

PROJECT INFORMATION

16 Macpherson St, Warriewood
Site Area = **10,172 m²**
Lot 4 DP 553814

Zoning : **R3** Medium Density Residential
Height of building : **10.5m**

8.5m within the area that is 12.5m measured from the boundary fronting Macpherson St
Floor space ration : N/A
Minimum lot size : N/A
Heritage : the site does not contain a heritage item nor is it within a heritage conservation area
Setbacks : see Lot Plan (DA 004)

TERRACES MIX + AREAS

28 Lots
28 Dwellings
7 Adaptable

A1 type
7 Dwellings / 25 % of total
3 Bed.
Internal Area = 152m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

A2 type
1 Dwelling / 3% of total
3 Bed.
Internal Area = 145m²
P.O.S = 5x4m = 20m²
Storage = 8m³
2 car parking spaces

A3 type
3 Dwelling / 7 % of total
3 Bed.
Internal Area = 152m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

B1 type
7 Dwellings / 25% of total
3 Bed. (4 Bed. post Adaptation)
Internal Area = 169m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

B2 type
2 Dwellings / 7% of total
3 Bed.
Internal Area = 188m²
P.O.S = 5x4m = 20m²
Storage = 8m³
2 car parking spaces

B3 type
1 Dwelling / 3% of total
3 Bed.
Internal Area = 172m²
P.O.S = 6.7x3m = 20m²
Storage = 10m³
2 car parking spaces

B4 type
1 Dwelling / 3% of total
3 Bed.
Internal Area = 169m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

B5 type
1 Dwelling / 3% of total
3 Bed.
Internal Area = 172m²
P.O.S = 6.7x3m = 20m²
Storage = 10m³
2 car parking spaces

C1 type
2 Dwellings / 7% of total
3 Bed.
Internal Area = 157m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

C2 type
1 Dwelling / 3% of total
3 Bed.
Internal Area = 157m²
P.O.S = 4.5x4m = 18m²
Storage = 9m³
2 car parking spaces

C3 type
2 Dwellings / 7% of total
4 Bed.
Internal Area = 172m²
P.O.S = 5x4m = 20m²
Storage = 9m³
2 car parking spaces

SITE COVERAGE

Total Landscaped Area = 4731 m²
46.51 % of the Site Area

Total Covered Area =4922 m²
(impervious area) **48.39% of the Site Area**

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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ARCHITECT:
PBD | ARCHITECTS
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Level 2, 52 Albion Street, Sunny Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

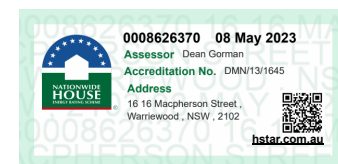
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:


PROJECT SUMMARY


DRAWN BY: SS	CHECKED BY: HV	
SCALE: VARIOUS	DRAWING NO: DA 001	ISSUE: 01
PROJECT NO: 2235		






LEGEND :

 EXISTING BUILDINGS
TO BE DEMOLISHED

 TREES TO BE REMOVED
REFER TO ARBORIST
REPORT

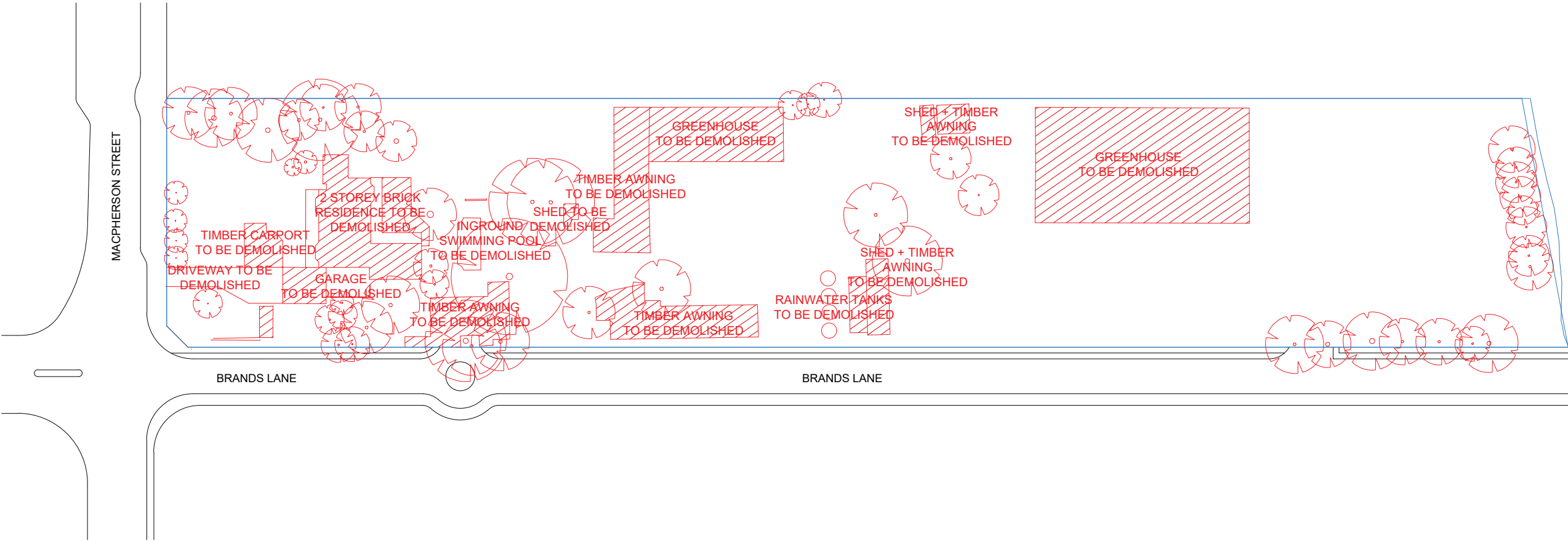
 SITE BOUNDARY

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HW	HIGHLIGHT WINDOW
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FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
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HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
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R	24L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS



1

DEMOLITION PLAN

SCALE 1:500@A1 / 1:1000@A3

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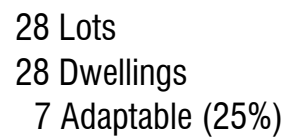
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

DRAWN BY: SS
CHECKED BY: HV

SCALE:
1:400@A1 / 1:800@A3
DRAWING NO:
DA 003
PROJECT NO:
2235

ISSUE:
01





Candidate	Votes	Percentage	Notes
A1	7	25%	
A2	1	3.5%	
A3	3	11%	
B1	7	25%	Winner (Wheelchair icon)
B2	2	7%	
B3	1	3.5%	
B4	1	3.5%	
B5	1	3.5%	
C1	2	7%	
C2	1	3.5%	
C3	2	7%	



LEGEND:

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HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

A compass rose with four quadrants. The top quadrant is labeled 'N' for North. A shaded sector is located between the North and East directions, representing a bearing of 45 degrees.

ARCHITECT:

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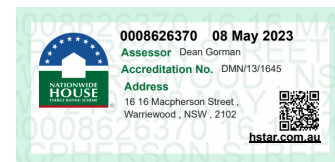
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SCALE: 1:400@A1 / 1:800@A3	DRAWING NO: DA 004	ISSUE: 01
PROJECT NO: 2235		



1 MASTER PLAN GROUND LEVEL

SCALE 1:500@A1 / 1:1000@A3



NCC2019 NatHERS Thermal Performance Specification - Warriewood			
External Walls			
Wall Type	Insulation	Colour	Comments
Weatherboard cladding	R2.5	Med - SA 0.475 - 0.70	Throughout
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Plasterboard stud	None	Internally inside units (Throughout except below)	
Plasterboard stud	R1.5	Internal walls of garage in contact with internal dwelling zones (Lots: 5, 7, 8, 10-15, 17, 22, 28 & 29)	
Plasterboard stud	R2.0	Internal walls of garage in contact with internal dwelling zones (Lots: 23-27)	
Plasterboard stud	None	Party walls between units	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground Floor	
Timber	None	First Floor	
Timber	None	Suspended slab over air (Parts of Level 1)	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Floor above	
Plasterboard	R2.5	Internal ceiling of Garage (Lots: 23-27)	
Plasterboard	R3.5	Ground & Level 1: Throughout except below (Roof/air above)	
Plasterboard	R4.0	Level -1 : Lots: 23-27 (Roof/air above)	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.8 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (Unvented cavity)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed (Lots: 3, 10-18)	4.5	0.61	e.g. Single glazed High performing Low-e clear Aluminium frame
Sliding + Fixed (Throughout except above)	4.1	0.52	e.g. Double glazed clear Aluminium frame
Awning (Lots: 3, 10-18)	4.8	0.51	e.g. Single glazed High performing Low-e clear Aluminium frame
Awning (Throughout except above)	4.1	0.47	e.g. Double glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type		Comments
900mm in diameter	Living room (Ground floor)		Ground floor (Lots: 7, 8, 10-19, 22-29)
900mm in diameter	Family room (Level 1)		Level 1 (Lots: 8, 10-19, 22-29)



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 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
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28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023

DRAWING TITLE:

MASTER PLAN
GROUND LEVEL

DRAWN BY: SS

CHECKED BY: HV

SCALE:
1:400@A1 / 1:800@A3
PROJECT NO:
2235

DRAWING NO:
DA 005

ISSUE:
01



LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
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APR. 2023
DRAWING TITLE:

DRAWN BY: SS	CHECKED BY: HV
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SCALE: 1:400@A1 / 1:800@A3	DRAWING NO: DA 006	ISSUE: 01
PROJECT NO: 2235		





LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MV	MECHANICAL RISER TO FUTURE DETAIL
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ARCHITECT:

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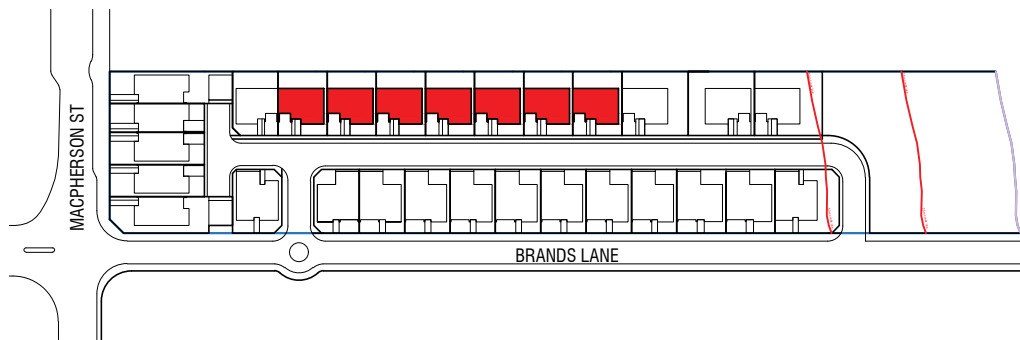
APR. 2023
DRAWING TITLE:

DRAWN BY: SS	CHECKED BY: HV
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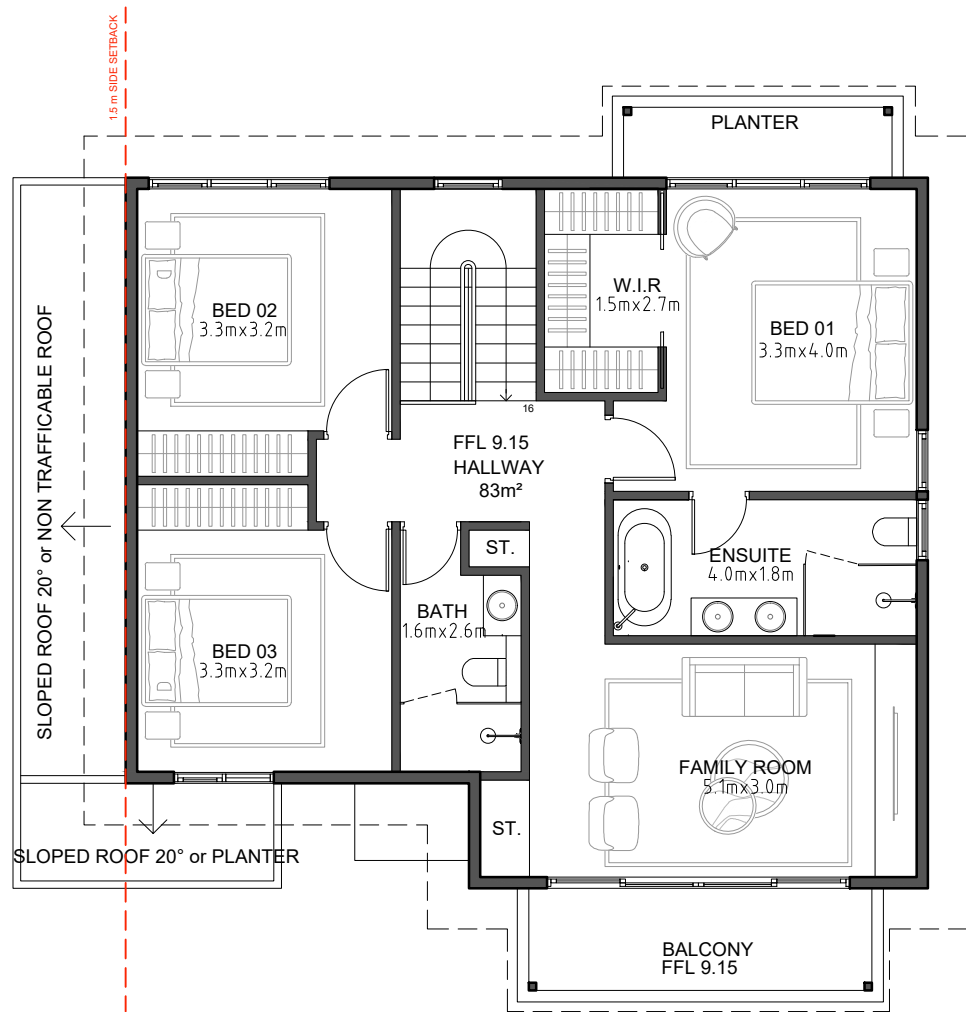
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PROJECT NO: 2235		



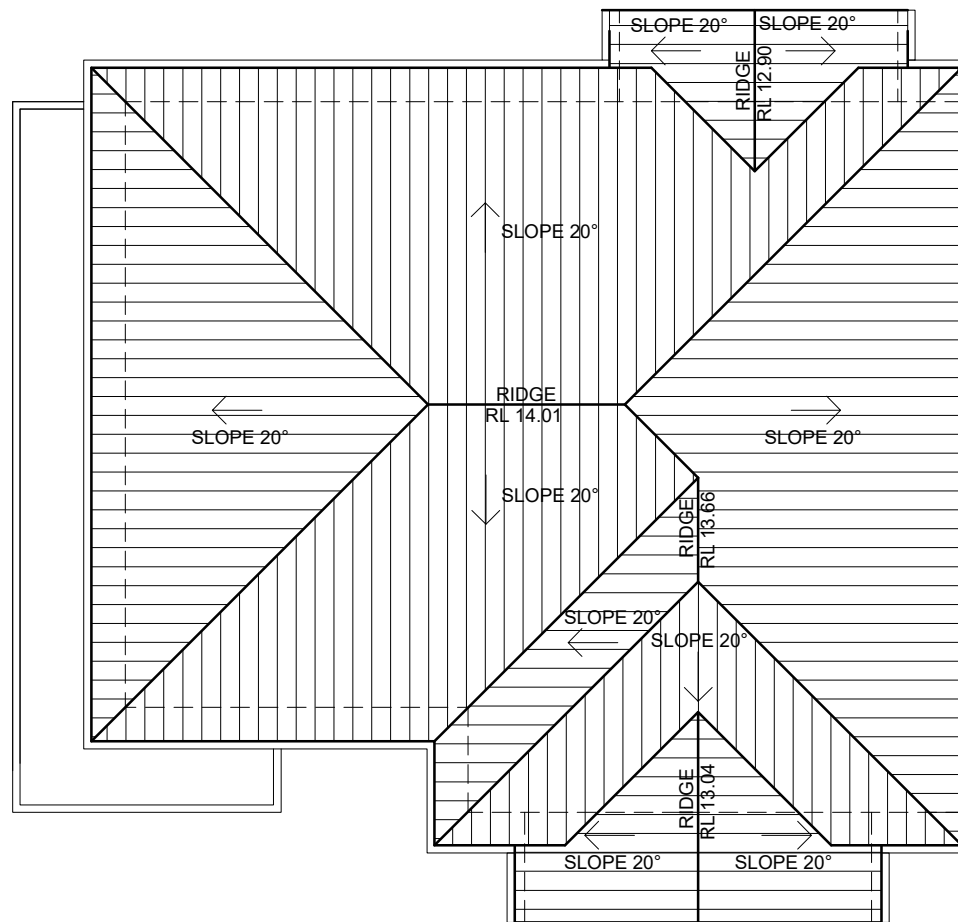




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



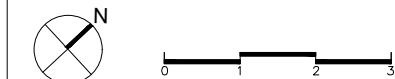
3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

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R	240L RECYCLING BIN
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ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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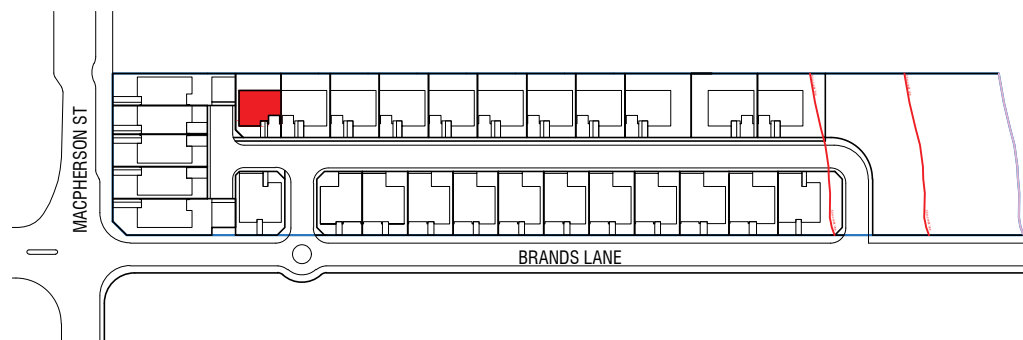
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16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE A1
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 101	ISSUE: 01





TYPE A2

LOT 8

1 DWELLING = 3.5% of total units

INTERNAL AREA GF = 62 m²

1F = 83 m²

TOTAL = 145 m²

PARKING SPACE 1

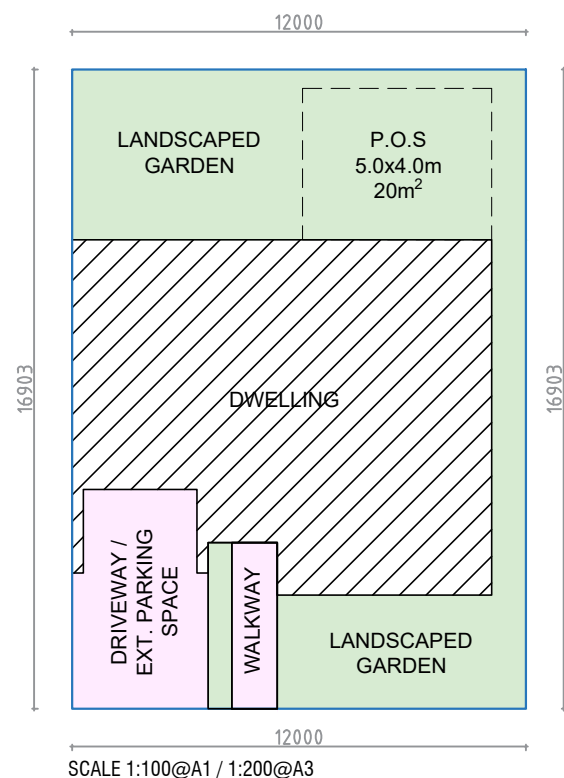
IN GARAGE (single)

6.0 x 3.0m = 18 m²

PARKING SPACE 2

EXTERNAL (WITHIN LOT BOUNDARY)

5.5 x 3.0 = 16 m²

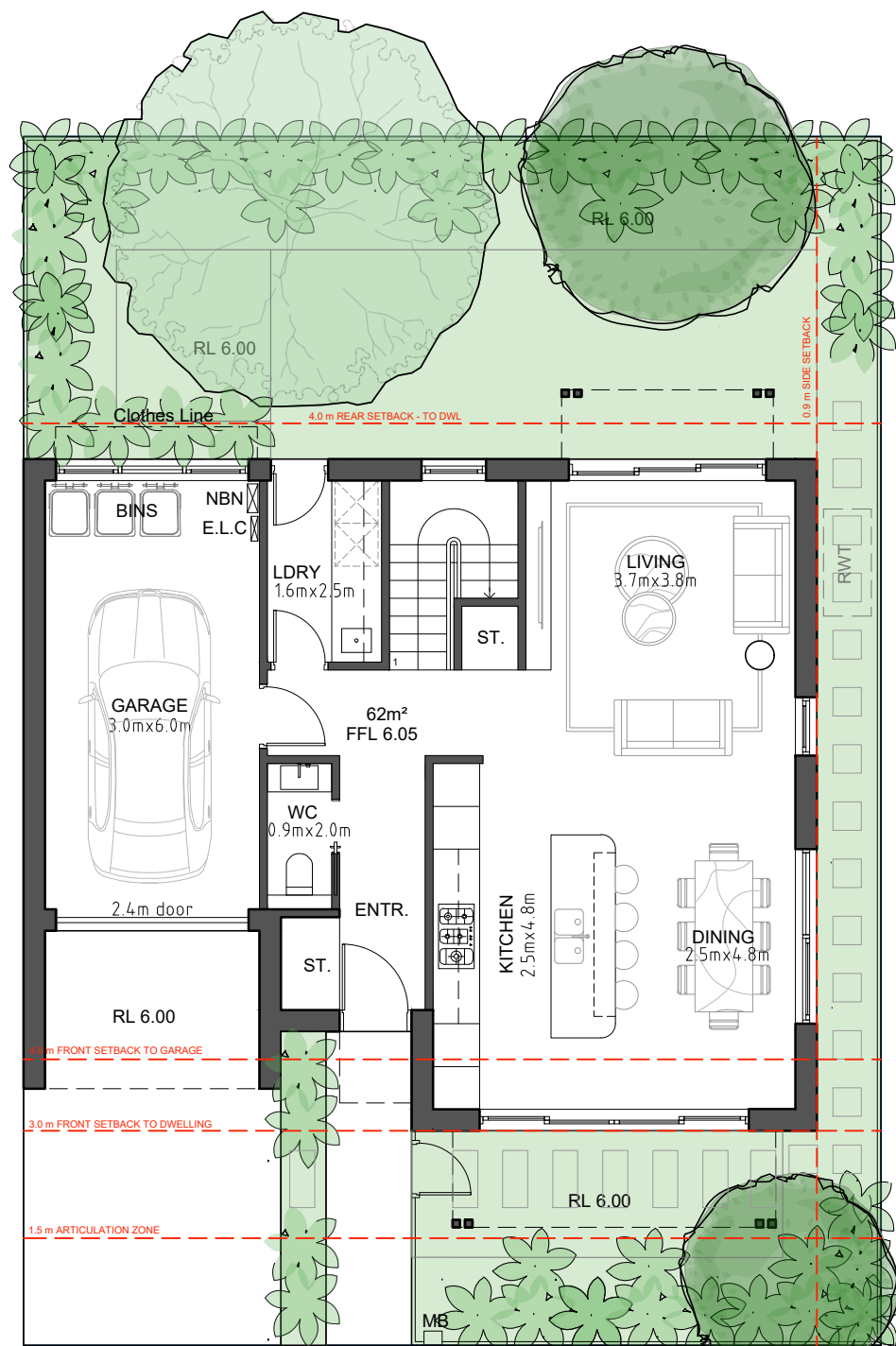
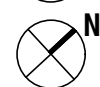


SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	201 m ²
BUILDING COVERAGE	93 m ²
LANDSCAPE AREA	83 m ²
	40 % of Lot Area

1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

2 GROUND FLOOR PLAN

SCALE 1:50@A1 / 1:100@A3

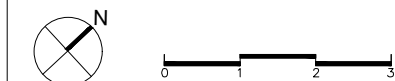
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PROJECT:

28 TERRACES

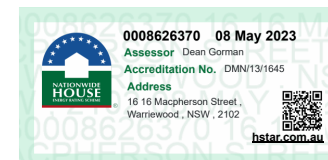
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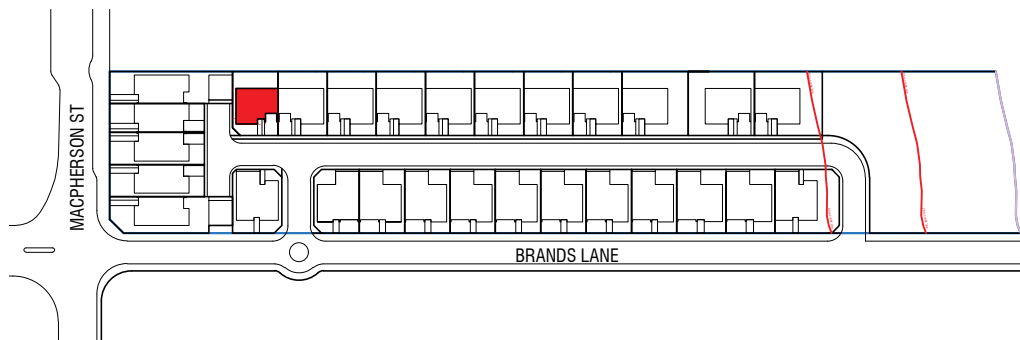
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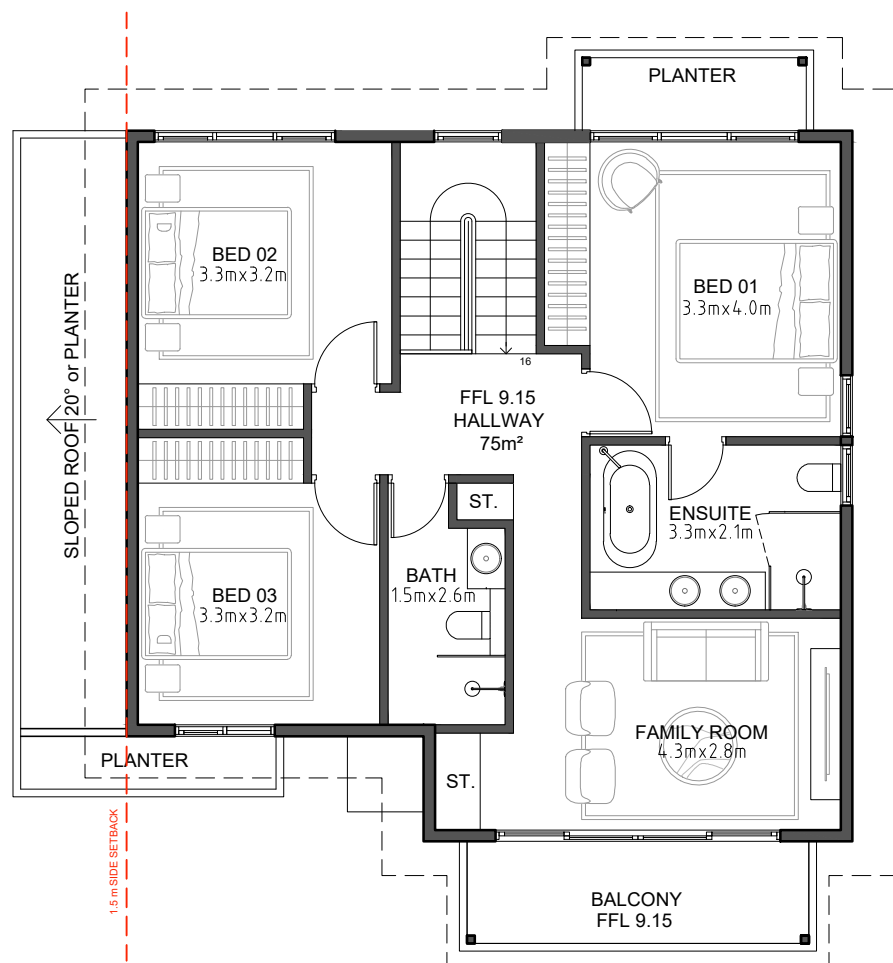
DRAWING TITLE:
TYPE A2
GROUND FLOOR LEVEL

SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 102	ISSUE: 01
PROJECT NO: 2235		

