# PROPOSED RESIDENTIAL 28 DWELLINGS 16 MACPHERSON STREET, WARRIEWOOD

### DRAWING SCHEDULE

DA 000 **COVER SHEET** DA 001 PROJECT SUMMARY LOCALITY + CONTEXT + SITE ANALYSIS PLAN DA 002 **DEMOLITION PLAN** DA 003 LOT PLAN DA 004 MASTER PLAN: GF DA 005 MASTER PLAN: 1F DA 006 MASTER PLAN: ROOF DA 007 DA 100 TYPE A1 (LOT COVERAGE + GF) TYPE A1 (1F + ROOF) DA 101 TYPE A2 (LOT COVERAGE + GF) DA 102 TYPE A2 (1F + ROOF) DA 103 TYPE A3 (LOT COVERAGE + GF) DA 104 TYPE A3 (1F + ROOF) DA 105 TYPE B1 (LOT COVERAGE + GF pre & post adaptation) DA 106 TYPE B1 (1F + ROOF) DA 107 TYPE B2 (LOT COVERAGE + GF) DA 108 DA 109 TYPE B2 (1F + ROOF) TYPE B3 (LOT COVERAGE + GF) DA 110 DA 111 TYPE B3 (1F + ROOF) DA 112 TYPE B4 (LOT COVERAGE + GF) DA 113 TYPE B4 (1F + ROOF) DA 114 TYPE B5 (LOT COVERAGE + GF) DA 115 TYPE B5 (1F + ROOF) DA 116 TYPE C1 (LOT COVERAGE + GF) DA 117 TYPE C1 (1F + ROOF) TYPE C2 (LOT COVERAGE + GF) DA 118 DA 119 TYPE C2 (1F + ROOF) DA 120 TYPE C3 (LOT COVERAGE + GF) DA 121 TYPE C3 (1F + ROOF) DA 200 **ELEVATIONS LOCATION PLAN** DA 201 ELEVATIONS 01, 02, 03 ON MACPHERSON ST + ON ACCESSWAY + FROM CREEK CORRIDOR DA 202 ELEVATION 04 a+b ON BRANDS LANE DA 203 ELEVATION 04 c+d ON BRANDS LANE DA 204 **ELEVATION 05 a+b ON ACCESSWAY** DA 205 ELEVATION 05 c+d ON ACCESSWAY DA 206 ELEVATION 06 a+b ON ACCESSWAY DA 207 ELEVATION 06 c+d ON ACCESSWAY ELEVATION 07 a+b ON NORTH WEST BOUNDARY DA 208 DA 209 ELEVATION 07 c+d ON NORTH WEST BOUNDARY DA 300 SECTIONS LOCATION PLAN DA 301 SECTION AA (ON TYPES C) SECTION BB a+b (ON TYPES B) DA 302 DA 303 SECTION BB c+d (ON TYPES B) DA 400 MATERIAL SCHEDULE DA 410 PHOTOMONTAGE - 01 ON MACPHERSON ST DA 411 PHOTOMONTAGE - 02 ON BRANDS LN DA 510 AREA CALCULATION - LANDSCAPE PLAN DA 511 AREA CALCULATION - IMPERVIOUS AREA AREA CALCULATION - SCHEDULE DA 512 DA 520 HEIGHT CONTROL SOLAR STUDY - 09AM - 12PM (JUNE - 21st) DA 601 DA 602 SOLAR STUDY - 01PM - 03PM (JUNE - 21st) SHADOW DIAGRAMS 09AM - 12PM (JUNE - 21st) DA 603 SHADOW DIAGRAMS 01PM - 03PM (JUNE - 21st) DA 604







### GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF
- AUS I KALIAN BUILDING S I ANDARUS

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MAILBOX TO FUTURE DETAIL

B PLANTERBOX

SK SKYLIGHT ST STORAGE

WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

### CLIENT:

IPM PROPERTY

RCHITECT:

### **BD** | ARCHITECTS

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Nominated Archi

28 TERRACES

16 MACPHERSON STREET

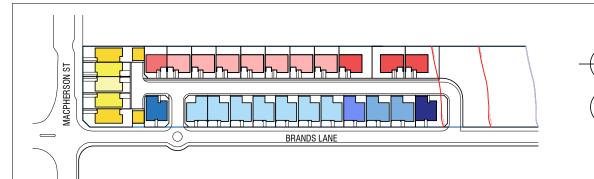
WARRIEW00D

APR. 2023 DRAWING TITLE

RAWING TITLE:

### **COVER SHEET**

CHECKED BY: HV	
DRAWING NO:	ISSUE
<sup>−</sup> DA 000	01



### **PROJECT INFORMATION**

### 16 Macpherson St, Warriewood

Site Area =  $10,172 \text{ m}^2$ Lot 4 DP 553814

Zoning: R3 Medium Density Residential

Height of building: 10.5m

8.5m within the area that is 12.5m measured from the boundary fronting Macpherson St

Floor space ration: N/A Minimum lot size: N/A

Heritage: the site does not contain a heritage item nor is it within a heritage conservation area

Setbacks : see Lot Plan (DA 004)

### **TERRACES MIX + AREAS**

28 Lots 28 Dwellings 7 Adaptable

### A1 type

7 Dwellings / 25 % of total 3 Bed.

Internal Area = 152m<sup>2</sup>  $P.O.S = 5x4m = 20m^2$ 

Storage =  $9m^3$ 2 car parking spaces

### A2 type 1 Dwelling / 3% of total

3 Bed. Internal Area = 145m<sup>2</sup>  $P.O.S = 5x4m = 20m^2$ 

Storage = 8m<sup>3</sup>

2 Dwellings / 7% of total

Internal Area = 188m<sup>2</sup>

2 car parking spaces

### B2 type

7 Dwellings / 25% of total 3 Bed. (4 Bed. post Adaptation) Internal Area = 169m<sup>2</sup>

 $P.O.S = 5x4m = 20m^2$ Storage =  $9m^3$ 

### $P.O.S = 5x4m = 20m^2$ Storage = $8m^3$

3 Bed.

2 car parking spaces 2 car parking spaces

### C1 type

📘 B1 type 🕹.

2 Dwellings / 7% of total 3 Bed. Internal Area = 157m<sup>2</sup>  $P.O.S = 5x4m = 20m^2$ Storage =  $9m^3$ 

2 car parking spaces

### C2 type

1 Dwelling / 3% of total 3 Bed. Internal Area = 157m<sup>2</sup>  $P.O.S = 4.5x4m = 18m^2$ Storage =  $9m^3$ 2 car parking spaces

A3 type

3 Bed.

B3 type

3 Bed.

3 Dwelling / 7 % of total

Internal Area = 152m<sup>2</sup>

 $P.O.S = 5x4m = 20m^2$ 

2 car parking spaces

1 Dwelling / 3% of total

Internal Area = 172m<sup>2</sup>

2 car parking spaces

Storage = 10m<sup>3</sup>

 $P.O.S = 6.7x3m = 20m^2$ 

Storage = 9m<sup>3</sup>

C3 type 2 Dwellings / 7% of total 4 Bed. Internal Area = 172m<sup>2</sup>  $P.O.S = 5x4m = 20m^2$ Storage = 9m<sup>3</sup> 2 car parking spaces

**LOCATION PLAN** 

SCALE 1:1000@A1 / 1:2000@A3

# SITE COVERAGE

Total Landscaped Area = 4731 m<sup>2</sup> 46.51 % of the Site Area

Total Covered Area =4922 m<sup>2</sup>

48.39% of the Site Area (impervious area)

1 Dwelling / 3% of total 3 Bed. Internal Area = 169m<sup>2</sup>  $P.O.S = 5x4m = 20m^2$ Storage =  $9m^3$ 2 car parking spaces

B4 type

### B5 type

1 Dwelling / 3% of total 3 Bed. Internal Area = 172m<sup>2</sup>  $P.O.S = 6.7x3m = 20m^2$ Storage = 10m<sup>3</sup> 2 car parking spaces



### GENERAL NOTES:

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### LEGEND:

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AW AWNING
HW HIGHLIGHT WINDOW
CU A/C COMDENSER UNITS
FH FIRE HYDRANT
FFF FIRE FOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MALEDSY TO FUTURE DETAIL
PB PLANTERBOX
R 240, RETYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

 01
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 DESCRIPTION

IPM PROPERTY

# **PBD** | ARCHITECTS

PROJECT:

28 TERRACES

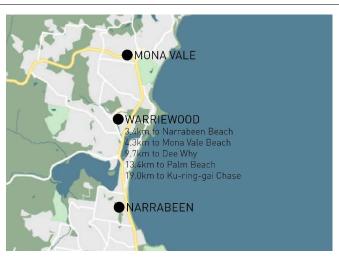
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE

PROJECT SUMMARY

CHECKED BY: HV

SCALE: VARIOUS PROJECT NO: DA 001



1 LOCALITY PLAN NOT TO SCALE



2 VIEW 01 NOT TO SCALE



3 VIEW 02 NOT TO SCALE



4 VIEW 03 NOT TO SCALE



5 SITE ANALYSIS SCALE 1:1000@A1 / 1:2000@A3



- GENERAL NOTES:

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Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

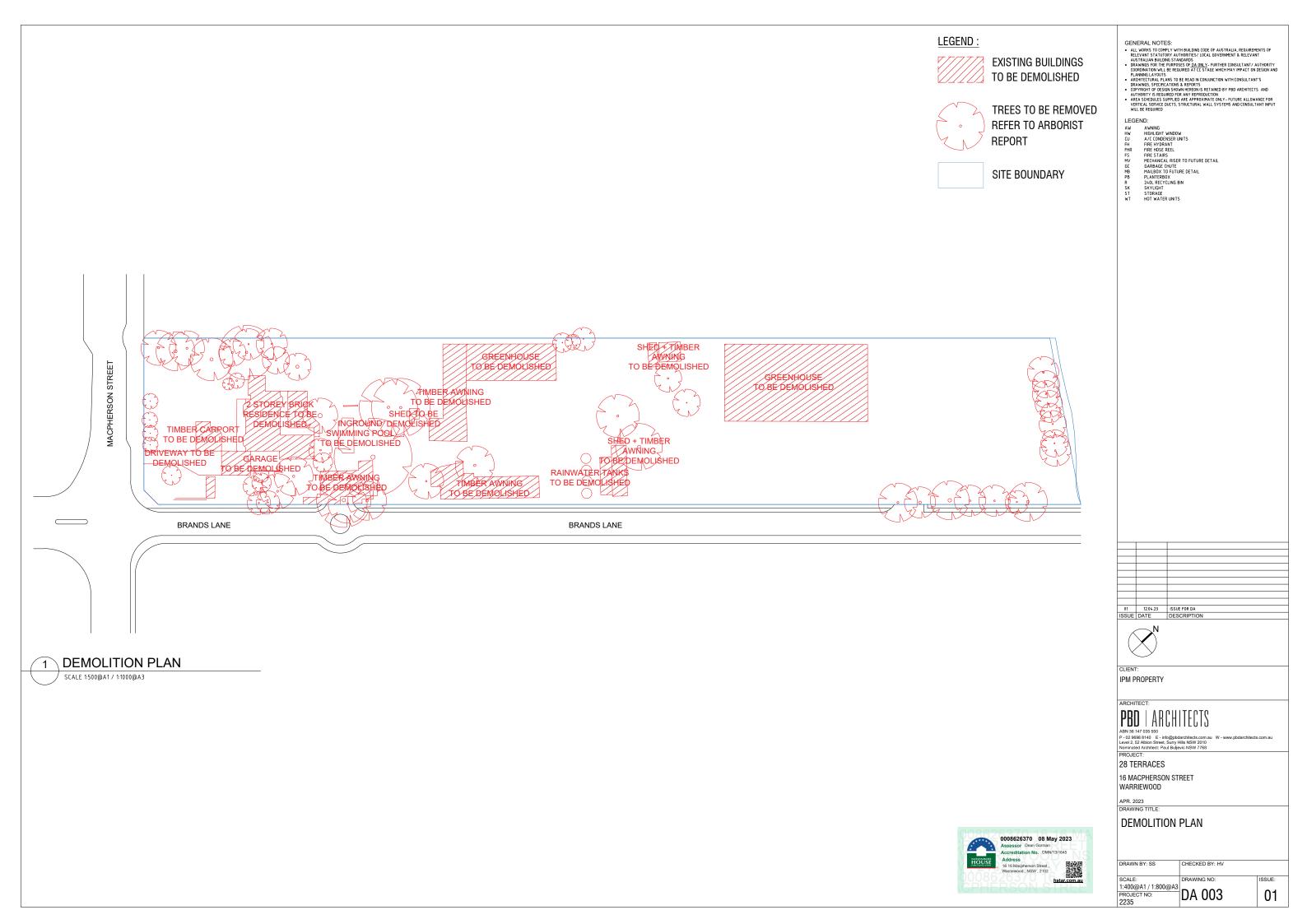
16 MACPHERSON STREET

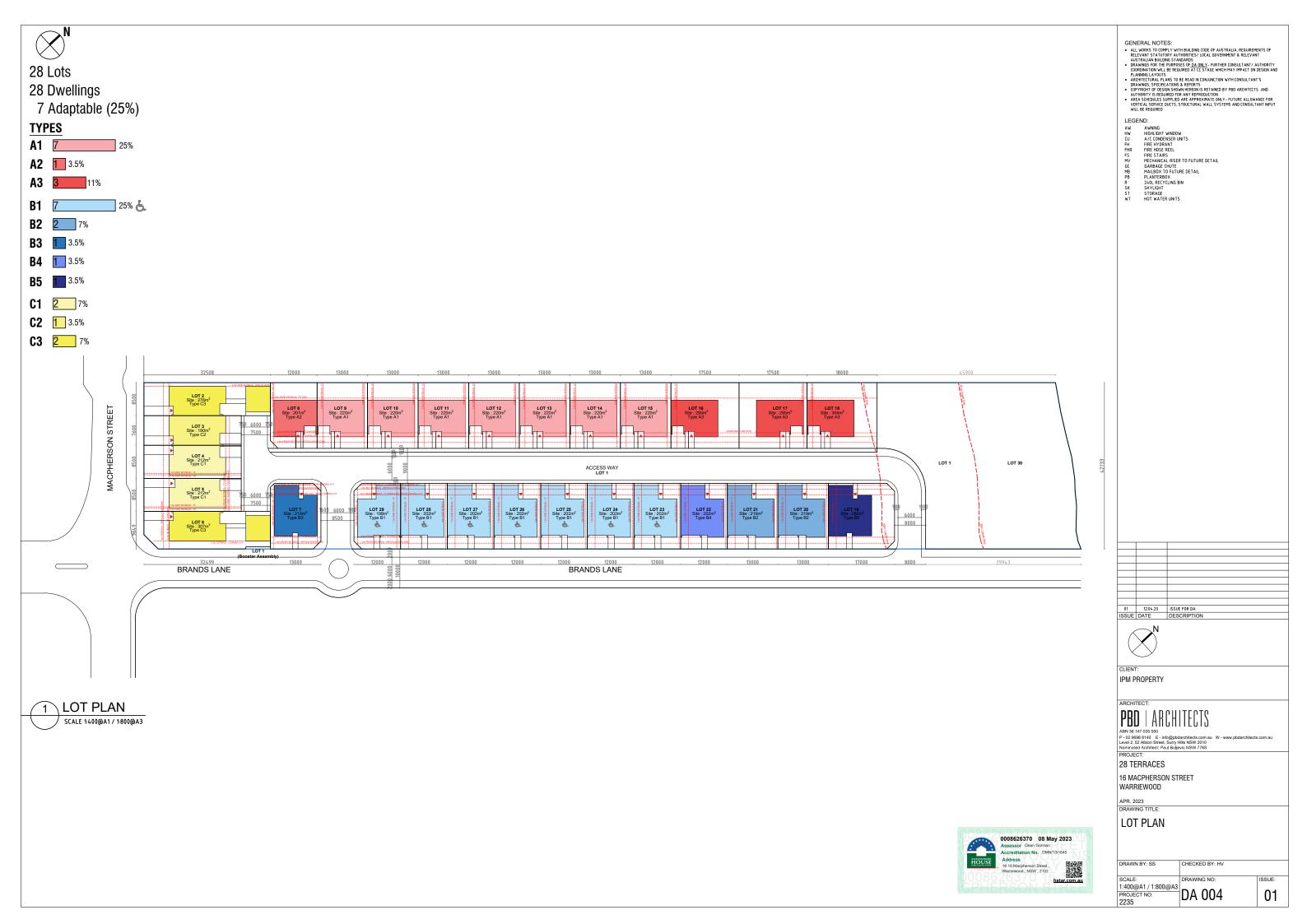
WARRIEWOOD

APR. 2023 DRAWING TITLE:

