

## STANDARD CONSTRUCTION NOTES

### WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH:  
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH N.C.C. 3.8.3.3
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE.
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01

### ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

### EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

### SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

### PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 - PLUMBING AND DRAINAGE.

### TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER: AS 3660.1:2014 - TERMITE MANAGEMENT

### GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM SLIDING (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH:  
AS 1288:2006 GLASS IN BUILDINGS  
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH N.C.C. 3.9.2.5

### STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE:  
240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH N.C.C. 3.9.1.
- BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH N.C.C. 3.9.1.4 AND AS 4586:2013 SLIP RESISTANCE.

### WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH: AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

### INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

## BASIX COMMITMENTS

FREEDOM  
*Loving*

'H1' CLASS SLAB

### TIMBER FLOOR JOISTS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

hebel® Power Panel  
**WALL PANELS**

OR RENDERED LIGHTWEIGHT  
SUBSTRATE CLADDING ABOVE  
LOWER ROOFS WHERE APPLICABLE

DUE TO PROXIMITY TO COASTAL WATERS  
PROVIDE THE FOLLOWING ADDITIONAL ITEMS:

- PROVIDE UPGRADED FIXING SCREWS AND CAULKING FOR HEBEL WALL PANELS (IN ACCORDANCE WITH MANUF. SPEC'S)
- LINTELS AND ANY EXPOSED STEEL IN ACCORDANCE WITH B.C.A. REQUIREMENTS
- COLORBOND VALLEY GUTTERS

PROVIDE NOGGINGS AT 750MM HIGH ABOVE PFL  
FOR FIXING OF WALL MOUNTED VANITIES TO:

- ENSUITE 1
- ENSUITE 2
- BATHROOM
- POWDER ROOM 1
- POWDER ROOM 2

PROVIDE SQUARE SET CEILING CORNERS TO:

- POWDER ROOM 2
- ENSUITE 1 & 2

PROVIDE AIR-CONDITIONING DUCTS AND  
OUTLETS TO THE GROUND FLOOR AND FIRST  
FLOOR FOR AIR-CONDITIONING BY METRICON

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE FLOOR PREPARATIONS TO SUIT OWNER'S  
FUTURE FLOOR COVERINGS - REFER TO  
CONTRACT

## TABLE OF REVISIONS

REV.	DATE	REVISION DESCRIPTION	DRAWN	CHECKED
A	25.09.19	CONTRACT PLANS	ALM	DUM
B	17.12.19	VARIATION 001 (CONTRACT SIGNING)	SZN	DRI
C	30.01.20	LODGE MENT PLANS	BD	--
D	30.04.20	CC FEEDBACK	BD	--
E	04.05.20	VARIATION 002 (INTERNAL)	SZN	CWK
F	25.05.20	VARIATION 003 & 004 & FINAL PLANS	JGU	--
G	12.07.21	RETAINING WALL ADJUSTMENT	NA4	--
H	DDMMYY	DESCRIPTION	XX	XX
I	DDMMYY	DESCRIPTION	XX	XX
J	DDMMYY	DESCRIPTION	XX	XX

Refer to:

STUDIO/M

Dated: 21.01.2020

Refer to:

TILE STUDIO  
metricon

Dated: 09.04.2021

Refer to:

LoveLight  
Curtains & Blinds

Dated: 18.05.2020



**DRAWING AMENDMENT**  
BUILDING VARIATION 06 COMPLETED  
TILE QUOTATION AMENDMENT  
DATE: 19.04.2021 DRAWN: JGU

DESIGN: ALTO 33	FACADE: PENINSULA	CEILING 25, R	OWNER: [REDACTED]	
GARAGE SINGLE	LOCATION: F		LOT 40, NO. 136 NARRABEEN PARK PARADE MONA VALE	
COVER SHEET			BY METRICON	JOB No: 704711
METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.			Build: E Level 4, 32 Lexington Dr, Bankham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	DATE: 25.09.2019
			FC DATE: 25.05.2020	MST VER: 04.12.2018
			SCALE:	REVISION: G
			DRAWN: ALM	CHECK: DUM
			SHEET: COVER	