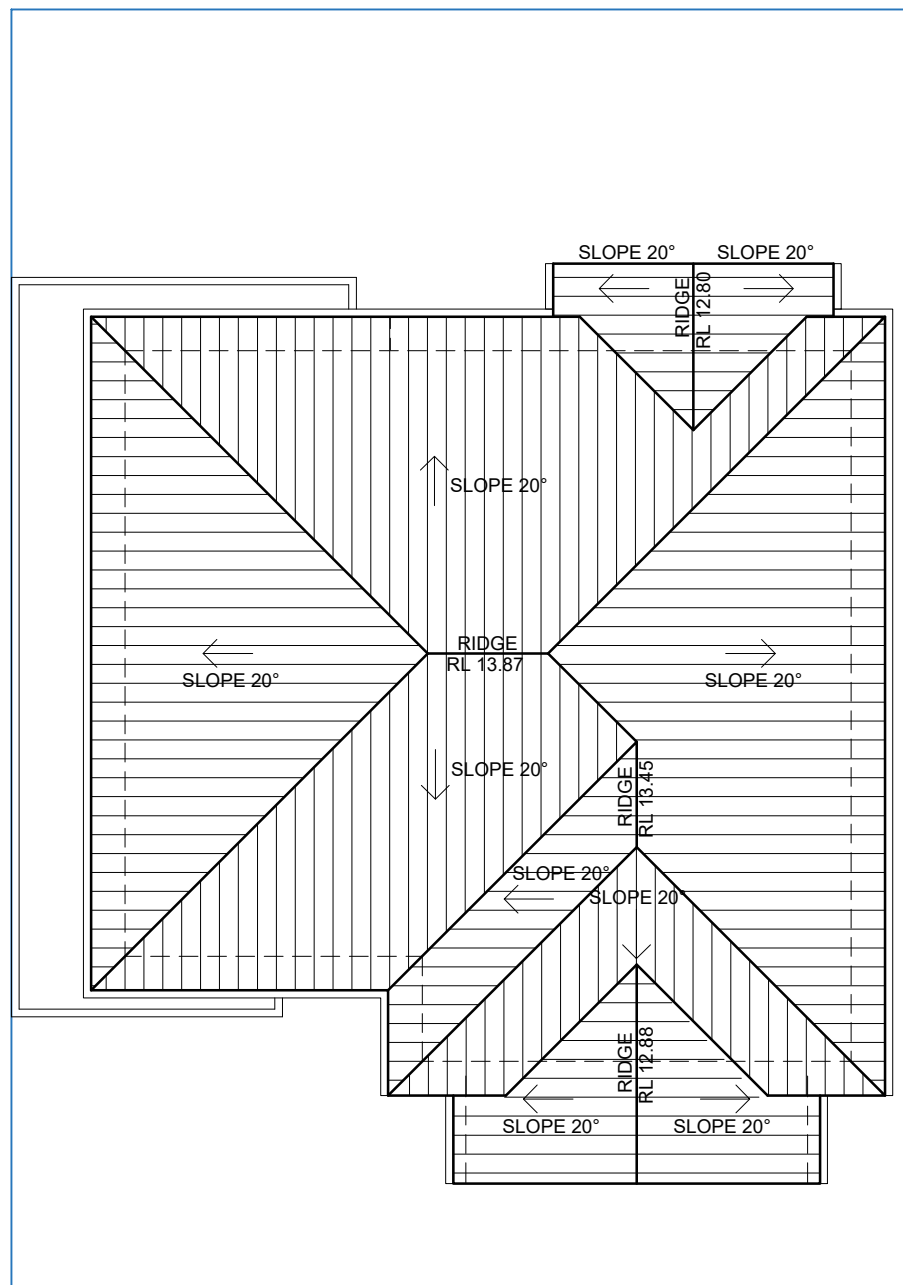




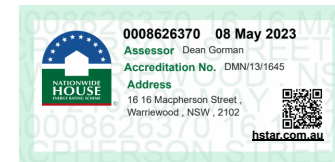
1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3



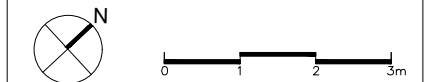
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HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
HV MECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240L RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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IPM PROPERTY

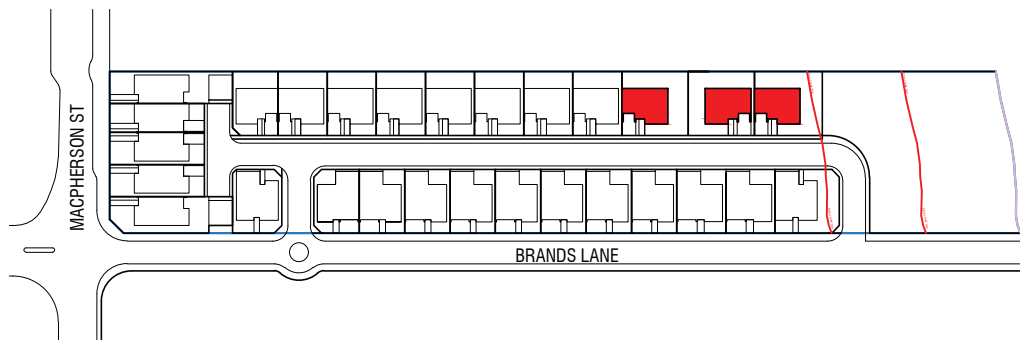
ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

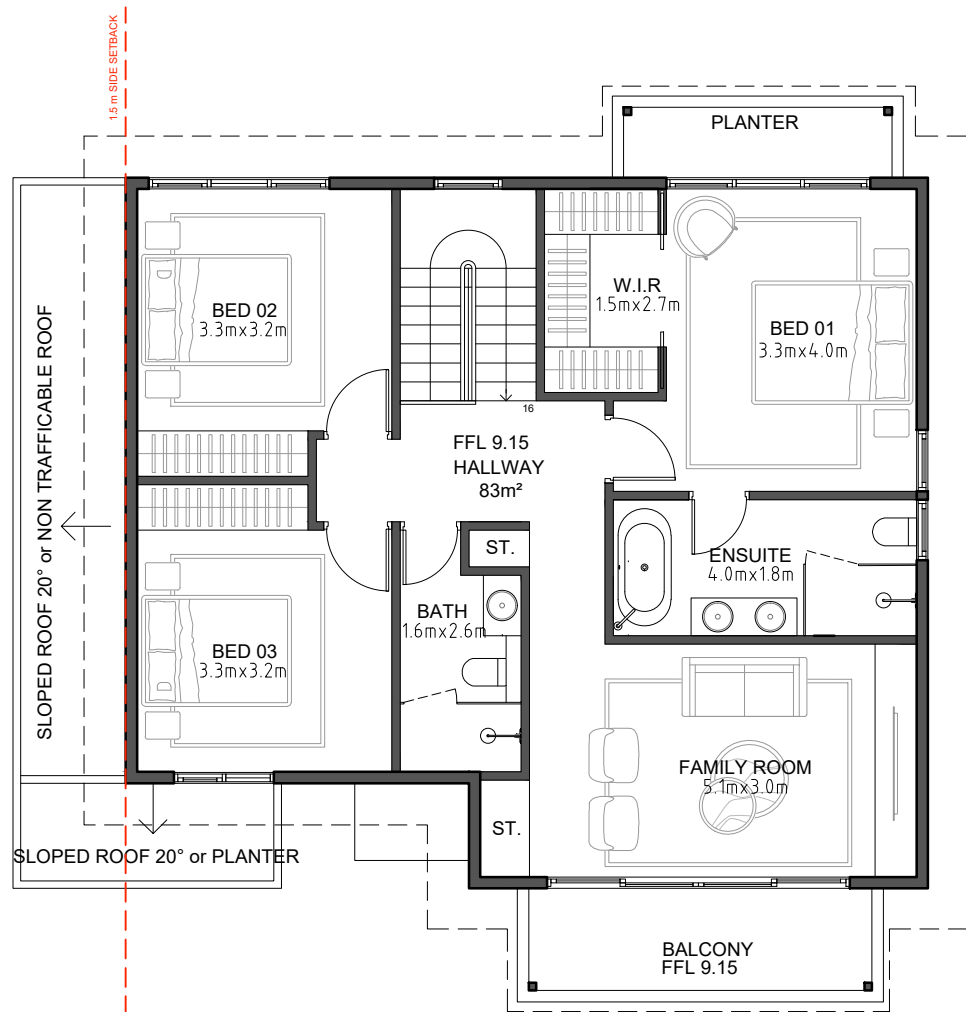
APR. 2023
DRAWING TITLE:
TYPE A2
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 103	ISSUE: 01

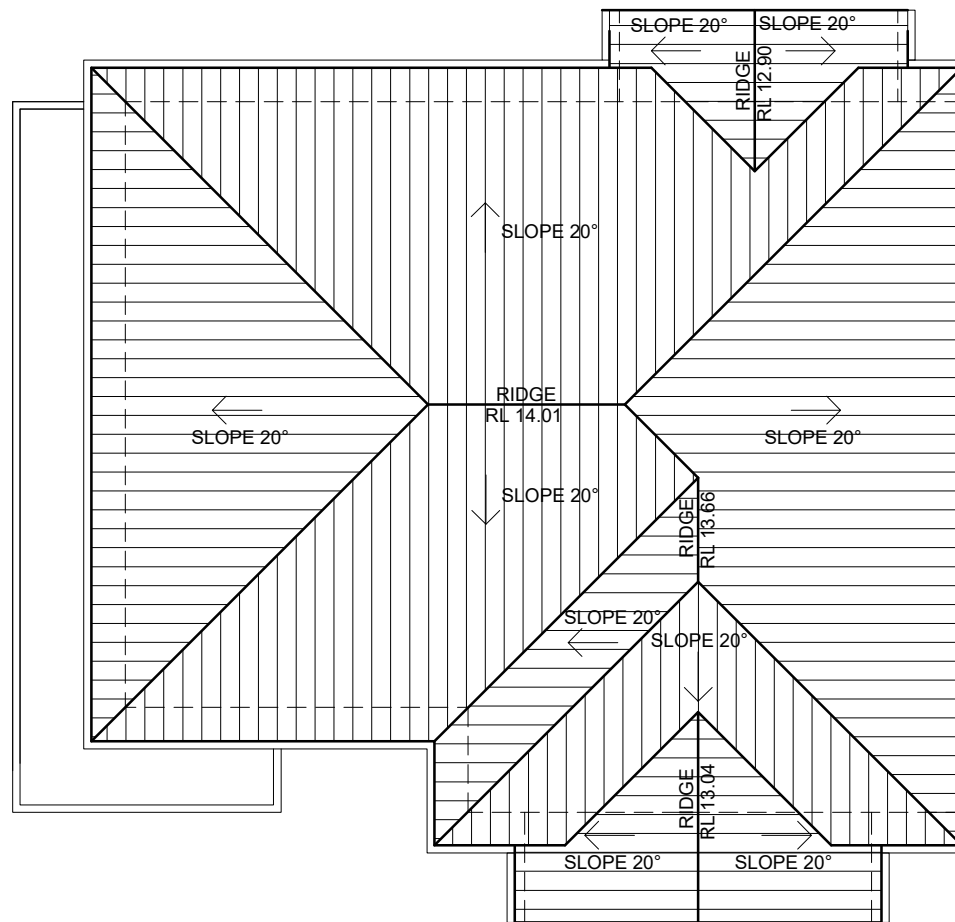
SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 104	ISSUE: 01
PROJECT NO: 2235		



1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

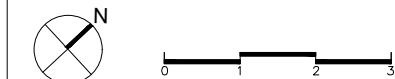


3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
 - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
 - ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
 - COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
 - AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



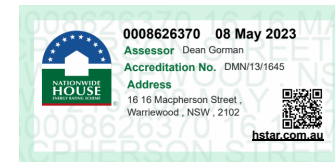
CLIENT:
IPM PROPERTY

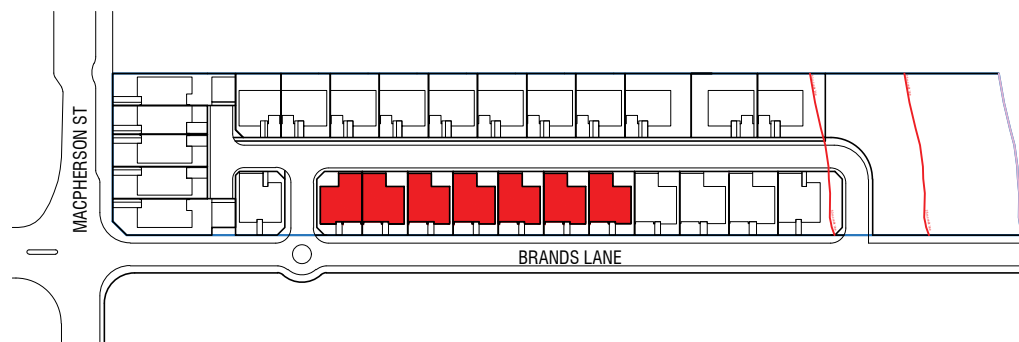
ARCHITECT:
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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Bulejovic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE A3
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 105	ISSUE: 01
PROJECT NO: 2235		

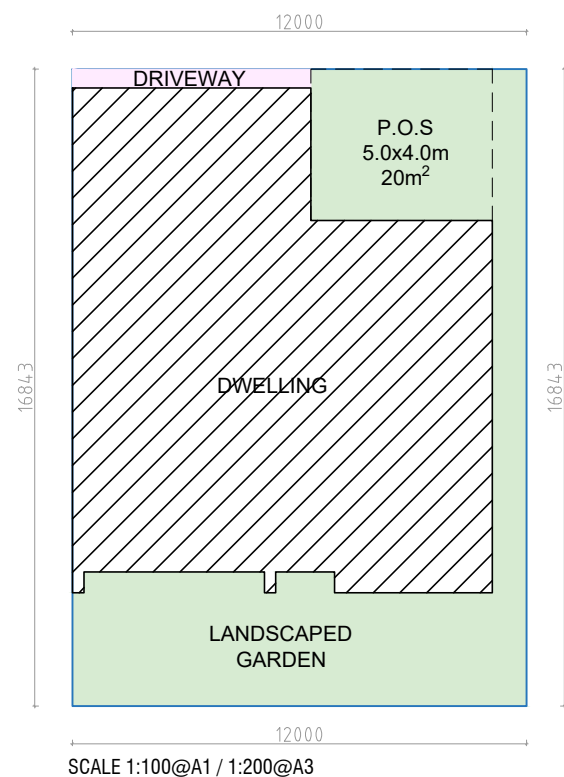




TYPE B1
LOTS 23-29
7 DWELLINGS = 25% of total units

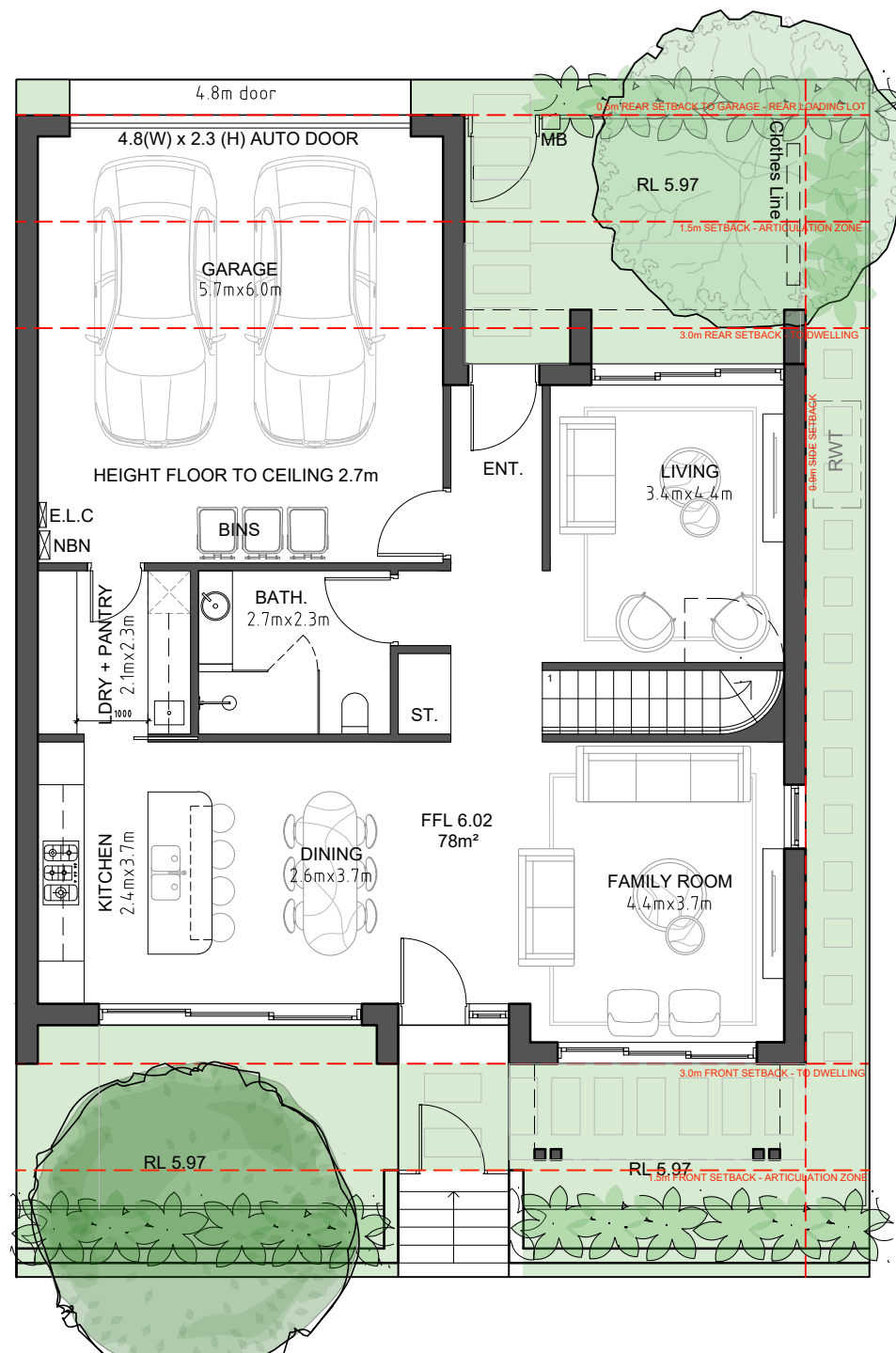
INTERNAL AREA GF = 78 m²
1F = 91 m²
TOTAL = 169 m²

PARKING SPACES
IN GARAGE (double)
5.7 x 6.0m = 34 m²

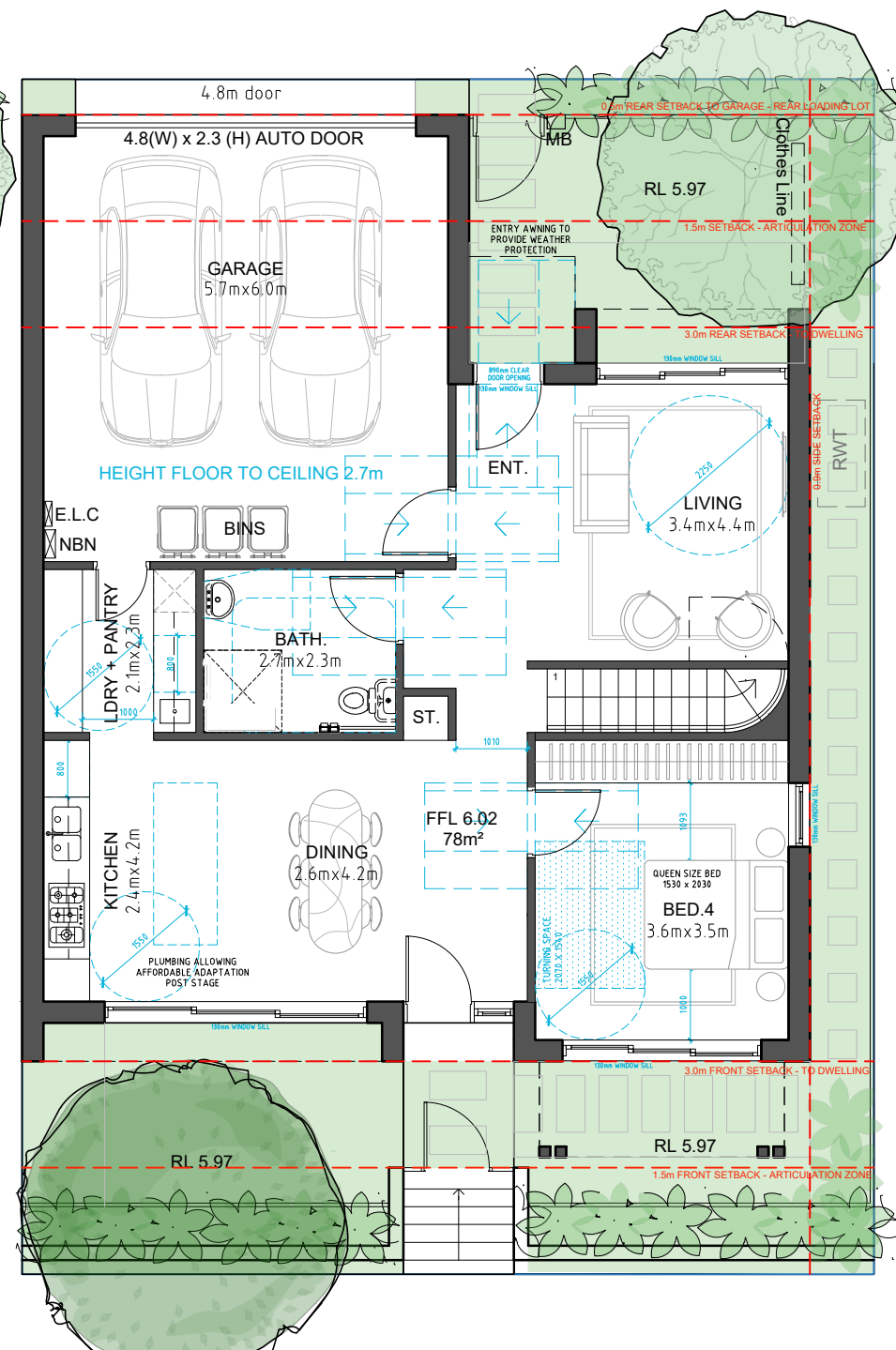


SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	202 m ²
BUILDING COVERAGE	126 m ²
LANDSCAPE AREA	71 m ²
35% of site area	



2 GROUND FLOOR PLAN - PRE ADAPTATION
SCALE 1:50@A1 / 1:100@A3



3 GROUND FLOOR PLAN - POST ADAPTATION
SCALE 1:50@A1 / 1:100@A3

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

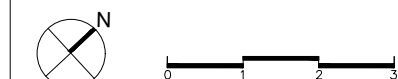
GENERAL NOTES:

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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



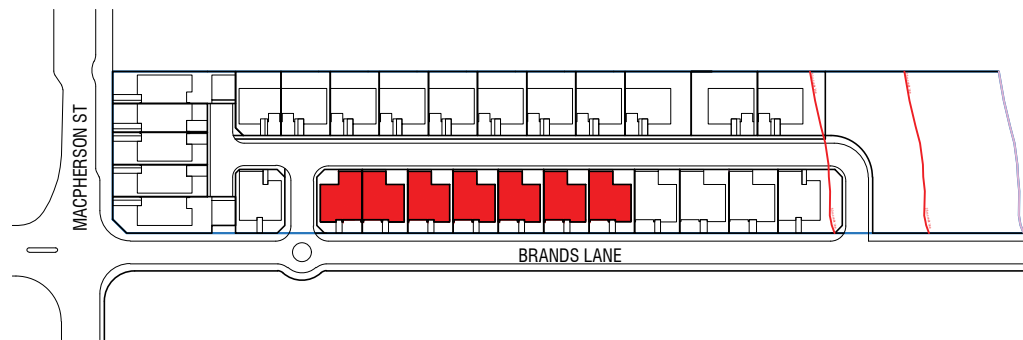
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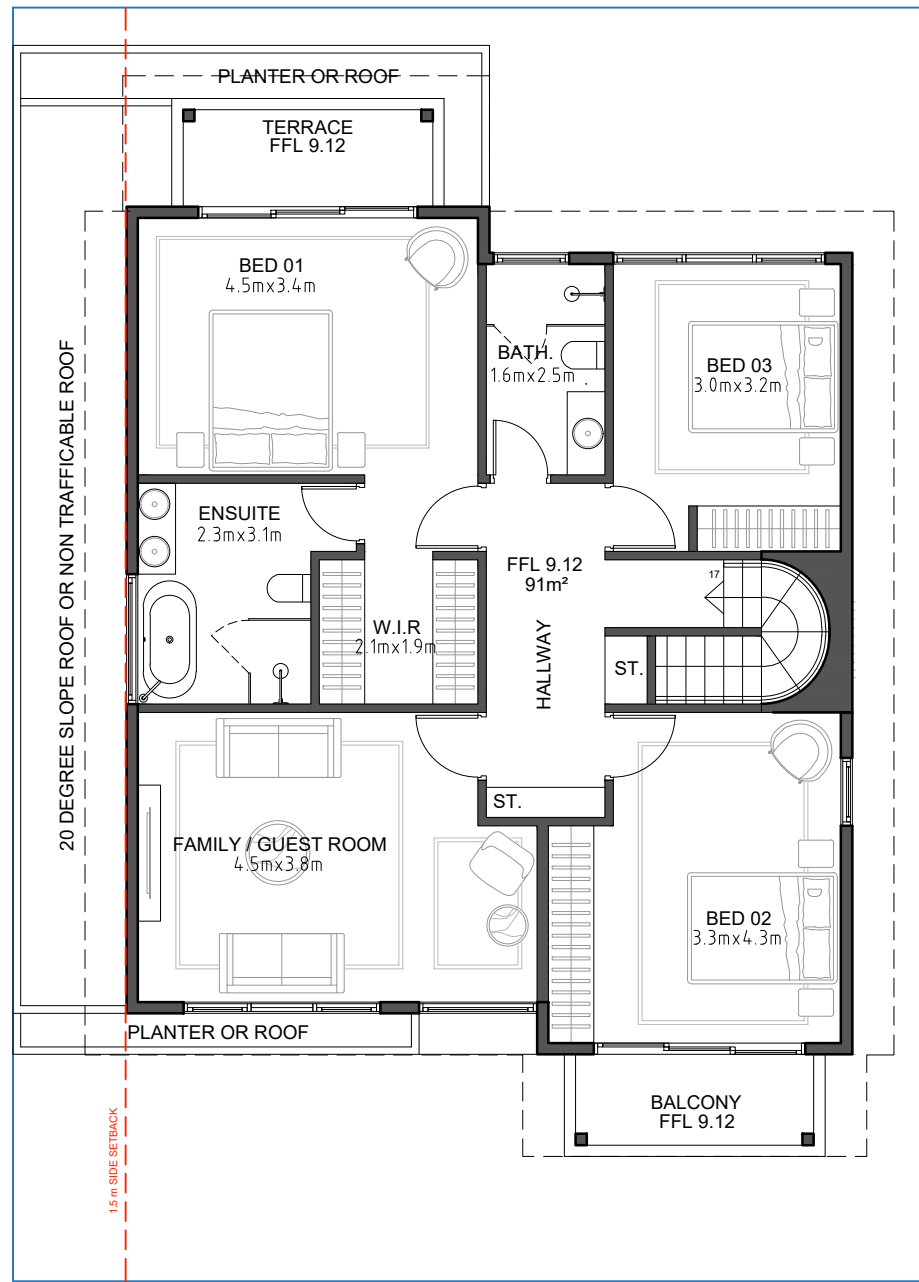
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE B1
GROUND FLOOR LEVEL
PRE + POST ADAPTATION

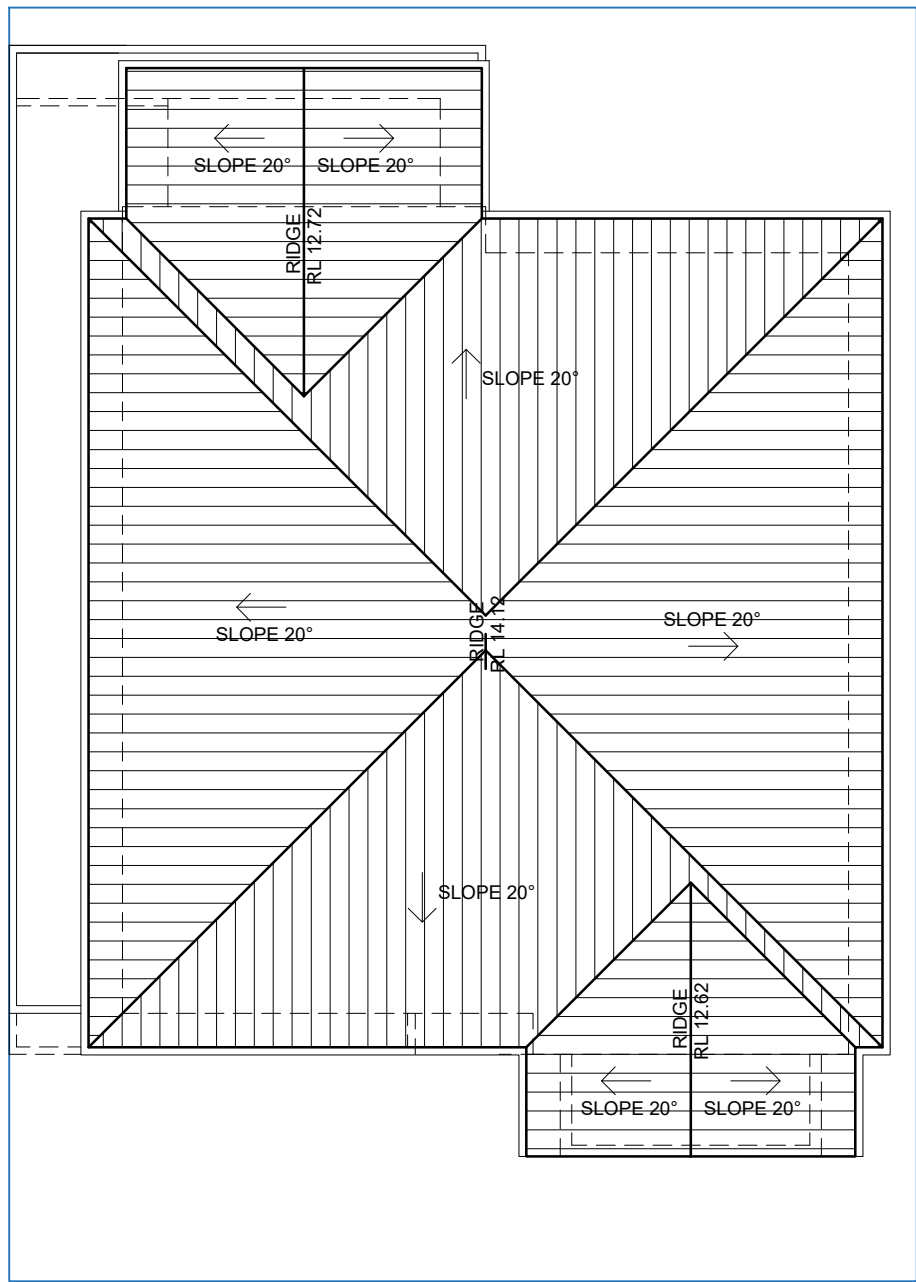
DRAWN BY: SS	CHECKED BY: HV
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 106 ISSUE: 01