LOCALITY+CONTEXT +SITE ANALYSIS

CHECKED BY: HV DRAWN BY: SS SCALE: 1:1000@A1/1:2000@A3 PROJECT NO: 2235 DA 002 01







1 MASTER PLAN GROUND LEVEL SCALE 1:500@A1 / 1:1000@A3

	NCC2019 NatHER	RS Thermal Performance Specification	n - Warriewood	
		External Walls		
Wall Type	Insulation	Colour	Comments	
Weatherboard cladding	R2.5	Med - SA 0.475 - 0.70	Throughout	
		SA - Solar Absorptance		
		Internal Walls		
Wall Type	Insulation		Comments	
Plasterboard stud	None	Internally inside units (Throughout except below)		
Plasterboard stud	R1.5	Internal walls of garage in co	ontact with internal dwelling zones (Lots: 5, 7, 8, 10-15, 17, 22, 28 & 29)	
Plasterboard stud	R2.0	Internal walls of	garage in contact with internal dwelling zones (Lots: 23-27)	
Plasterboard stud	None		Party walls between units	
		Floors		
Floor Type	Insulation	Comments		
Concrete slab on ground	None	Ground Floor		
Timber	None	First Floor		
Timber	None		Suspended slab over air (Parts of Level 1)	
		Ceilings		
Ceiling Type	Insulation	Comments		
Plasterboard	None	Floor above		
Plasterboard	R2.5	Internal ceiling of Garage (Lots: 23-27)		
Plasterboard	R3.5	Ground & Level 1: Throughout except below (Roof/air above)		
Plasterboard	R4.0	Level -1 : Lots: 23-27 (Roof/air above)		
Insulation loss due to down	lights has been modelled in this ass	ressment. A sealed exhaust fan has bee	en included in every kitchen, bathroom, laundry and ensuite.	
Roof Type	Insulation	Colour	Comments	
Metal	R1.8 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (Unvented cavity)	
		SA - Solar Absorptance	<u> </u>	
		Glazing		
Opening type	U-Value	SHGC	Glazing & Frame Type	
liding + Fixed (Lots: 3, 10-18)	4.5	0.61	e.g. Single glazed High performing Low-e clear Aluminium frame	
maing i rikea (Lots. 3, 10-10)				
liding + Fixed (Throughout except above)	4.1	0.52	e.g. Double glazed clear Aluminium frame	
	4.1 4.8	0.52 0.51	e.g. Double glazed clear Aluminium frame e.g. Single glazed High performing Low-e clear Aluminium frame	

Skylights			
Skylight Type	Frame Type	Comments	
900mm in diameter	Living room (Ground floor)	Ground floor (Lots: 7, 8, 10-19, 22-29)	
900mm in diameter	Family room (Level 1)	Level 1 (Lots: 8, 10-19, 22-29)	



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AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FHE FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

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 12.04.23
 ISSUE FOR DA

 ISSUE
 DATE
 DESCRIPTION



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**PBD** | ARCHITECTS

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Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET

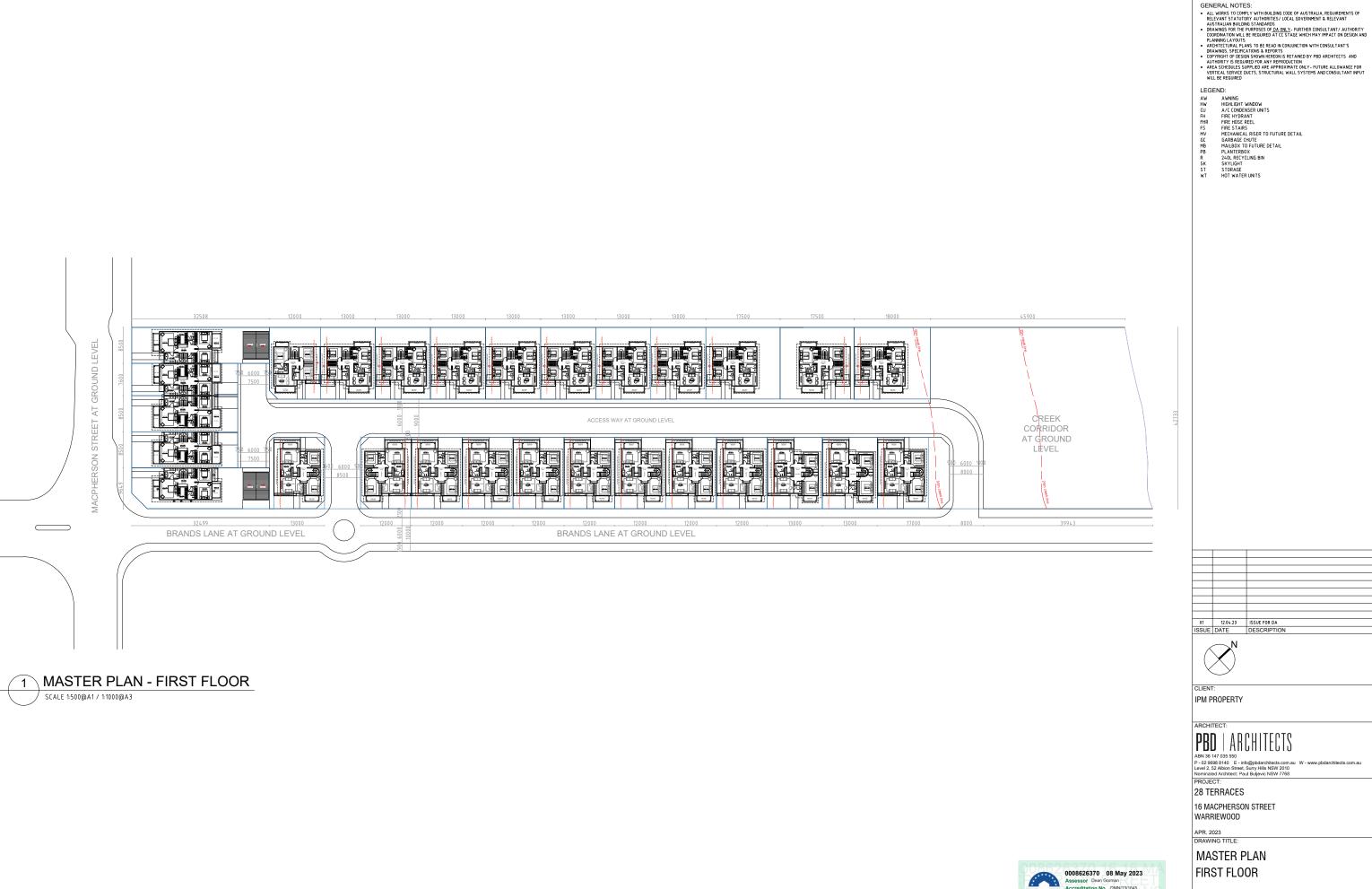
WARRIEWOOD

DRAWING TITLE:

MASTER PLAN GROUND LEVEL

DRAWN BY: SS CHECKED BY: HV SCALE:

1:400@A1 / 1:800@A3 DA 005 PROJECT NO:



GENERAL NOTES:

DRAWN BY: SS CHECKED BY: HV SCALE: 1:400@A1 / 1:800@A3 DA 006 01 PROJECT NO: 2235



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LEGEND:

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CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FHE FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
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16 MACPHERSON STREET WARRIEWOOD

0008626370 08 May 2023

APR. 2023 DRAWING TITLE:

2235

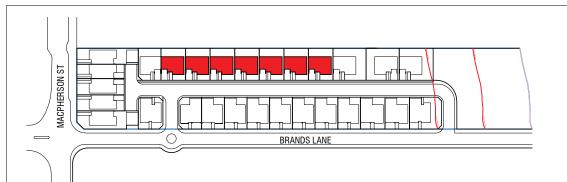
MASTER PLAN ROOF LEVEL

DRAWN BY: SS CHECKED BY: HV SCALE:

1:400@A1 / 1:800@A3 PROJECT NO: DA 007

01

ISSUE:



# **LOCATION PLAN** SCALE 1:1000@A1 / 1:2000@A3

### TYPE A1

LOTS 9-15

**7 DWELLINGS** = 25 % of total units

**INTERNAL AREA**  $GF = 69 \text{ m}^2$ 

 $1F = 83 \text{ m}^2$ 

TOTAL = **152**  $m^2$ 

### **PARKING SPACE 1**

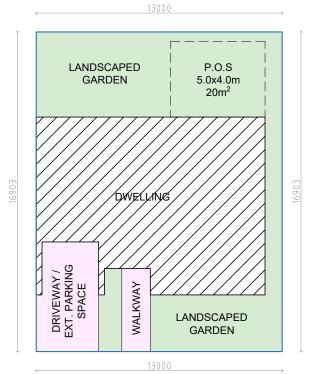
IN **GARAGE** (single)

 $6.0 \times 3.0 \text{m} = 18 \text{ m}^2$ 

### **PARKING SPACE 2**

**EXTERNAL** (WITHIN LOT BOUNDARY)

 $5.5 \times 3.0 = 16 \text{ m}^2$ 



SCALE 1:100@A1 / 1:200@A3

### **SITE COVERAGE (TYPICAL LOT SIZE)**

220 m<sup>2</sup> LOT AREA **BUILDING COVERAGE** 102 m<sup>2</sup>

92 m<sup>2</sup> LANDSCAPE AREA

42 % of Lot Area



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS





### GENERAL NOTES:

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PB PLANTERBOX
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**PBD** | ARCHITECTS

### PROJECT: 28 TERRACES

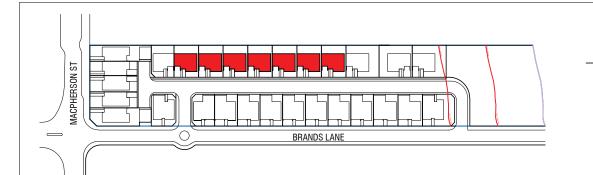
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE

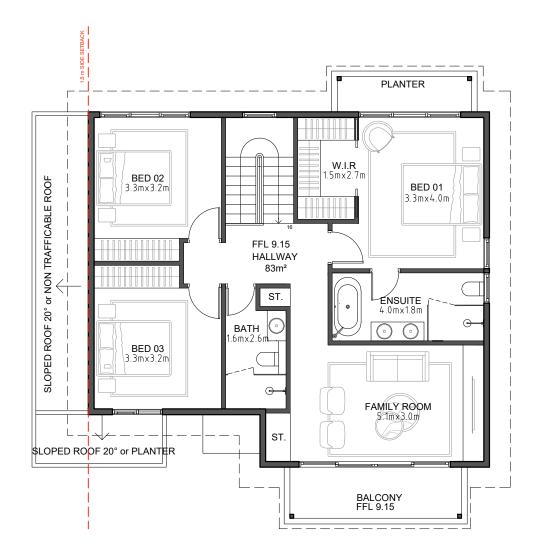
TYPE A1

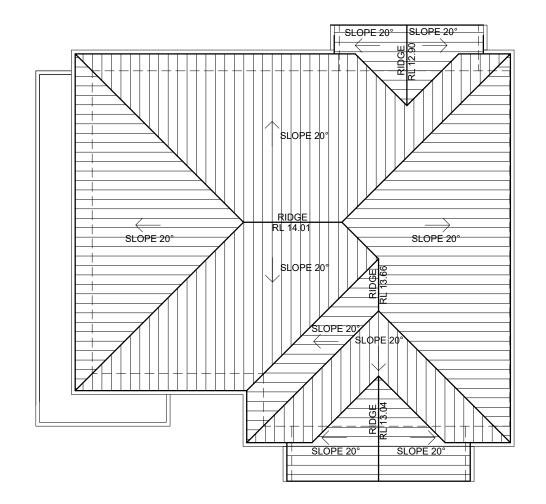
GROUND FLOOR LEVEL

SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 100









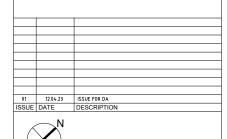






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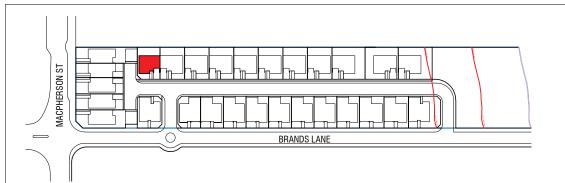
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE A1

FIRST FLOOR + ROOF



# **LOCATION PLAN** SCALE 1:1000@A1 / 1:2000@A3

### TYPE A2

LOT 8

**1 DWELLING** = 3.5% of total units

**INTERNAL AREA**  $GF = 62 \text{ m}^2$ 

 $1F = 83 \text{ m}^2$ 

TOTAL = **145**  $m^2$ 

### **PARKING SPACE 1**

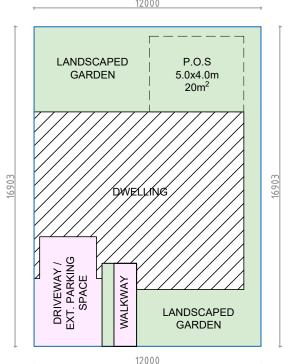
IN GARAGE (single)

 $6.0 \times 3.0 \text{m} = 18 \text{ m}^2$ 

### **PARKING SPACE 2**

**EXTERNAL** (WITHING LOT BOUNDARY)

 $5.5 \times 3.0 = 16 \text{ m}^2$ 

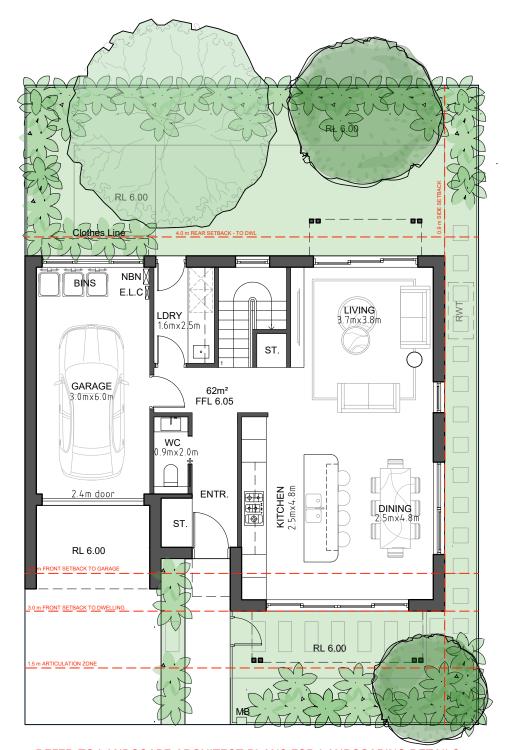


SCALE 1:100@A1 / 1:200@A3

### **SITE COVERAGE (TYPICAL LOT SIZE)**

LOT AREA 201 m<sup>2</sup> 93 m<sup>2</sup> **BUILDING COVERAGE** 83 m<sup>2</sup> LANDSCAPE AREA

40 % of Lot Area



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS





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PROJECT:

28 TERRACES

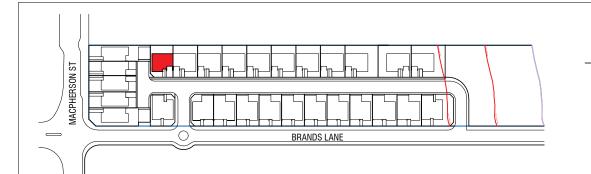
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE

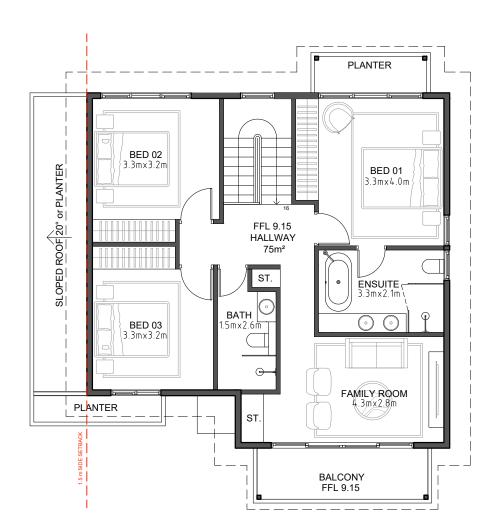
TYPE A2

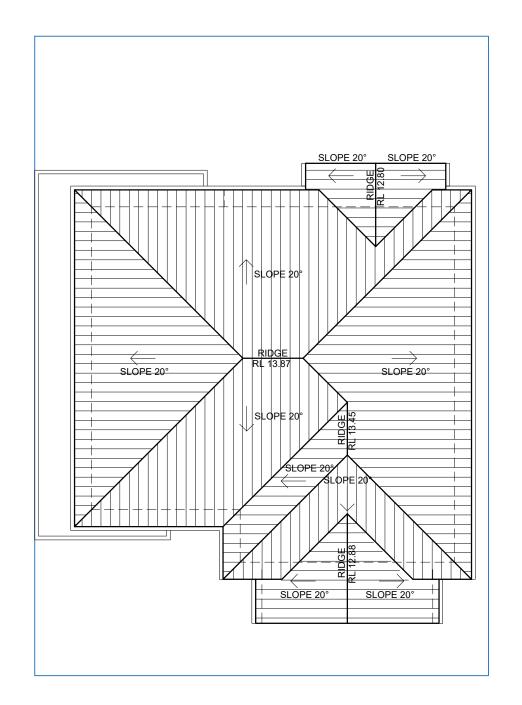
GROUND FLOOR LEVEL

SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 102















LEGEND:
AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FHE FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

