

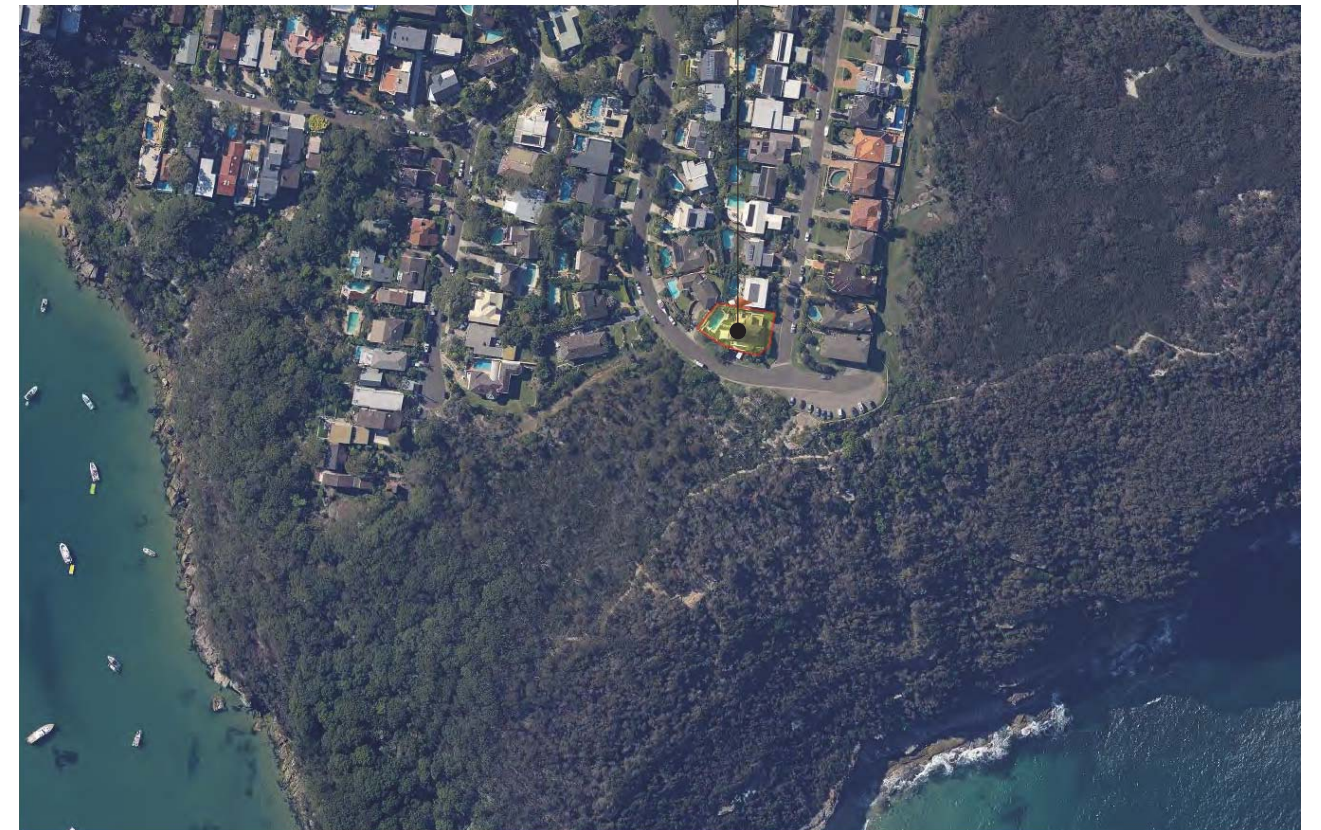
Issue Date

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   year    21

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1 Tabalum Rd, Balgowlah Heights



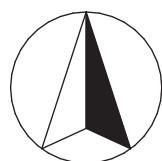
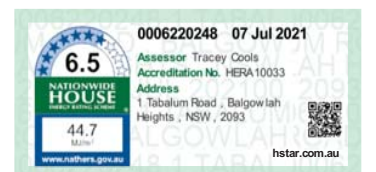
LOCATION PLAN (NTS)