1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



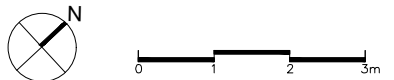
3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	24L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



CLIENT:
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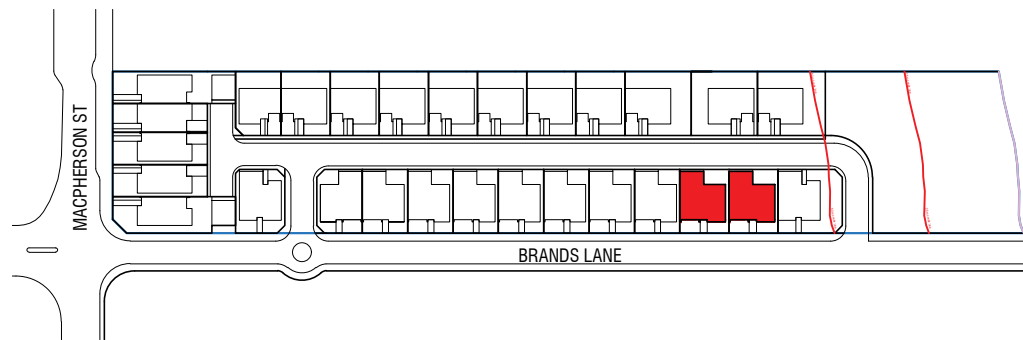
ARCHITECT:
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Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
**TYPE B1
FIRST FLOOR + ROOF**

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 107	ISSUE: 01



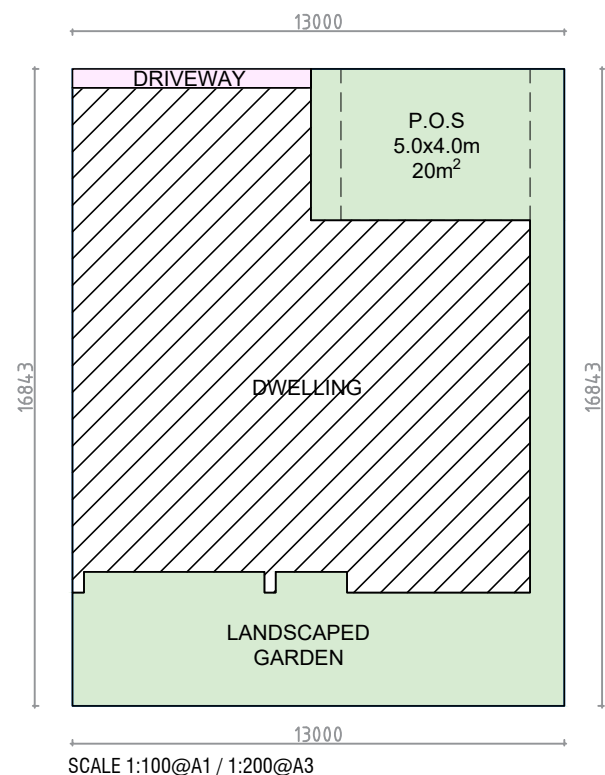


1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3

TYPE B2
LOTS 20, 21
2 DWELLINGS = 7% of total units

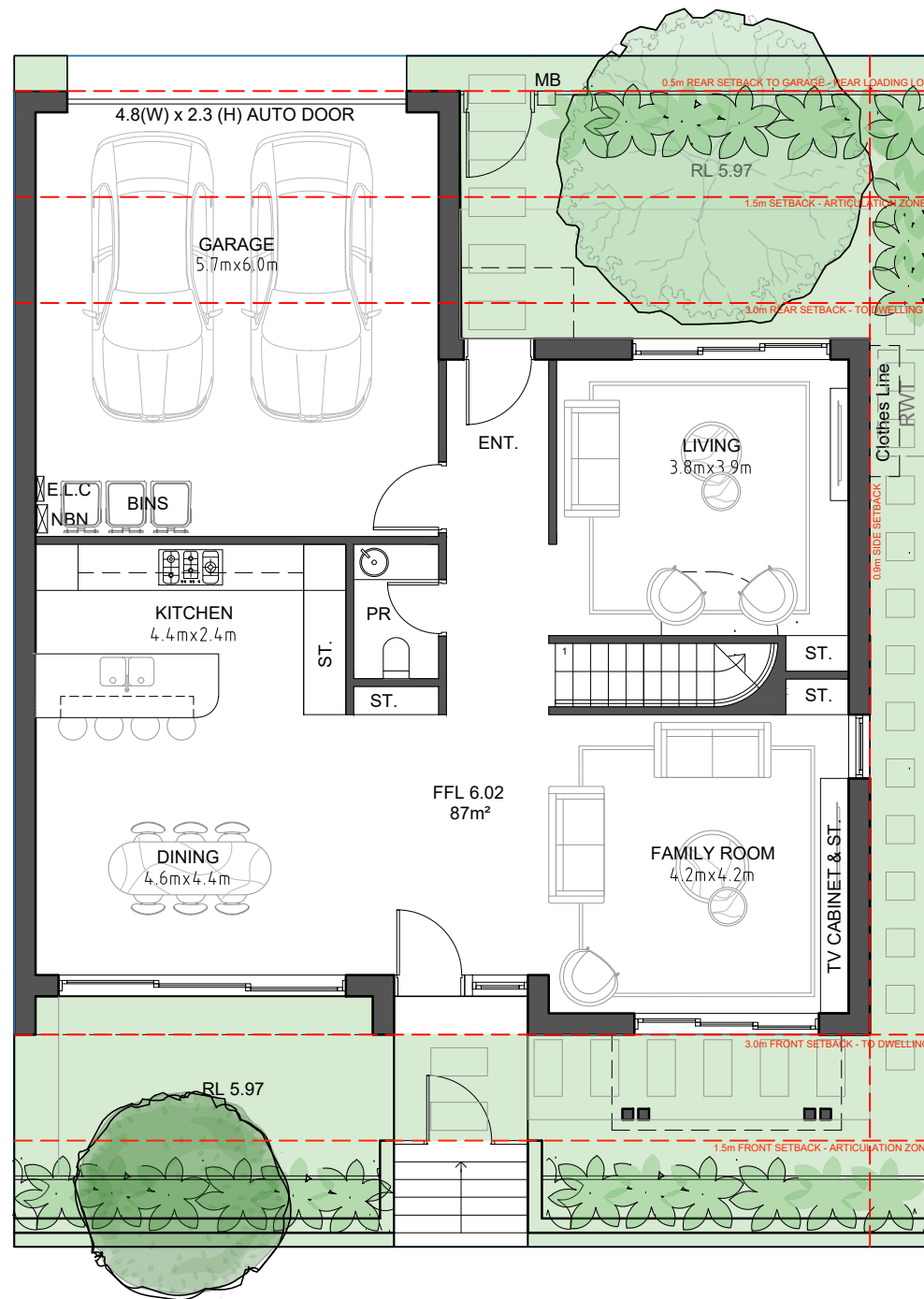
INTERNAL AREA GF = 87 m²
1F = 101 m²
TOTAL = **188 m²**

PARKING SPACES
IN **GARAGE** (double)
5.7 x 6.0m = 34 m²



SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	219 m ²
BUILDING COVERAGE	137 m ²
LANDSCAPE AREA	77 m ² 35% of site area



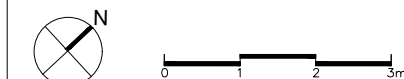
2 GROUND FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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ARCHITECT:
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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

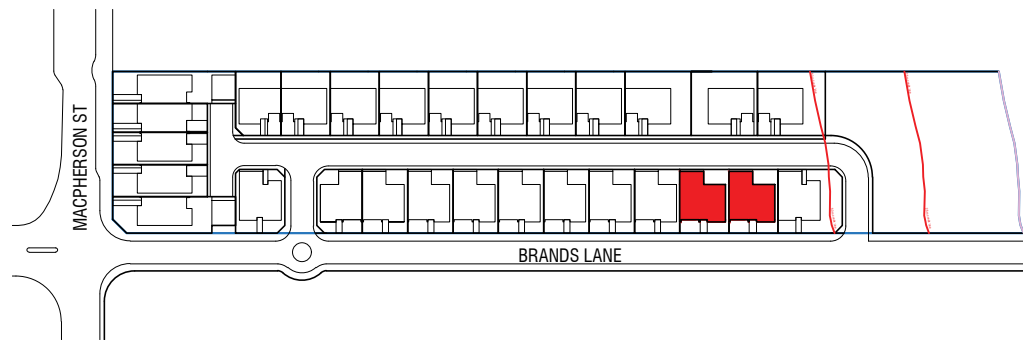
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE B2
GROUND FLOOR LEVEL

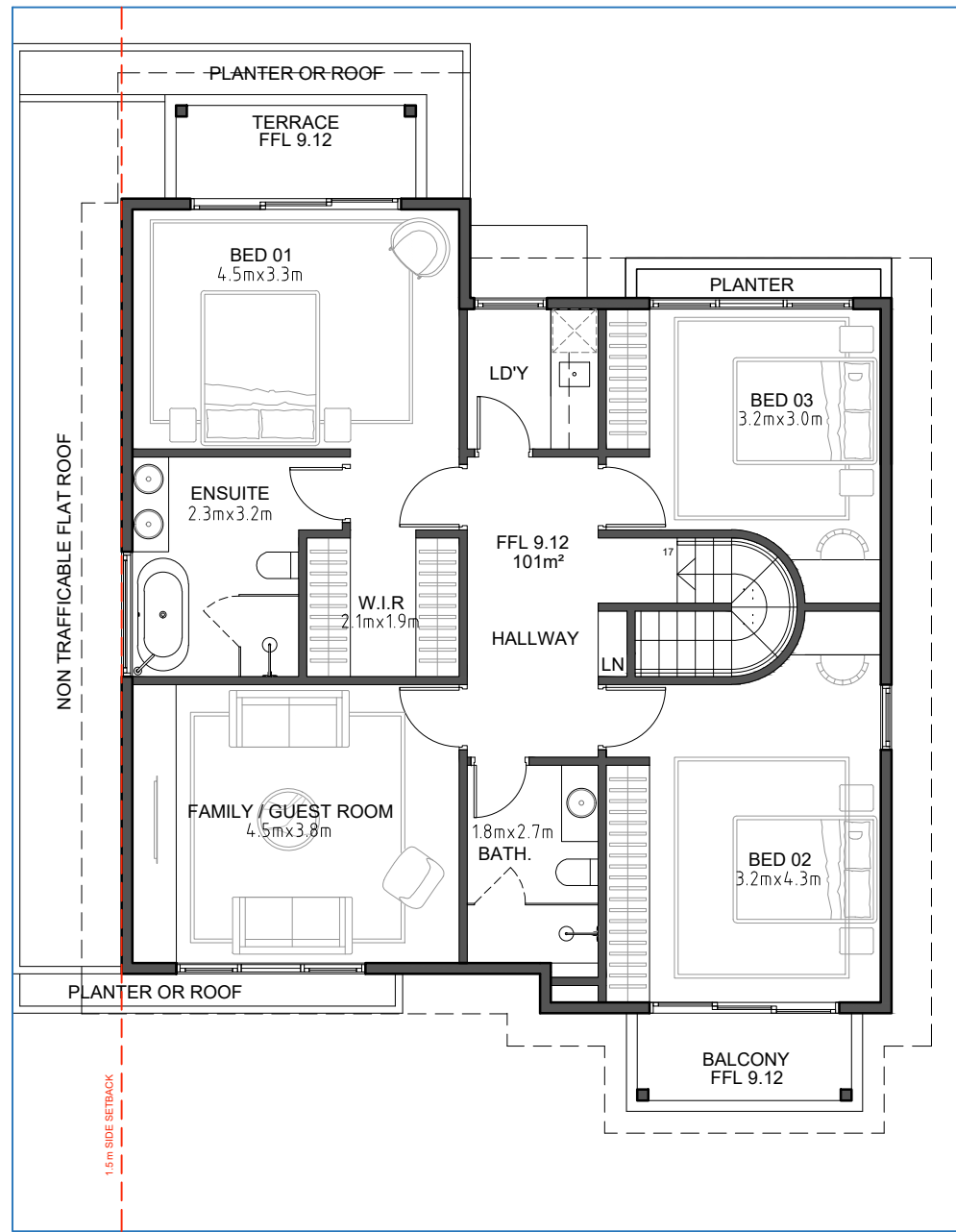
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CHECKED BY: HV

SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 108	ISSUE: 01
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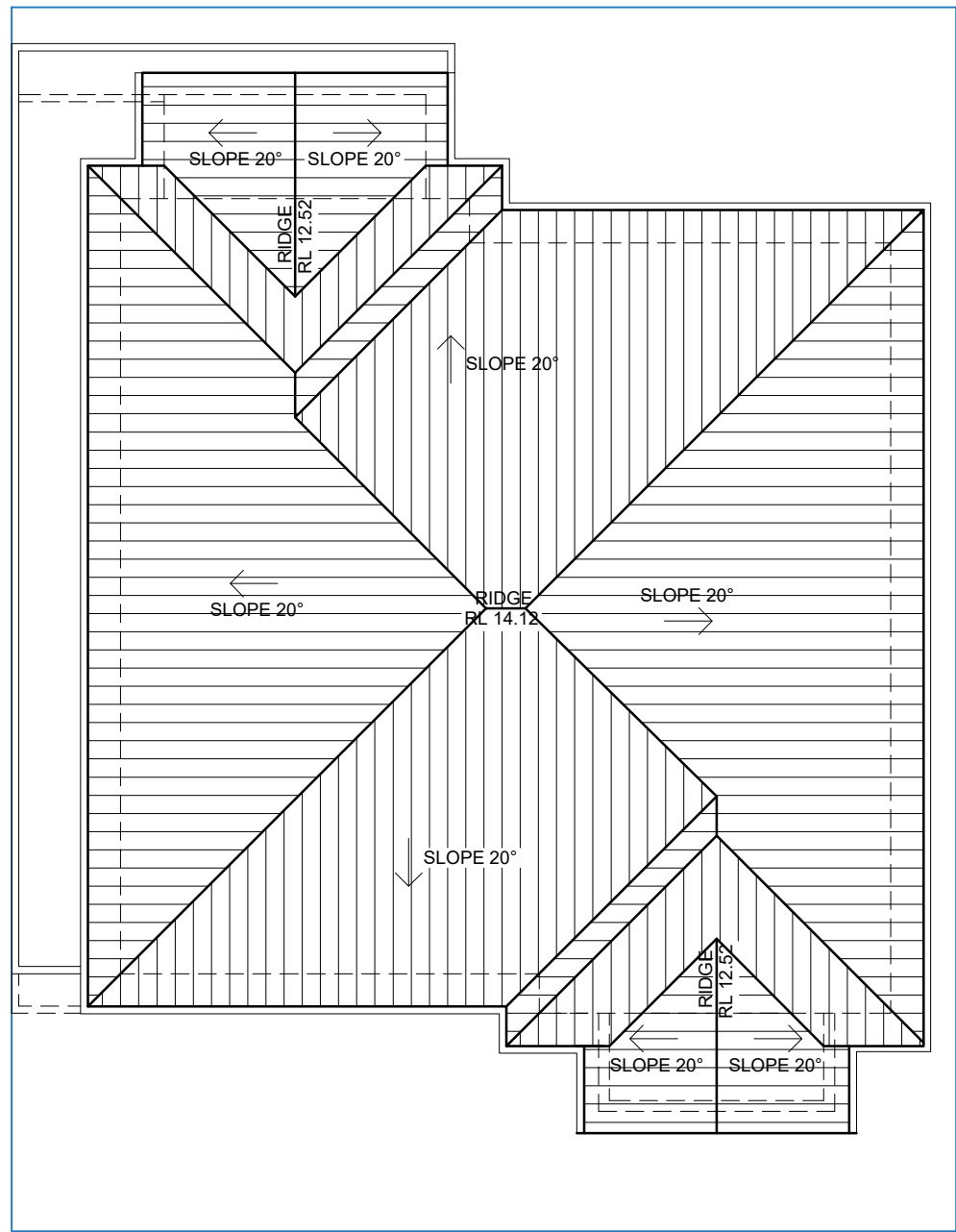




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

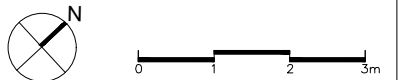
GENERAL NOTES:

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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



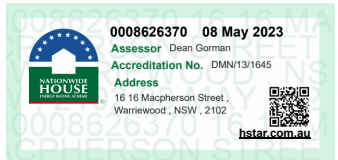
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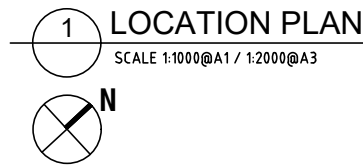
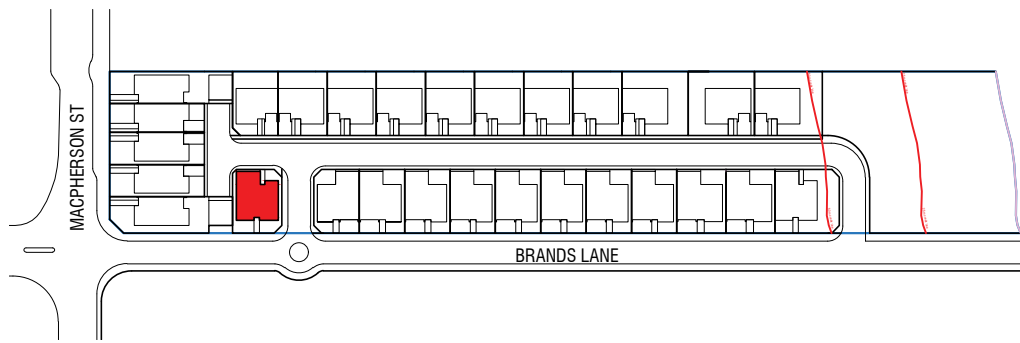
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE B2
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 109	ISSUE: 01
PROJECT NO: 2235		

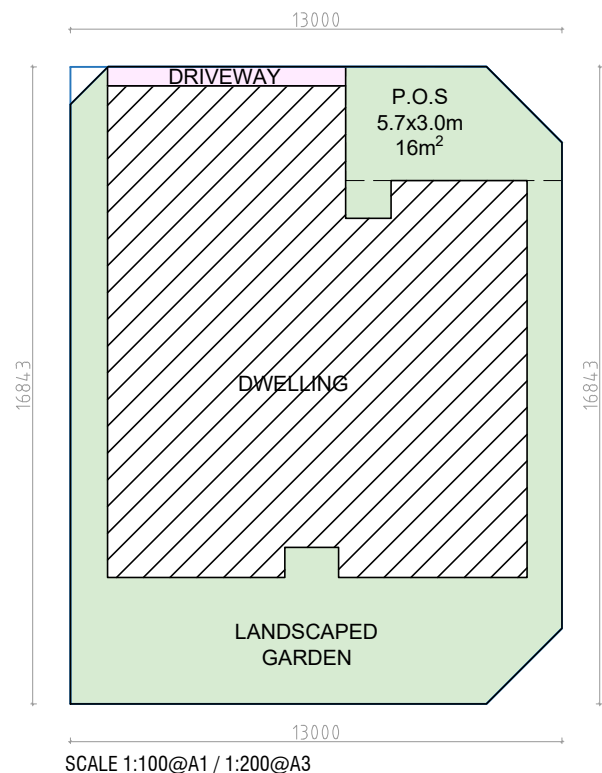




TYPE B3
LOT 7
1 DWELLING = 3.5% of total units

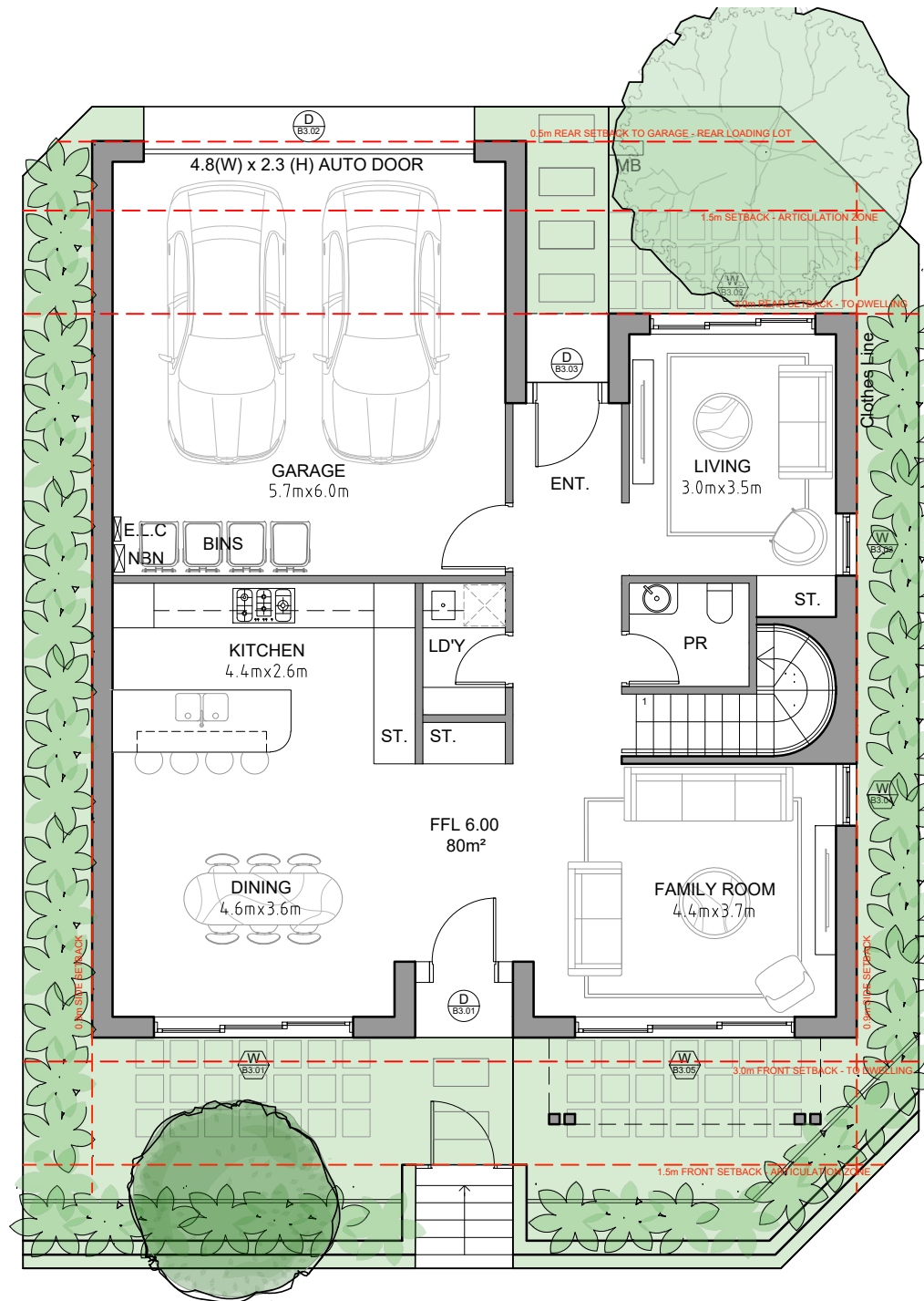
INTERNAL AREA GF = 80 m²
1F = 91 m²
TOTAL = 171 m²

PARKING SPACES
IN GARAGE (double)
5.7 x 6.0m = 34 m²



SITE COVERAGE (TYPICAL LOT SIZE)

	LOT AREA	214 m ²
	BUILDING COVERAGE	130 m ²
	LANDSCAPE AREA	78 m ² 36% of site area



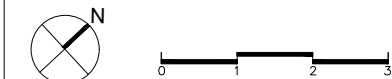
REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



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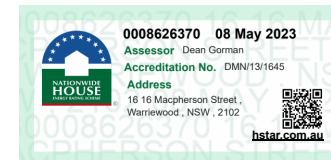
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

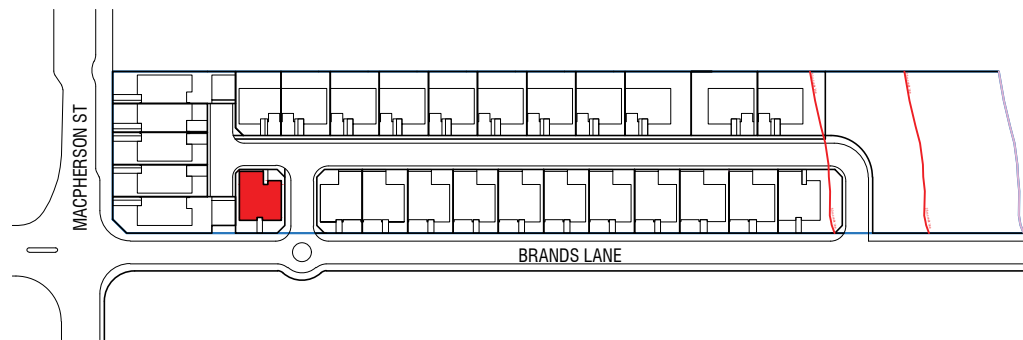
APR. 2023
DRAWING TITLE:

TYPE B3
GROUND FLOOR LEVEL

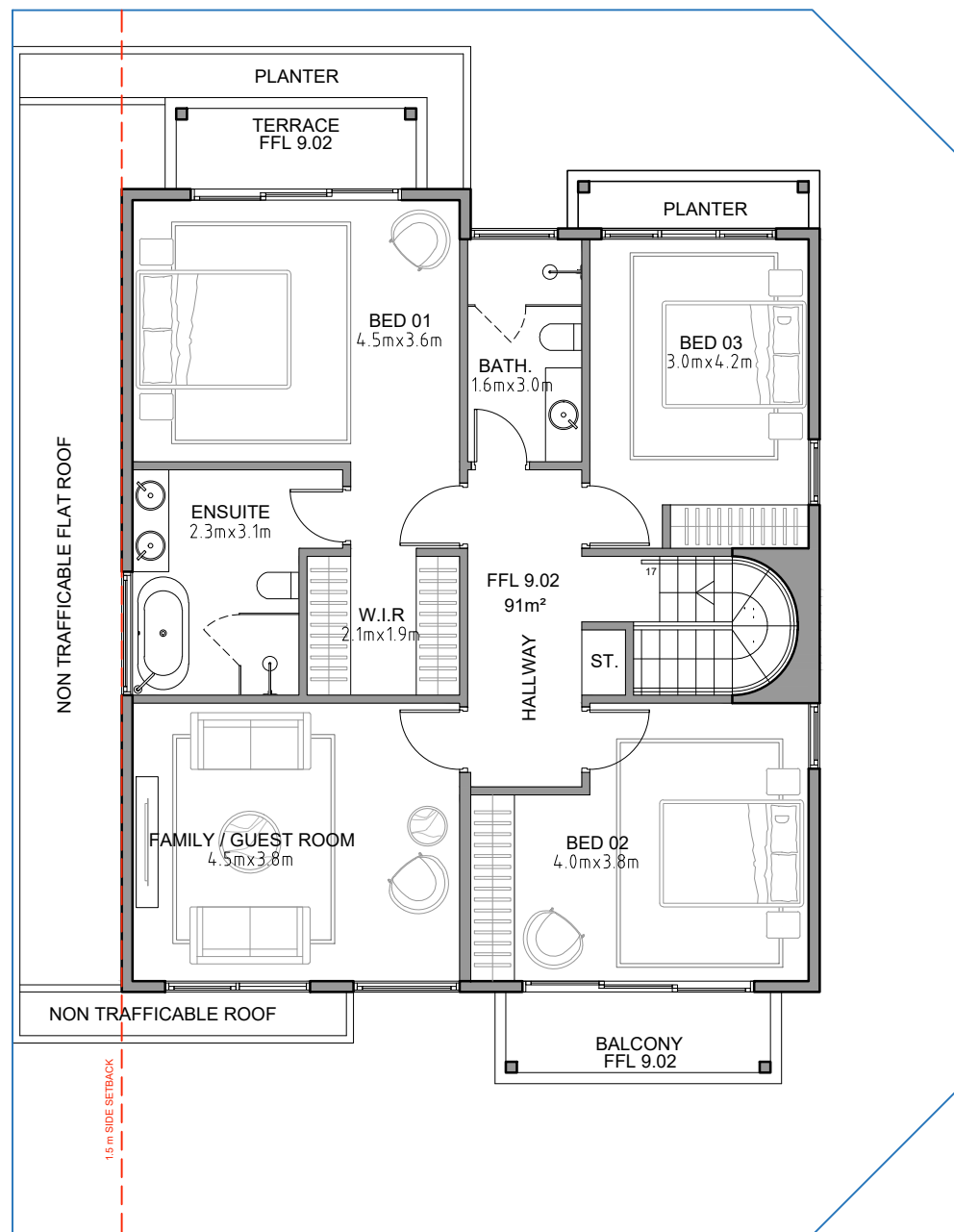
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PROJECT NO: 2235		