LEGEND:

 01
 12.04.23
 ISSUE FOR DA

 ISSUE
 DATE
 DESCRIPTION

IPM PROPERTY

# **PBD** | ARCHITECTS

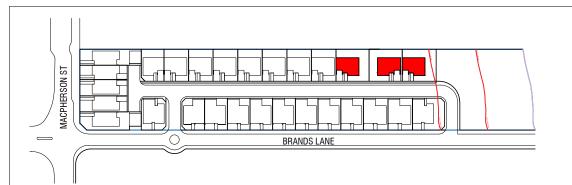
ABN 36 147 035 550
P- 02 9698 8140 E - Info@pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

### 28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

### TYPE A2 FIRST FLOOR + ROOF



# **LOCATION PLAN** SCALE 1:1000@A1 / 1:2000@A3

### TYPE A3

LOTS 16-18

3 DWELLINGS 11 % of total units

**INTERNAL AREA**  $GF = 62 \text{ m}^2$  $1F = 83 \text{ m}^2$ 

TOTAL = **145**  $m^2$ 

### **PARKING SPACE 1**

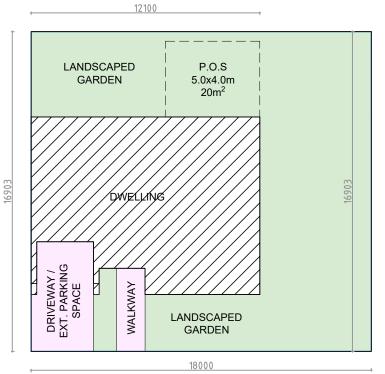
IN GARAGE (single)

 $6.0 \times 3.0 \text{m} = 18 \text{ m}^2$ 

### **PARKING SPACE 2**

**EXTERNAL** (WITHING LOT BOUNDARY)

 $5.5 \times 3.0 = 16 \text{ m}^2$ 



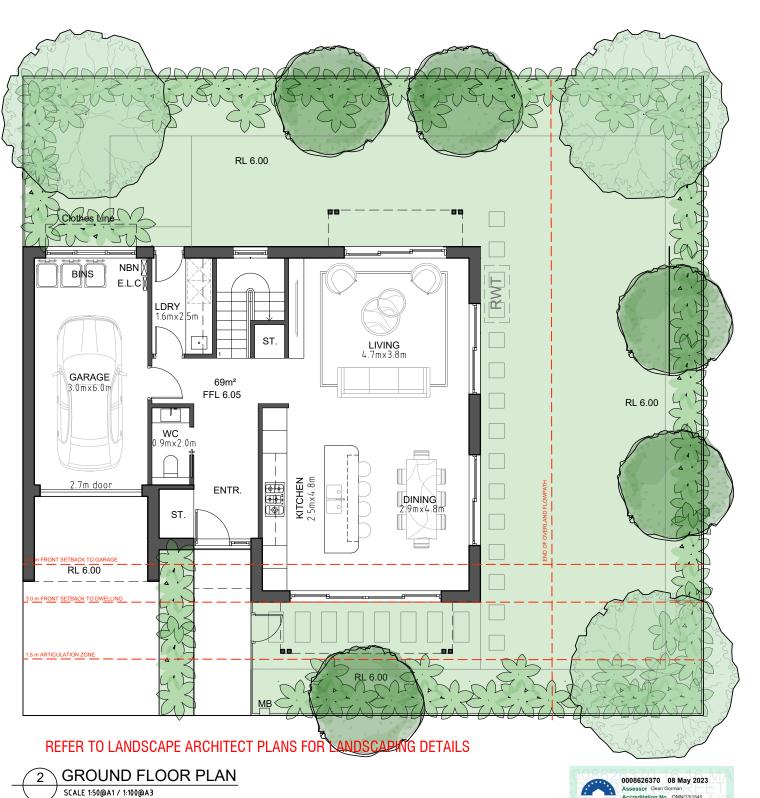
SCALE 1:100@A1 / 1:200@A3

### **SITE COVERAGE (TYPICAL LOT SIZE)**

LOT AREA 304 m<sup>2</sup> 93 m<sup>2</sup> **BUILDING COVERAGE** 

> 176 m<sup>2</sup> LANDSCAPE AREA

58 % of Lot Area



### GENERAL NOTES:

- GENERAL NOTES:

  A LL WORKS TO EMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS TANDAGEN AUTHORITY CONSULTANT AUTHORITY CORROMATION WILL BE REDURED AT CE STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS

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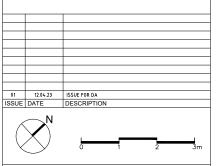
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  AND AUTHORITY OF REDURED FOR ANY REPRODUCTION

  AREA SCHEDULES SUPPLIE ARE APPROXIMATE ONLY FUTURE ALLOWANCE FOR VERTICAL SERVICE DUTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REDURED.

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FS FIRE STAIRS
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GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 2401 RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

**PBD** | ARCHITECTS

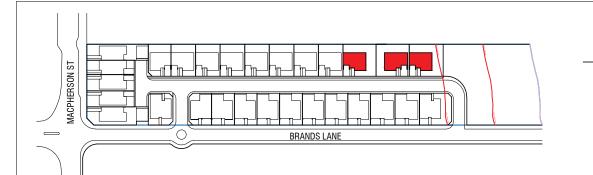
### 28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

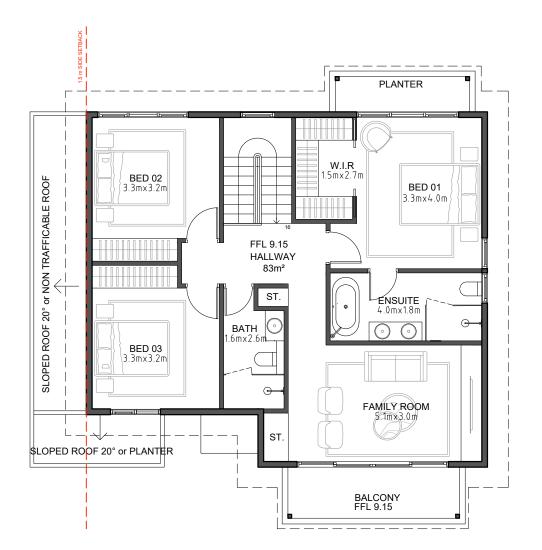
APR. 2023 DRAWING TITLE:

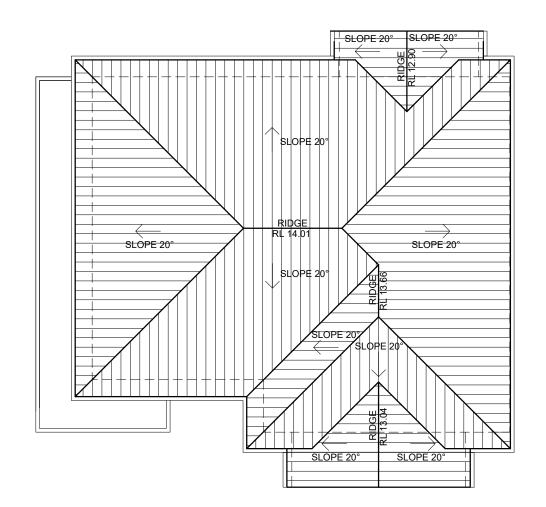
TYPE A3 GROUND FLOOR LEVEL

SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 104 01









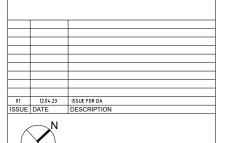






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# **PBD** | ARCHITECTS

ANI 36 147 035 550
P- 02 9698 8140 E- info@pbdarchitets.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

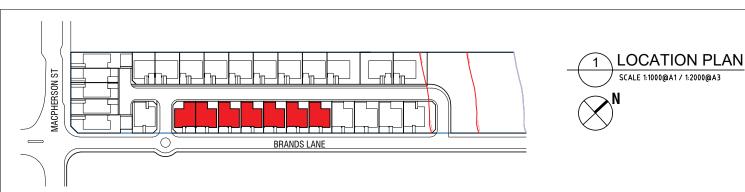
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE A3

FIRST FLOOR + ROOF





LIVING 3.4mx4.4m

BED.4 3.6mx3.5m

RL 5.97

# TYPE B1

LOTS 23-29

**7 DWELLINGS** = 25% of total units

**INTERNAL AREA**  $GF = 78 \text{ m}^2$ 

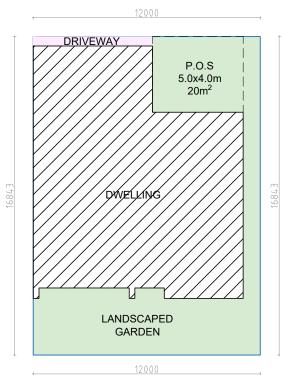
 $1F = 91 \text{ m}^2$ 

TOTAL = **169 m**<sup>2</sup>

### **PARKING SPACES**

IN GARAGE (double)

 $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ 



SCALE 1:100@A1 / 1:200@A3

### **SITE COVERAGE (TYPICAL LOT SIZE)**

**LOT AREA** 202 m<sup>2</sup> 126 m<sup>2</sup> **BUILDING COVERAGE** 

> $71 \text{ m}^2$ LANDSCAPE AREA

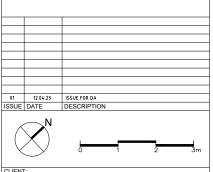
35% of site area

**GROUND FLOOR PLAN - PRE ADAPTATION** SCALE 1:50@A1 / 1:100@A3

4.8m door 4.8m door 4.8(W) x 2.3 (H) AUTO DOOR 4.8(W) x 2.3 (H) AUTO DOOR GARAGE GARAGE ENT. LIVING ENT. HEIGHT FLOOR TO CEILING 2.7m 3.4mx4.4m NBN BATH. 2.7mx2.3 BATH. <u>2.7</u>mx2.3m ST. FFL 6.02 FFL 6.02 78m² DINING DINING  $(2.6 m \times 3.7 m)$ (2.6mx4.2m) FAMILY ROOM RL 5.97 **GROUND FLOOR PLAN - POST ADAPTATION** 

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GC GARBAGE CHUTE
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PB PLANTERBOX
R 2401 RECYCLING BIN
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ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

**PBD** | ARCHITECTS

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

DRAWING TITLE:

TYPE B1

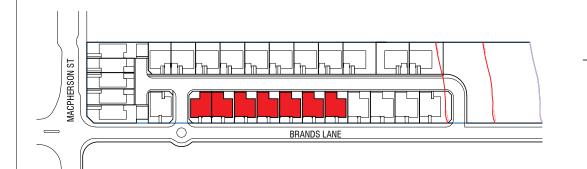
**GROUND FLOOR LEVEL** PRE + POST ADAPTATION

1:50@A1 / 1:100@A3 PROJECT NO: DA 106

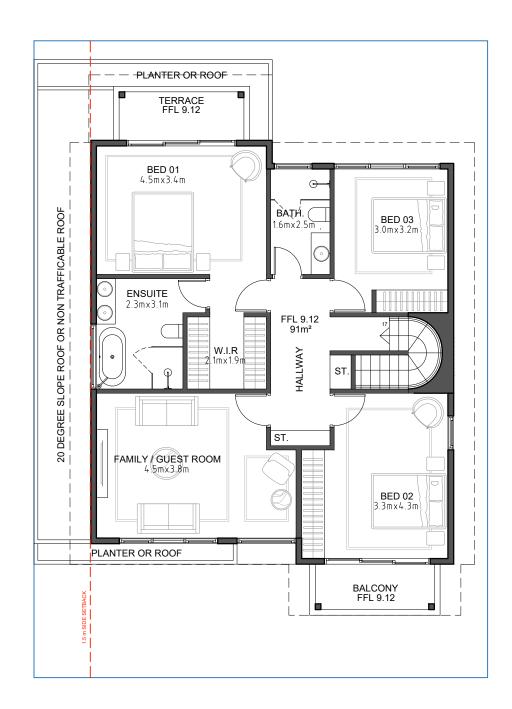
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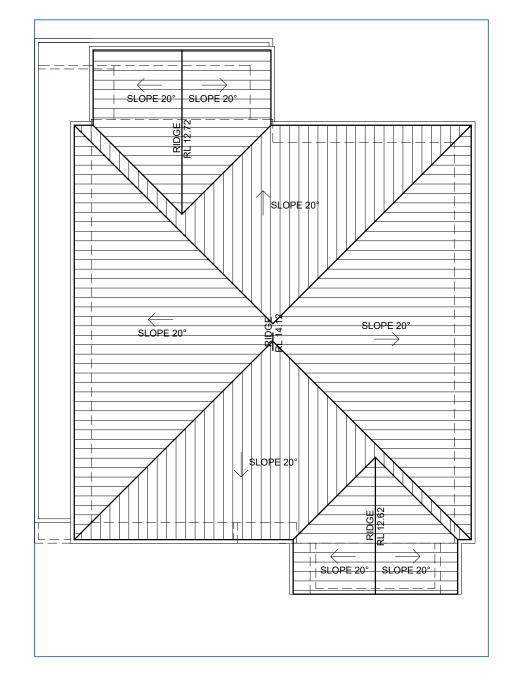
REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

SCALE 1:50@A1 / 1:100@A3















- GENERAL NOTES:

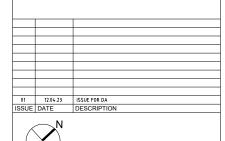
   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANGS FOR THE PURPOSES OF DAMAY FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REDUIRED AT IC STACE WHICH HAY HIPPACT ON DESIGN AND FLANMING LAYOUT AWAS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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### LEGEND:

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**PBD** | ARCHITECTS ABN 36 147 035 550
P- 02 9698 8140 E - Info@pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

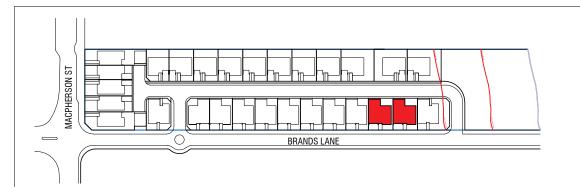
16 MACPHERSON STREET

WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE B1

FIRST FLOOR + ROOF





SCALE 1:50@A1 / 1:100@A3

### TYPE B2

LOTS 20, 21

**2 DWELLINGS** = 7% of total units

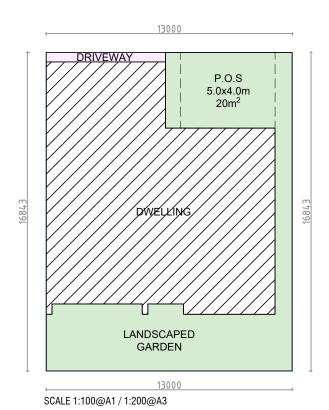
**INTERNAL AREA**  $GF = 87 \text{ m}^2$  $1F = 101 \text{ m}^2$ 

TOTAL = **188 m**<sup>2</sup>

### **PARKING SPACES**

IN GARAGE (double)

 $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ 



### **SITE COVERAGE (TYPICAL LOT SIZE)**

219 m<sup>2</sup> **LOT AREA** 137 m<sup>2</sup> **BUILDING COVERAGE**  $77 \text{ m}^2$ LANDSCAPE AREA

35% of site area





- GENERAL NOTES:

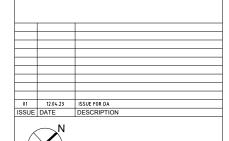
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### LEGEND:

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FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS





IPM PROPERTY

**PBD** | ARCHITECTS

ABM 36 147 U35 350 P - 02 9698 8140 E - info@pbdarchitects.com. Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768 PROJECT:

28 TERRACES

16 MACPHERSON STREET

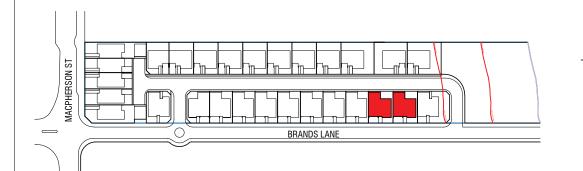
WARRIEWOOD

APR. 2023 DRAWING TITLE:

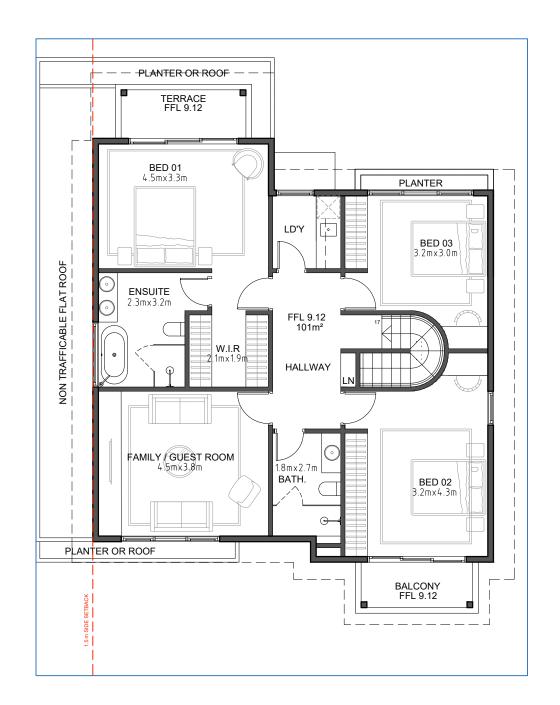
TYPE B2

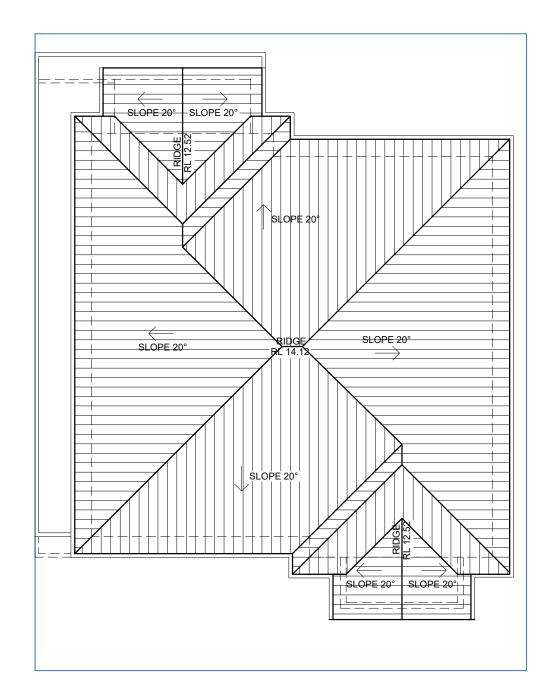
GROUND FLOOR LEVEL

CHECKED BY: HV SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 108 01









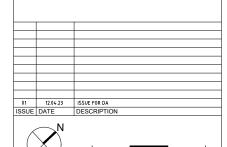






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IPM PROPERTY

**PBD** | ARCHITECTS

ANI 36 147 035 550
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Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

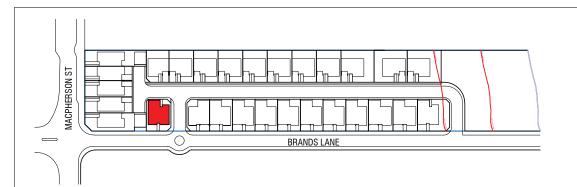
16 MACPHERSON STREET

WARRIEWOOD

DRAWING TITLE:

TYPE B2

FIRST FLOOR + ROOF





### TYPE B3

LOT 7

**1 DWELLING** = 3.5% of total units

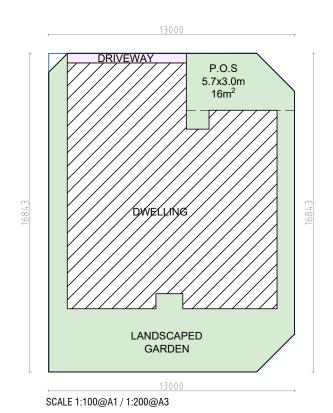
**INTERNAL AREA**  $GF = 80 \text{ m}^2$  $1F = 91 \text{ m}^2$ 

TOTAL = **171**  $\mathbf{m}^2$ 

### **PARKING SPACES**

IN GARAGE (double)

 $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ 



### **SITE COVERAGE (TYPICAL LOT SIZE)**

214 m<sup>2</sup> **LOT AREA** 130 m<sup>2</sup> **BUILDING COVERAGE**  $78 \text{ m}^2$ LANDSCAPE AREA

36% of site area



### REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



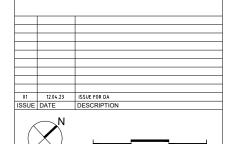


- GENERAL NOTES:

  ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS STANDAGE OF AUTHORITY COORDINATION BUILDINGS STANDAGE OF THE PROPOSES OF DATE OF THE PROPOSES OF DATE OF THE TRANSPORT OF THE PROPOSES OF T

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IPM PROPERTY

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PROJECT:

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Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET

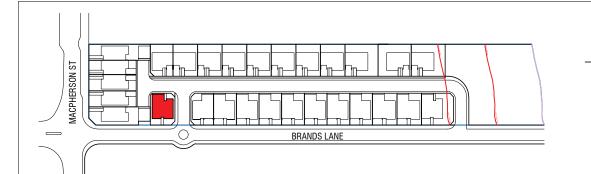
WARRIEWOOD

APR. 2023 DRAWING TITLE:

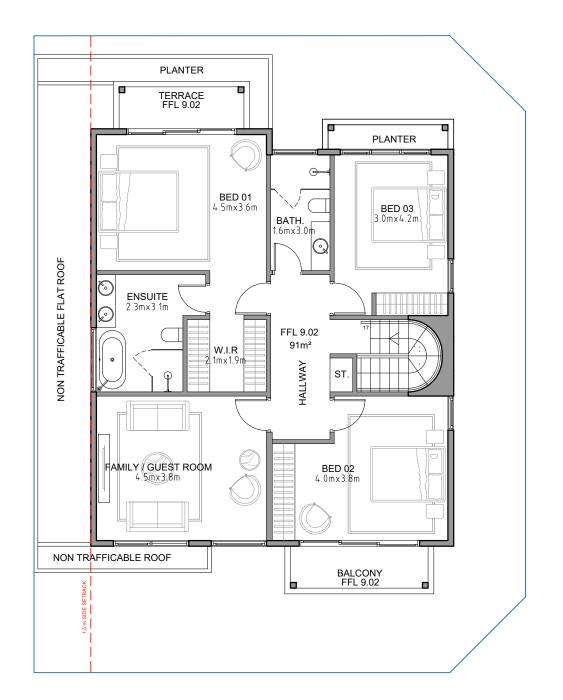
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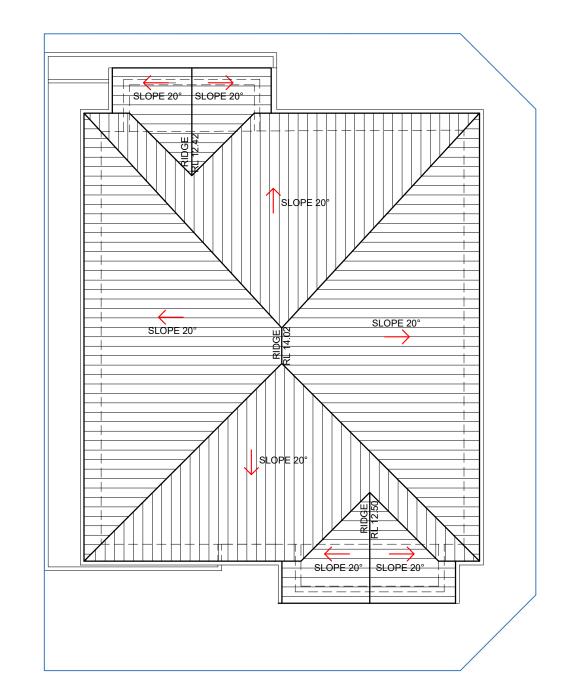
GROUND FLOOR LEVEL

SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 110









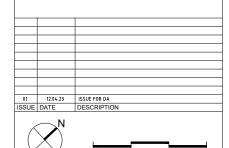






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IPM PROPERTY

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Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

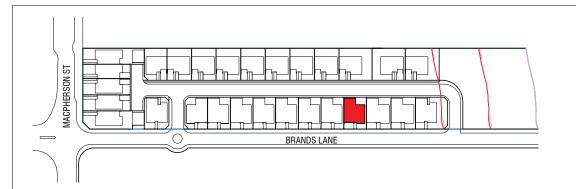
APR. 2023 DRAWING TITLE:

TYPE B3

FIRST FLOOR + ROOF

DRAWN BY: SS CHECKED BY: HV SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 111

ISSUE:





### TYPE B4

LOT 22

**1 DWELLING** = 3.5% of total units

**INTERNAL AREA**  $GF = 78 \text{ m}^2$ 

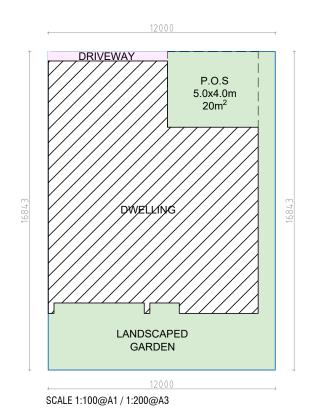
 $1F = 91 \text{ m}^2$ 

TOTAL = **169 m**<sup>2</sup>

### **PARKING SPACES**

IN GARAGE (double)

 $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ 



# **SITE COVERAGE (TYPICAL LOT SIZE)**

202 m<sup>2</sup> **LOT AREA** 126 m<sup>2</sup> **BUILDING COVERAGE**  $71 \text{ m}^2$ LANDSCAPE AREA

35% of site area





REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

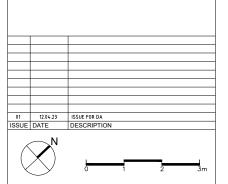


- GENERAL NOTES:

  ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS STANDAGE OF AUTHORITY COORDINATION BUILDINGS STANDAGE OF THE PROPOSES OF DATE OF THE PROPOSES OF DATE OF THE TRANSPORT OF THE PROPOSES OF T

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PB PLANTERBOX
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IPM PROPERTY

**PBD** | ARCHITECTS

PROJECT:

28 TERRACES

16 MACPHERSON STREET

WARRIEWOOD

APR. 2023 DRAWING TITLE:

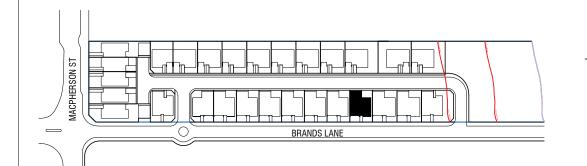
TYPE B4

GROUND FLOOR LEVEL

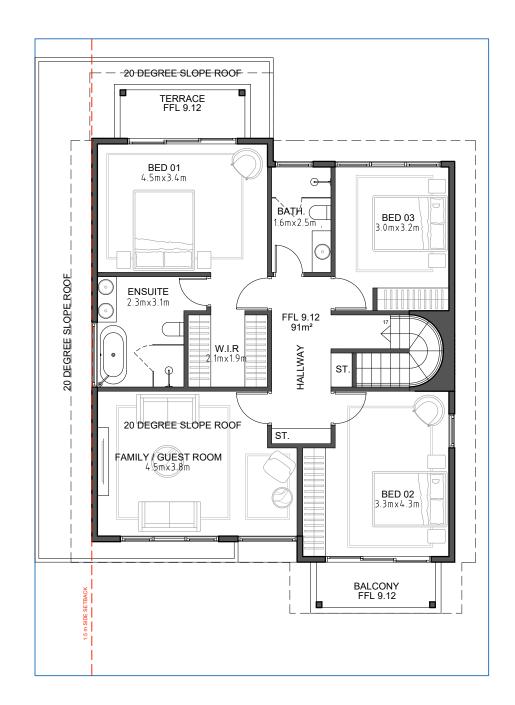
PRE + POST ADAPTATION

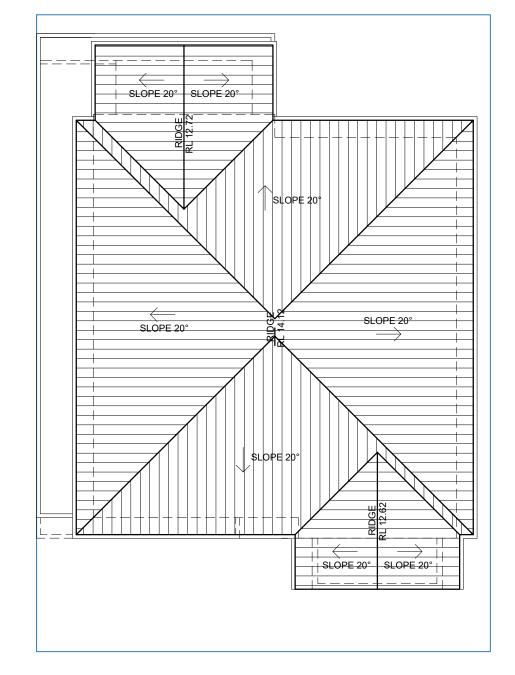
1:50@A1 / 1:100@A3 PROJECT NO:

DA 112









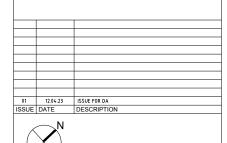






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**PBD** | ARCHITECTS

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Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

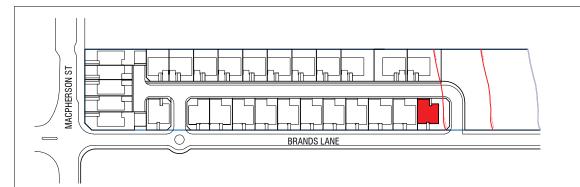
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

DRAWING TITLE:

TYPE B4

FIRST FLOOR + ROOF





### TYPE B5

LOT 19

**1 DWELLING** = 3.5% of total units

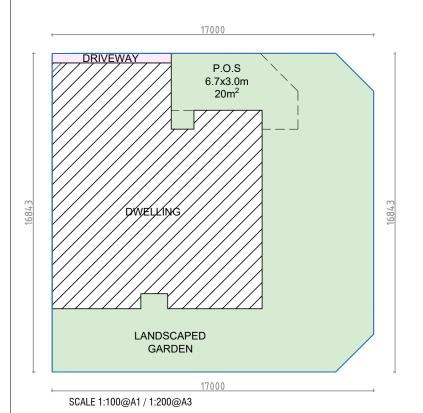
**INTERNAL AREA**  $GF = 80 \text{ m}^2$  $1F = 91 \text{ m}^2$ 

TOTAL = **171**  $\mathbf{m}^2$ 

### **PARKING SPACES**

IN GARAGE (double)

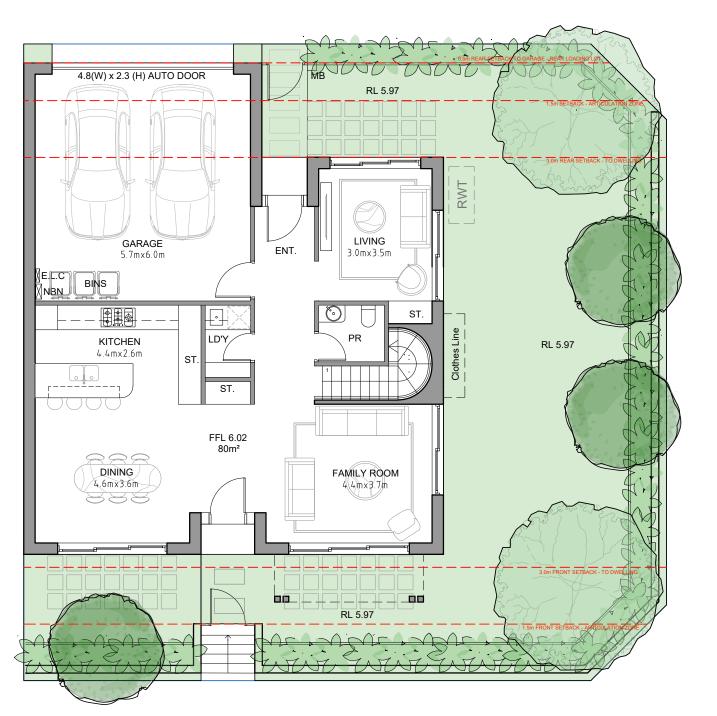
 $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ 



### **SITE COVERAGE (TYPICAL LOT SIZE)**

282 m<sup>2</sup> **LOT AREA** 130 m<sup>2</sup> **BUILDING COVERAGE** 135 m<sup>2</sup> LANDSCAPE AREA

48% of site area



### REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



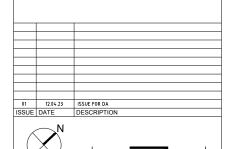


- GENERAL NOTES:

  ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS STANDAGE OF AUTHORITY COORDINATION BUILDINGS STANDAGE OF THE PROPOSES OF DATE OF THE PROPOSES OF DATE OF THE TRANSPORT OF THE PROPOSES OF T

### LEGEND:

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FH FIRE HYDRANT
FHE HOSE REEL
FS FIRE STAIRS
W HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 2401 RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

**PBD** | ARCHITECTS

PROJECT:

28 TERRACES

16 MACPHERSON STREET

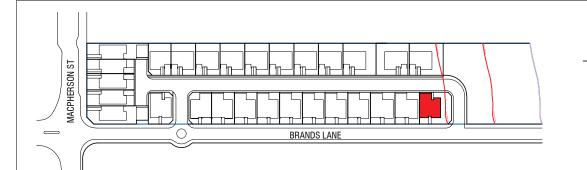
WARRIEWOOD

APR. 2023 DRAWING TITLE:

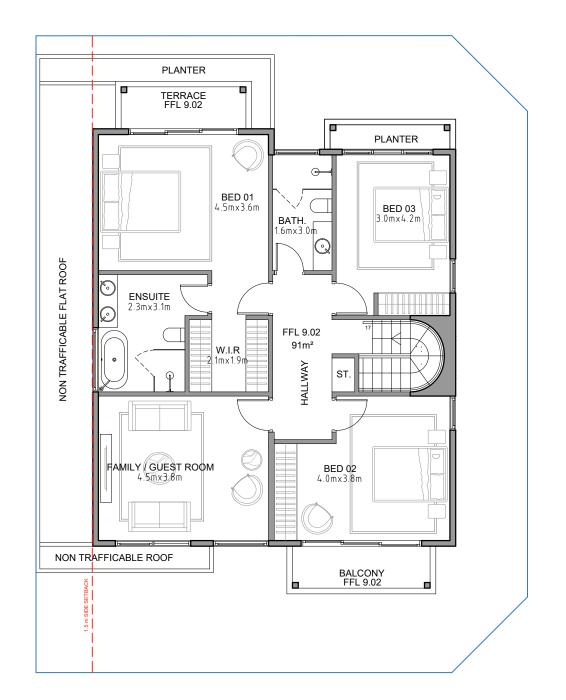
TYPE B5 GROUND FLOOR LEVEL

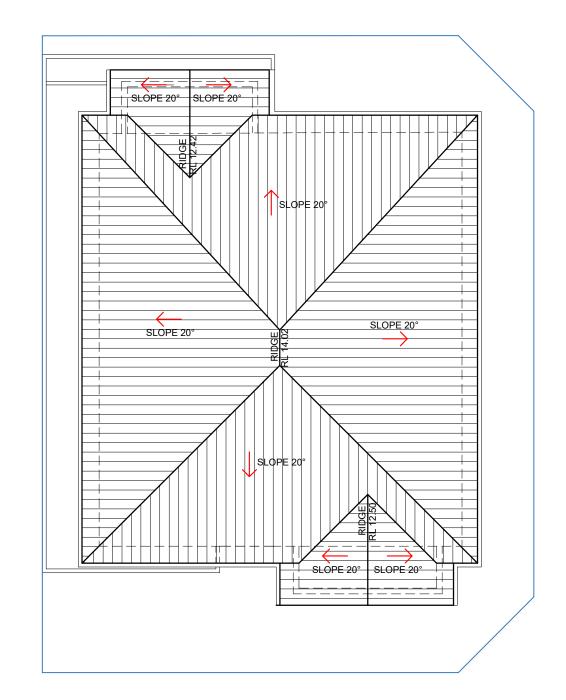
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO:

DA 114









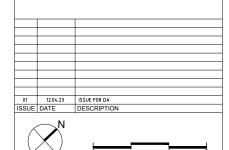






### LEGEND:

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GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

# **PBD** | ARCHITECTS

ABN 36 147 035 550
P- 02 9698 8140 E - Info@pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

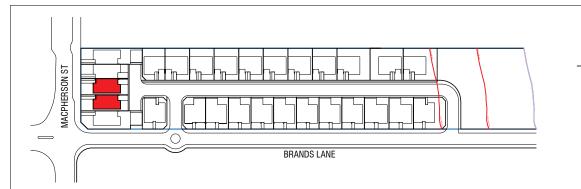
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE B5

FIRST FLOOR + ROOF





## TYPE C1

LOTS 4, 5

**2 DWELLINGS** = 7% of total units

**INTERNAL AREA**  $GF = 71 \text{ m}^2$  $1F = 86 \text{ m}^2$ 

TOTAL = **157**  $\mathbf{m}^2$ 

### **PARKING SPACE 1**

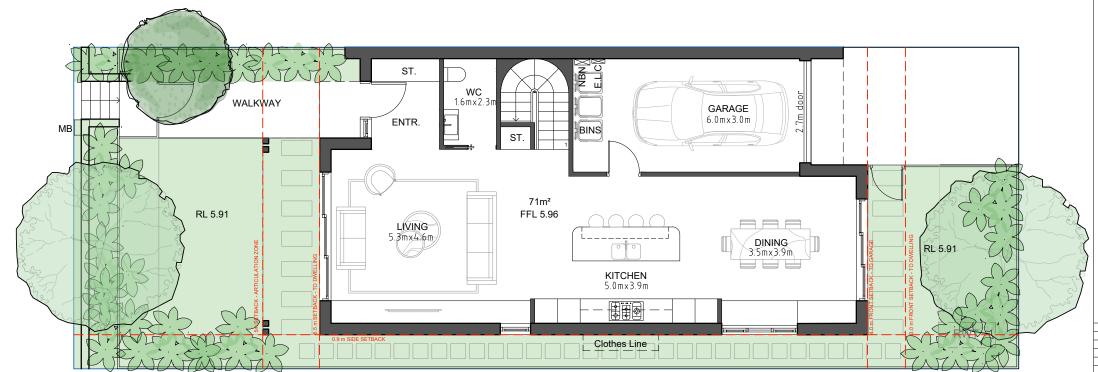
IN GARAGE (single)

 $6.0 \times 3.0 \text{m} = 18 \text{ m}^2$ 

### **PARKING SPACE 2**

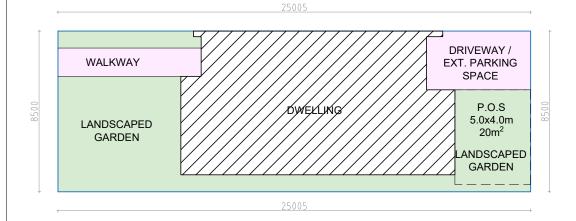
**EXTERNAL** (within Lot Boundary)

 $5.5 \times 3.0 = 16 \text{ m}^2$ 



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS





### **SITE COVERAGE (TYPICAL LOT SIZE)**

LOT AREA 212 m<sup>2</sup> **BUILDING COVERAGE** 103 m<sup>2</sup>

81 m<sup>2</sup> LANDSCAPE AREA

38% of site area

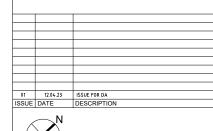


GENERAL NOTES:

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS STANDAGE OF AUTHORITY COORDINATION BUILDINGS STANDAGE OF THE PROPOSES OF DATE OF THE PROPOSES OF DATE OF THE TRANSPORT OF THE PROPOSES OF T

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GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 2401 RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

**PBD** | ARCHITECTS

PROJECT: 28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE

TYPE C1

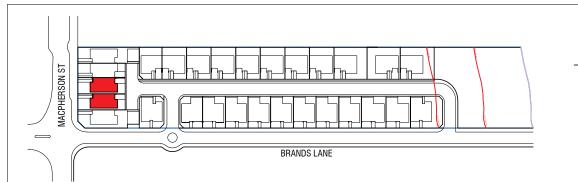
GROUND FLOOR LEVEL

CHECKED BY: HV SCALE: 1:50@A1 / 1:100@A3 PROJECT NO:

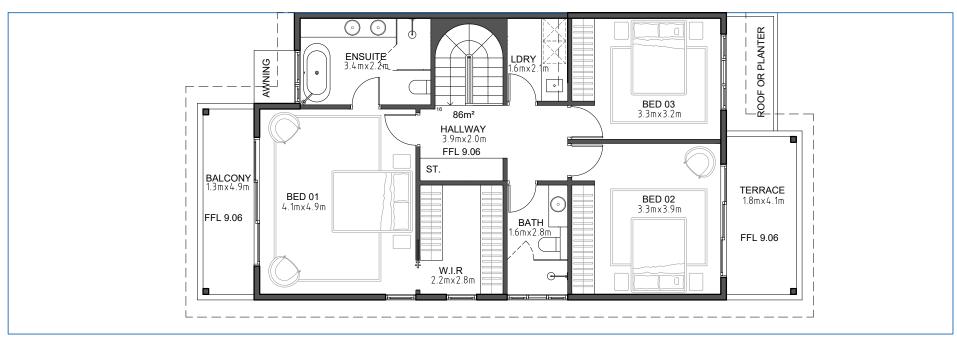
DA 116

01

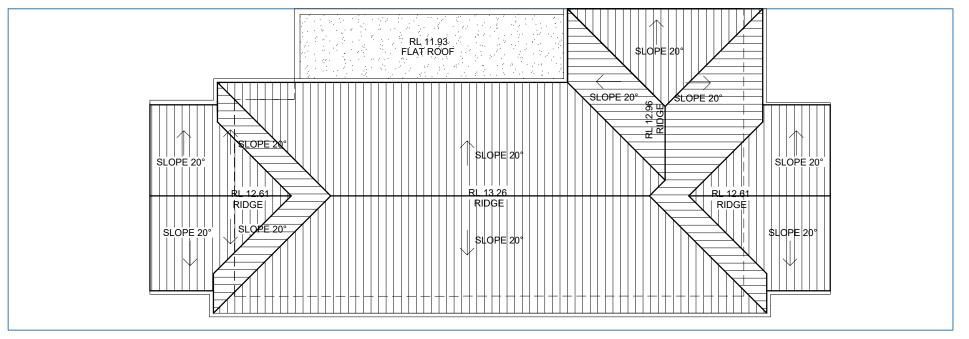
SCALE 1:100@A1 / 1:200@A3







2 FIRST FLOOR PLAN SCALE 1:50@A1 / 1:100@A3







- GENERAL NOTES:

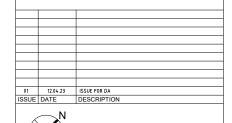
   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANGS FOR THE PURPOSES OF DAMAY FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REDUIRED AT IC STACE WHICH HAY HIPPACT ON DESIGN AND FLANMING LAYOUT AWAS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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### LEGEND:

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FS FIRE STAIRS
W HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS





IPM PROPERTY

# **PBD** | ARCHITECTS

ABN 36 147 035 550
P - 02 9988 8140 E - Info@pbdarchitects.com.au
Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljavic NSW 7768
PROJECT:

28 TERRACES

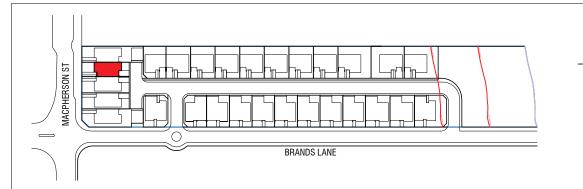
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE C1

FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE:
1:50@A1 / 1:100@A3	D 4 4 4 7	
PROJECT NO:	II)A 11/	()1
2235	D/ \ \ \ \ /	01





### TYPE C1

LOT 3

**1 DWELLING** = 3% of total units

**INTERNAL AREA**  $GF = 71 \text{ m}^2$  $1F = 86 \text{ m}^2$ TOTAL = **157**  $\mathbf{m}^2$ 

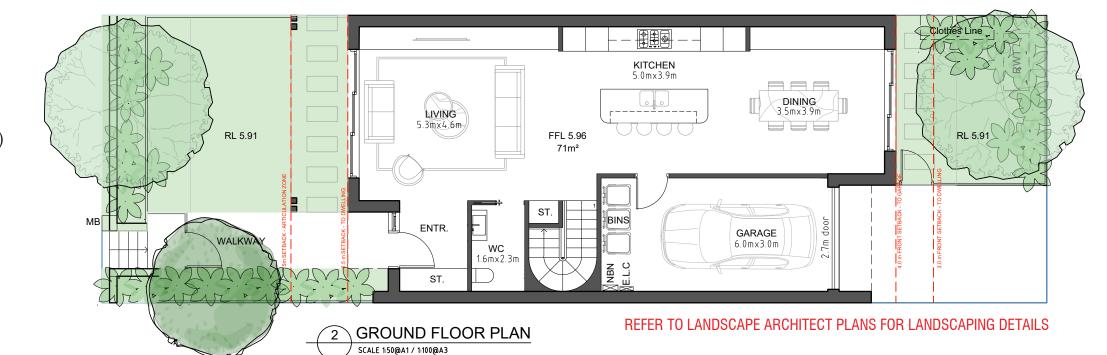
### **PARKING SPACE 1**

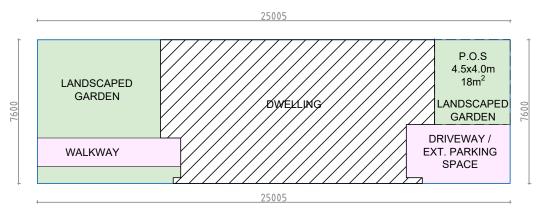
IN GARAGE (single)  $6.0 \times 3.0 \text{m} = 18 \text{ m}^2$ 

### **PARKING SPACE 2**

**EXTERNAL** (within Lot Boundary)

 $5.5 \times 3.0 = 16 \text{ m}^2$ 





### **SITE COVERAGE (TYPICAL LOT SIZE)**

LOT AREA 190 m<sup>2</sup> **BUILDING COVERAGE** 103 m<sup>2</sup>

> 58 m<sup>2</sup> LANDSCAPE AREA 31% of site area

0008626370 08 May 2023

GENERAL NOTES:

• ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS NEW THE RELEVANT AUSTRALIAN BUILDING STANDARDS NEW THE CONDINATION WILL BE REDUIRED AT CE STAGE WHICH HAY IMPACT ON DESIGN AND PLANNING LAYOUT AMS TO BE READ IN COMUNICTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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### LEGEND:

LEGEND:
AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FHE FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

 01
 12.04.23
 ISSUE FOR DA

 ISSUE
 DATE
 DESCRIPTION

IPM PROPERTY

**PBD** | ARCHITECTS

P - 02 9698 8140 E - info@pbdarchitects.com.a Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768 PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE C2

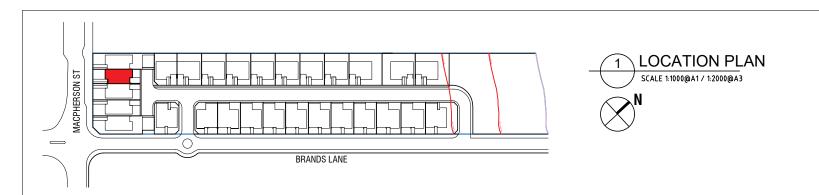
GROUND FLOOR LEVEL

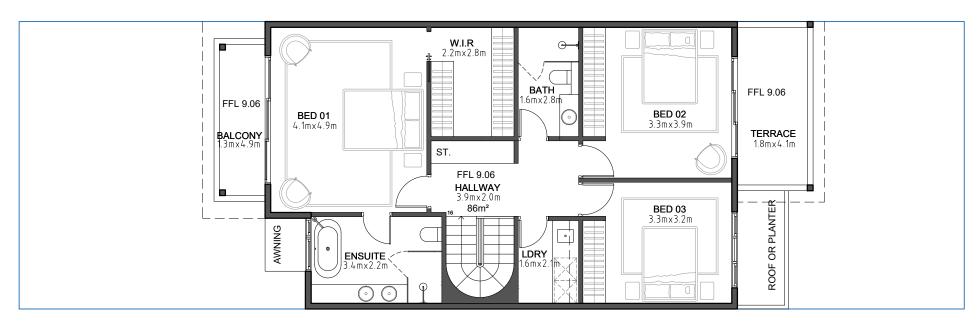
CHECKED BY: HV SCALE: 1:50@A1 / 1:100@A3 PROJECT NO:

DA 118

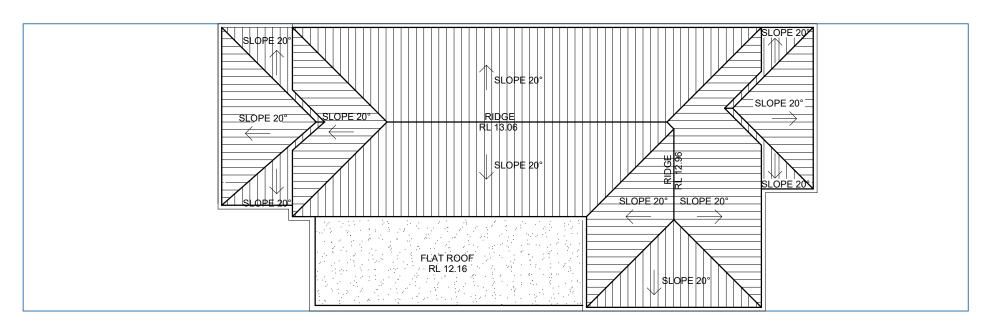
01

SCALE 1:100@A1 / 1:200@A3













- GENERAL NOTES:

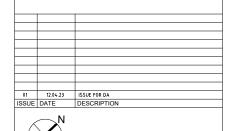
   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANGS FOR THE PURPOSES OF DAMAY FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REDUIRED AT IC STACE WHICH HAY HIPPACT ON DESIGN AND FLANMING LAYOUT AWAS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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### LEGEND:

LEGEND:
AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FHE FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS





IPM PROPERTY

# **PBD** | ARCHITECTS

ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitests.com.au
Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

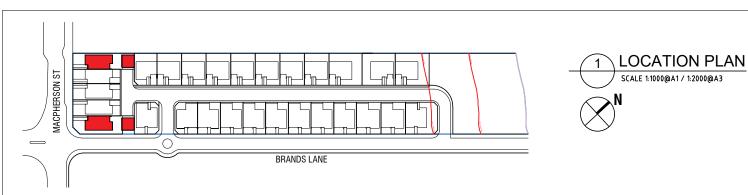
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE C2