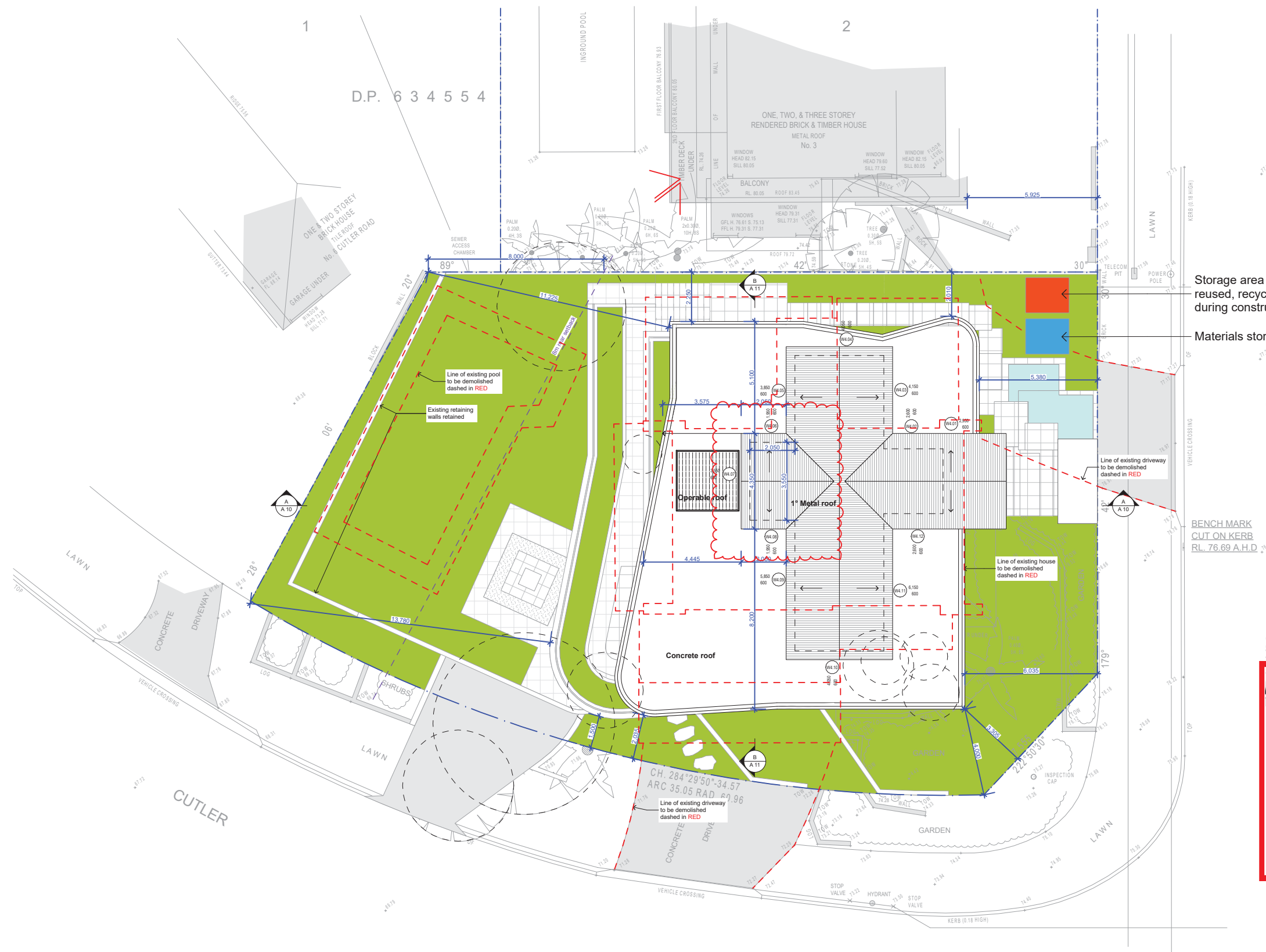


 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0509

[illegible]




SITE PLAN
1:200

Storage area for waste to be reused, recycled or disposed of during construction


Materials storage during construction

BENCH MARK
CUT ON KERB
RL 76.69 A.H.D.

 **northern beaches council**

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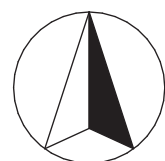
MOD2021/0509

 **0006220248 07 Jul 2021**
Assessor Tracey Coles
Accreditation No. HERA10033
Address
1 Tabalum Road, Balgowlah Heights, NSW, 2093
44.7
www.nathers.gov.au
hstar.com.au

Trees to be removed or transplanted.
See accompanying arborist report

Refer to separate landscape plans for detailed design/planting etc.

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4.55 Documents\4.55 1 - Clerestory roof and WIREnsuite extension\MOO 0219 - House Mooney 4.55 - 1 Level 2 extension and Roof.pln



Revision	Date	Revision Note
A	21.06.21	Clerestory roof extended to the West

General Notes:

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

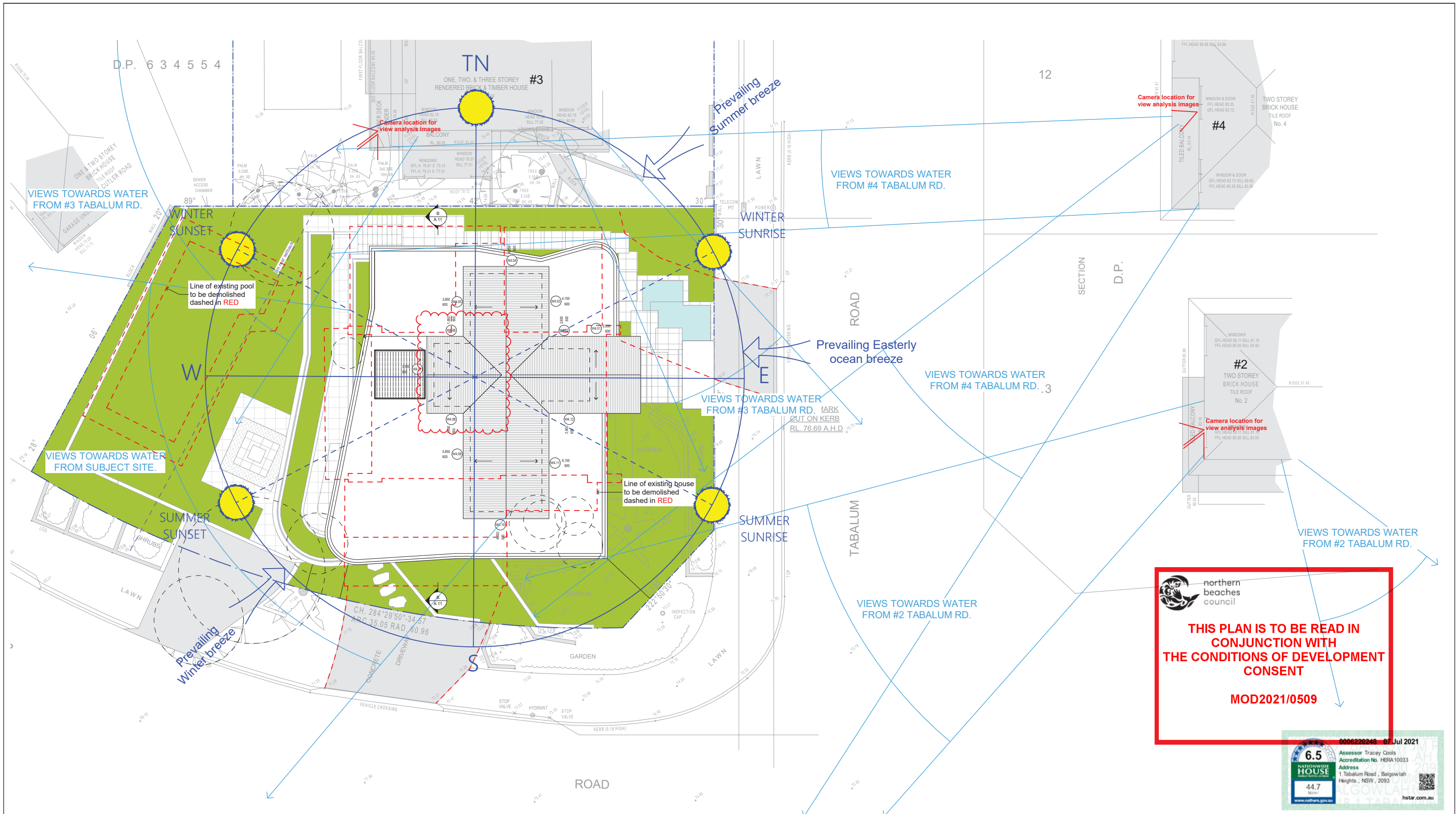
Drawing: **SITE PLAN**

Project #:	MOO 0219	Issue Type:	4.55
Original Sheet Size:	A3	Issue Date:	21/06/2021
Scale @ A3:	1:200	Sheet #:	A 01
Chkd:	Drawn:	ML	A