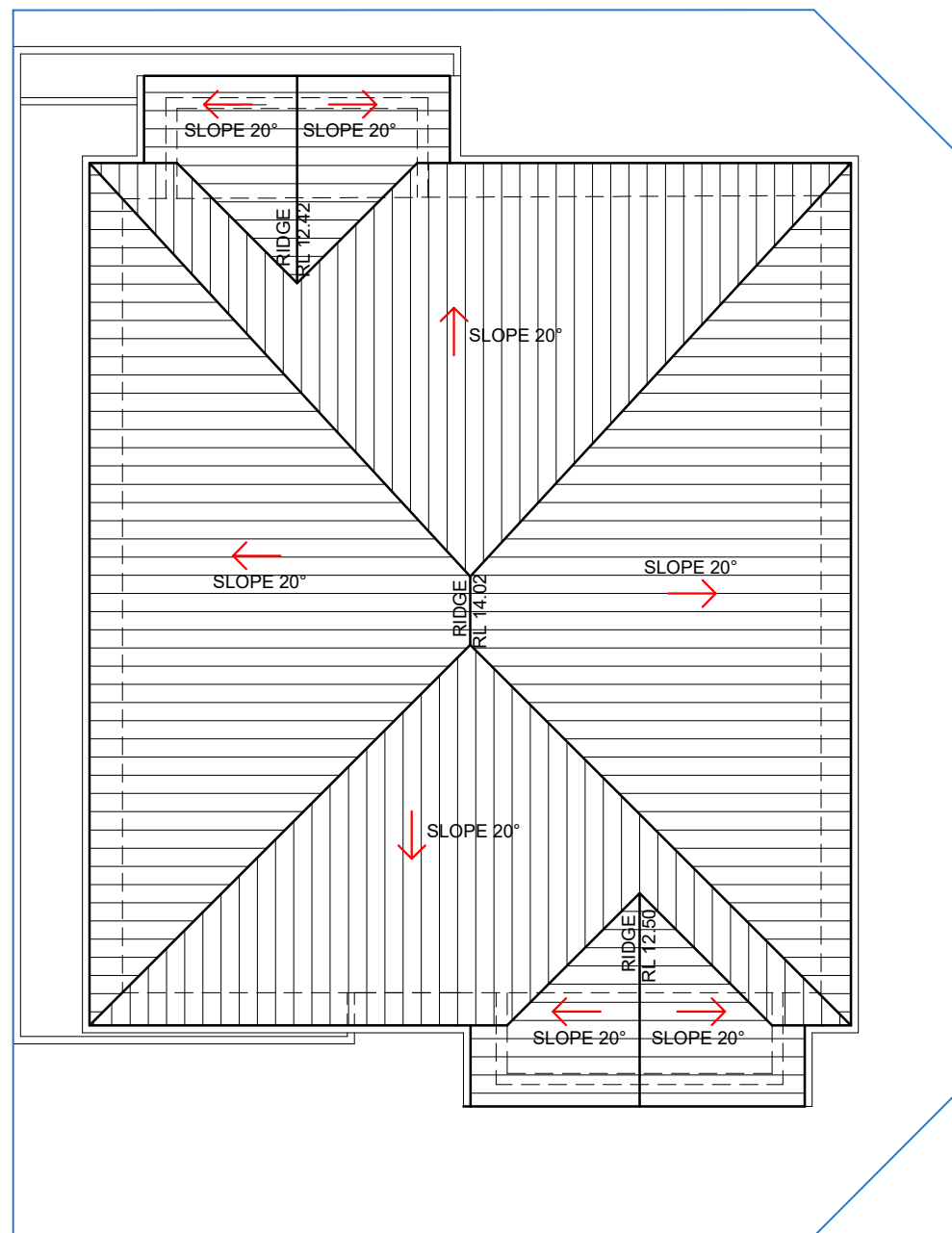




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



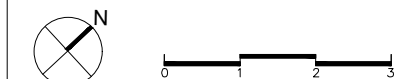
3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

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CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
HV MECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240L RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



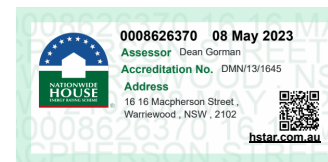
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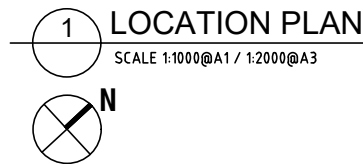
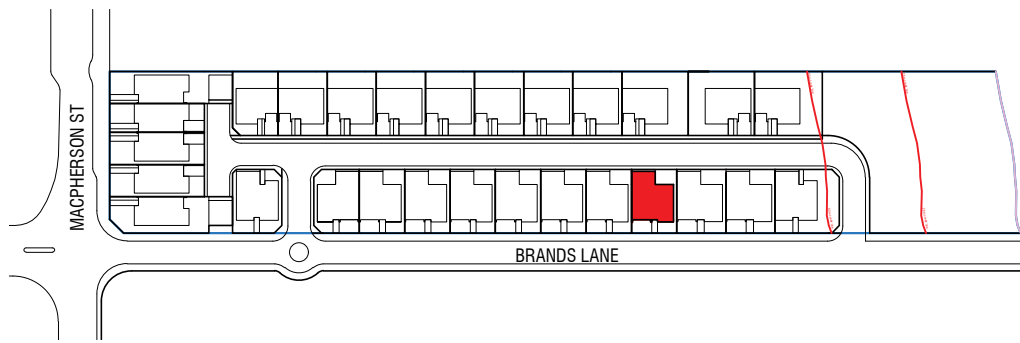
ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
**TYPE B3
FIRST FLOOR + ROOF**

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 111	ISSUE: 01

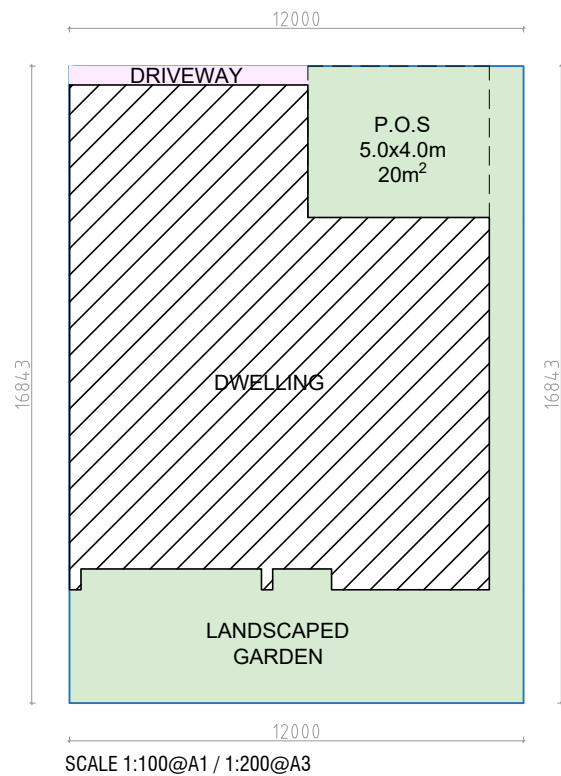




TYPE B4
LOT 22
1 DWELLING = 3.5% of total units

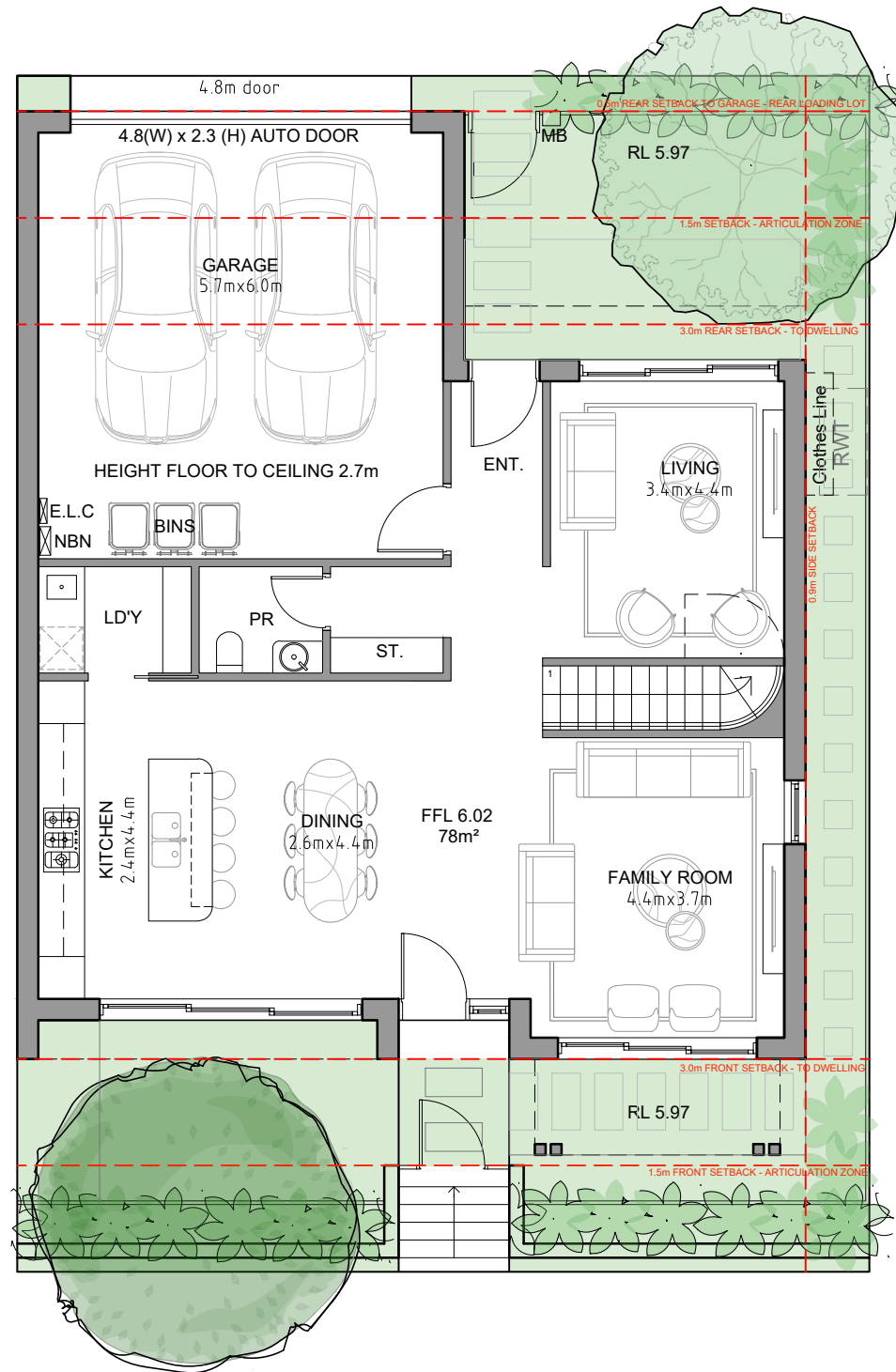
INTERNAL AREA GF = 78 m²
1F = 91 m²
TOTAL = **169 m²**

PARKING SPACES
IN GARAGE (double)
5.7 x 6.0m = 34 m²



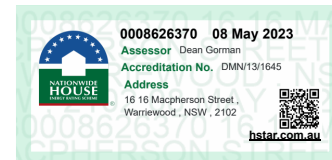
SITE COVERAGE (TYPICAL LOT SIZE)

	LOT AREA	202 m ²
	BUILDING COVERAGE	126 m ²
	LANDSCAPE AREA	71 m ² 35% of site area



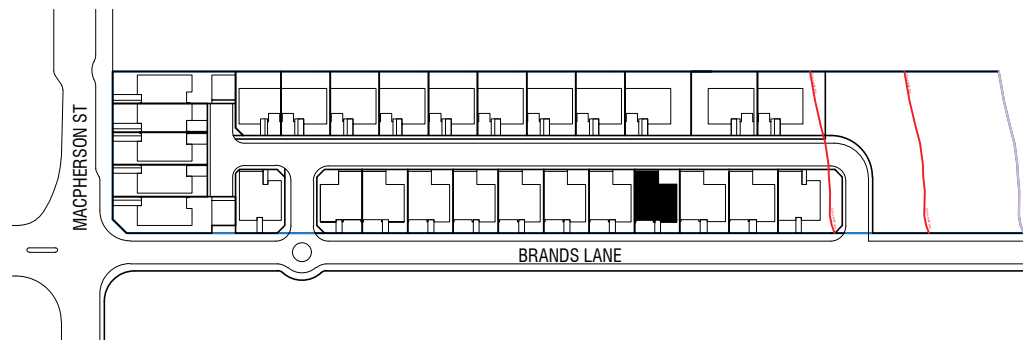
2 GROUND FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

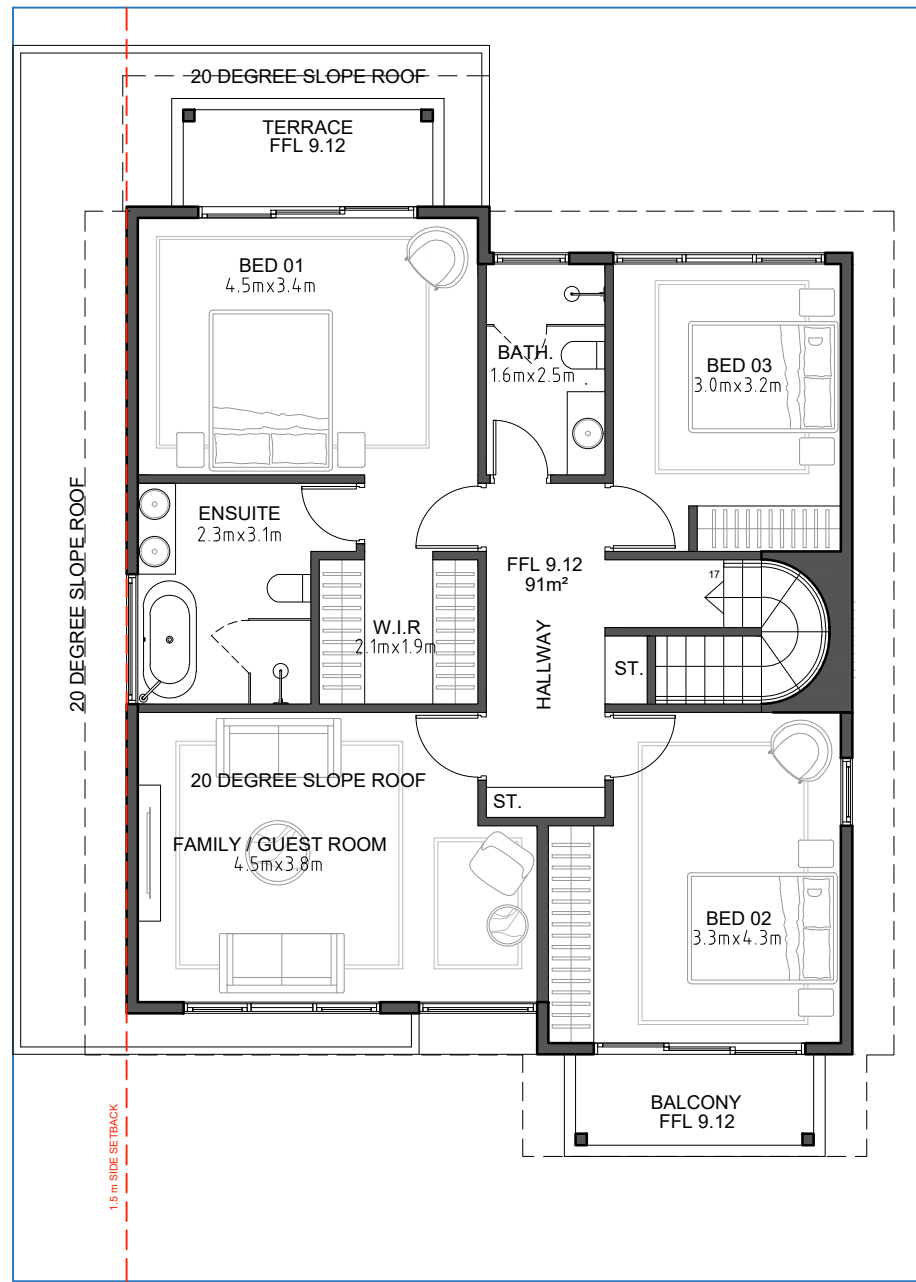


- GENERAL NOTES:**
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
 - DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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 - AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED
- LEGEND:**
- | | |
|-----|-----------------------------------|
| AW | AWNING |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| FH | FIRE HYDRANT |
| FHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| HV | MECHANICAL RISER TO FUTURE DETAIL |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| PB | PLANTERBOX |
| R | 240L RECYCLING BIN |
| SK | SKYLIGHT |
| ST | STORAGE |
| WT | HOT WATER UNITS |

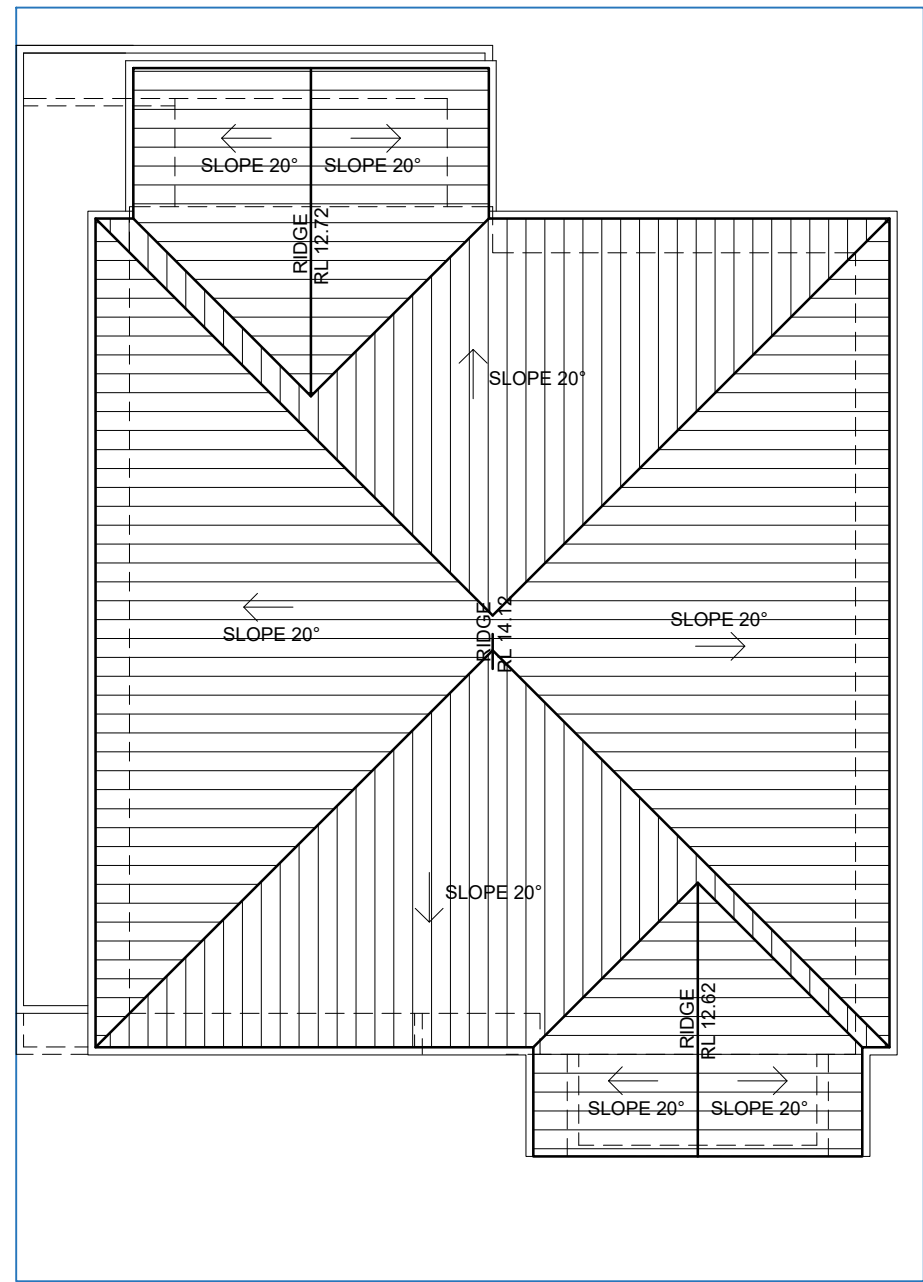
01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION
CLIENT: IPM PROPERTY		
ARCHITECT: PBD ARCHITECTS ABN 36 147 035 550 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768		
PROJECT: 28 TERRACES 16 MACPHERSON STREET WARRIEWOOD		
APR. 2023 DRAWING TITLE: TYPE B4 GROUND FLOOR LEVEL PRE + POST ADAPTATION		
DRAWN BY: SS		CHECKED BY: HV
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 112	ISSUE: 01



1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

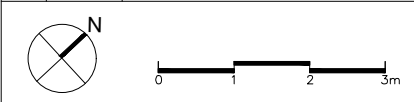
GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



CLIENT:
IPM PROPERTY

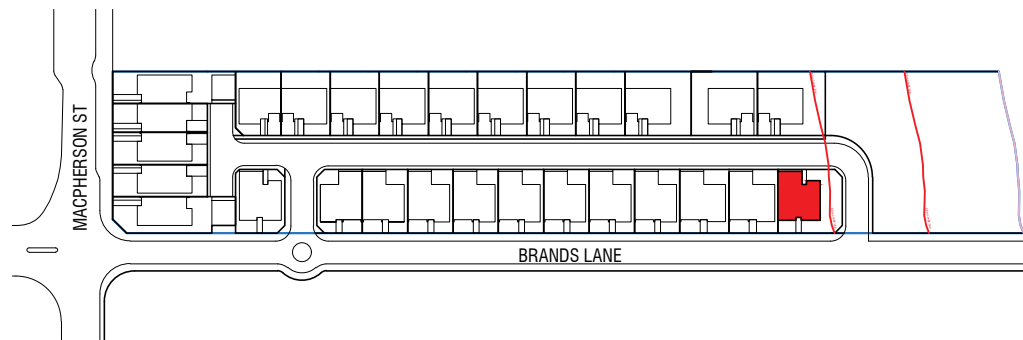
ARCHITECT:
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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE B4
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 113	ISSUE: 01





1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3

TYPE B5

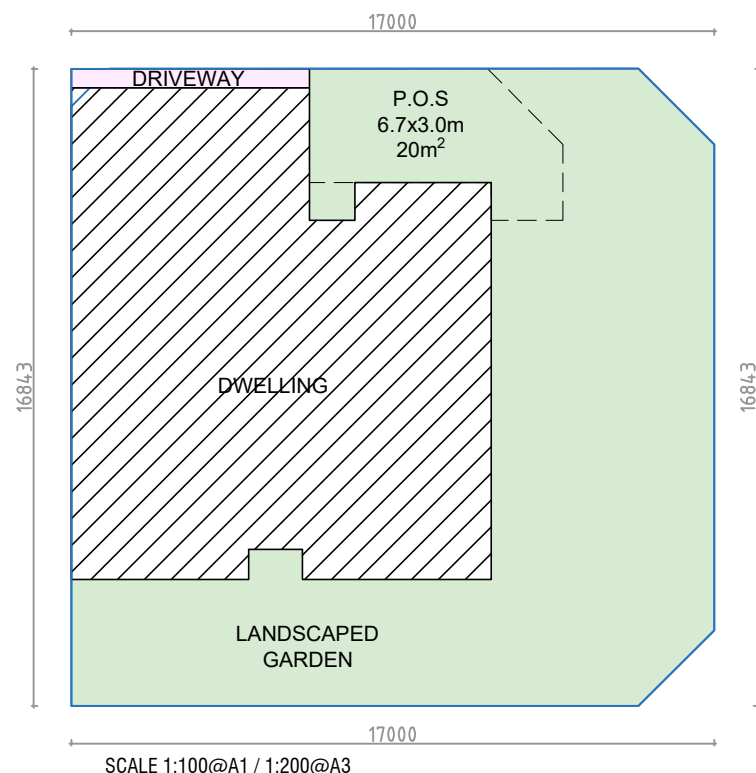
LOT 19

1 DWELLING = 3.5% of total units

INTERNAL AREA GF = 80 m²
1F = 91 m²
TOTAL = 171 m²

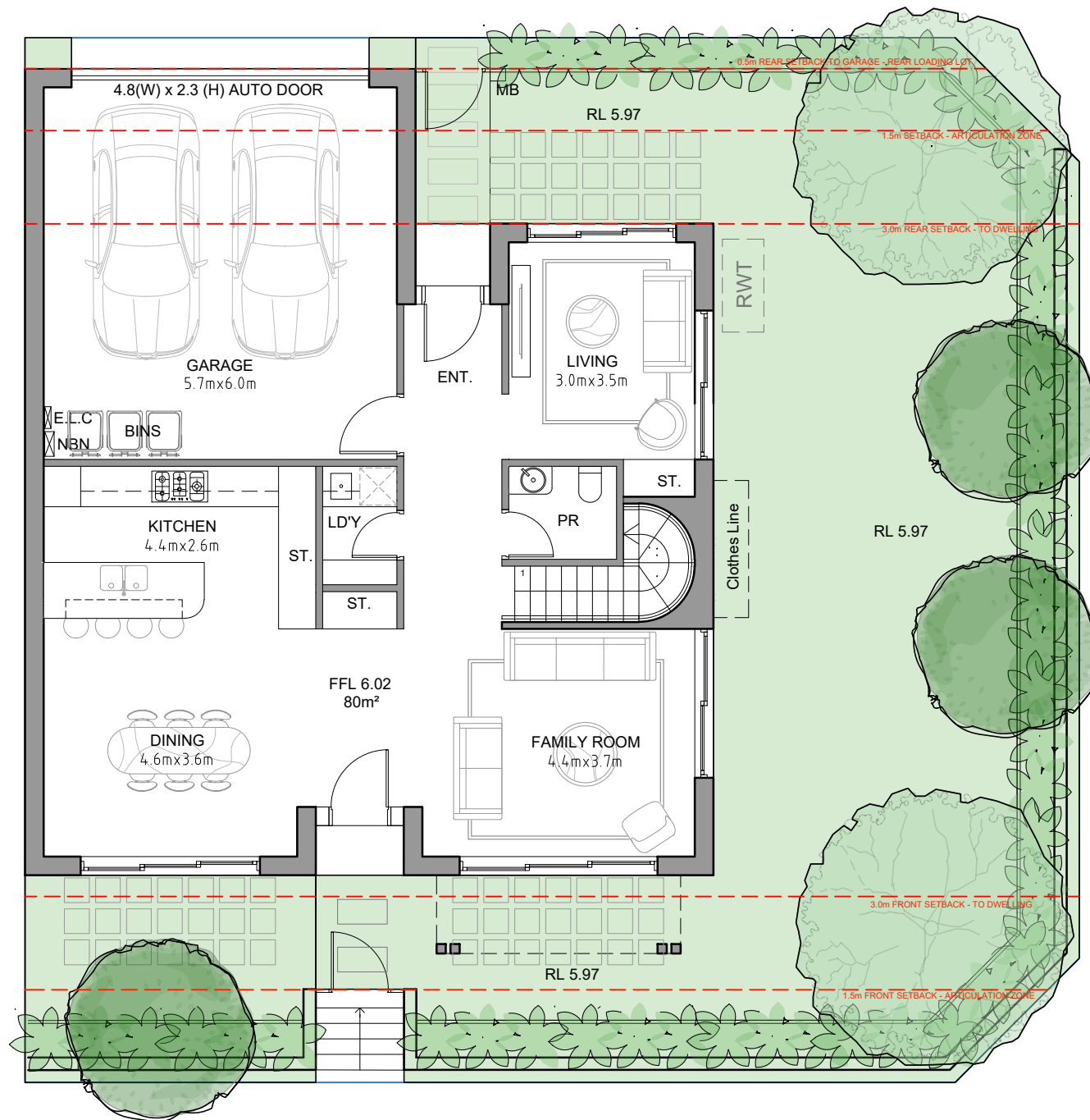
PARKING SPACES

IN GARAGE (double)
5.7 x 6.0m = 34 m²



SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	282 m ²
BUILDING COVERAGE	130 m ²
LANDSCAPE AREA	135 m ² 48% of site area



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS

2 GROUND FLOOR PLAN

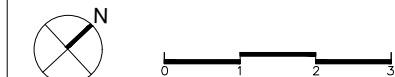
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

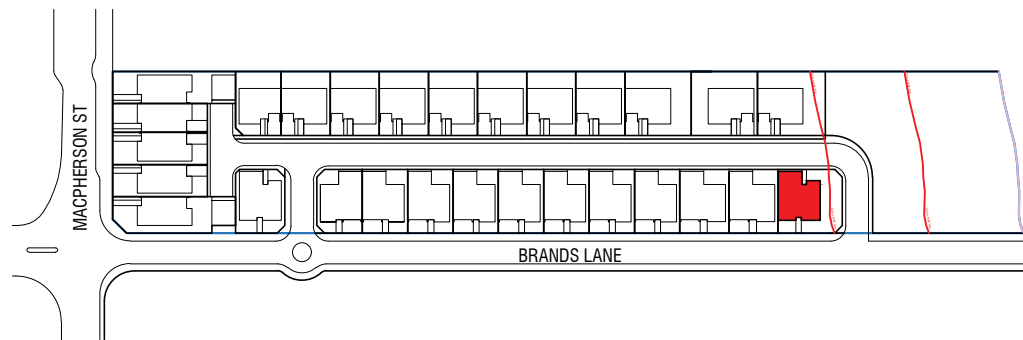
APR. 2023
DRAWING TITLE:

TYPE B5
GROUND FLOOR LEVEL

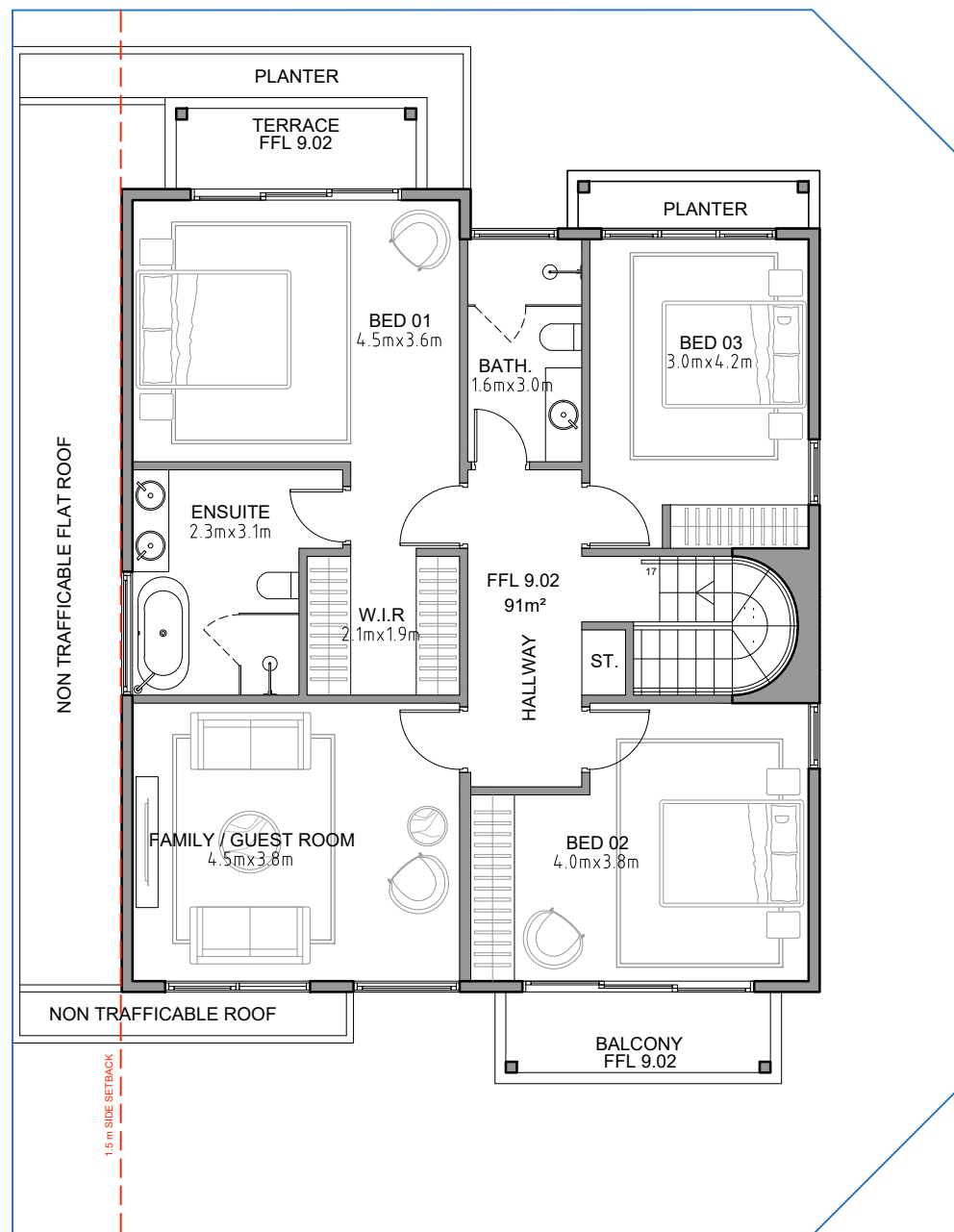
DRAWN BY: SS CHECKED BY: HV

SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 114	ISSUE: 01
PROJECT NO: 2235		

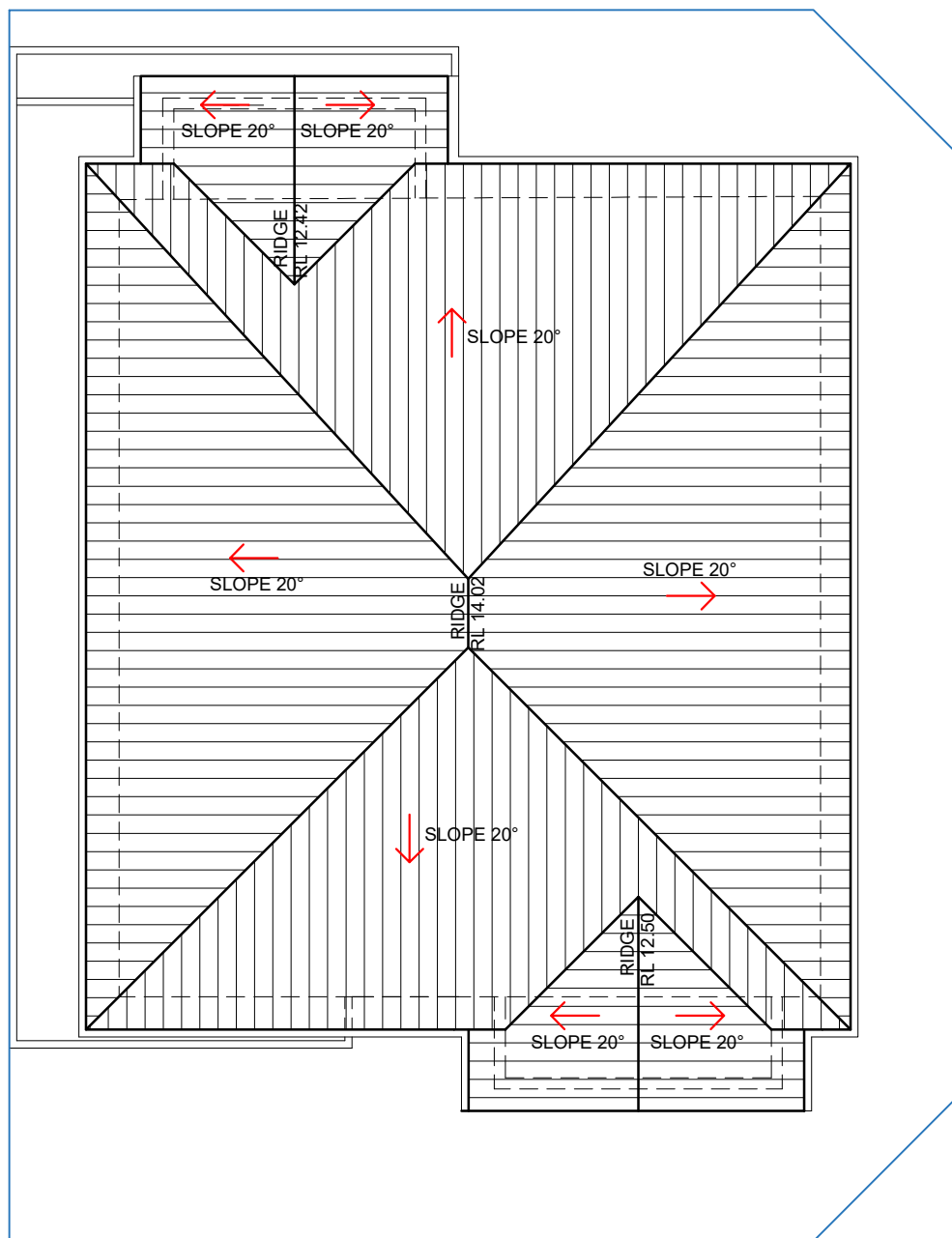




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

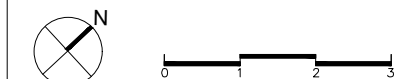


3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



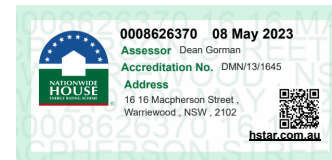
CLIENT:
IPM PROPERTY

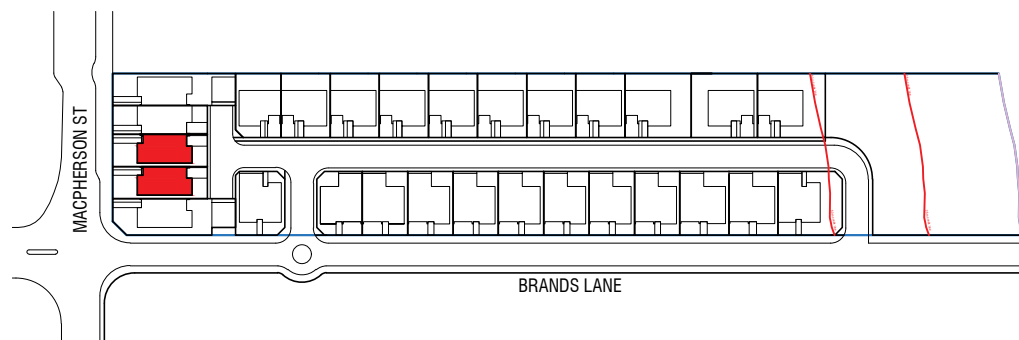
ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
**TYPE B5
FIRST FLOOR + ROOF**

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 115	ISSUE: 01



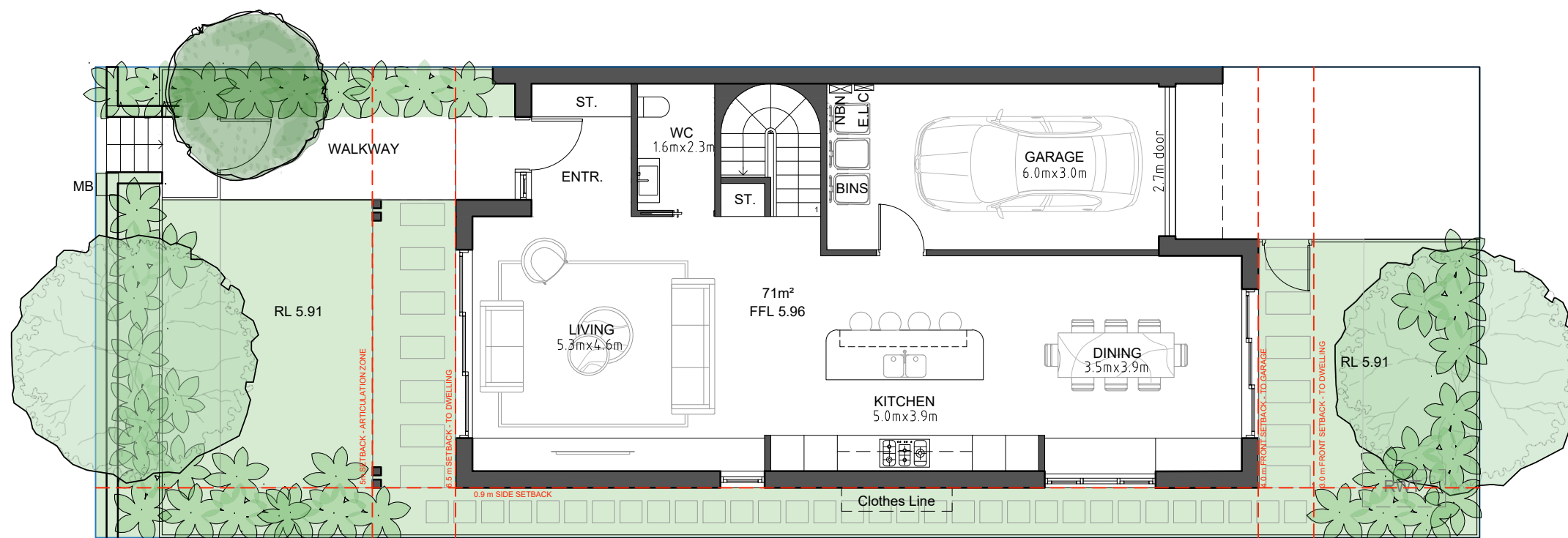


TYPE C1
LOTS 4, 5
2 DWELLINGS = 7% of total units

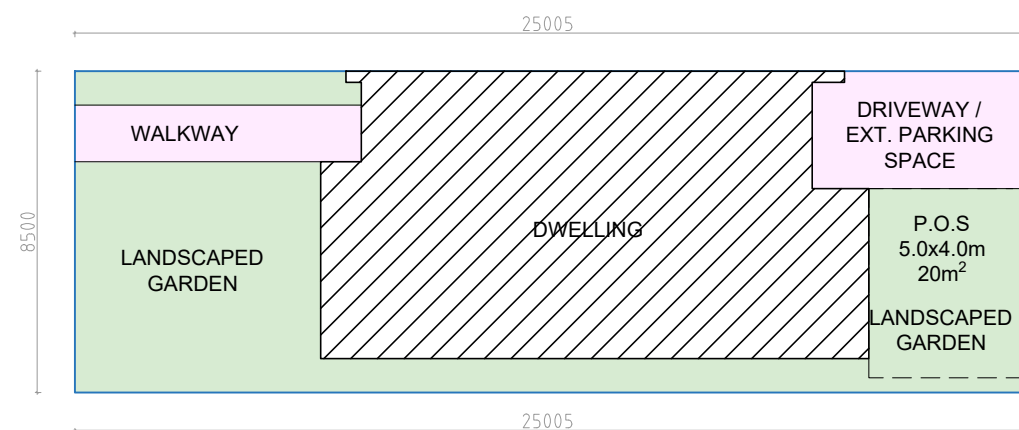
INTERNAL AREA GF = 71 m²
1F = 86 m²
TOTAL = 157 m²

PARKING SPACE 1
IN GARAGE (single)
6.0 x 3.0m = 18 m²

PARKING SPACE 2
EXTERNAL (within Lot Boundary)
5.5 x 3.0 = 16 m²



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	212 m ²
BUILDING COVERAGE	103 m ²
LANDSCAPE AREA	81 m ²
	38% of site area

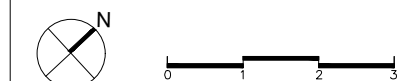
SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



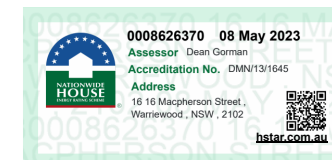
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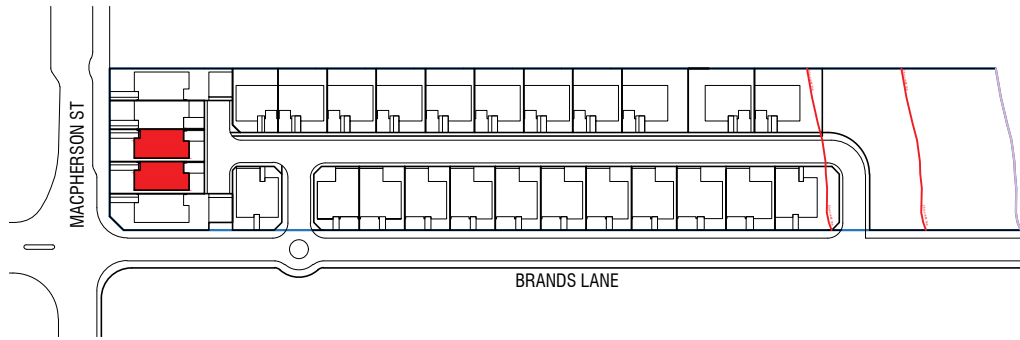
ARCHITECT:
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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

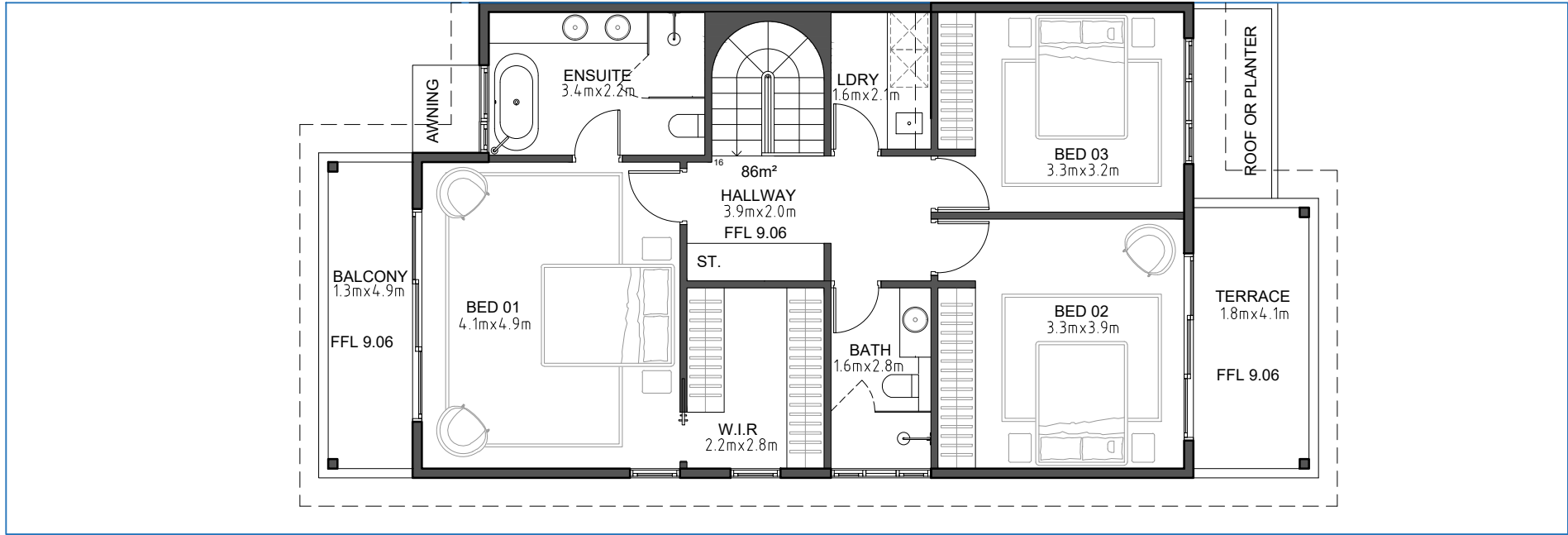
APR. 2023
DRAWING TITLE:
TYPE C1
GROUND FLOOR LEVEL

DRAWN BY: SS	CHECKED BY: HV
SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 116
PROJECT NO: 2235	ISSUE: 01

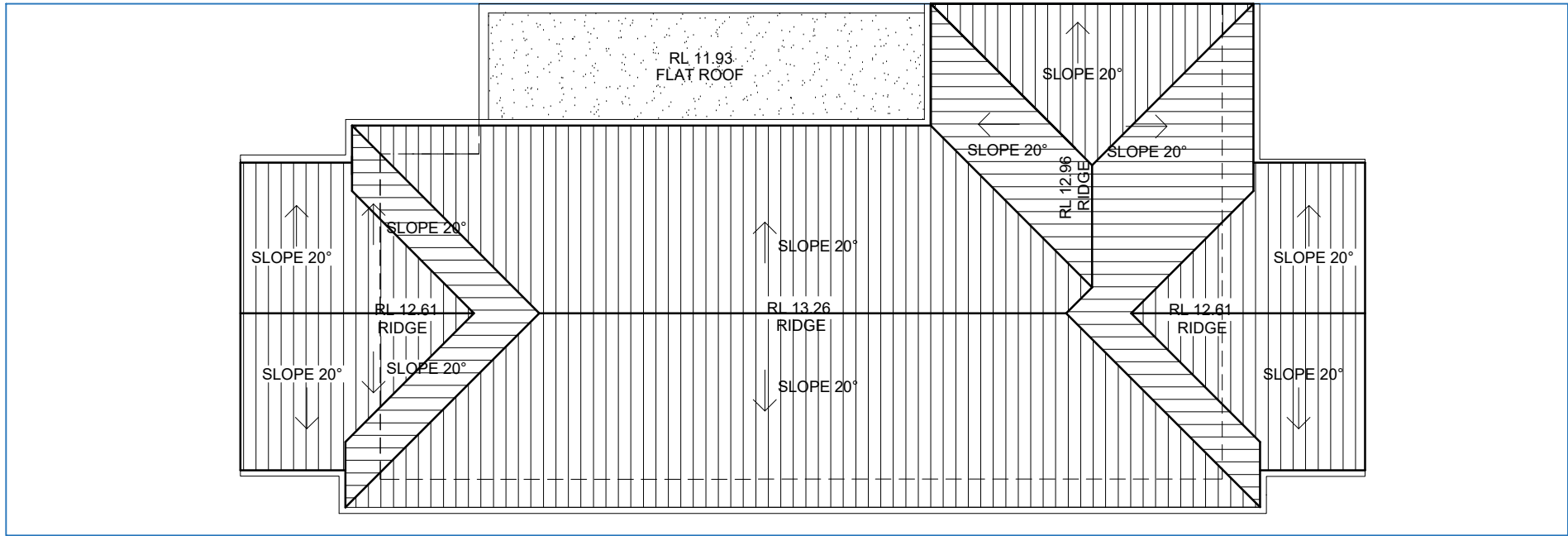




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

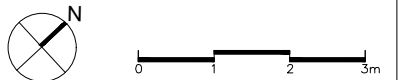
GENERAL NOTES:

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LEGEND:

AW AWNING
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
HV MECHANICAL RISER TO FUTURE DETAIL
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
PB PLANTERBOX
R 240L RECYCLING BIN
SK SKYLIGHT
ST STORAGE
WT HOT WATER UNITS

ISSUE	DATE	DESCRIPTION
01	12.04.23	ISSUE FOR DA



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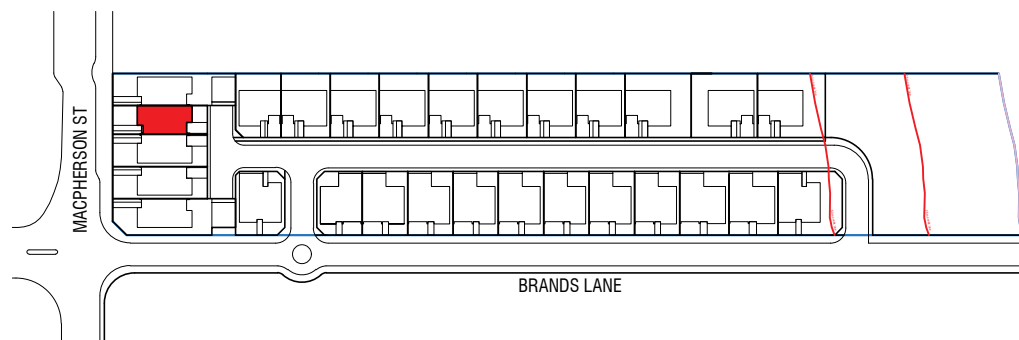
ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Sunny Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE C1
FIRST FLOOR + ROOF

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3	DRAWING NO: DA 117	ISSUE: 01
PROJECT NO: 2235		





TYPE C1

LOT 3

1 DWELLING = 3% of total units

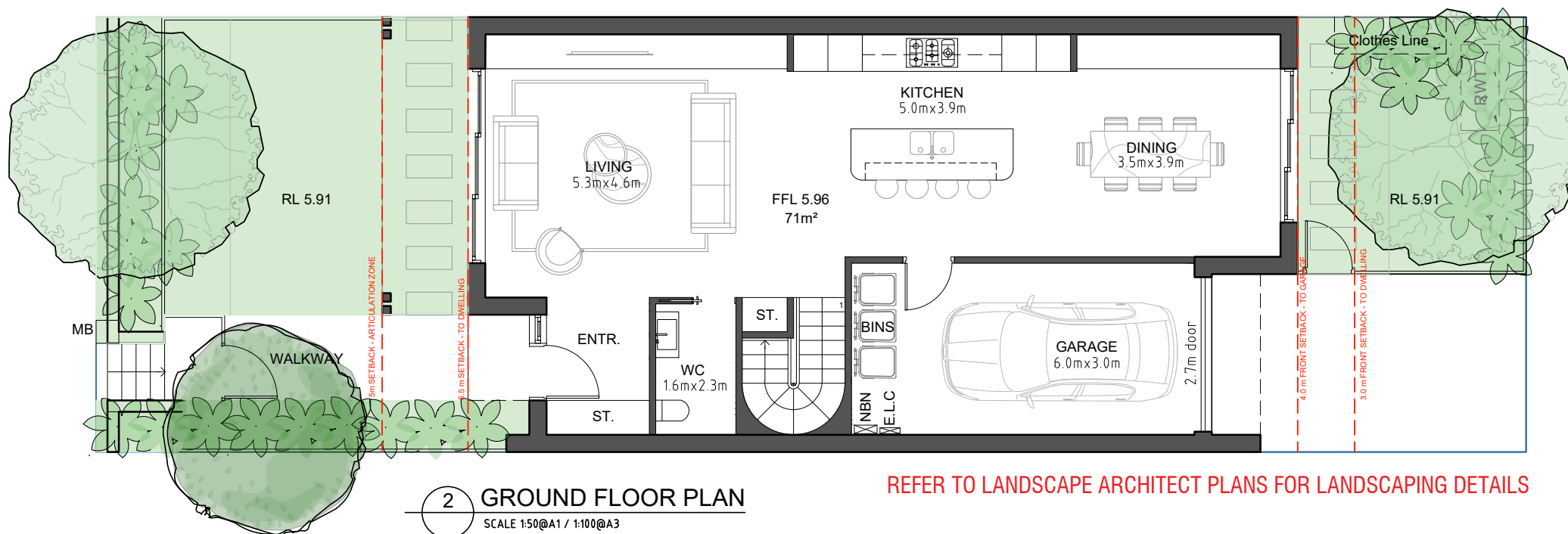
INTERNAL AREA GF = 71 m²
1F = 86 m²
TOTAL = 157 m²

PARKING SPACE 1

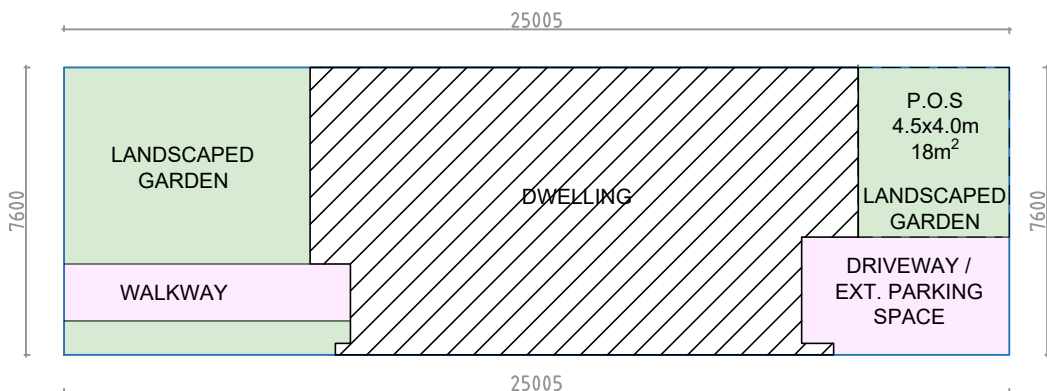
IN GARAGE (single)
6.0 x 3.0m = 18 m²

PARKING SPACE 2

EXTERNAL (within Lot Boundary)
5.5 x 3.0 = 16 m²



REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



SCALE 1:100@A1 / 1:200@A3

SITE COVERAGE (TYPICAL LOT SIZE)

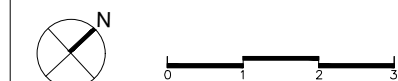
LOT AREA	190 m ²
BUILDING COVERAGE	103 m ²
LANDSCAPE AREA	58 m ² 31% of site area

- GENERAL NOTES:
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AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
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FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



CLIENT:
IPM PROPERTY

ARCHITECT:
PBD | ARCHITECTS
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Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023

DRAWING TITLE:

TYPE C2
GROUND FLOOR LEVEL

DRAWN BY: SS

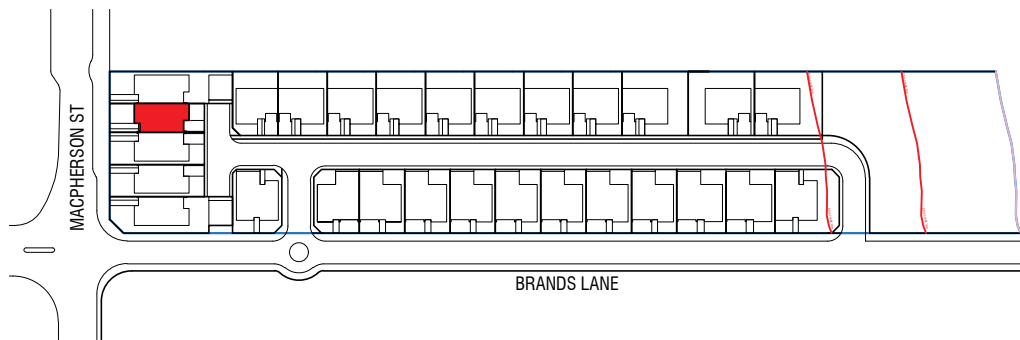
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SCALE:
1:50@A1 / 1:100@A3
PROJECT NO:
2235