FIRST FLOOR + ROOF



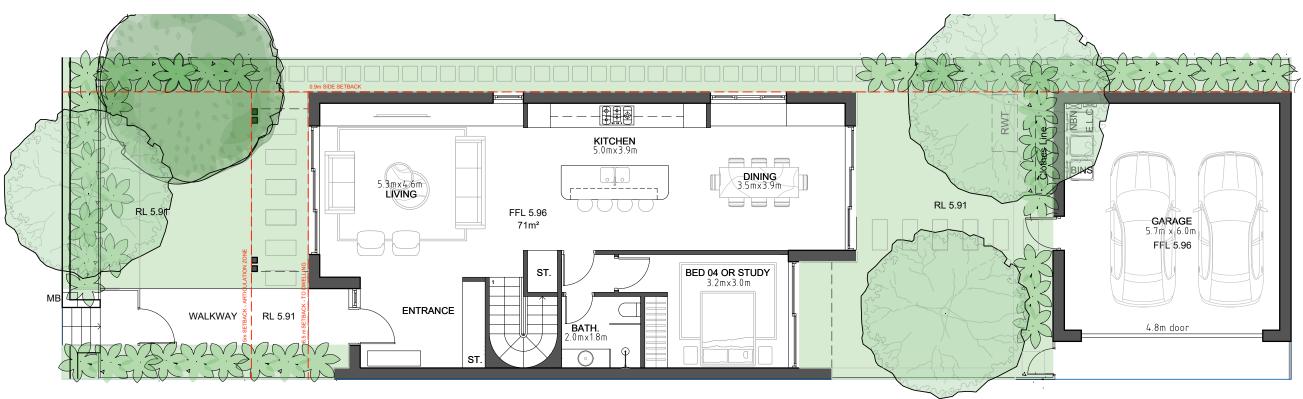
TYPE C3 LOTS 2, 6

**2 DWELLINGS** = 7% of total units

**INTERNAL AREA**  $GF = 71 \text{ m}^2$ 

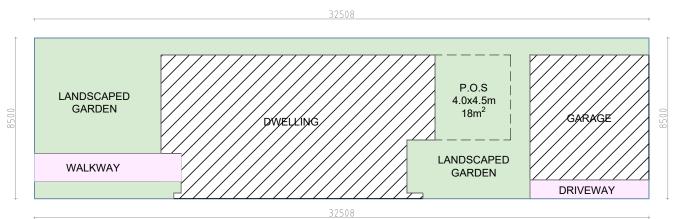
IN GARAGE (double)

**PARKING SPACES**  $1F = 86 \text{ m}^2$  $5.7 \times 6.0 \text{m} = 34 \text{ m}^2$ TOTAL = **157**  $\mathbf{m}^2$ 



GROUND FLOOR PLAN SCALE 1:50@A1 / 1:100@A3

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



### **SITE COVERAGE (TYPICAL LOT SIZE)**

276 m<sup>2</sup> LOT AREA **BUILDING COVERAGE** 145 m<sup>2</sup> 113 m<sup>2</sup> LANDSCAPE AREA 41% of site area

### GENERAL NOTES:

GENERAL NOTES:

A LL WORKS TO EMPLY WITH BUILDING CODE OF AUSTRALIA, REDUREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDINGS TANDAGEN AUTHORITY CONSULTANT AUTHORITY CORROMATION WILL BE REDURED AT CE STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS

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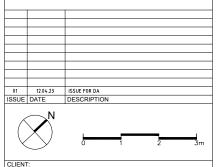
COPYING THE CONSULTANT AUTHORITY OF THE CONSULTANT STATUTES AND AUTHORITY OF STATUTES ARE REPORTS

AND AUTHORITY OF REDURED FOR ANY REPRODUCTION

AREA SCHEDULES SUPPLIE ARE APPROXIMATE ONLY FUTURE ALLOWANCE FOR VERTICAL SERVICE DUTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REDURED.

### LEGEND:

LEGEND:
AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE HOSE REEL
FS FIRE STAIRS
W HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 2401 RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

# **PBD** | ARCHITECTS

PROJECT:

P - 02 9698 8140 E - info@pbdarchitects.com.
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

### 28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

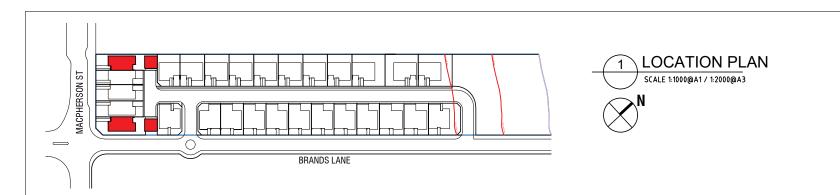
APR. 2023 DRAWING TITLE:

TYPE C3

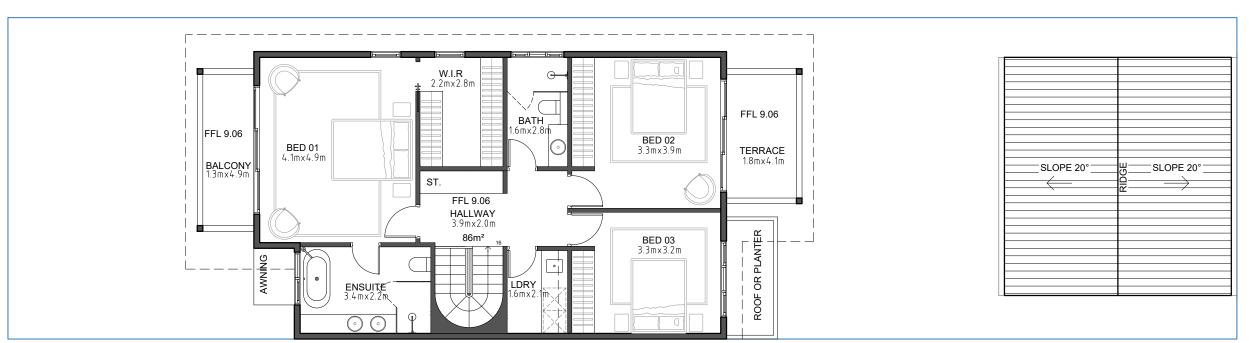
GROUND FLOOR LEVEL

CHECKED BY: HV SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: DA 120 01

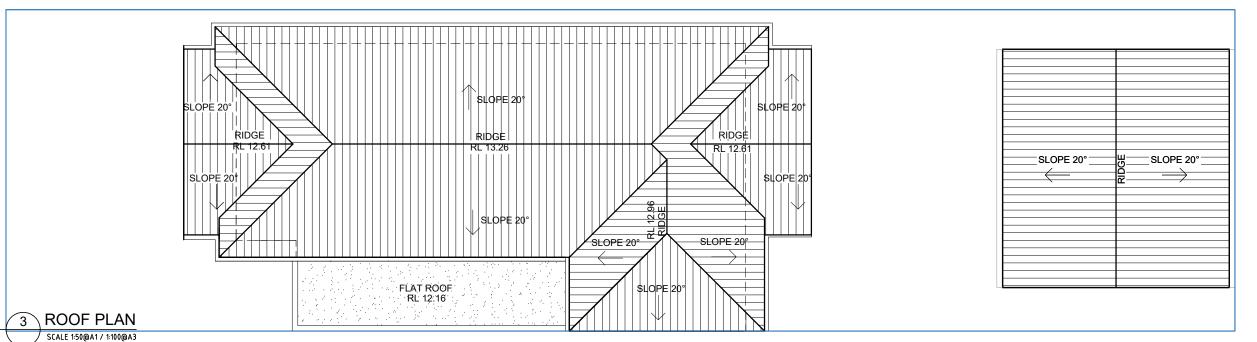
SCALE 1:100@A1 / 1:200@A3







2 FIRST FLOOR PLAN SCALE 1:50@A1 / 1:100@A3



- GENERAL NOTES:

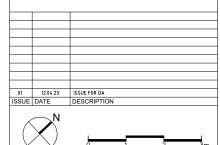
   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANGS FOR THE PURPOSES OF DAMAY FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REDUIRED AT IC STACE WHICH HAY HIPPACT ON DESIGN AND FLANMING LAYOUT AWAS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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   AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REDUIRED.

### LEGEND:

LEGEND:
AW AWNING
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CU A/C CONDENSER UNITS
FH FIRE HYDRANT
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FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS





IPM PROPERTY

# **PBD** | ARCHITECTS

ABN 36 147 035 550
P - 02 9988 8140 E - Info@pbdarchitects.com.au
Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljavic NSW 7768
PROJECT:

28 TERRACES

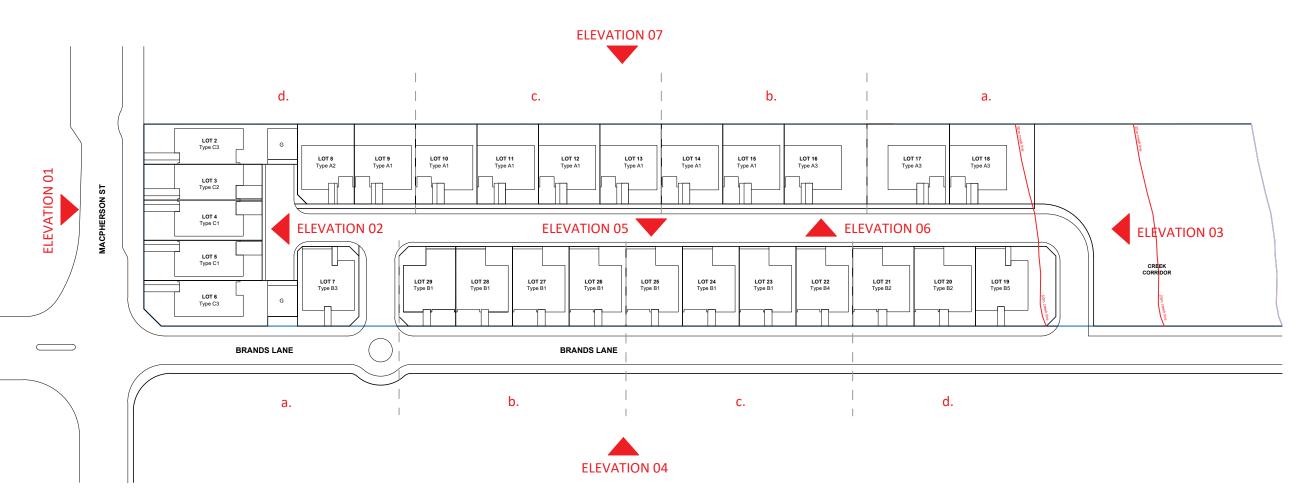
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

TYPE C3

FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE:
1:50@A1 / 1:100@A3	D 4 4 0 4	
PROJECT NO: 2235	DA 121	01



ELEVATIONS LOCATION PLAN SCALE 1:400@A1 / 1:800@A3



- GENERAL NOTES:

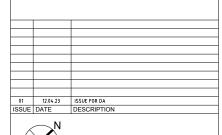
   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON LIVE FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REQUIRED AT CESTAGE WHICH HAT IMPACT ON DESIGN AND AUTHORITY CORRINATES OF REPORTS

   ACHITECTURAL PLANS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
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   AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT IMPUT WILL BE REQUIRED.

### LEGEND:

LEGEND:

AW AWNING
HIGHLIGHT WINDOW
HIGH





IPM PROPERTY

PBD | ARCHITECTS

ABN 36 147 035 550
P - 02 9698 8140 E - Info@pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

ELEVATIONS LOCATION PLAN

DRAWN BY: SS CHECKED BY: HV SCALE:

1:400@A1 / 1:800@A3 PROJECT NO: 2235 DA 200



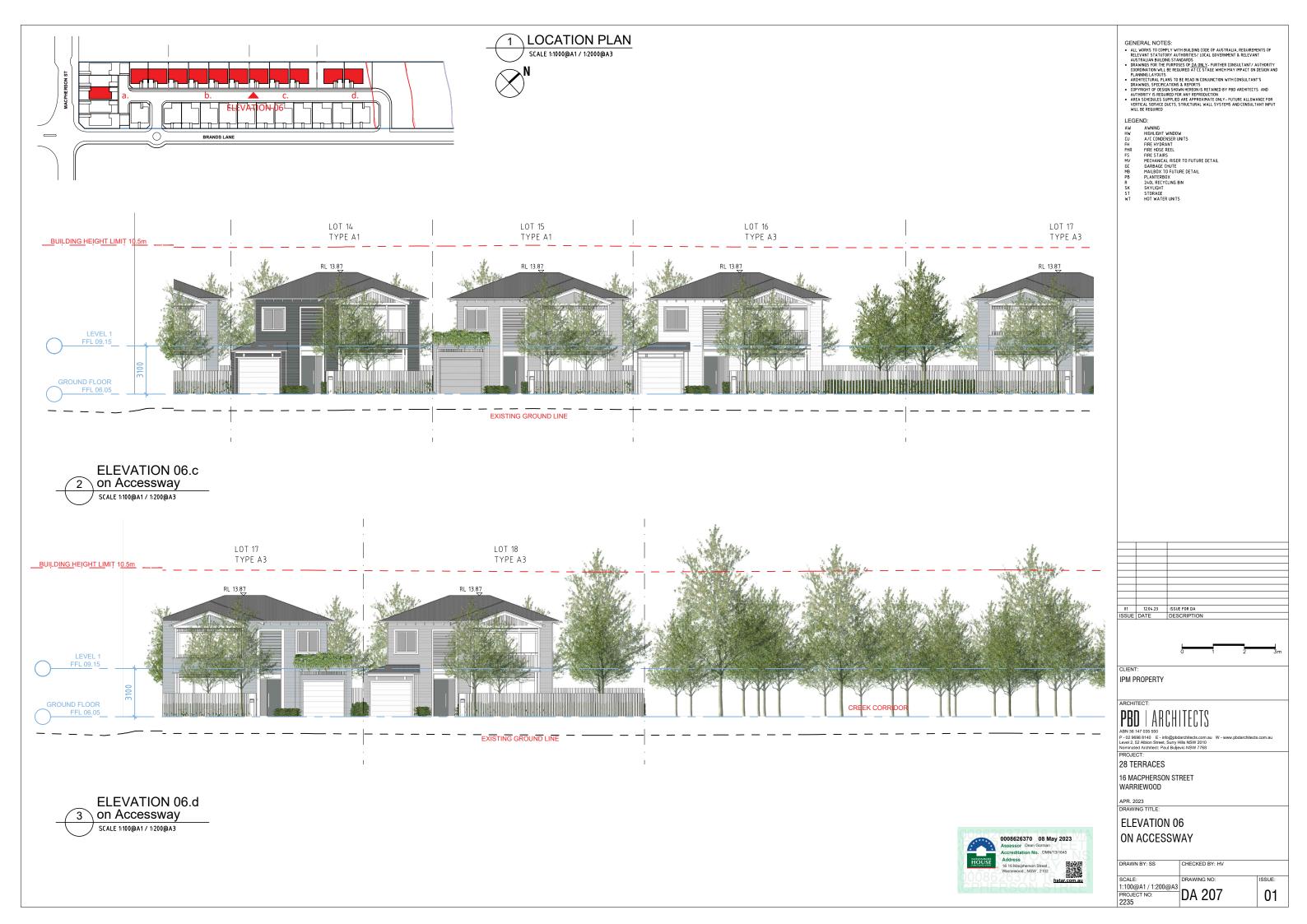






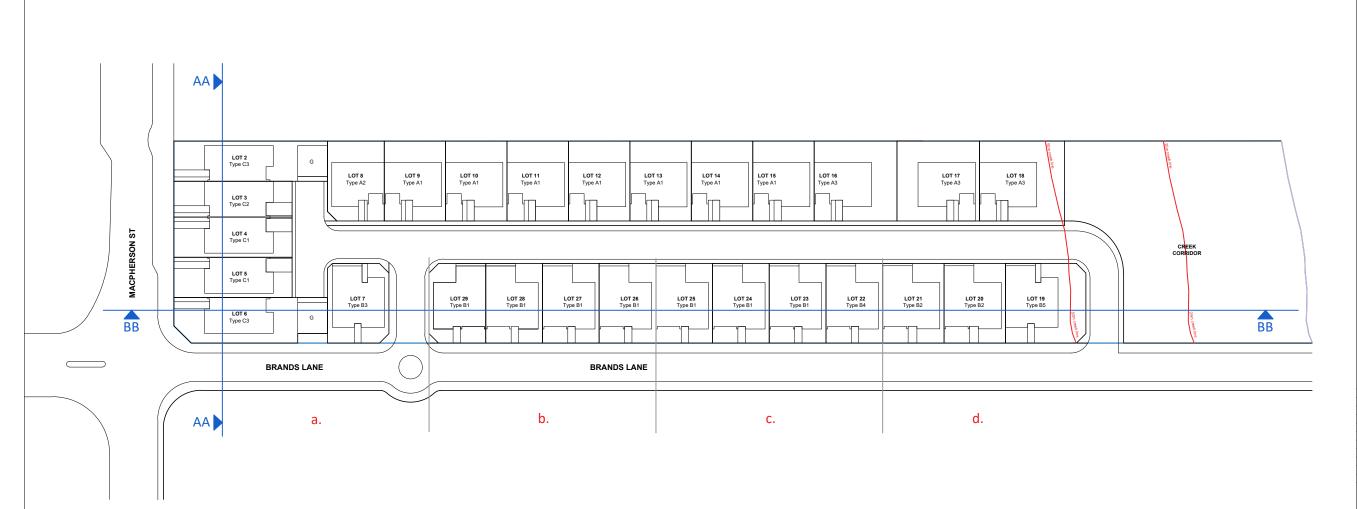












SECTIONS LOCATION PLAN

SCALE 1:400@A1 / 1:800@A3

0008626370 08 May 2023

- GENERAL NOTES:

   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT A RELEVANT AUSTRALIAN BUILDING STANDARDS ON LIVE FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REQUIRED AT CESTAGE WHICH HAT IMPACT ON DESIGN AND AUTHORITY CORRINATED AS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

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## LEGEND:

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HIGHLIGHT WINDOW

HIGHLIGHT WINDOW

HIGHLIGHT WINDOW

FIRE HYDRARI WINDOW

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FIRE HOSE REEL

FS FIRE STAIRS

GC GARBAGE CHUTE

MB MAILDOX TO FUTURE DETAIL

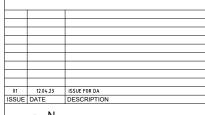
PB PLANTERBOX

R 240 LECYCLING BIN

SK SKYLIGHT

ST STORAGE

WT HOT WATER UNITS





IPM PROPERTY

PBD | ARCHITECTS

AN 36 147 035 550
P- 02 9698 8140 E- Info@pbdarchitects.com.au W-www.pbdar Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

SECTIONS LOCATION PLAN

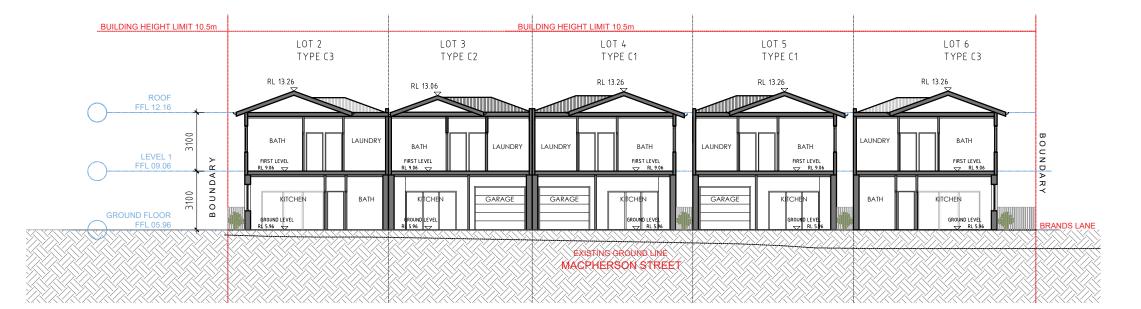
DRAWN BY: SS CHECKED BY: HV SCALE:

1:400@A1 / 1:800@A3 PROJECT NO: 2235

ISSUE: 01











GENERAL NOTES:

• ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

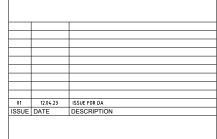
• DRAWINGS FOR THE PURPOSES OF <u>DA DAILY</u> FURTHER CONSULTANT/ AUTHORITY CORDINATION WILL BE REQUIRED AT CE STACE WHICH HAY IMPACT ON DESIGN AND FLANING LAYOUT AND TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS, BEFORE TO SHOW AND SPECIFICATIONS. A REPORTS

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## LEGEND:

LEGEND:
AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHE FIRE HYDRANT
FM FIRE HOSE REEL
FS FIRE STAIRS
WY HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitests.com.au
Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

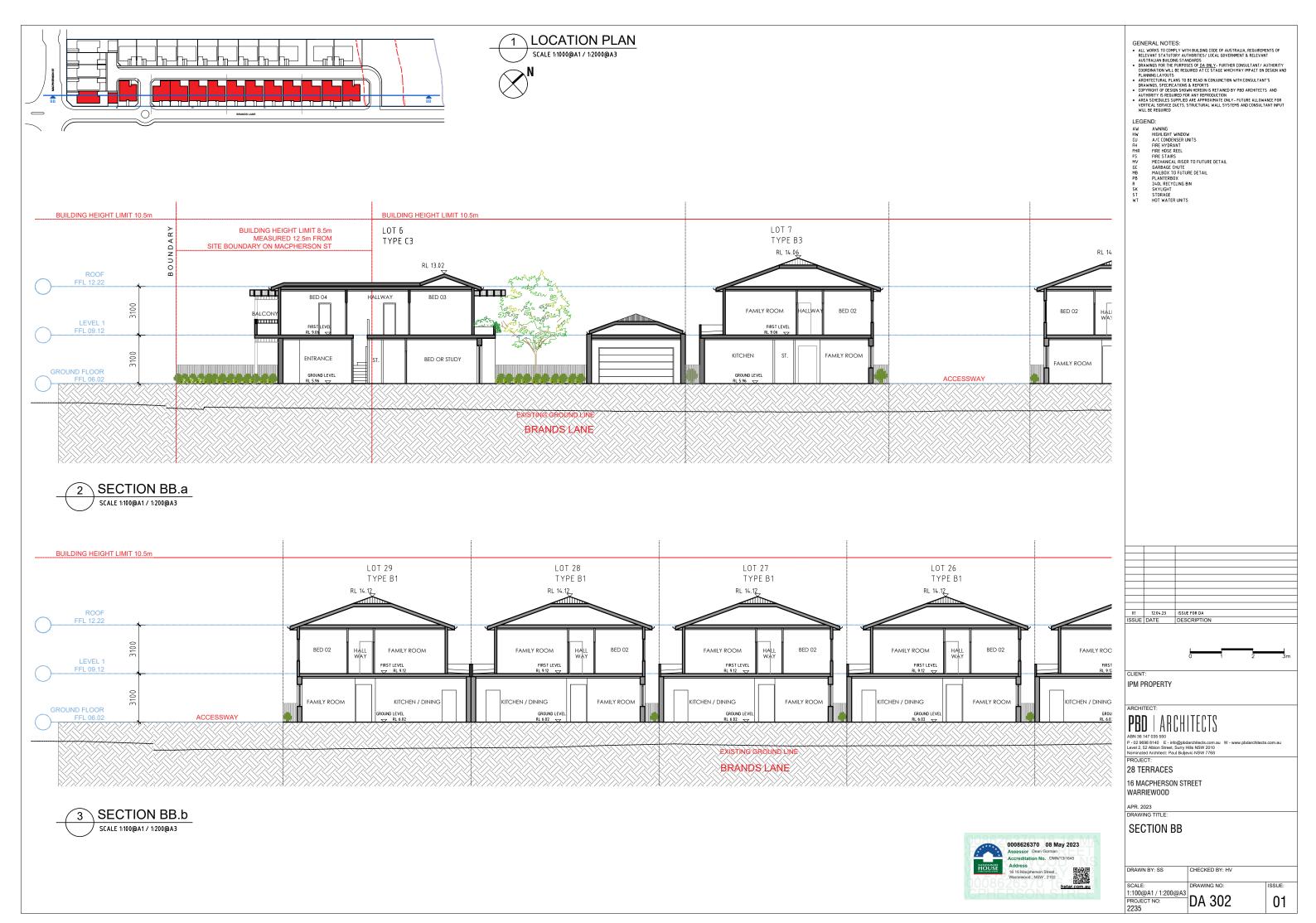
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DRAWN BY: SS CHECKED BY: HV

SCALE: 1:100@A1 / 1:200@A3 PROJECT NO: 2235

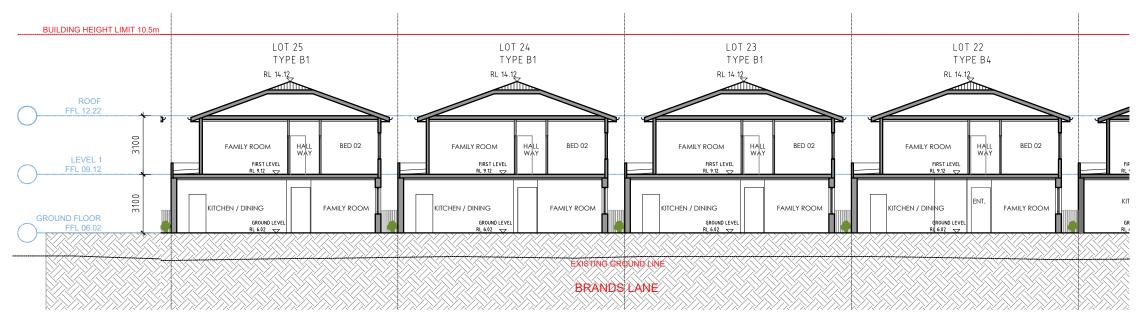
DA 301

ISSUE: 01

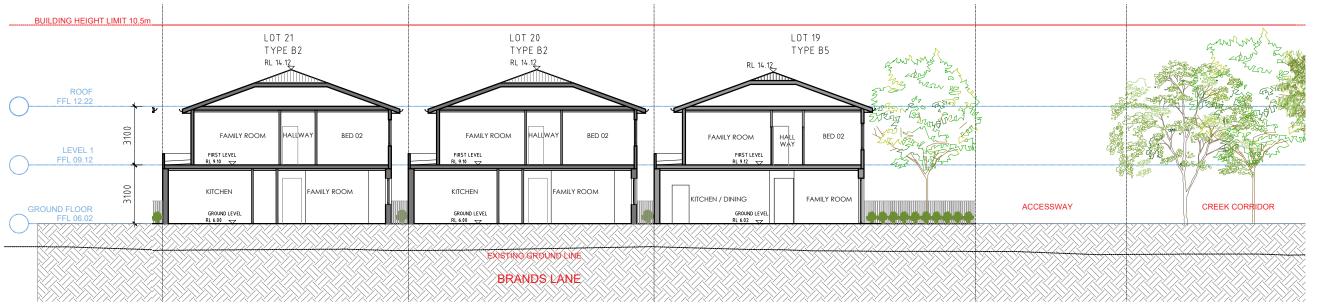














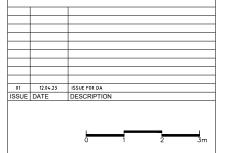


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GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS



IPM PROPERTY

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28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

DRAWING TITLE:

SECTION DD

CHECKED BY: HV DRAWN BY: SS

SCALE: 1:100@A1 / 1:200@A3 PROJECT NO:

DA 303



E01 WEATHERBOARD

P1 - Dulux Vivid white, P2 - Dulux Grey Pail P3 - Dulux Tranquil retreat, P4 - Dulux Tea House



E02 METAL ROOFING

P3 -Tranquil retreat



E03

SECTIONAL GARAGE DOOR



E04 BALUSTRADE

P1 - Dulux Vivid white



E05 WINDOW SCREEN

P1 - Dulux Vivid white



E06 ALUMINIUM WINDOW FRAMING

P1 - Dulux Vivid white



E07 BOUNDARY PICKET FENCE

P1 - Dulux Vivid white



E08 | SANDSTONE CLADDED WALL

DULUX - VIVID WHITE (1 W)

DULUX - GREY PAIL (GR 21)

DULUX - TRANQUIL RETREAT (GR 24)

DULUX - TEA HOUSE (GR 23)



01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

GENERAL NOTES:

• ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANDARDS ON THE PROPOSES OF THE PROPOSES OF THE PROPOSE OF THE

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PB PLANTERBOX
R 240, RECYELING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

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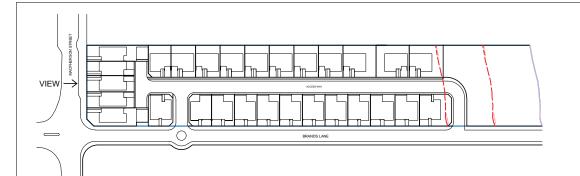
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

MATERIAL SCHEDULE

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE
NTS	D 4 400	
PROJECT NO: 2235	DA 400	0







2 PHOTOMONTAGE 01 - MACPHERSON ST NOT TO SCALE



- GENERAL NOTES:

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LEGEND:
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HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
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WY MECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
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PB PLANTERBOX
R 240 AECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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# ARCHITECT: PBD | ARCHITECTS ABN 36 147 035 550 P-02 9698 8140 E-info@pbdarchilects.com.au Level 2, 52 Albon Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevo NSW 17768 PROJECT:

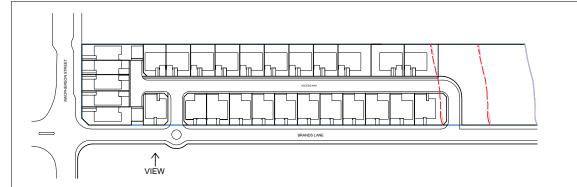
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

PHOTOMONTAGE 01 MACPHERSON ST

CHECKED BY: HV	
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2 PHOTOMONTAGE 02 - BRANDS LN NOT TO SCALE



- GENERAL NOTES:

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FIRE HYDRARI WINDOW

FIRE HOSE REEL

FS FIRE STAIRS

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MB MAILDOX TO FUTURE DETAIL

PB PLANTERBOX

R 240 LECYCLING BIN

SK SKYLIGHT

ST STORAGE

WT HOT WATER UNITS

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ISSUE	DATE	DESCRIPTION

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# PBD | ARCHITECTS

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Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

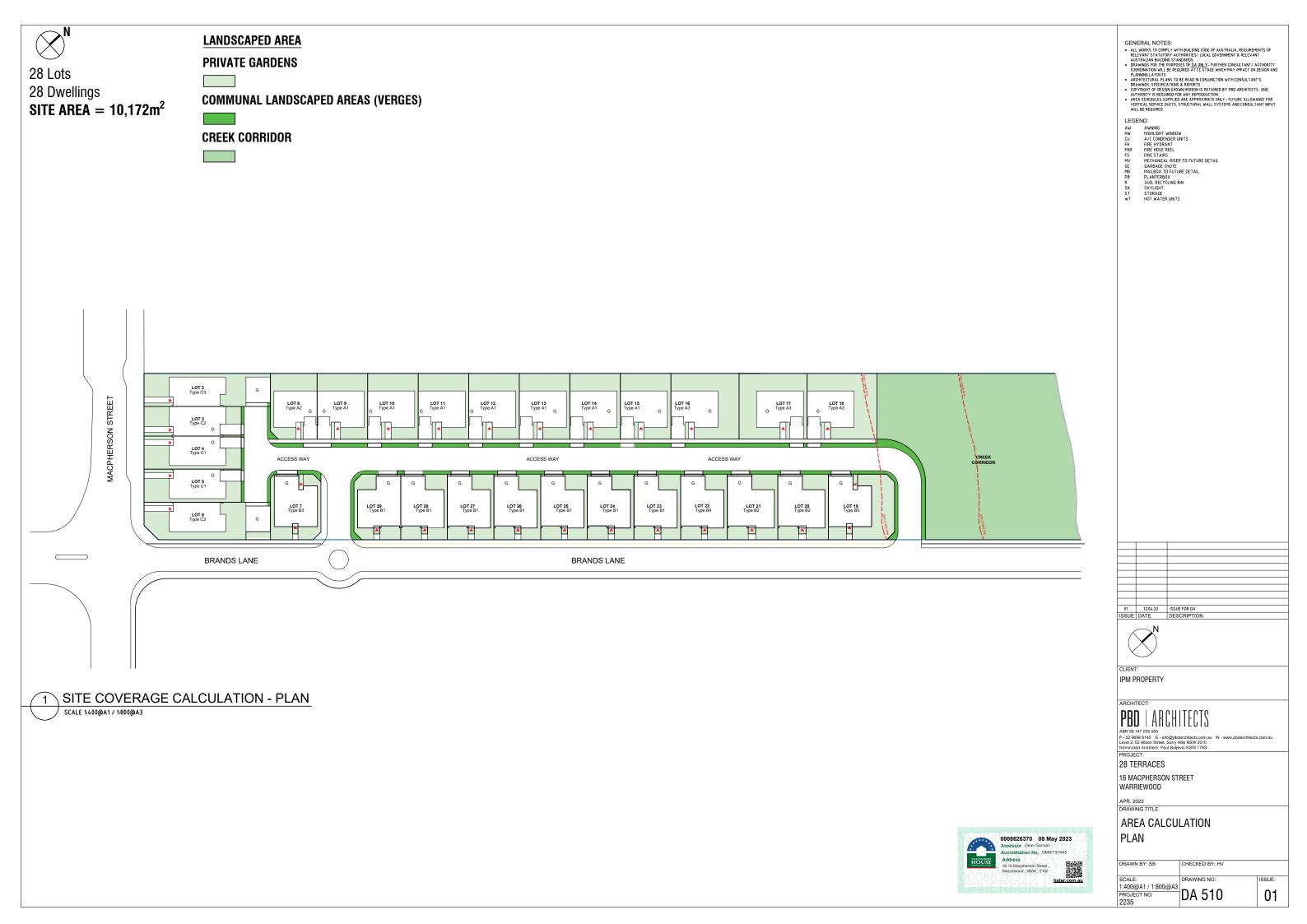
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