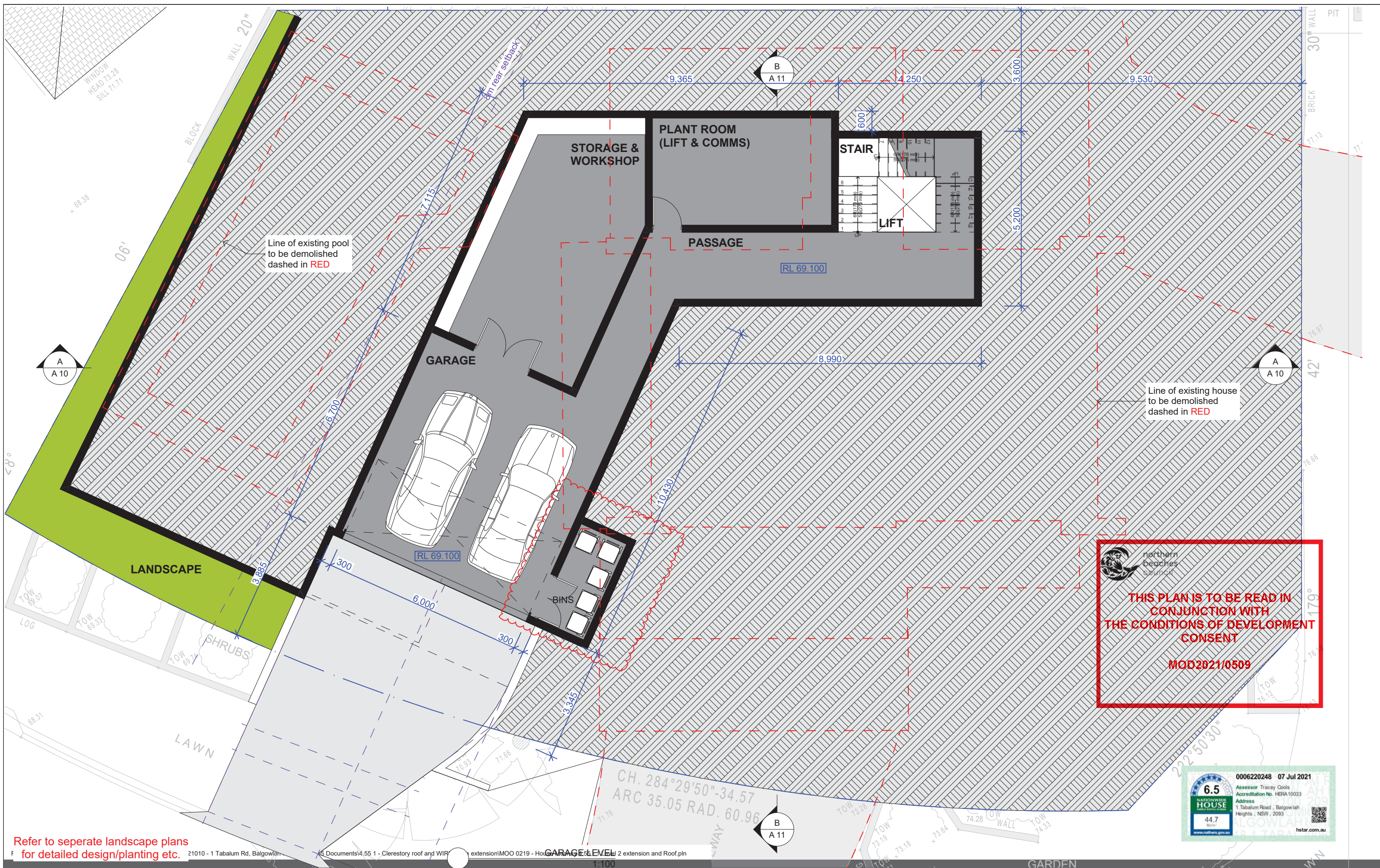
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North Narrabeen
NSW 2101

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NB: FOR DEATEILED VIEW ANAYLSIS IMAGES SEE DRAWINGS A24 TO A27			
SITE ANALYSIS PLAN			
C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4.55 Documents\4.55 1 - Clerestory roof and WIREnsuite extension\MOO 0219 - House Mooney 4.55 - 1 Level 2 extension and Roof.pln			
Revision A Date 21.06.21 Revision Note Clerestory roof extended to the West			
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Project: New Dwelling			
Client: Kevin Mooney			
Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044			
Drawing: SITE ANALYSIS PLAN			
Project #: MOO 0219 Issue Type: 4.55			
Original Sheet Size: A3 Issue Date: 21/06/2021			
Scale @ A3: 1:200 Sheet #: Revision: A			
Chkd: Drawn: ML A 02			
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0431 835 531 michael@legendds.com.au			
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Refer to separate landscape plans
for detailed design/planting etc.

21010 - 1 Tabalum Rd, Balgowlah

5 Documents\4.55 1 - Clerestory roof and WIR extension\MOO 0219 - House\MOO 0219 - Level 2 extension and Roof.pln

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **GARAGE**

Project #:	MOO 0219	Issue Type:	4.55
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Original Sheet Size: A3 Issue Date: 21/06/2021

