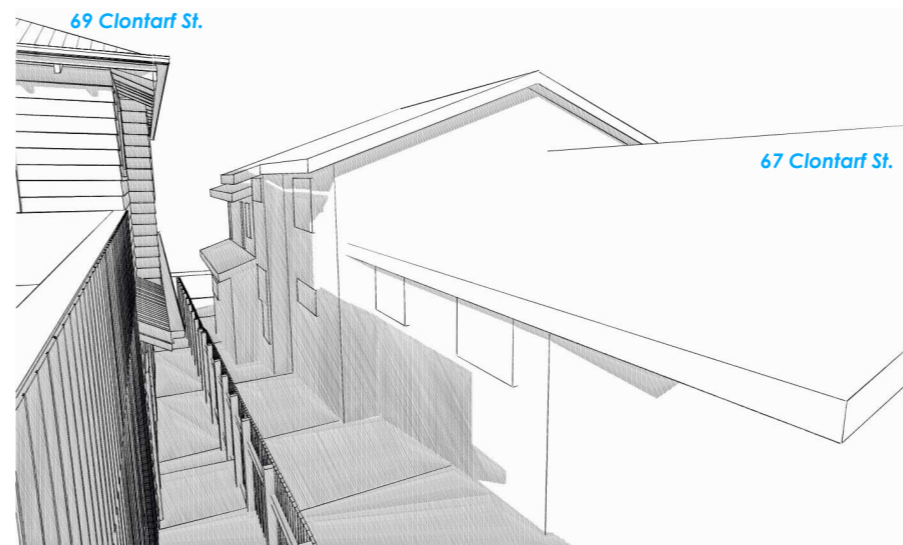
**EXISTING SHADOWS - 12pm (view from the West)**



**PROPOSED SHADOWS - 12pm (view from the West)**



**EXISTING SHADOWS - 3pm (view from the West)**



**PROPOSED SHADOWS - 3pm (view from the West)**

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Client Address :	69 CLONTARF STREET, SEAFORTH 2092
Client No. :	JON 0724 01 DA

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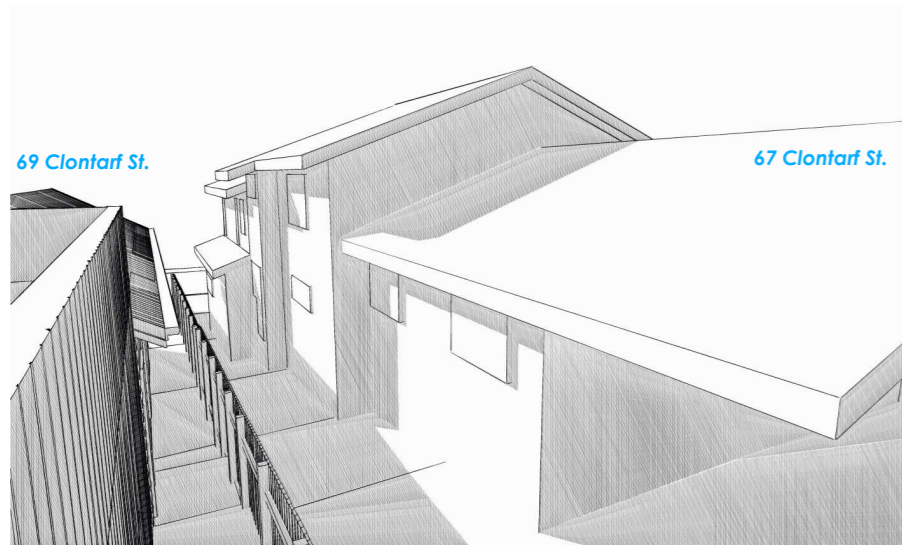
Drawing Title :	3D SHADOWS 21 JUNE		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:4.19
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	20
File Location :	JON 0724 01 DA.pln		