PHOTOMONTAGE 02 BRANDS LANE

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE:
PROJECT NO: 2235	DA 411	01

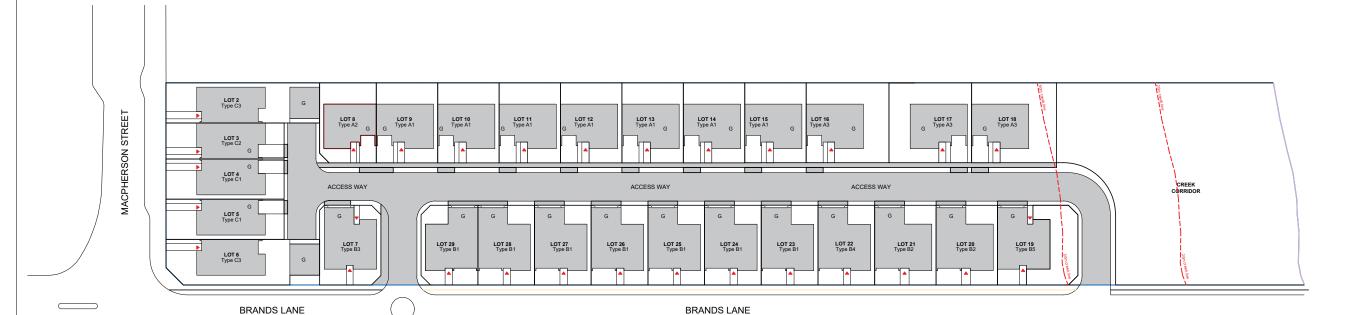




IMPERVIOUS AREA

28 Dwellings

SITE AREA = 10,172m<sup>2</sup>



SITE COVERAGE CALCULATION - PLAN



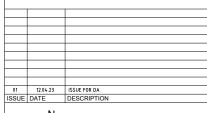
- GENERAL NOTES:

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## LEGEND:

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AW AWNING
HIGHLIGHT WINDOW
HIGH





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Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

AREA CALCULATION PLAN 02

CHECKED BY: HV DRAWN BY: SS SCALE:

1:400@A1 / 1:800@A3 PROJECT NO: 2235 DA 511

## SITE COVERAGE CALCULATION

16 Macpherson Street, Warriewood

SITE AREA in m<sup>2</sup> 10,172

	LOT AREA	LOT ARFA	LOT ARFA	LOT AREA				LA	NDSCAPE AREA		
LOT NUMBER	LOTANLA	TYPE	AREA REQUIRED	% OF LOT AREA REQUIRED	AREA PROPOSED	2/ 27 127 127 127	COMPLIANCE				
	(m²)		m <sup>2</sup>	%	m <sup>2</sup>	% OF LOT AREA ACHIEVED	YES	NO			
							T .				
LOT 2	276	C3	69	25	114	43	<b>~</b>				
LOT 3	190	C2	48	25	62	35	✓				
LOT 4	212	C1	53	25	84	42	✓				
LOT 5	212	C1	53	25	84	40	<b>~</b>				
LOT 6	307	C3	107	35	145	49	✓				
LOT 7	214	В3	75	35	78	38	<b>~</b>				
LOT 8	201	A2	70	35	83	44	<b>~</b>				
LOT 9	220	A1	77	35	92	44	<b>~</b>				
LOT 10	220	A1	77	35	92	43	<b>~</b>				
LOT 11	220	A1	77	35	92	44	<b>*</b>				
LOT 12	220	A1	77	35	92	43	<b>~</b>				
LOT 13	220	A1	77	35	92	44	<b>~</b>				
LOT 14	220	A1	77	35	92	43	<b>~</b>				
LOT 15	220	A1	77	35	92	44	<b>~</b>				
LOT 16	295	А3	133	45	167	58	<b>~</b>				
LOT 17	295	А3	133	45	167	58	<b>~</b>				
LOT 18	304	А3	137	45	176	59	<b>~</b>				
LOT 19	282	B5	127	45	135	49	<b>~</b>				
LOT 20	219	B2	77	35	77	36	<b>~</b>				
LOT 21	219	B2	77	35	77	38	<b>~</b>				
LOT 22	202	B4	71	35	71	35	<b>~</b>				
LOT 23	202	B1	71	35	71	35	<b>~</b>				
LOT 24	202	B1	71	35	71	38	<b>~</b>				
LOT 25	202	B1	71	35	71	35	<b>~</b>				
LOT 26	202	B1	71	35	71	35	<b>~</b>				
LOT 27	202	B1	71	35	71	35	<b>~</b>				
LOT 28	202	B1	71	35	71	38	<b>~</b>				
LOT 29	198	B1	69	35	67	36	<b>~</b>				
					2657						

**CREEK CORRIDOR LANDSCAPED AREA COMMUNAL LANDSCAPED AREA (VERGE)**  1779 295

TOTAL LANDSCAPE AREA (m<sup>2</sup>)

46.51 4731 % of site area



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LEGEND:
AW ANNING
HW HIGHLIGHT WINDOW
CU AC CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
MV HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MALBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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P- 02 9698 8140 E- info@pbdarchitects.com.au W- www.pbd
Level 2, 52 Alibion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7788
PROJECT:

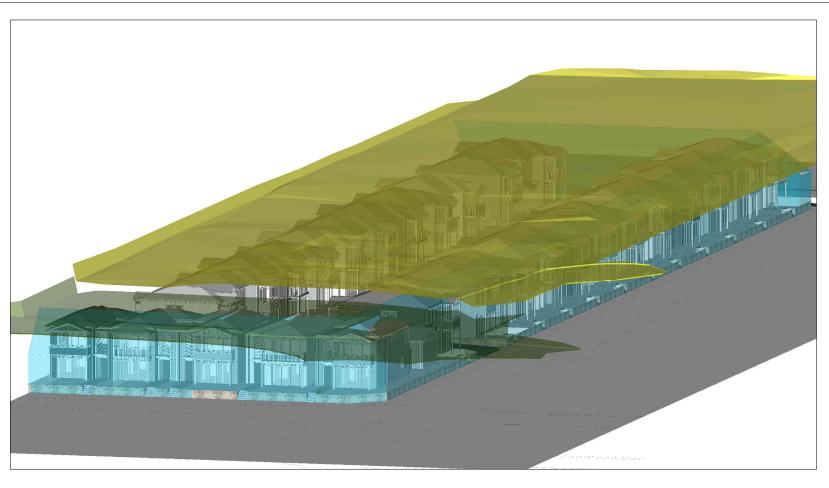
28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

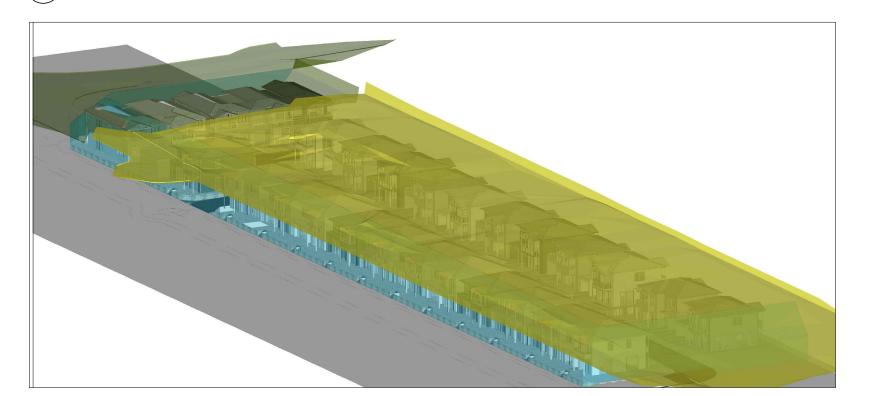
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AREA CALCULATION SCHEDULE

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS PROJECT NO:	DA 512	ISSUE:
2235	DA 312	UI



1 BUILDING ENVELOPE 01 NOT TO SCALE



1 BUILDING ENVELOPE 02



8.5 m BUILDING HEIGHT LIMIT

10.5 m BUILDING HEIGHT LIMIT

- GENERAL NOTES:

   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REDUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS ON THE PROPOSES OF DAMANDARDS ON THE PROPOSES OF THE PROPOSES OF THE PROPOSE OF THE

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HIGHLIGHT WINDOW
HIGH

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

IPM PROPERTY

**PBD** | ARCHITECTS

Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

BUILDING ENVELOPE DIAGRAMS

DRAWN BY: SS	CHECKED BY: HV	
5.0	ONEONED DITTIV	
SCALE:	DRAWING NO:	ISSUE:
NTS		
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DA 520











1 9AM - JUNE 21ST

NOT TO SCALE



12PM - JUNE 21ST NOT TO SCALE



- GENERAL NOTES:

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5 HOUR SOLAR ACCESS

6 6 HOUR SOLAR ACCESS

01	12.04.23	ISSUE FOR DA	
ISSUE	DATE	DESCRIPTION	

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# **PBD** | ARCHITECTS

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

SOLAR STUDY 9AM - 12 PM

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE:
PROJECT NO: 2235	DA 601	01







03PM - JUNE 21ST NOT TO SCALE



1 02PM - JUNE 21ST NOT TO SCALE

- GENERAL NOTES:

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- LEGEND:

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FH FIRE HYDRANT
FHE FIRE HYDRANT
FM FIRE HOSE REEL
FS FIRE STAIRS
WY HECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240, RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

0 HOUR SOLAR ACCESS

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5 HOUR SOLAR ACCESS

6 6 HOUR SOLAR ACCESS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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**PBD** | ARCHITECTS

Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

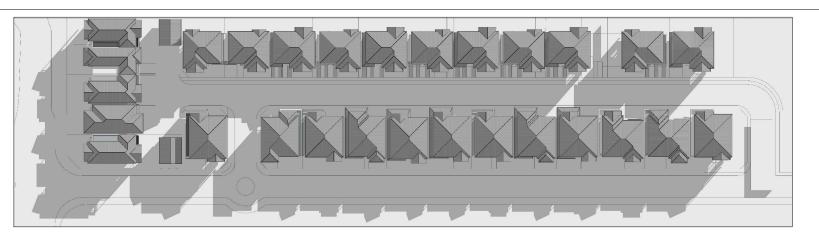
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

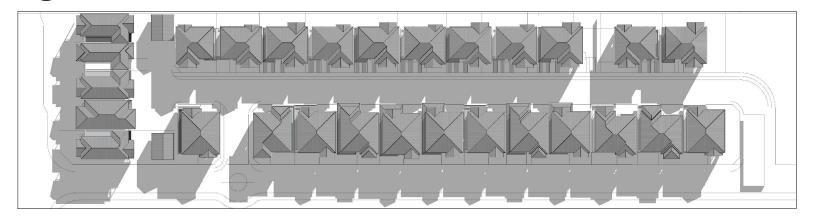
SOLAR STUDY 01PM - 03PM

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO:	ISSUE:
PROJECT NO: 2235	DA 602	01

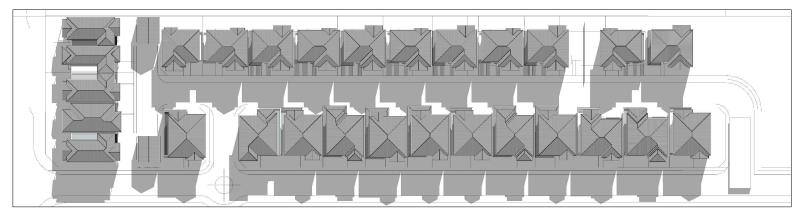




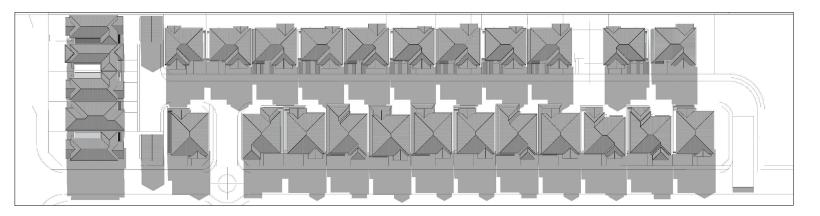
9AM - JUNE 21ST NOT TO SCALE



2 10AM - JUNE 21ST NOT TO SCALE



3 11AM - JUNE 21ST NOT TO SCALE



4 12PM - JUNE 21ST NOT TO SCALE



- GENERAL NOTES:

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## LEGEND:

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HIGHLIGHT WINDOW

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FIRE HYDRARI WINDOW

FIRE HYDRARI WINDOW

FIRE HOSE REEL

FS FIRE STAIRS

GC GARBAGE CHUTE

MB MAILDOX TO FUTURE DETAIL

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ST STORAGE

WT HOT WATER UNITS

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	ISSUE	DATE	DESCRIPTION

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ARCHITECT:

# **PBD** | ARCHITECTS

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P - 02 9698 8140 E - Info@pbdarchitects.com.au W-Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

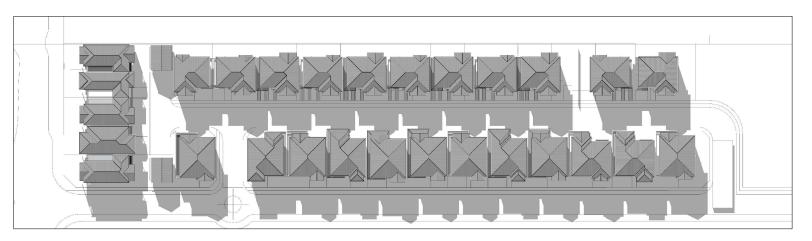
16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

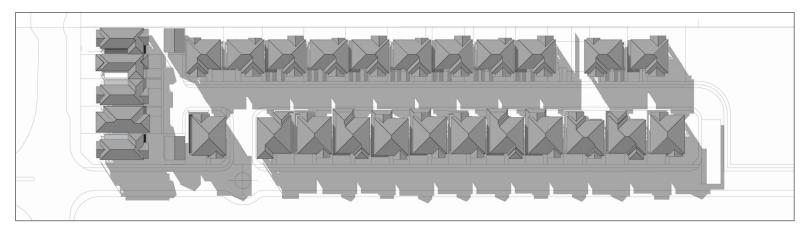
SHADOW DIAGRAMS

09AM - 12PM - JUNE 21ST CHECKED BY: HV DRAWN BY: SS SCALE: ISSUE:

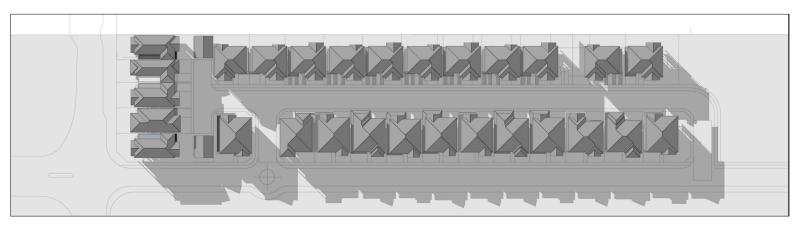
DRAWING NO: NTS
PROJECT NO: 2235 DA 603



1 01PM - JUNE 21ST NOT TO SCALE



2 02PM - JUNE 21ST NOT TO SCALE



3 03PM - JUNE 21ST NOT TO SCALE



- GENERAL NOTES:

   ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT A RELEVANT AUSTRALIAN BUILDING STANDARDS ON LIVE FURTHER CONSULTANT/ AUTHORITY CORRINATION WILL BE REQUIRED AT CESTAGE WHICH HAT IMPACT ON DESIGN AND AUTHORITY CORRINATED AS TO BE READ IN COMJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS

   COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY POD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.

   AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT IMPUT WILL BE REQUIRED.

## LEGEND:

LEGEND:

AW ANNIG

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HIGHLIGHT WINDOW

FIRE HYDRARI WINDOW

FIRE HYDRARI WINDOW

FIRE HOSE REEL

FS FIRE STAIRS

GC GARBAGE CHUTE

MB MAILDOX TO FUTURE DETAIL

PB PLANTERBOX

R 240 LECYCLING BIN

SK SKYLIGHT

ST STORAGE

WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

IPM PROPERTY

ARCHITECT:

# **PBD** | ARCHITECTS

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Level 2, 52 Abion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768
PROJECT:

28 TERRACES

16 MACPHERSON STREET WARRIEWOOD

APR. 2023 DRAWING TITLE:

SHADOW DIAGRAM 01PM - 03PM - JUNE 21ST

DRAWN BY: SS	CHECKED BY: HV	
SCALE:	DRAWING NO:	ISSUE:
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PROJECT NO:	DA 604	()1
2235	D/ ( 00 1	5