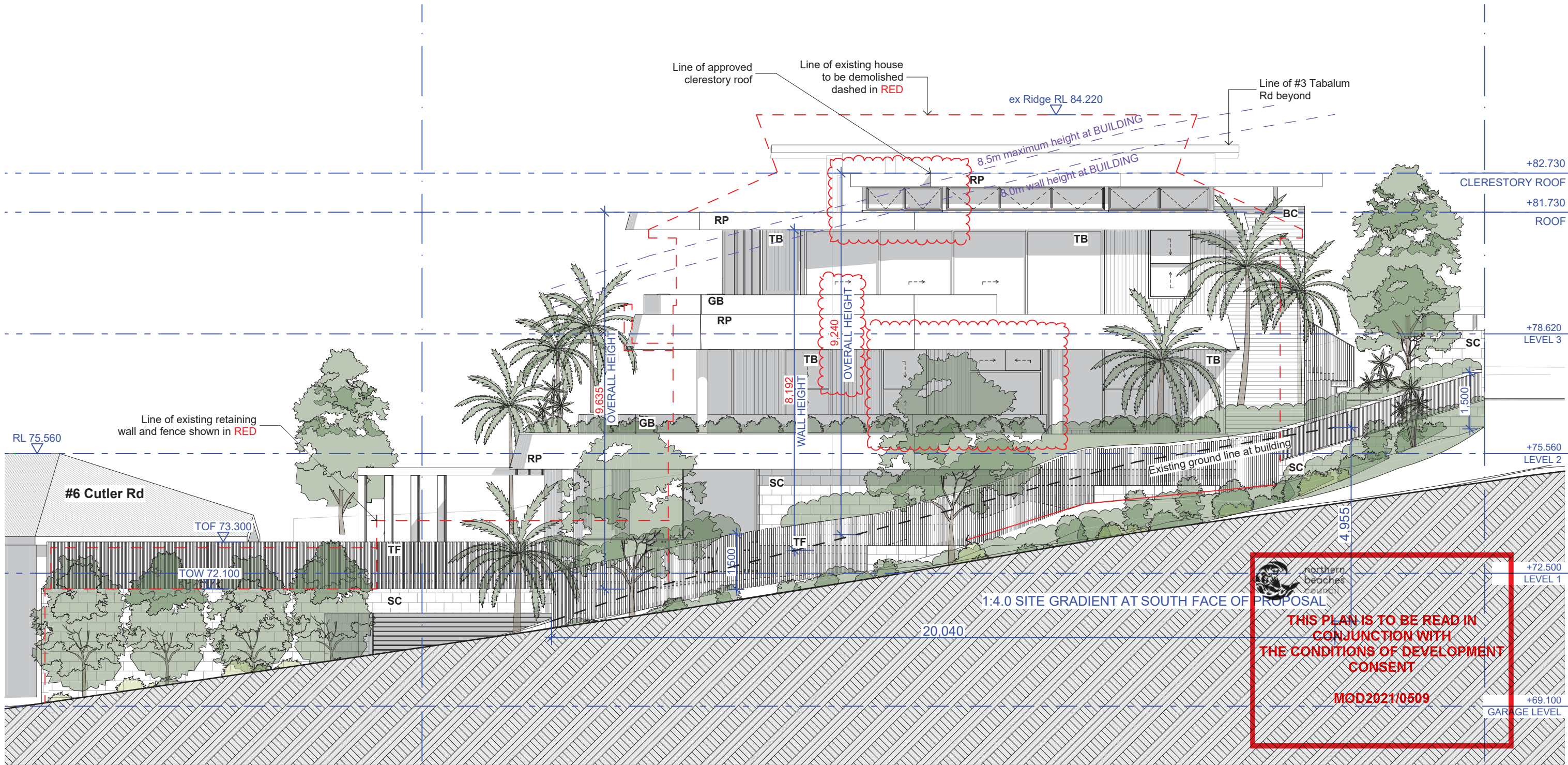
Scale @ A3: 1:100 Sheet #: Revision:

Chkd: Drawn: ML **A 05**

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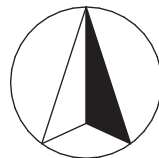
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SOUTH (CUTLER RD STREETSCAPE) ELEVATION
1:100

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4.55 Documents\4.55 1 - Clerestory roof and WIREnsuite extension\MOO 0219 - House Mooney 4.55 - 1 Level 2 extension and Roof.pln



Revision
A
Date
21.06.21
Revision Note
Clerestory roof extended to the West
WIR and Ensuite extended to the South

General Notes:

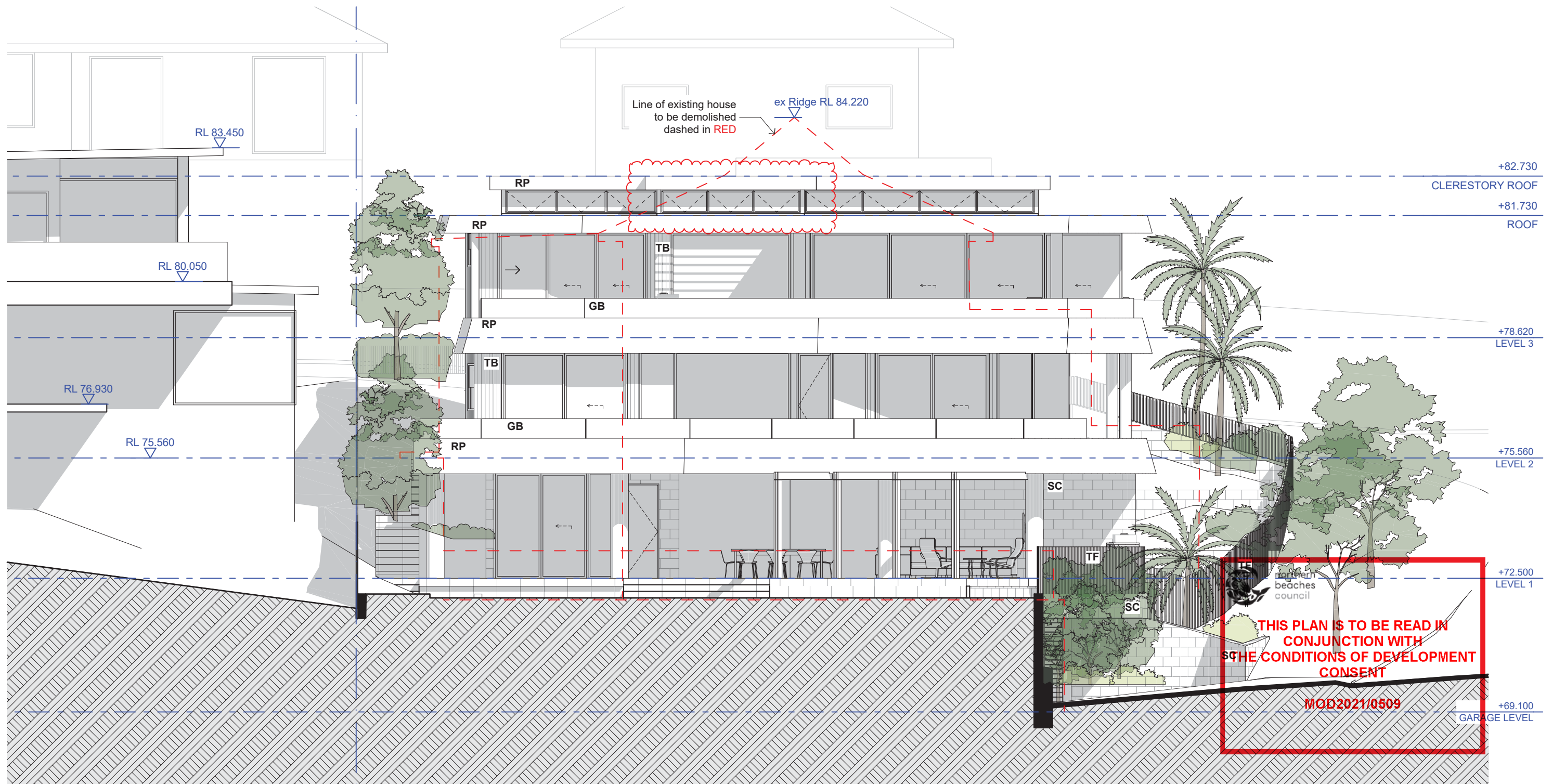
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.