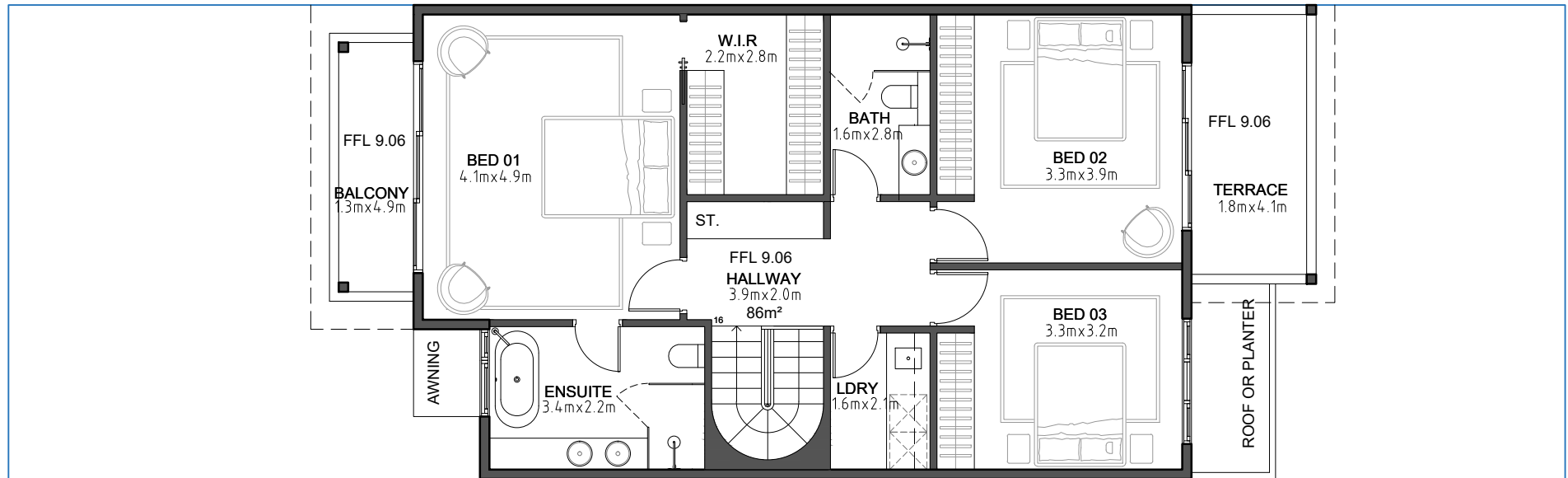
DRAWING NO:
DA 118

ISSUE:
01

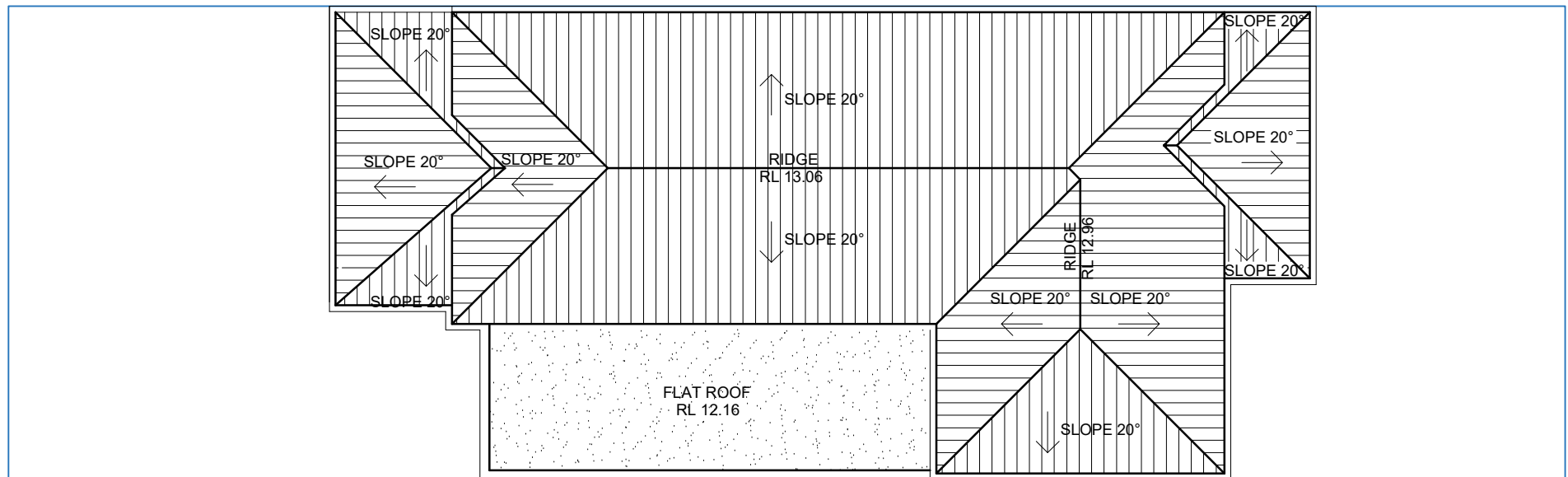




1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

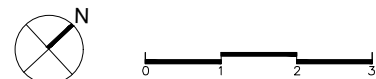


3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3

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- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:

TYPE C2
FIRST FLOOR + ROOF

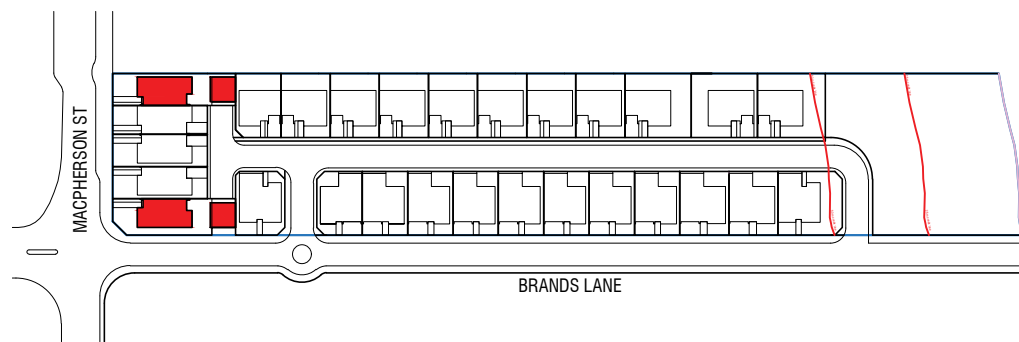
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SCALE:
1:50@A1 / 1:100@A3
PROJECT NO:
2235

DRAWING NO:
DA 119

ISSUE:
01

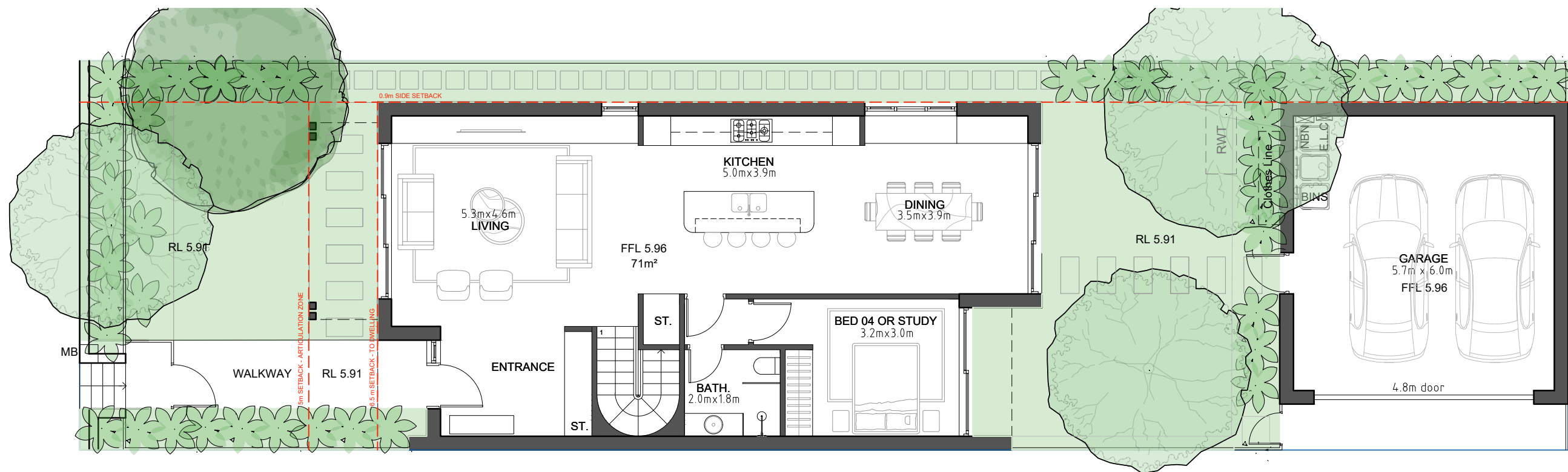




TYPE C3
LOTS 2, 6
2 DWELLINGS = 7% of total units

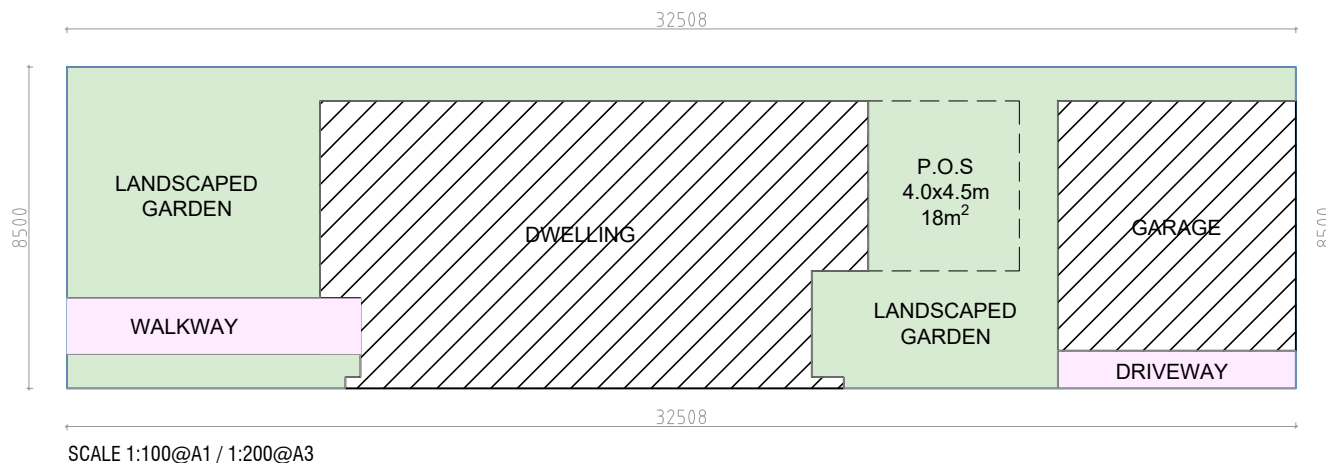
INTERNAL AREA GF = 71 m²
1F = 86 m²
TOTAL = **157 m²**

PARKING SPACES
IN GARAGE (double)
5.7 x 6.0m = 34 m²



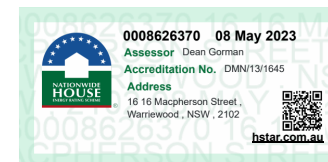
2 GROUND FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3

REFER TO LANDSCAPE ARCHITECT PLANS FOR LANDSCAPING DETAILS



SITE COVERAGE (TYPICAL LOT SIZE)

LOT AREA	276 m ²
BUILDING COVERAGE	145 m ²
LANDSCAPE AREA	113 m ² 41% of site area



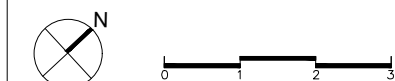
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HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
HV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12 04 23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



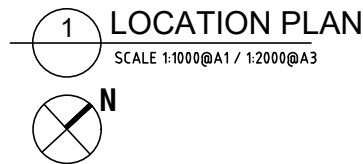
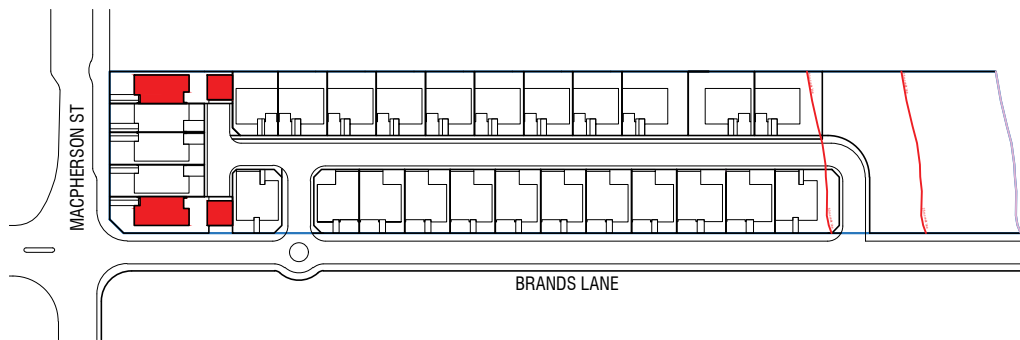
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

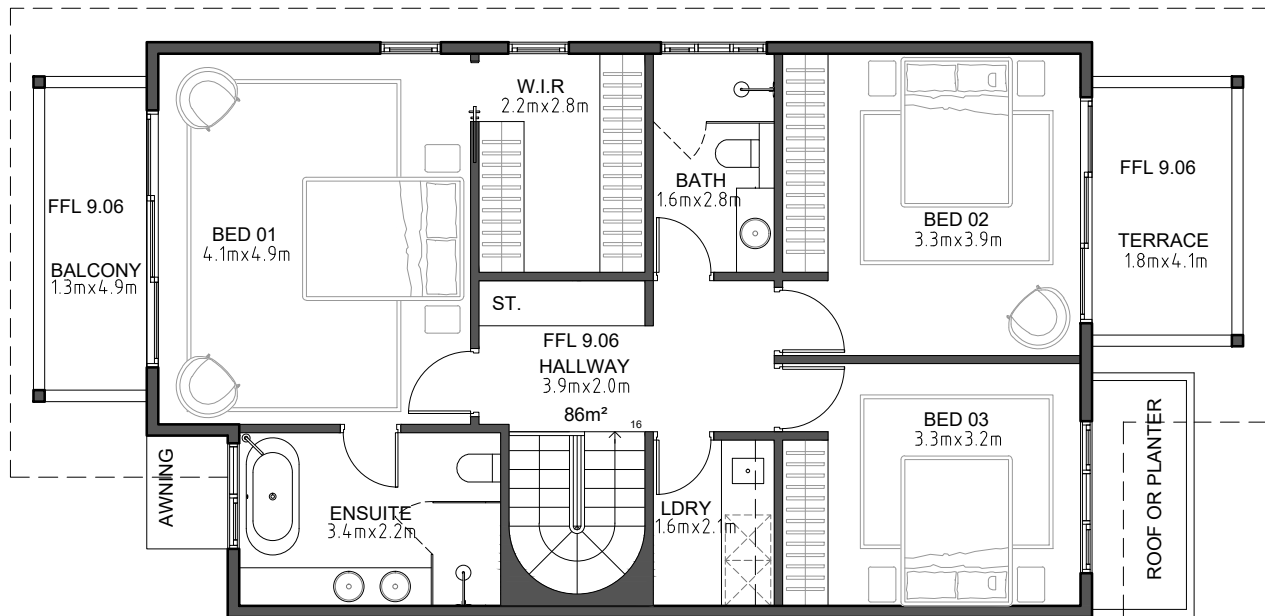
APR. 2023
DRAWING TITLE:
TYPE C3
GROUND FLOOR LEVEL

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:50@A1 / 1:100@A3 PROJECT NO: 2235	DRAWING NO: DA 120	ISSUE: 01

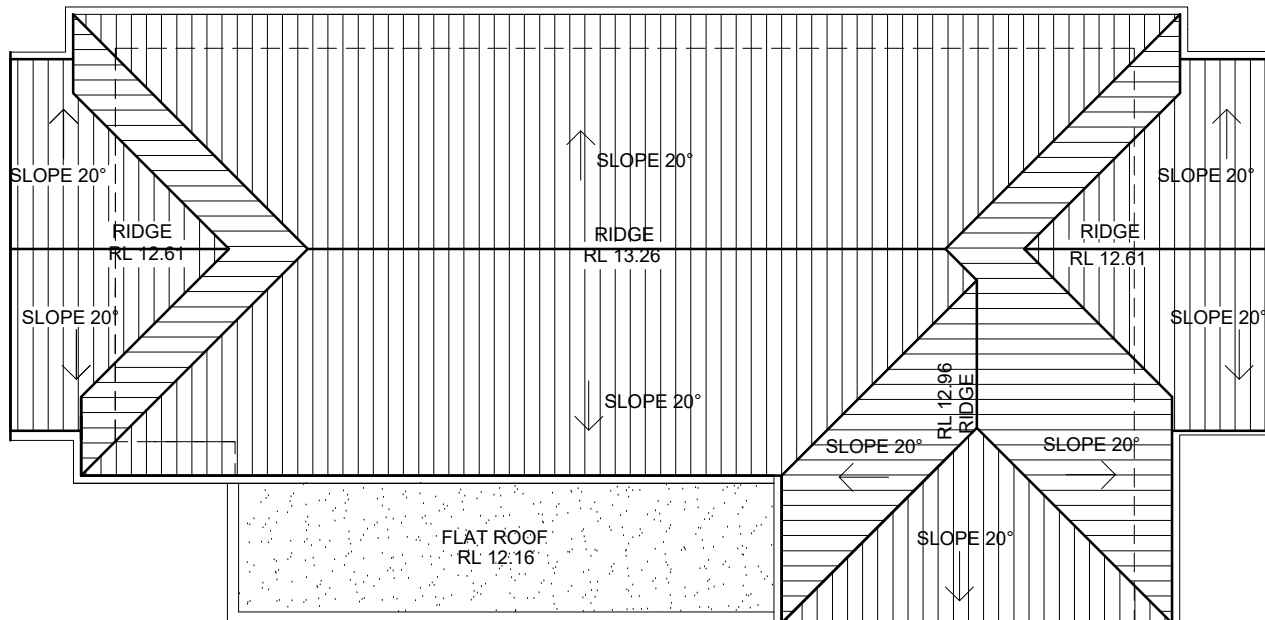


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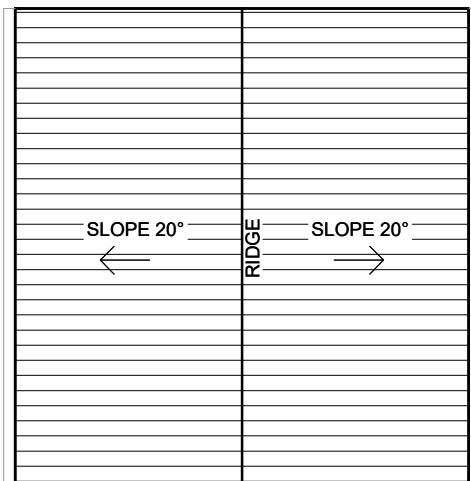
- LEGEND:
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 - ST STORAGE
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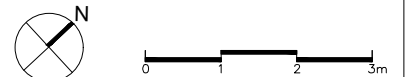
2 FIRST FLOOR PLAN
SCALE 1:50@A1 / 1:100@A3



3 ROOF PLAN
SCALE 1:50@A1 / 1:100@A3



01	12.04.23	ISSUE FOR DA
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
TYPE C3
FIRST FLOOR + ROOF

DRAWN BY: SS
CHECKED BY: HV

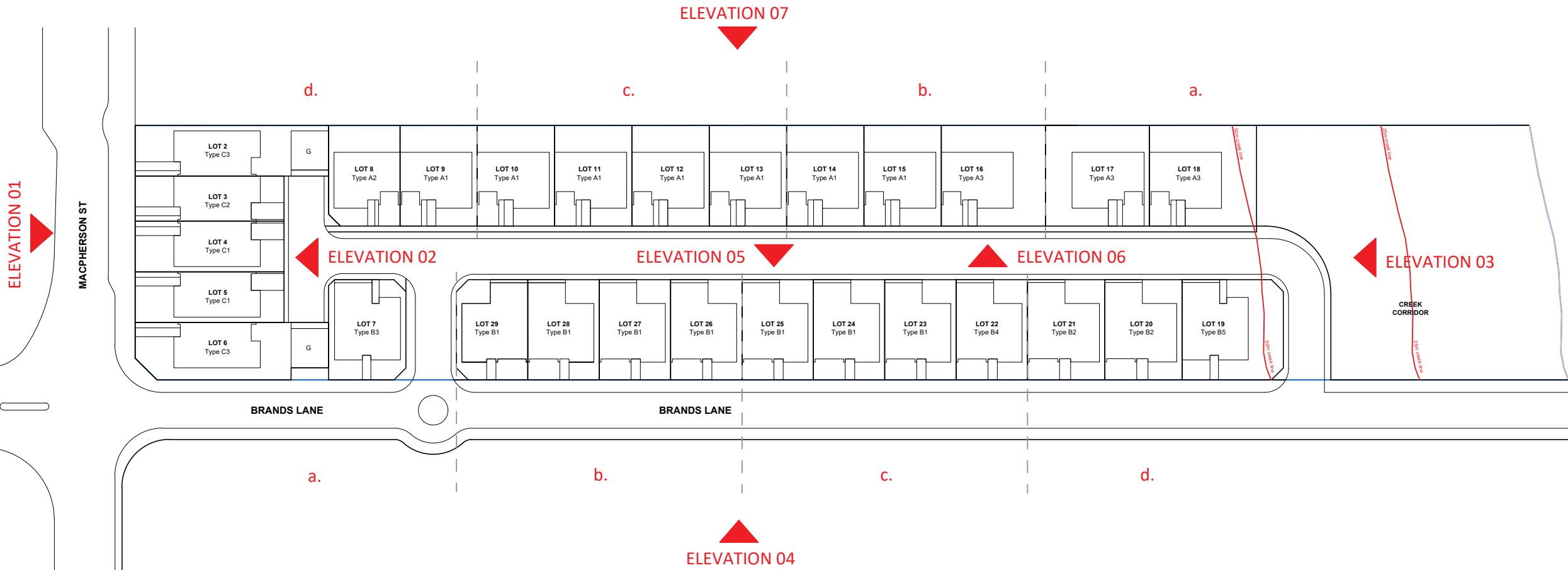
SCALE:
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PROJECT NO:
2235

DRAWING NO:
DA 121

ISSUE:
01

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1 ELEVATIONS LOCATION PLAN
SCALE 1:400@A1 / 1:800@A3

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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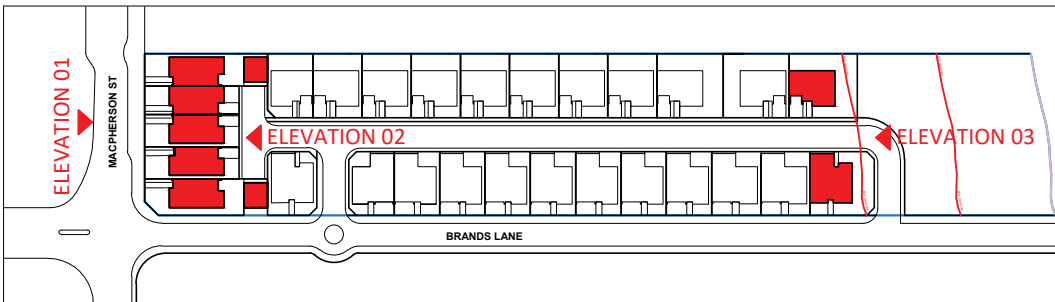
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
ELEVATIONS
LOCATION PLAN

DRAWN BY: SS
CHECKED BY: HV

SCALE: 1:400@A1 / 1:800@A3 PROJECT NO: 2235	DRAWING NO: DA 200	ISSUE: 01
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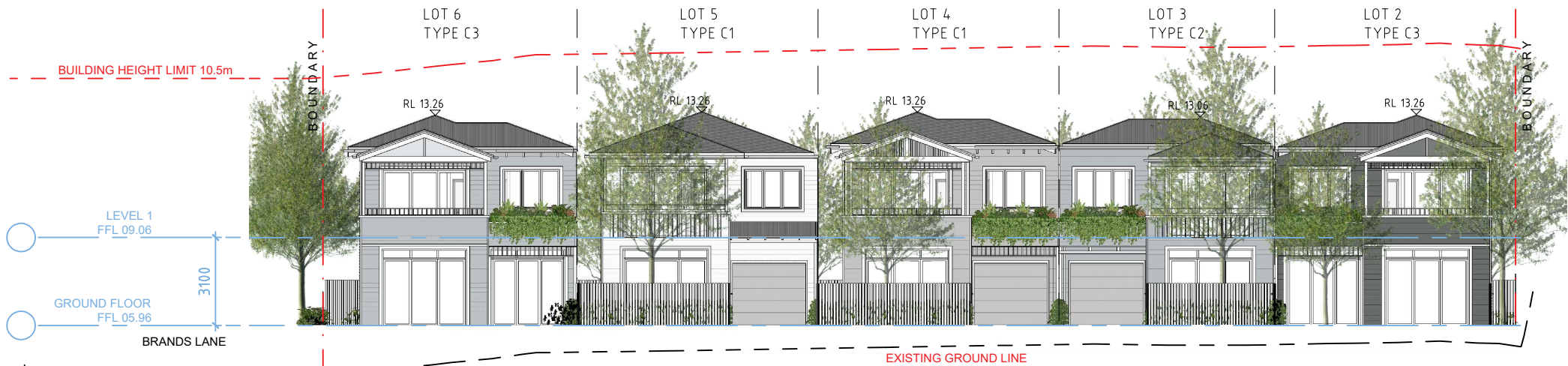
1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



2 ELEVATION 01 on Macpherson St

SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 02 on Accessway

SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 03 on Accessway

SCALE 1:100@A1 / 1:200@A3

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PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

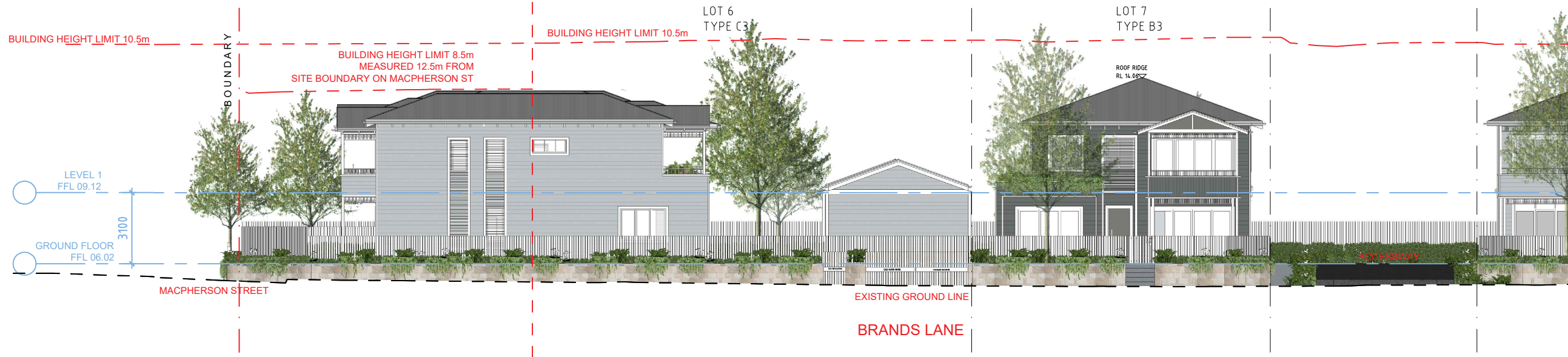
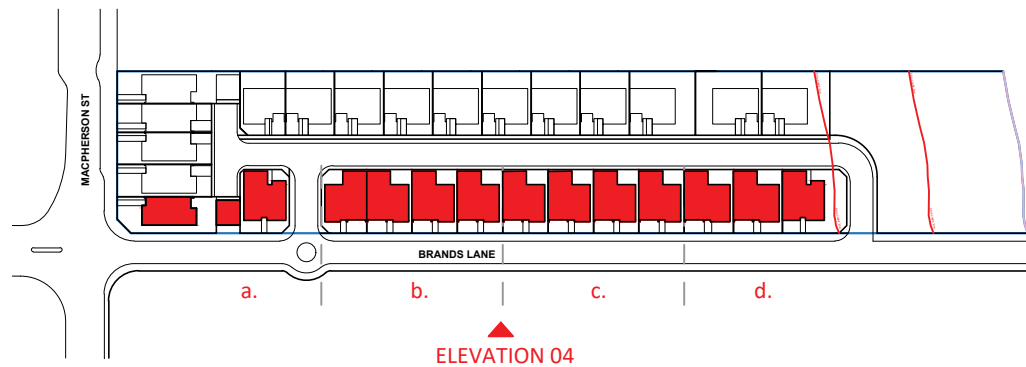
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
ELEVATIONS 01 + 02
ON MACPHERSON ST + ACCESSWAY

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:100@A1 / 1:200@A3 PROJECT NO: 2235	DRAWING NO: DA 201	ISSUE: 01



2 ELEVATION 04.a
on Brands Lane

SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 04.b
on Brands Lane

SCALE 1:100@A1 / 1:200@A3

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01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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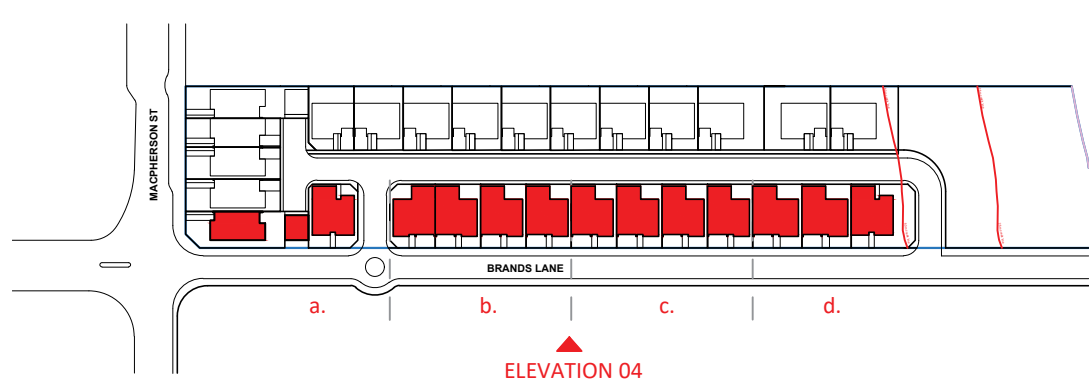
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
ELEVATION 04
ON BRANDS LANE

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:100@A1 / 1:200@A3 PROJECT NO: 2235	DRAWING NO: DA 202	ISSUE: 01