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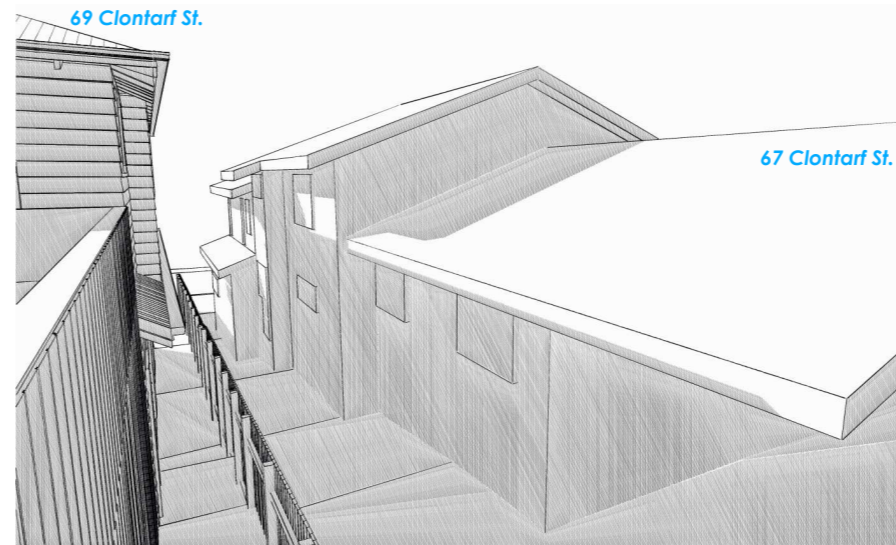
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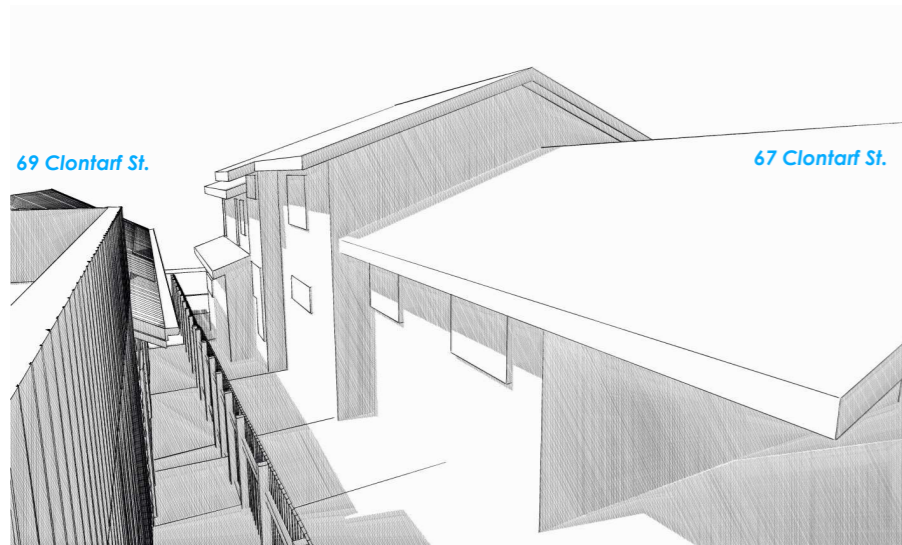
**EXISTING & PROPOSED SHADOWS - MARCH 20 SOUTHERN NEIGHBOUR**



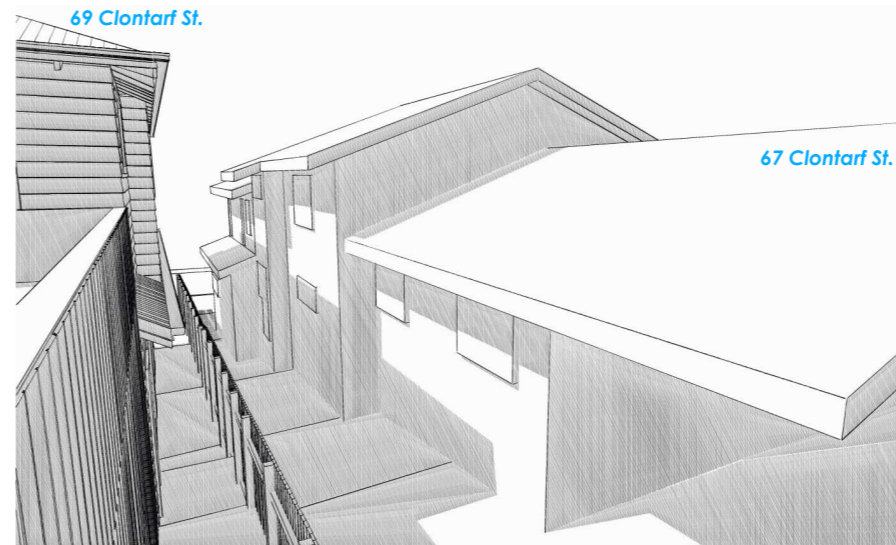
**EXISTING SHADOWS - 9am (view from the West)**