Project:
New Dwelling
Client:
Kevin Mooney
Address: 1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044

Drawing:
SOUTH (CUTLER RD STREETSCAPE) ELEVATION
Project #: MOO 0219 Issue Type: 4.55
Original Sheet Size: A3 Issue Date: 21/06/2021
Scale @ A3: 1:100 Sheet #: Revision: A
Chkd: Drawn: ML A 13

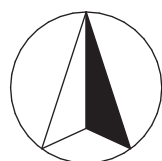
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North Narrabeen
NSW 2101
0431 835 531
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WEST ELEVATION
1:100

FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4.55 Documents\4.55 1 - Clerestory roof and WIREnsuite extension\MOO 0219 - House Mooney 4.55 - 1 Level 2 extension and Roof.pln



Revision	Date	Revision Note
A	21.06.21	Clerestory roof extended to the West

General Notes:

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Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **WEST ELEVATION**

Project #:	MOO 0219	Issue Type:	4.55
Original Sheet Size:	A3	Issue Date:	21/06/2021
Scale @ A3:	1:100	Sheet #:	A 14
Chkd:	Drawn:	ML	Revision: A

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NSW 2101

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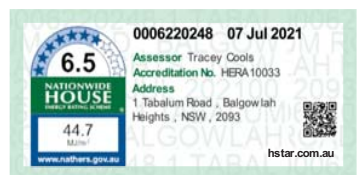
No visible change when viewed from Tabalum Rd.



3D STREETSCAPE FROM TABALUM RD

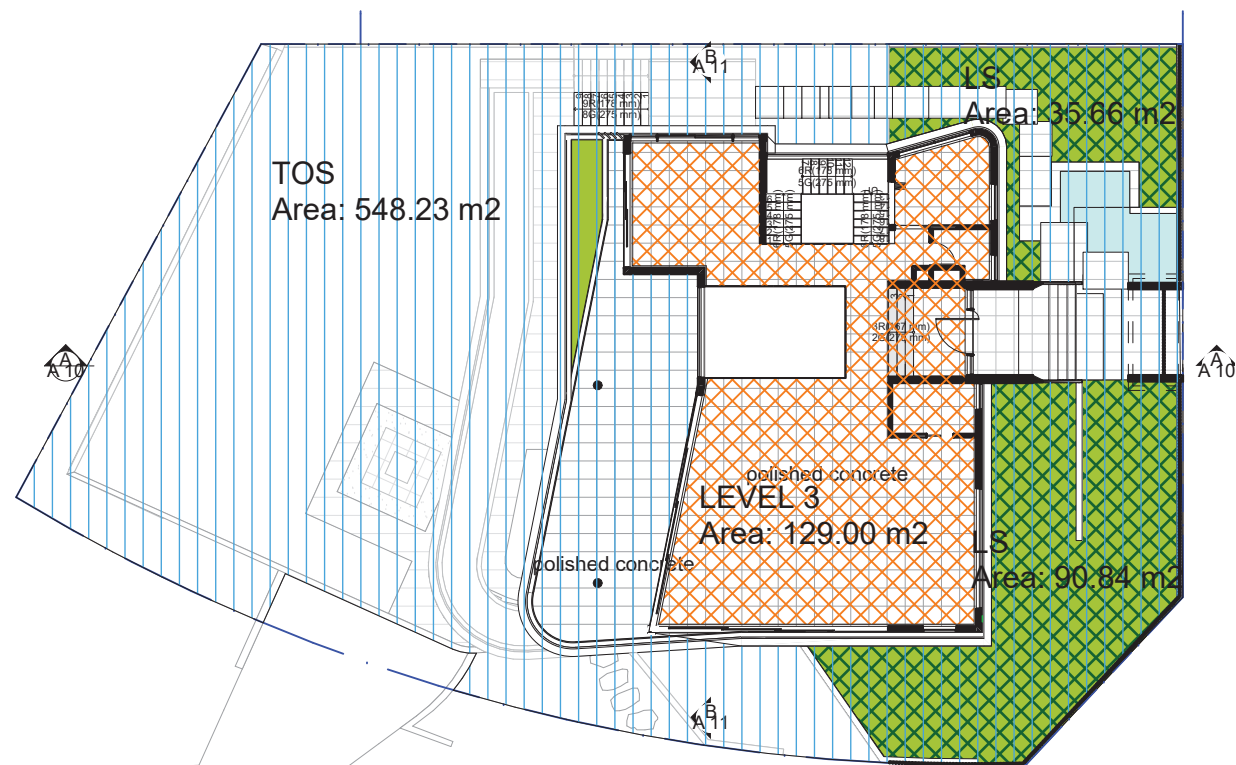
**THIS PLAN IS TO BE READ IN
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CONSENT**