1 LOCATION PLAN
SCALE 1:1000@A1 / 1:2000@A3



2 ELEVATION 04.c
on Brands Lane
SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 04.d
on Brands Lane
SCALE 1:100@A1 / 1:200@A3

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PROJECT:
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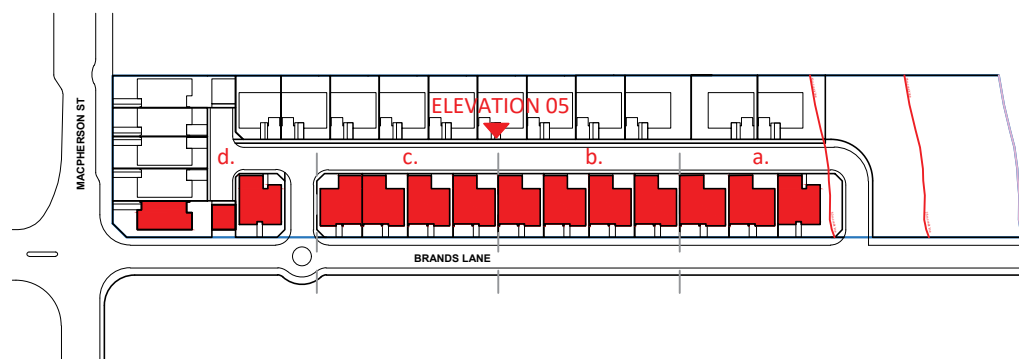
APR. 2023
DRAWING TITLE:
ELEVATION 04
ON BRANDS LANE

DRAWN BY: SS	CHECKED BY: HV	
SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: DA 203	ISSUE: 01
PROJECT NO: 2235		



SCALE 1:1000@A1 / 1:2000@A3

SCALE 1:1000@A1 / 1:2000@A3



2 on Accessway

SCALE 1:100@A1 / 1:200@A3



3 on Accessway

SCALE 1:100@A1 / 1:200@A3

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PROJECT:

28 TERRACES

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WARRIEWOOD

APR. 2023

DRAWING TITLE:

ELEVATION 05
ON ACCESSWAY

DRAWN BY: SS

CHECKED BY: HV

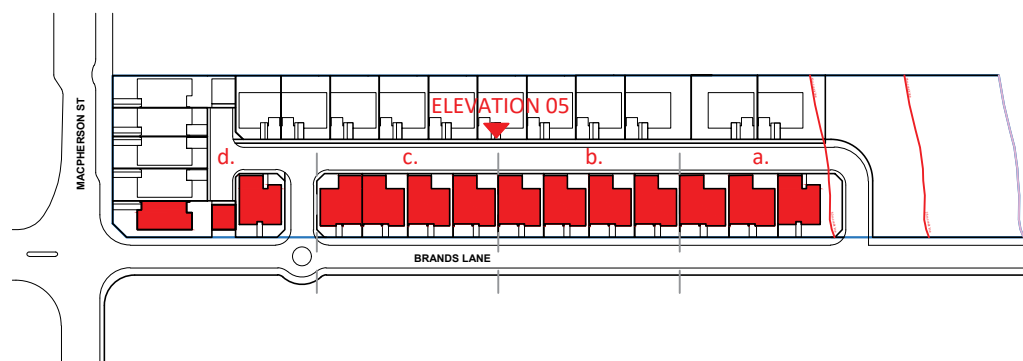
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PROJECT NO:
2235

	DRAWING NO:
A3	DA 204

ISSUE:	01
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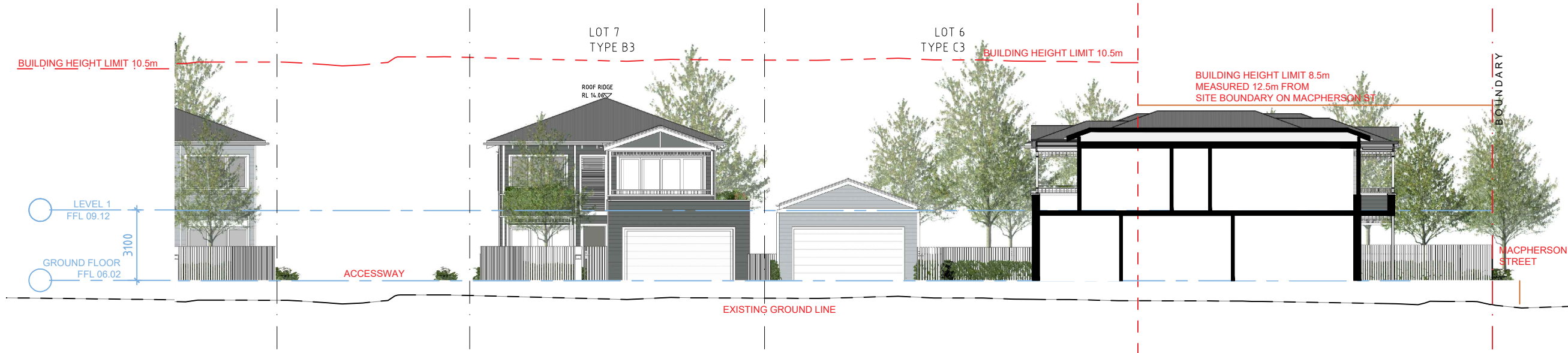
1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



2 ELEVATION 05.c on Accessway

SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 05.d on Accessway

SCALE 1:100@A1 / 1:200@A3

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- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

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ISSUE	DATE	DESCRIPTION



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Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:

ELEVATION 05
ON ACCESSWAY

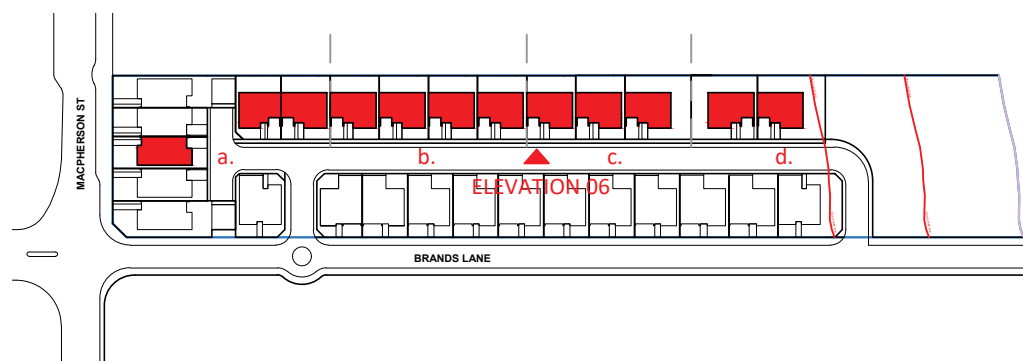
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SCALE:
1:100@A1 / 1:200@A3
PROJECT NO:
2235

DRAWING NO:
DA 205

ISSUE:
01



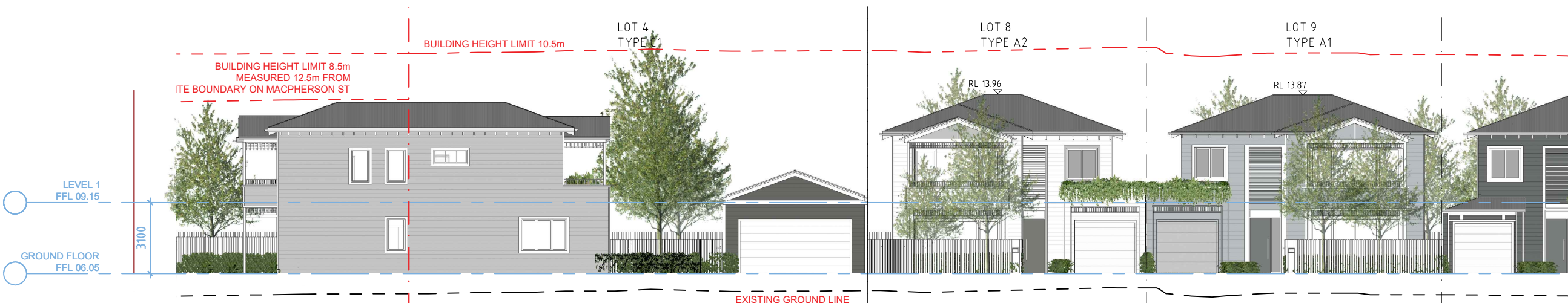


1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3

- GENERAL NOTES:
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 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS



2 ELEVATION 06.a on Accessway

SCALE 1:100@A1 / 1:200@A3



3 ELEVATION 06.b on Accessway

SCALE 1:100@A1 / 1:200@A3

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Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
ELEVATION 06
ON ACCESSWAY

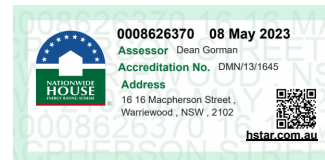
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SCALE:
1:100@A1 / 1:200@A3
PROJECT NO:
2235

DRAWING NO:
DA 206

ISSUE:
01





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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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Nominated Architect: Paul Buljivic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023

DRAWING TITLE:

ELEVATION 06
ON ACCESSWAY

DRAWN BY: SS	CHECKED BY: HM
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SCALE: 1:100@A1 / 1:200@A3	DRAWING NO: DA 207	ISSUE: 01
PROJECT NO: 2235		





GENERAL NOTES:

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LEGEND:

AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MV	MECHANICAL RISER TO FUTURE DETAIL
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R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS



01	12/04/23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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Nominated Architect: Paul Buljjevic NSW 7768

PROJECT:

28 TERRACES

16 MACPHERSON STREET
WARRIEWOOD

APR. 2023

DRAWING TITLE:

ELEVATION 07
ON NORTH WEST BOUNDARY

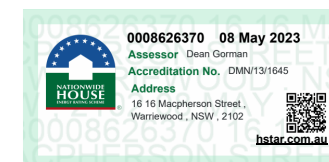
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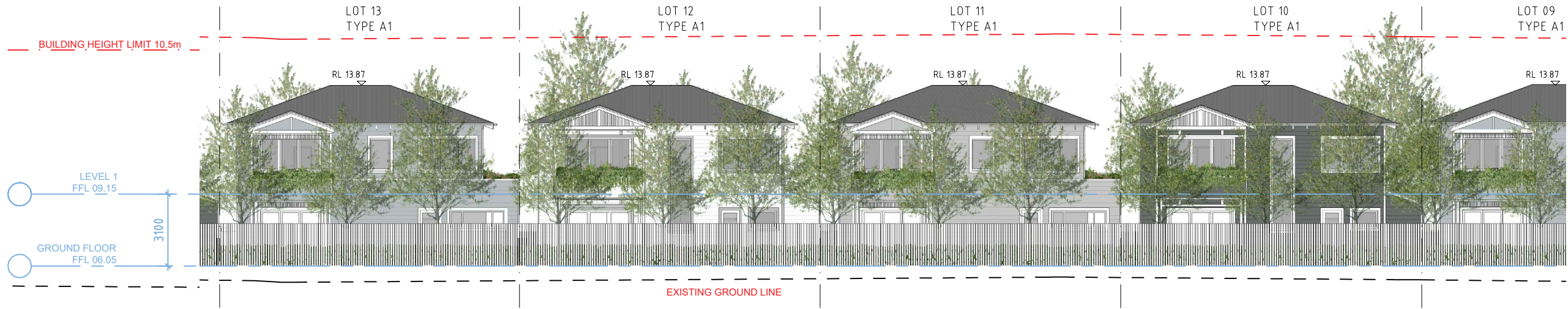
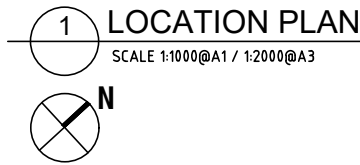
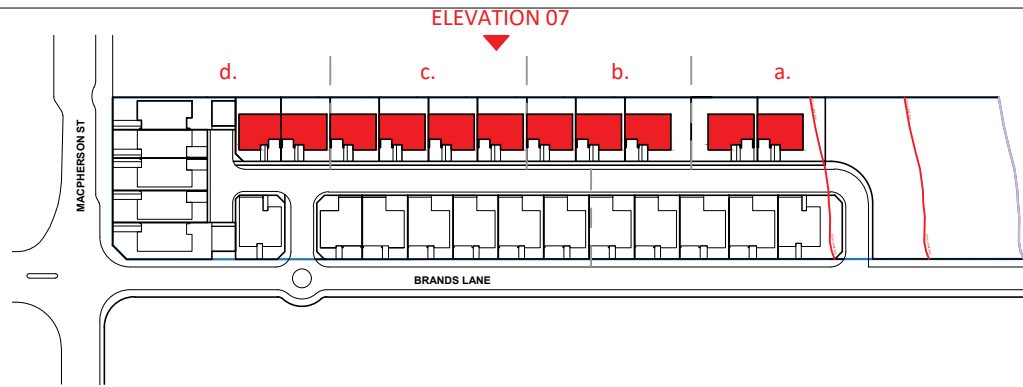
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SCALE:	1:100@A1 / 1:200@A3
PROJECT NO:	2235

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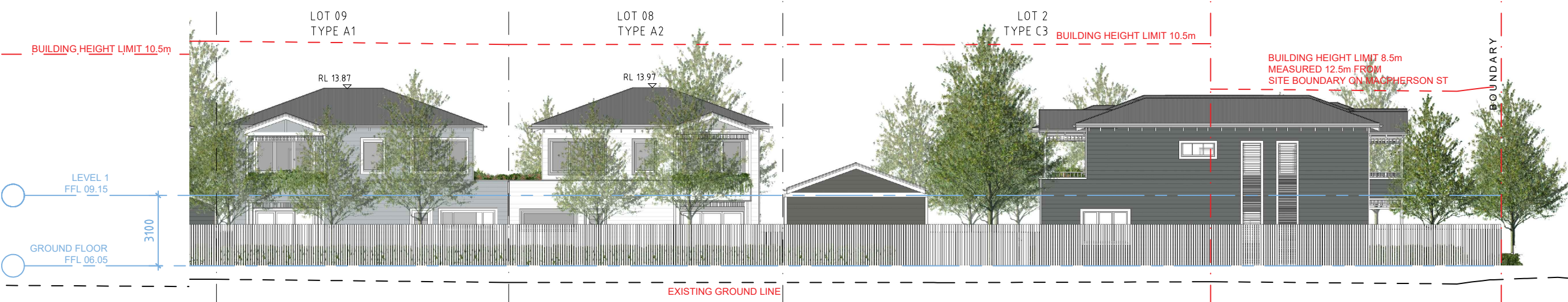
ISSUE:	01
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ELEVATION 07.c
on Northwest Boundary

SCALE 1:100@A1 / 1:200@A3



ELEVATION 07.d
on Northwest Boundary

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
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01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:

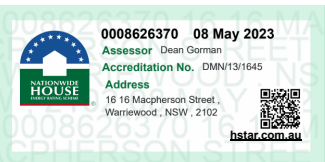
ELEVATION 07
ON NORTH WEST BOUNDARY

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PROJECT NO:
2235

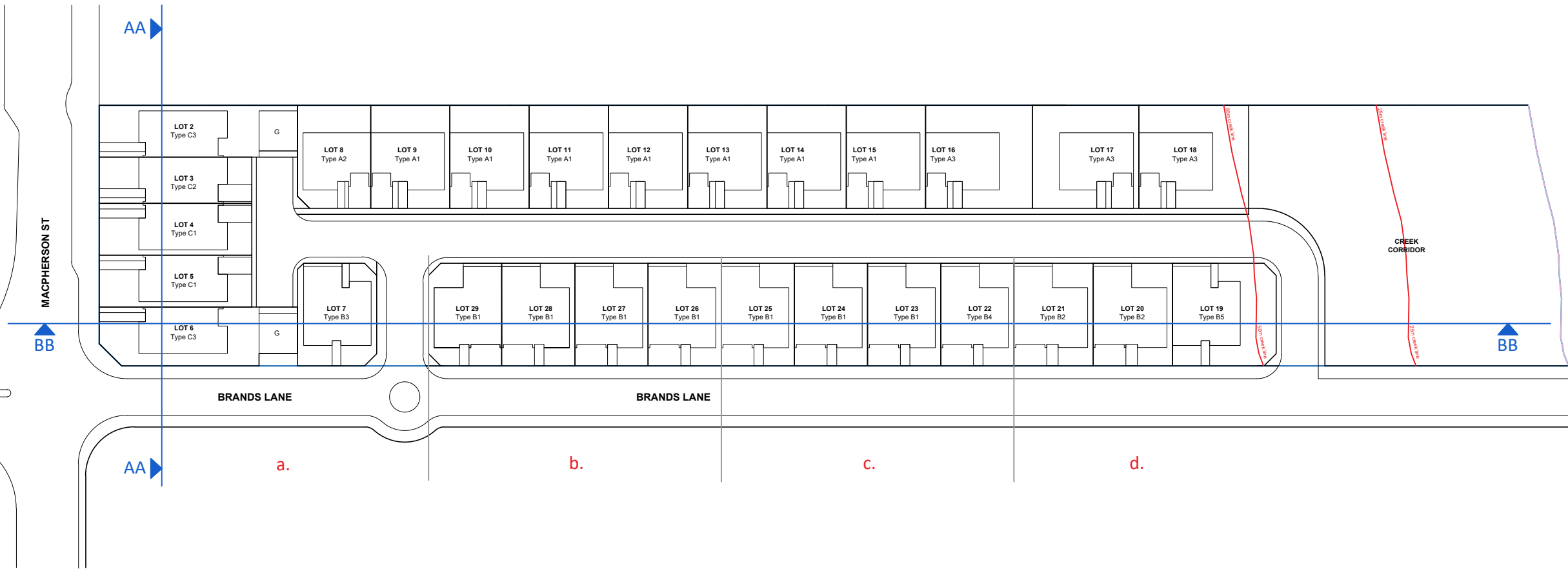
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- GENERAL NOTES:
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1 SECTIONS LOCATION PLAN
SCALE 1:400@A1 / 1:800@A3

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ISSUE	DATE	DESCRIPTION



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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

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**SECTIONS
LOCATION PLAN**

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SCALE:
1:400@A1 / 1:800@A3
PROJECT NO:
2235

DRAWING NO:
DA 300

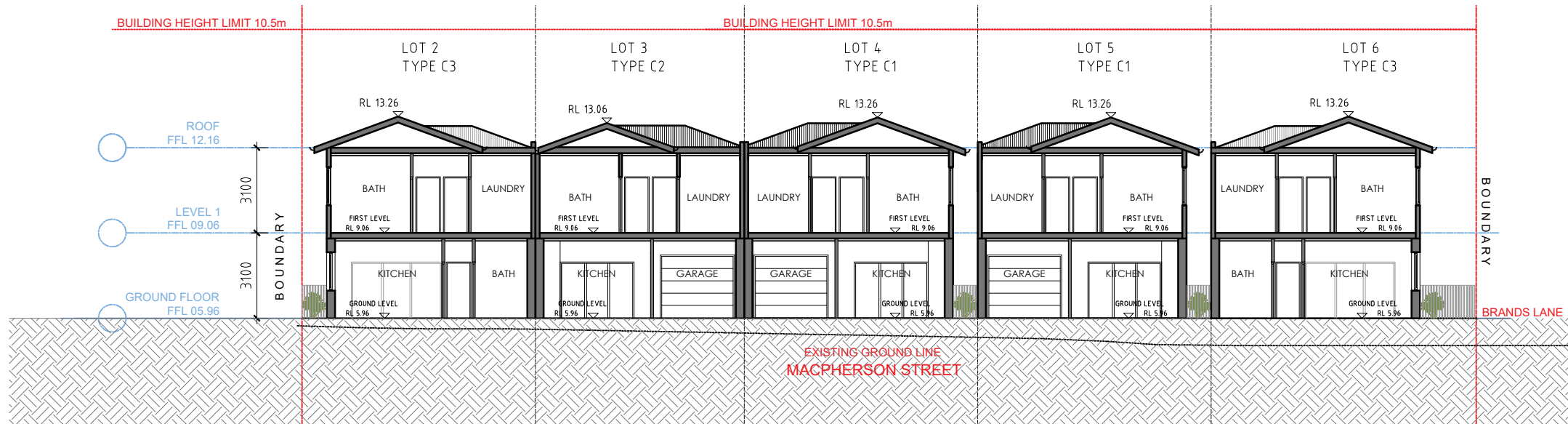
ISSUE:
01





1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



2 SECTION AA

SCALE 1:100@A1 / 1:200@A3

- GENERAL NOTES:
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WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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PROJECT:
28 TERRACES
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WARRIEWOOD


APR. 2023
DRAWING TITLE:
SECTION AA

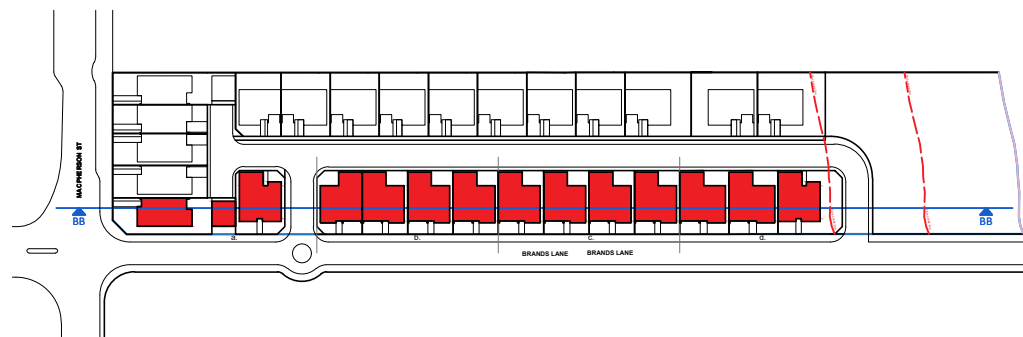
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 **0008626370 08 May 2023**
Assessor Dean Gorman
Accreditation No. DMN/13/1645
Address
16 Macpherson Street,
Warriewood, NSW, 2102

 **hstar.com.au**

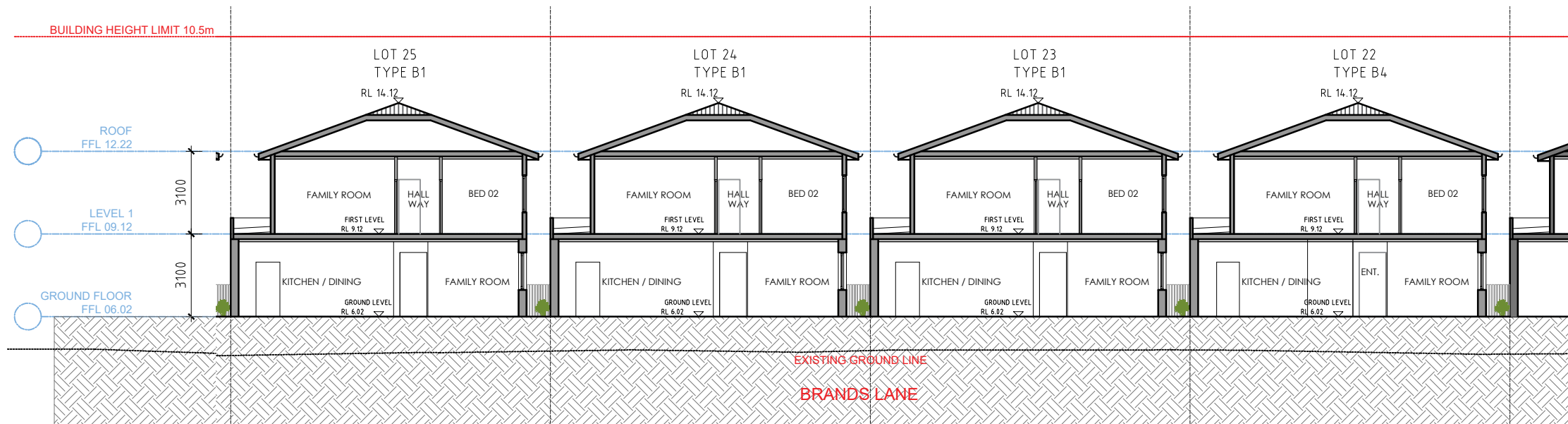


1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3

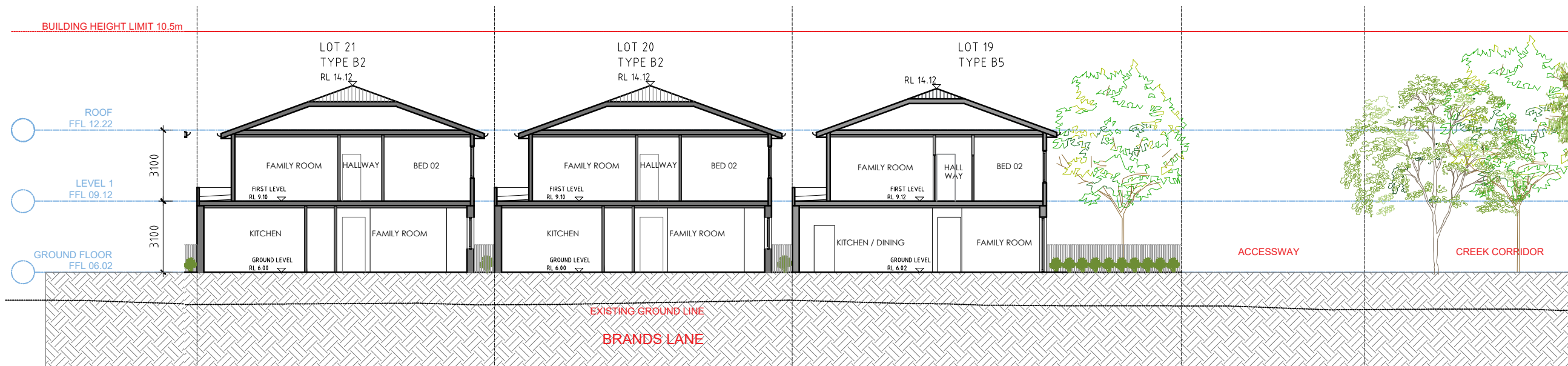
- GENERAL NOTES:
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2 SECTION BB.c

SCALE 1:100@A1 / 1:200@A3



3 SECTION BB.d

SCALE 1:100@A1 / 1:200@A3

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



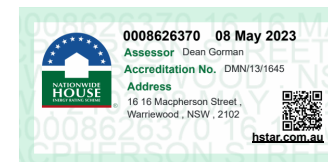
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ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Sunny Hills NSW 2010
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
SECTION DD

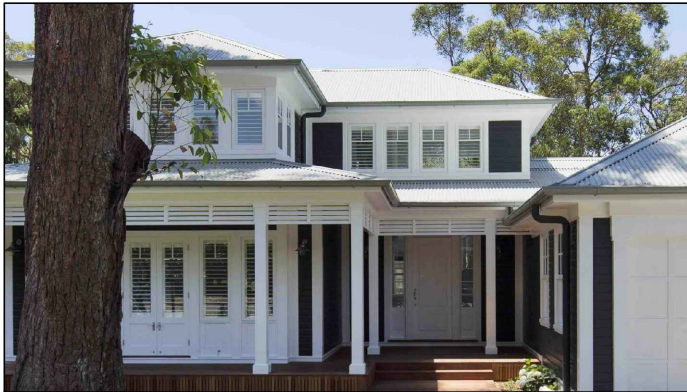
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SCALE: 1:100@A1 / 1:200@A3 PROJECT NO: 2235	DRAWING NO: DA 303	ISSUE: 01





E01 WEATHERBOARD

P1 - Dulux Vivid white, P2 - Dulux Grey Pail
P3 - Dulux Tranquil retreat, P4 - Dulux Tea House



E02 METAL ROOFING

P3 -Tranquil retreat



E03 SECTIONAL GARAGE DOOR



E04 BALUSTRADE

P1 - Dulux Vivid white



E05 WINDOW SCREEN

P1 - Dulux Vivid white



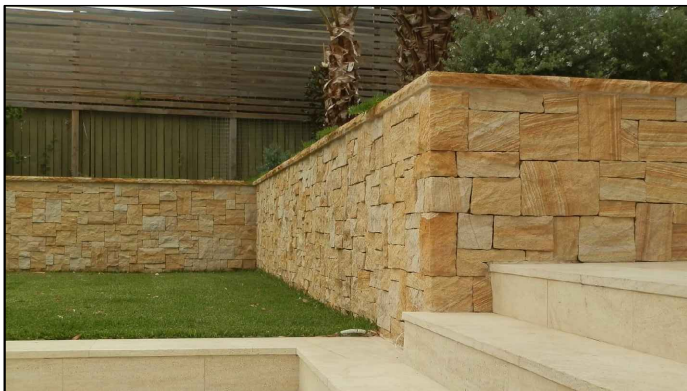
E06 ALUMINIUM WINDOW FRAMING

P1 - Dulux Vivid white



E07 BOUNDARY PICKET FENCE

P1 - Dulux Vivid white



E08 SANDSTONE CLADDED WALL

P1 DULUX - VIVID WHITE (1 W)

P2 DULUX - GREY PAIL (GR 21)

P3 DULUX - TRANQUIL RETREAT (GR 24)

P4 DULUX - TEA HOUSE (GR 23)



GENERAL NOTES:

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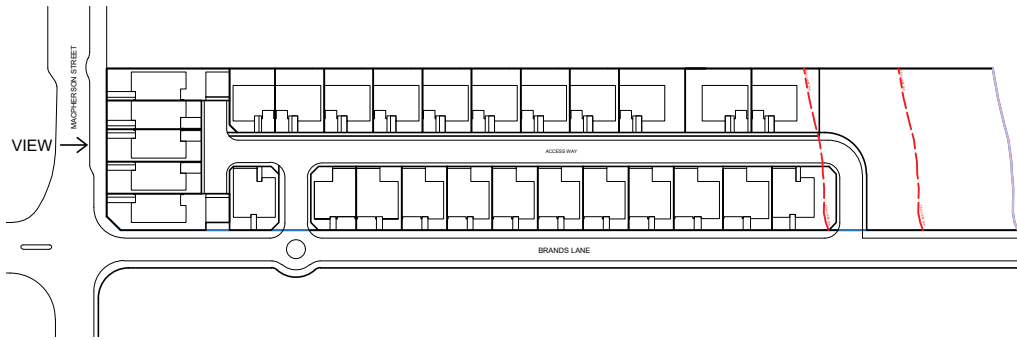
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ARCHITECT:
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
MATERIAL SCHEDULE