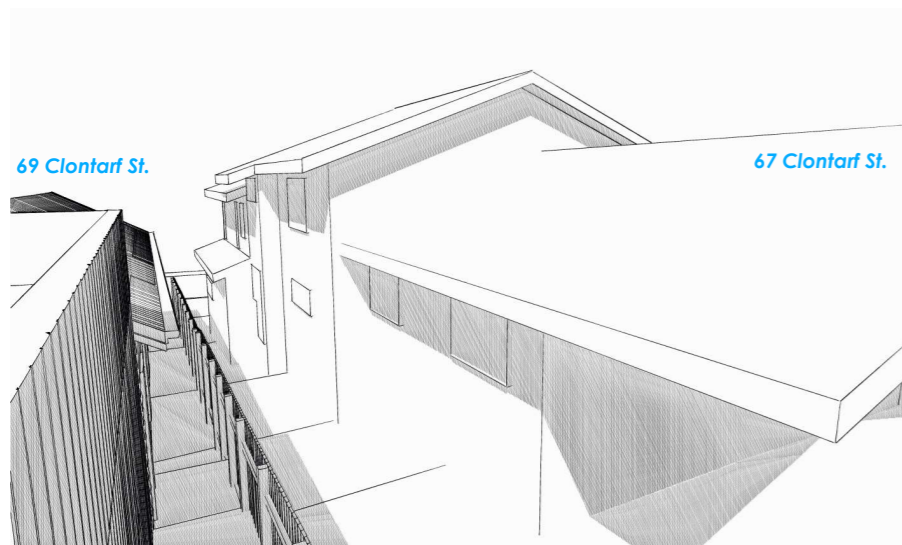
**PROPOSED SHADOWS - 9am (view from the West)**



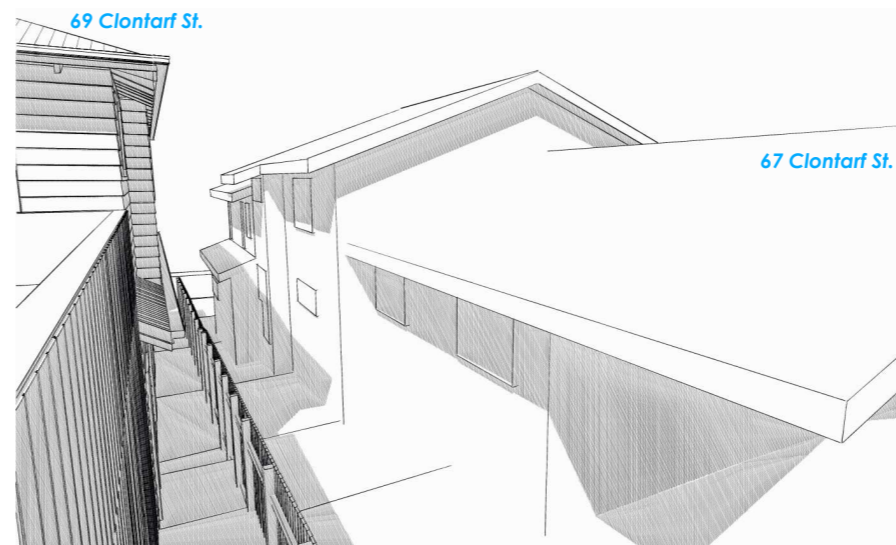
**EXISTING SHADOWS - 12pm (view from the West)**



**PROPOSED SHADOWS - 12pm (view from the West)**



**EXISTING SHADOWS - 3pm (view from the West)**



**PROPOSED SHADOWS - 3pm (view from the West)**

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Drawing Title :	3D SHADOWS 20 MARCH		
Project Name :	First Floor Addition		
Architect :	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:4.19
Plot Date :	Wednesday, 18 December 2024	Drawing No. :	21
File Location :	JON 0724 01 DA.pln		

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Client Name :	NICK & KAREN JONES	Drawing Title :	SCHEDULE OF FINISHES	
Client Address :	69 CLONTARF STREET, SEAFORTH 2092	Drawing No. :	29	DRAWINGS
Client No. :	JON 0724 01 DA	Plot Date :	Wednesday, 18 December 2024	NOT TO SCALE
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au	ABN 92 003 918 116 • ACN 003 918 116 BUILDER LICENCE • 60007C	 <b>9938 5611</b> <a href="http://www.yourstyle.com.au">www.yourstyle.com.au</a>



EXTERNAL WALLS	DULUX - LEXICON
FASCIA	DULUX - LEXICON
EAVES	DULUX - LEXICON
GUTTERS	COLORBOND NIGHTSKY
DOWNPIPES	COLORBOND NIGHTSKY
ROOF SHEETING	COLORBOND SHALE GREY
WINDOWS	PEARL WHITE