MOD2021/0509



FILE: C:\Users\micha\Dropbox\Legend Design Studio\Projects\21010 - 1 Tabalum Rd, Balgowlah Heights\4. 4.55 Documents\4.55 1 - Clerestory roof and WIREnsuite extension\MOO 0219 - House Mooney 4.55 - 1 Level 2 extension and Roof.pln

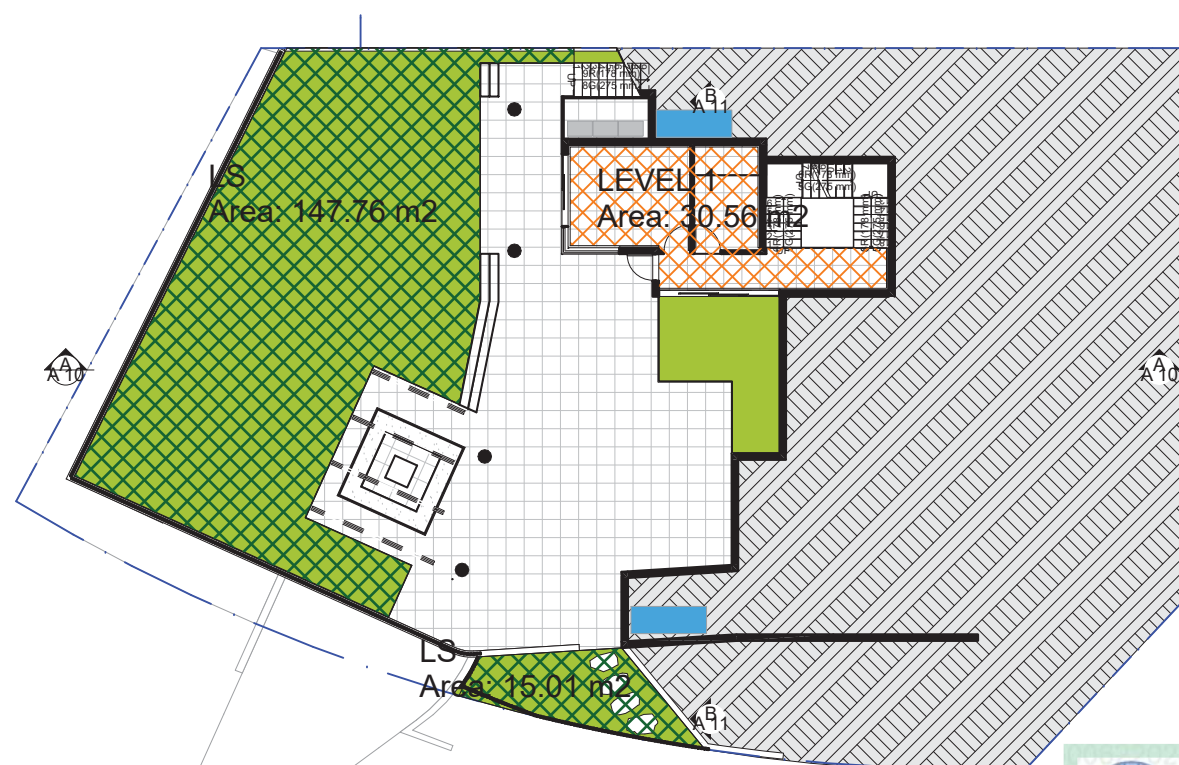
	Revision A	Date 21.06.21	Revision Note Clerestory roof extended to the West	CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. L.D.S. IS TO BE NOTIFIED OF ANY DISCREPANCIES IN THE DIMENSIONS AND SETTING OUT OF THE WORK. COPYRIGHT OF DESIGNS SHOWN HEREON IS RETAINED BY L.D.S. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.	Project: New Dwelling	Drawing: 3D VIEW				Legend Design Studio 20 Carefree Rd North Narrabeen NSW 2101		
	General Notes:					Client: Kevin Mooney	Project #: MOO 0219	Issue Type: 4.55	Issue Date: 21/06/2021			
					Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044	Original Sheet Size: A3	Scale @ A3:	Sheet #: A 16	Revision: A	0431 835 531 michael@legendds.com.au		
						Chkd:	Drawn:	ML				