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SCALE: NTS	DRAWING NO: DA 400	ISSUE: 01
PROJECT NO: 2235		



1

LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3

N

- GENERAL NOTES:
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- | | |
|-----|-----------------------------------|
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| ST | STORAGE |
| WT | HOT WATER UNITS |



2

PHOTOMONTAGE 01 - MACPHERSON ST

NOT TO SCALE

01	12 04 23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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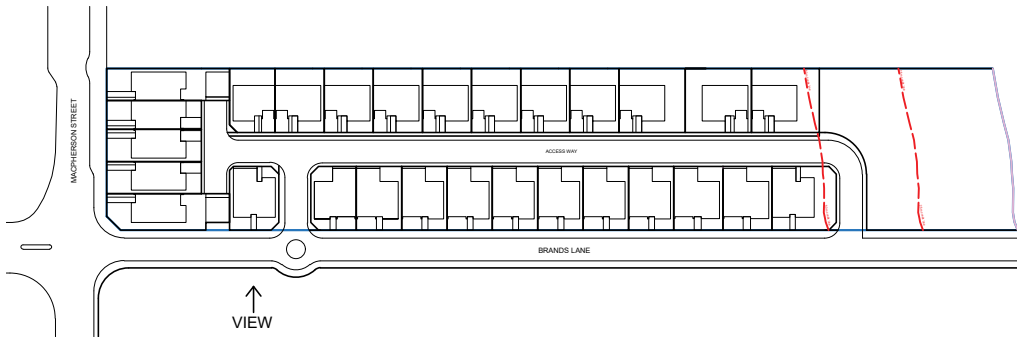
ARCHITECT:
PBD | ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
PHOTOMONTAGE 01
MACPHERSON ST

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 410	ISSUE: 01
PROJECT NO: 2235		





1 LOCATION PLAN

SCALE 1:1000@A1 / 1:2000@A3



2 PHOTOMONTAGE 02 - BRANDS LN

NOT TO SCALE

- GENERAL NOTES:
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- LEGEND:
- AW AWNING
 - HW HIGHLIGHT WINDOW
 - CU A/C CONDENSER UNITS
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - HV MECHANICAL RISER TO FUTURE DETAIL
 - GC GARBAGE CHUTE
 - MB MAILBOX TO FUTURE DETAIL
 - PB PLANTERBOX
 - R 240L RECYCLING BIN
 - SK SKYLIGHT
 - ST STORAGE
 - WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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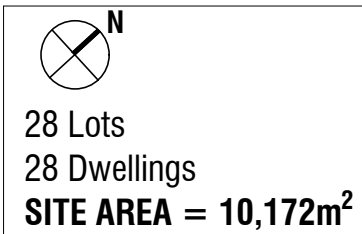
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
PHOTOMONTAGE 02
BRANDS LANE

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 411	ISSUE: 01
PROJECT NO: 2235		





PRIVATE GARDENS



- * ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MV	MECHANICAL RISER TO FUTURE DETAIL
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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28 TERRACES

DRAWING TITLE:

RAWN BY: SS

CHECKED BY: HV

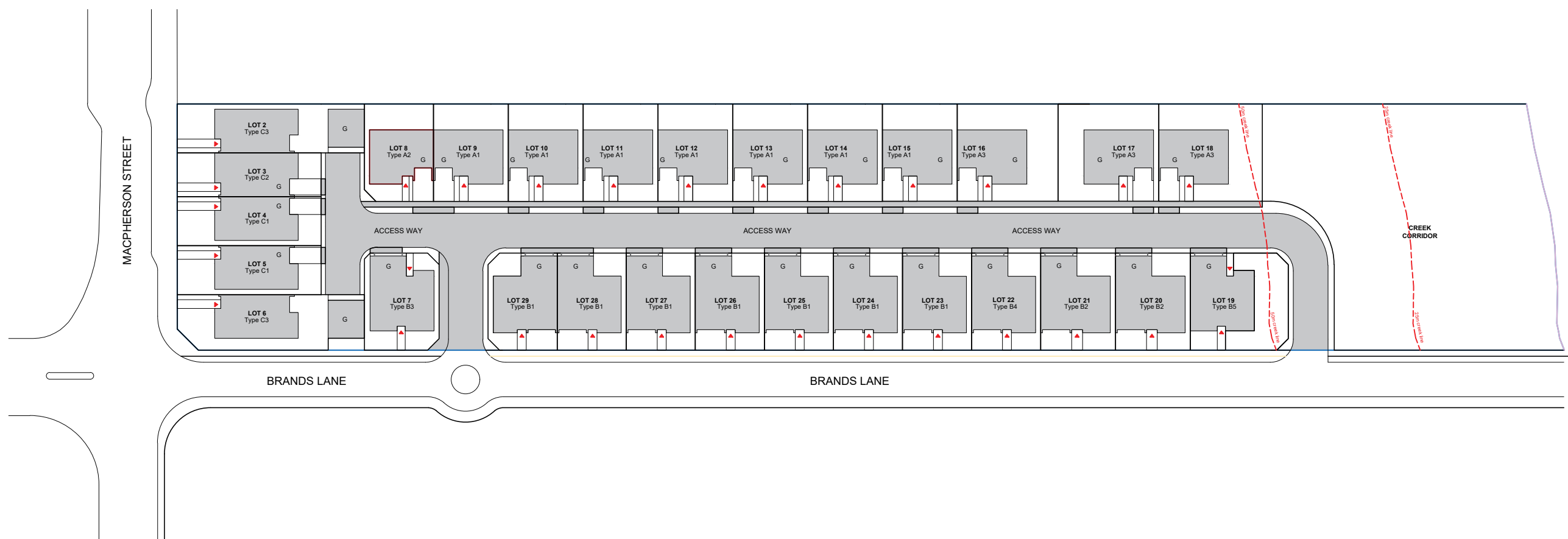
DRAWING NO:
DA 510

SUE:
01





28 Lots
28 Dwellings
SITE AREA = 10,172m²



1 SITE COVERAGE CALCULATION - PLAN

SCALE 1:400@A1 / 1:800@A3

GENERAL NOTES:

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FH	FIRE HYDRANT
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01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION



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Nominated Architect: Paul Buljovic NSW 7768

PROJECT:

8 TERRACES

6 MACPHERSON STREET
VARRIEWOOD

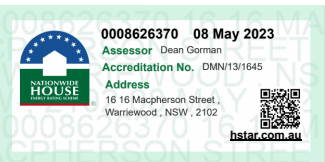
PR. 2023

DRAWING TITLE:

AREA CALCULATION
PLAN 02

RAWN BY: SS	CHECKED BY: HV
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CALE:	DRAWING NO:	ISSUE:
400@A1 / 1:800@A3	DA 511	01
PROJECT NO: 235		



16 Macpherson Street, Warriewood

SITE AREA in m² 10,172

CREEK CORRIDOR LANDSCAPED AREA
COMMUNAL LANDSCAPED AREA (VERGE)

TOTAL LANDSCAPE AREA (m²)

1779
295

4731	46.51 % of site area
------	-------------------------



GENERAL NOTES:

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AW	AWNING
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
MC	MECHANICAL RISER TO FUTURE DETAIL
GV	GARAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
PB	PLANTERBOX
R	240L RECYCLING BIN
SK	SKYLIGHT
ST	STORAGE
WT	HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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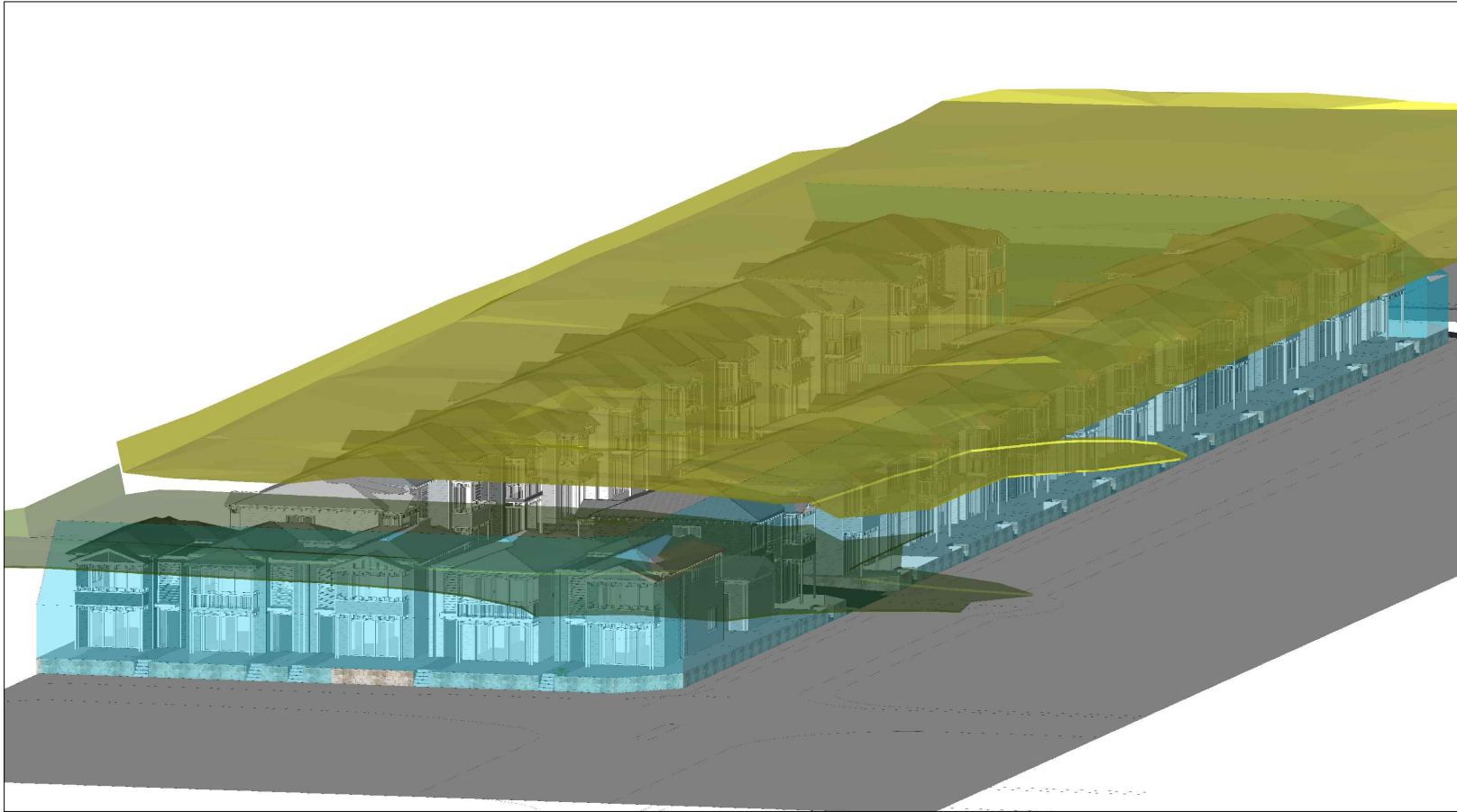
PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIWOOD

APR. 2023

DRAWING TITLE:

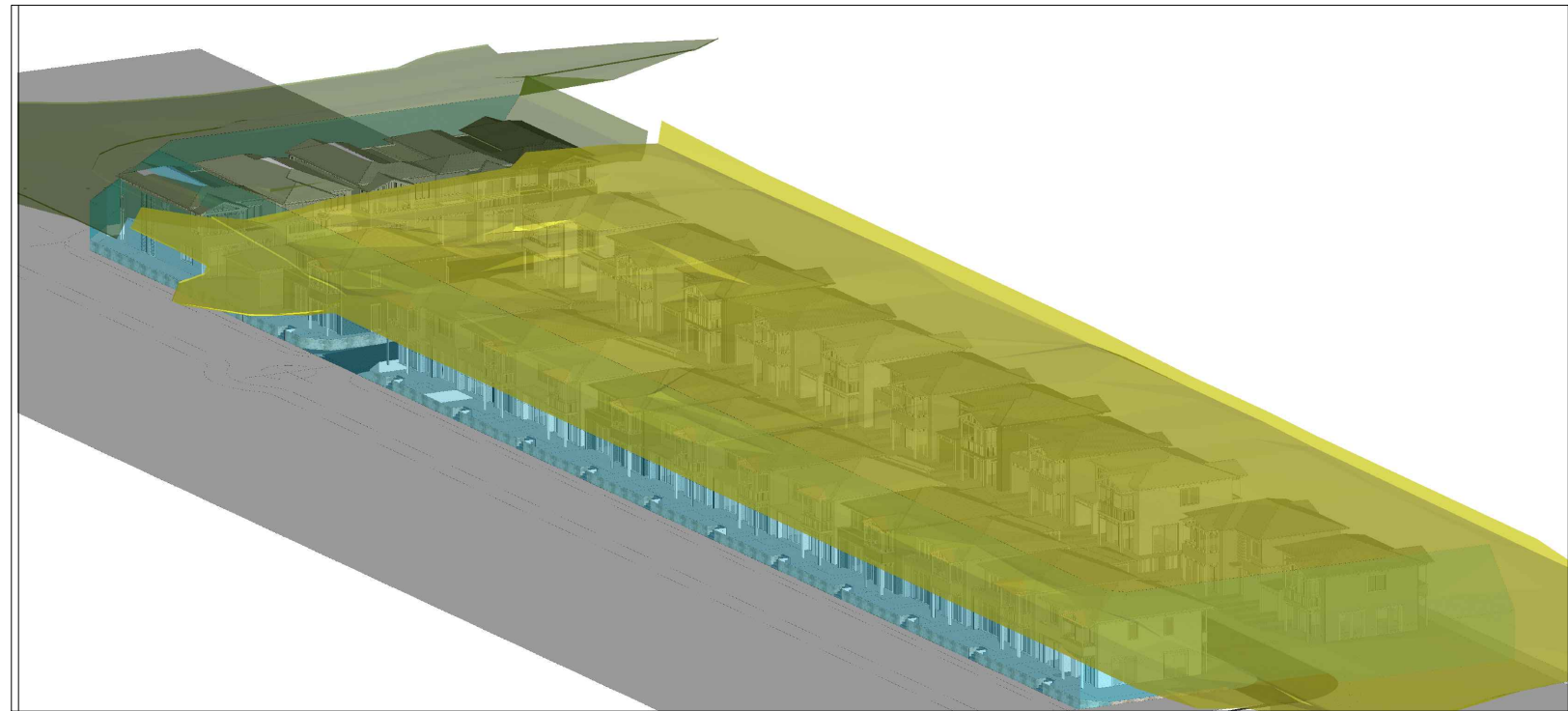
AREA CALCULATION
SCHEDULE

DRAWN BY: SS		CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 512	ISSUE:	
PROJECT NO: 2235		01	



8.5 m BUILDING HEIGHT LIMIT

10.5 m BUILDING HEIGHT LIMIT



GENERAL NOTES:

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LEGEND:

AW AWNING

HW HIGHLIGHT WINDOW

CU A/C CONDENSER UNITS

FH FIRE HYDRANT

FHR FIRE HOSE REEL

FS FIRE STAIRS

HV MECHANICAL RISER TO FUTURE DETAIL

GC GARBAGE CHUTE

MB MAILBOX TO FUTURE DETAIL

PB PLANTERBOX

R 240L RECYCLING BIN

SK SKYLIGHT

ST STORAGE

WT HOT WATER UNITS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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Level 2, 52 Albion Street, Sunny Hills NSW 2010

Nominated Architect: Paul Bujevic NSW 7768

PROJECT:

28 TERRACES

16 MACPHERSON STREET

WARRIEWOOD

APR. 2023

DRAWING TITLE:

BUILDING ENVELOPE DIAGRAMS

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 520	ISSUE: 01
PROJECT NO: 2235		





- LEGEND:**
- | | |
|-----|-----------------------------------|
| AW | AWNING |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| FH | FIRE HYDRANT |
| FHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| MV | MECHANICAL RISER TO FUTURE DETAIL |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| PB | PLANTERBOX |
| R | 240L RECYCLING BIN |
| SK | SKYLIGHT |
| ST | STORAGE |
| WT | HOT WATER UNITS |

- 0 0 HOUR SOLAR ACCESS
- 1 1 HOUR SOLAR ACCESS
- 2 2 HOUR SOLAR ACCESS
- 3 3 HOUR SOLAR ACCESS
- 4 4 HOUR SOLAR ACCESS
- 5 5 HOUR SOLAR ACCESS
- 6 6 HOUR SOLAR ACCESS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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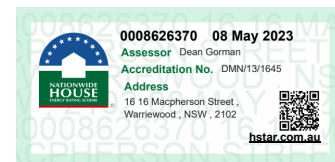
Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

APR. 2023
DRAWING TITLE:
SOLAR STUDY
9AM - 12 PM

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 601	ISSUE: 01
PROJECT NO: 2235		





1 01PM - JUNE 21ST
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1 02PM - JUNE 21ST
NOT TO SCALE



1 03PM - JUNE 21ST
NOT TO SCALE

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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- | | |
|-----|-----------------------------------|
| AW | AWNING |
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| CU | A/C CONDENSER UNITS |
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- 0 0 HOUR SOLAR ACCESS
- 1 1 HOUR SOLAR ACCESS
- 2 2 HOUR SOLAR ACCESS
- 3 3 HOUR SOLAR ACCESS
- 4 4 HOUR SOLAR ACCESS
- 5 5 HOUR SOLAR ACCESS
- 6 6 HOUR SOLAR ACCESS

01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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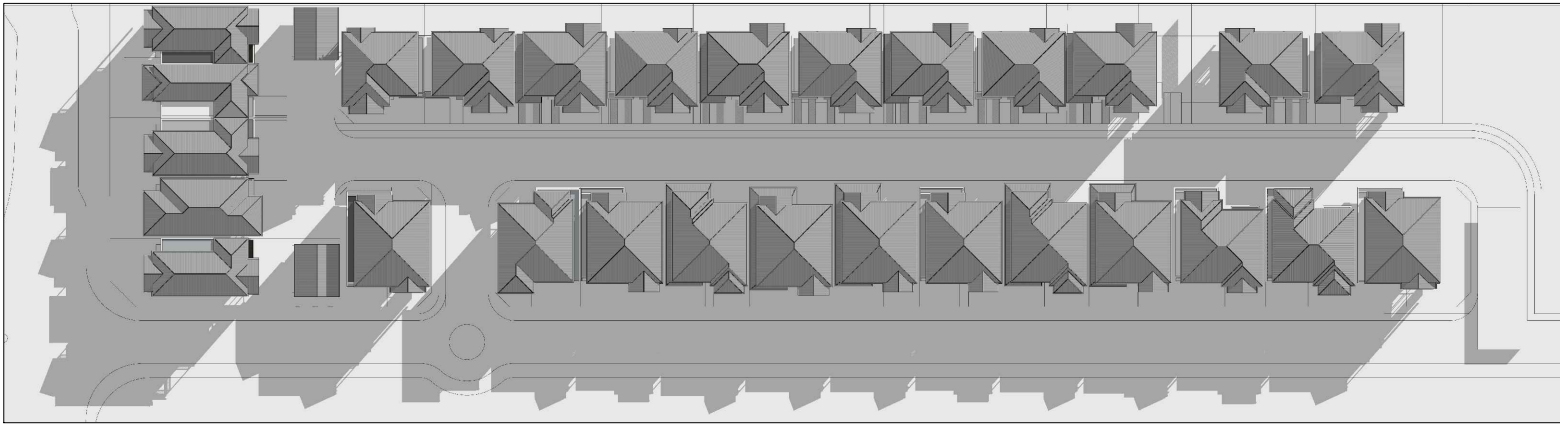
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ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Sunny Hills NSW 2010
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

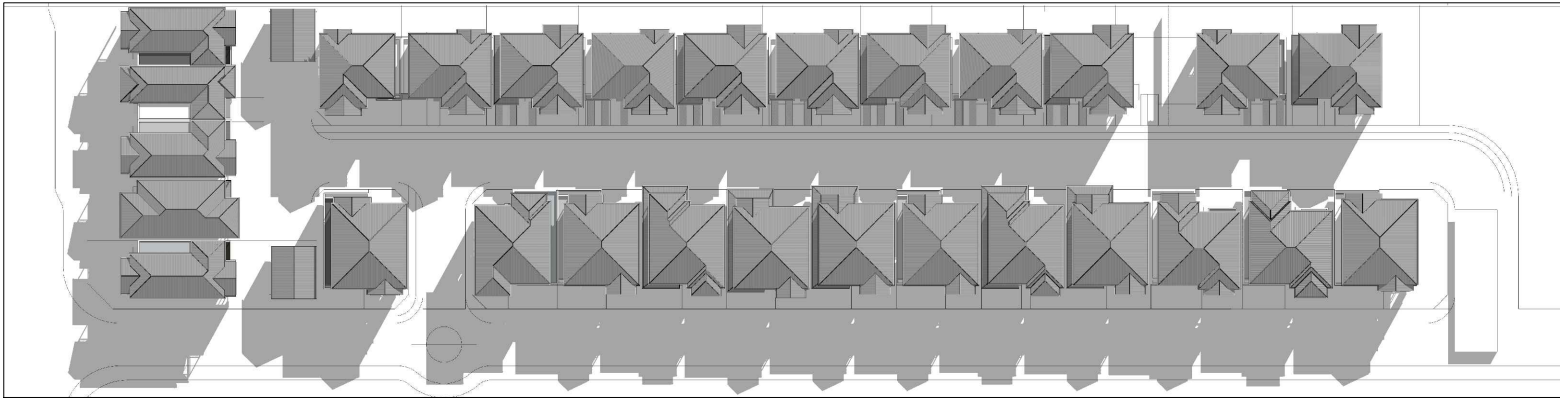
APR. 2023
DRAWING TITLE:
SOLAR STUDY
01PM - 03PM

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 602	ISSUE: 01
PROJECT NO: 2235		





1 9AM - JUNE 21ST
NOT TO SCALE



2 10AM - JUNE 21ST
NOT TO SCALE



3 11AM - JUNE 21ST
NOT TO SCALE



4 12PM - JUNE 21ST
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- GENERAL NOTES:
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01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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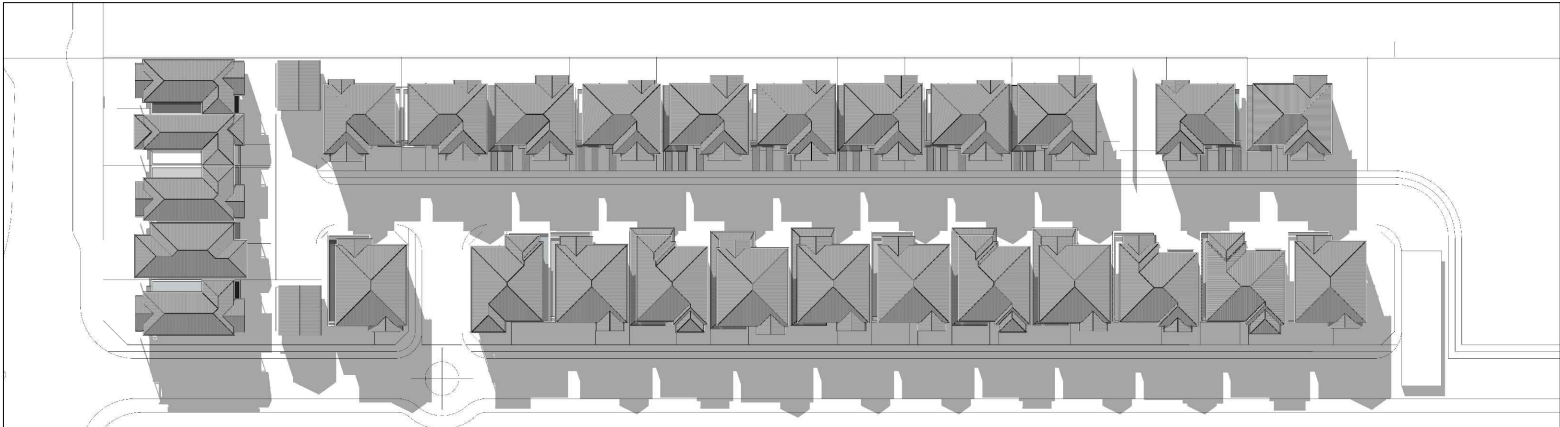
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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

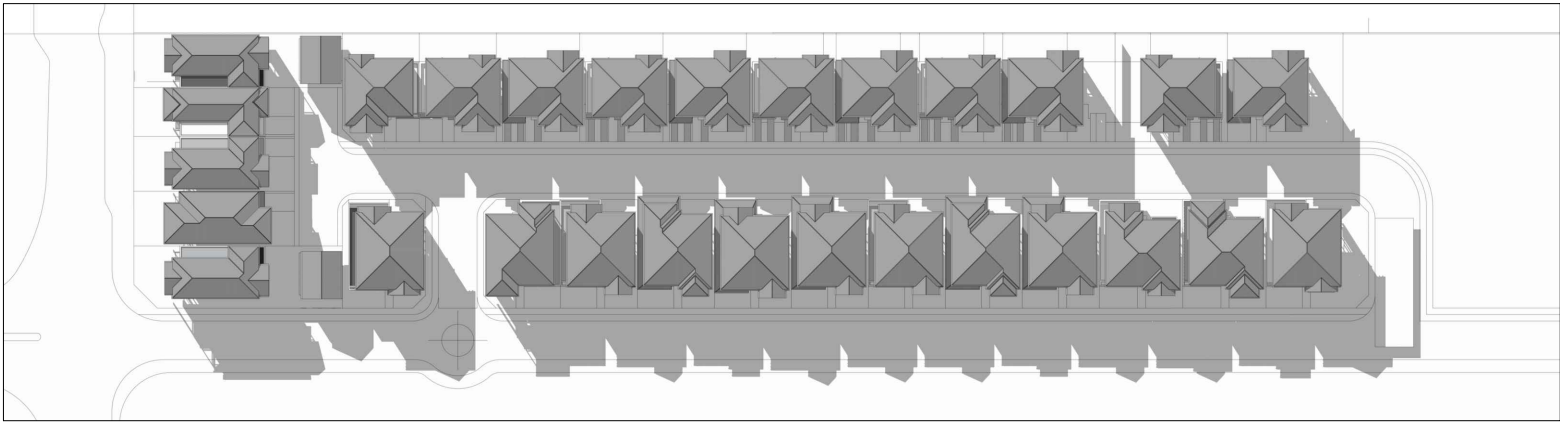
APR. 2023
DRAWING TITLE:
SHADOW DIAGRAMS
09AM - 12PM - JUNE 21ST

DRAWN BY: SS	CHECKED BY: HV	
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PROJECT NO: 2235		

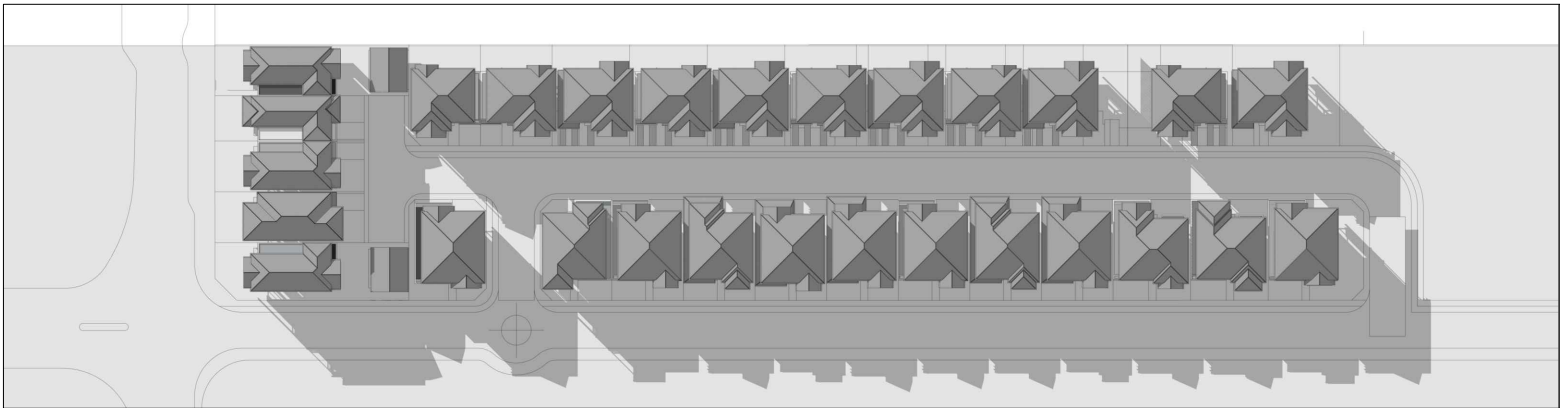




1 01PM - JUNE 21ST
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2 02PM - JUNE 21ST
NOT TO SCALE



3 03PM - JUNE 21ST
NOT TO SCALE

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01	12.04.23	ISSUE FOR DA
ISSUE	DATE	DESCRIPTION

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PROJECT:
28 TERRACES
16 MACPHERSON STREET
WARRIEWOOD

DRAWING TITLE:
SHADOW DIAGRAM
01PM - 03PM - JUNE 21ST

DRAWN BY: SS	CHECKED BY: HV	
SCALE: NTS	DRAWING NO: DA 604	ISSUE: 01
PROJECT NO: 2235		