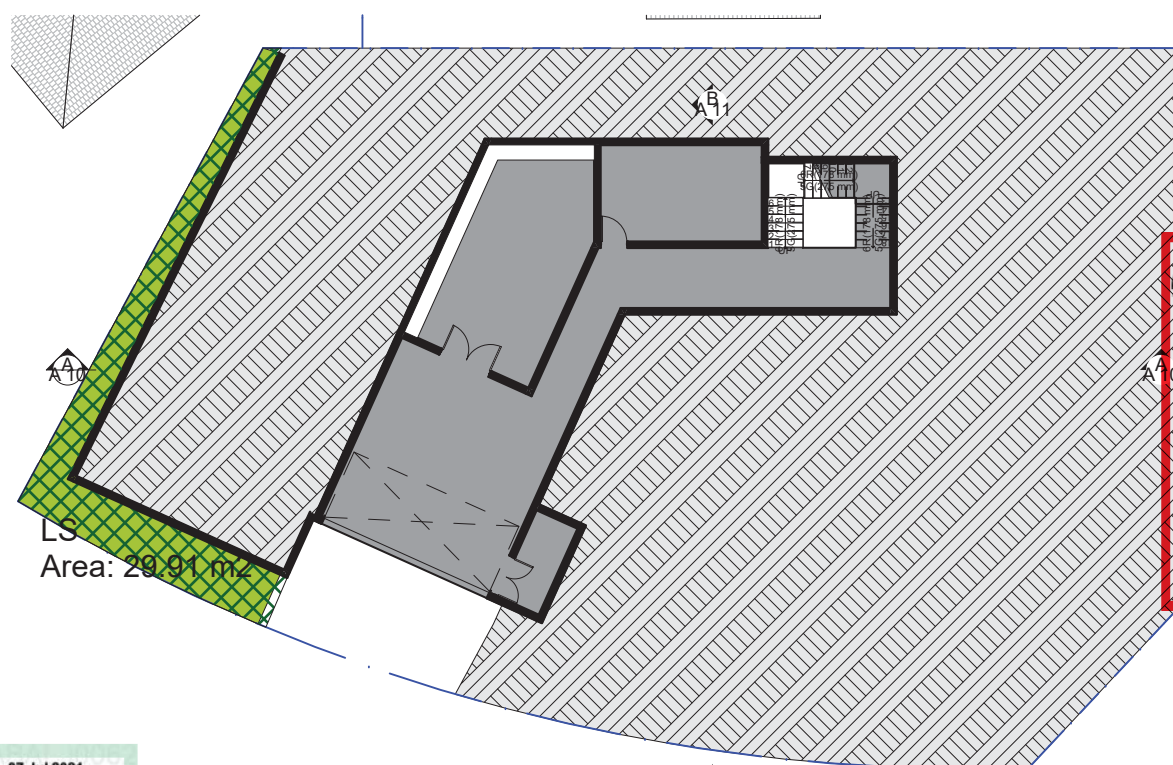
LEVEL 3 - AREAS
1:250



LEVEL 2 - AREAS
1:250



LEVEL 1 - AREAS
1:250



GARAGE - AREAS
1:250

SITE AREA = 753.8m²

GFA	
LEVEL 1	30.56
LEVEL 2	144.35
LEVEL 3	129.00
	303.91 m²

FSR = 0.403:1

TOTAL OPEN SPACE	
LEVEL 3	548.23
	548.23 m²

REQUIRED = 452.28m²

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT	
LANDSCAPE AREA	
GARAGE LEVEL	29.91
LEVEL 1	162.77
LEVEL 2	76.23
LEVEL 3	126.50
	395.41 m²

REQUIRED LANDSCAPE AREA
181m²



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Revision	Date	Revision Note
A	21.06.21	WIR and Ensuite extended to the South GFA and FSR recalculated

General Notes:

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Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **AREA CALCULATIONS**

Project #: **MOO 0219** Issue Type: **4.55**
Original Sheet Size: **A3** Issue Date: **21/06/2021**
Scale @ A3: **1:250** Sheet #: **A 17**
Chkd: **ML** Drawn: **ML**

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20 Carefree Rd
North Narrabeen
NSW 2101
0431 835 531
michael@legendds.com.au

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