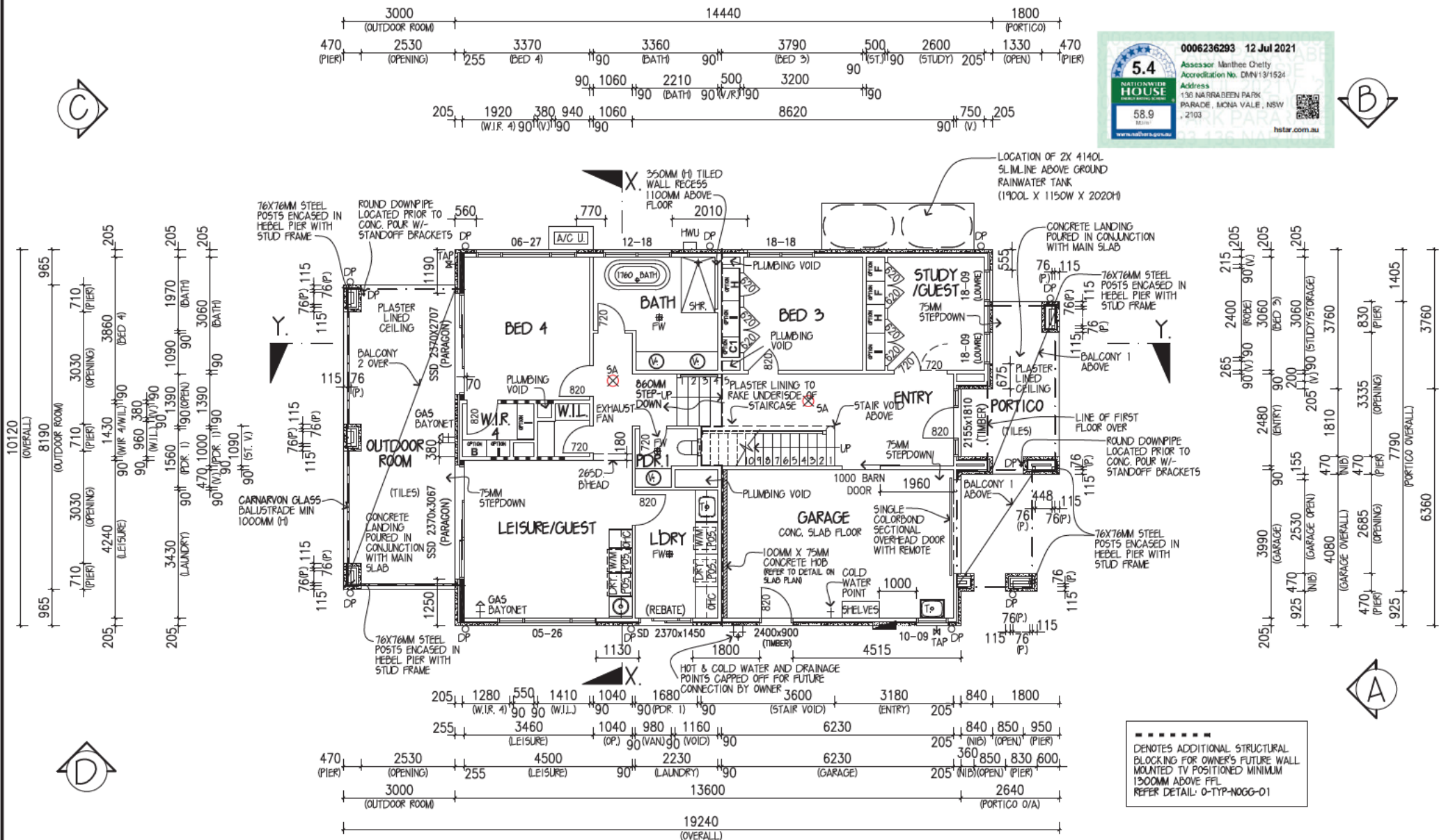
**5.4**  
NATIONAL HOUSE  
www.nationalhouse.com.au

**0006236293 12 Jul 2021**

Assessor: Manthe Chetty  
Accreditation No. DMN 13/1524

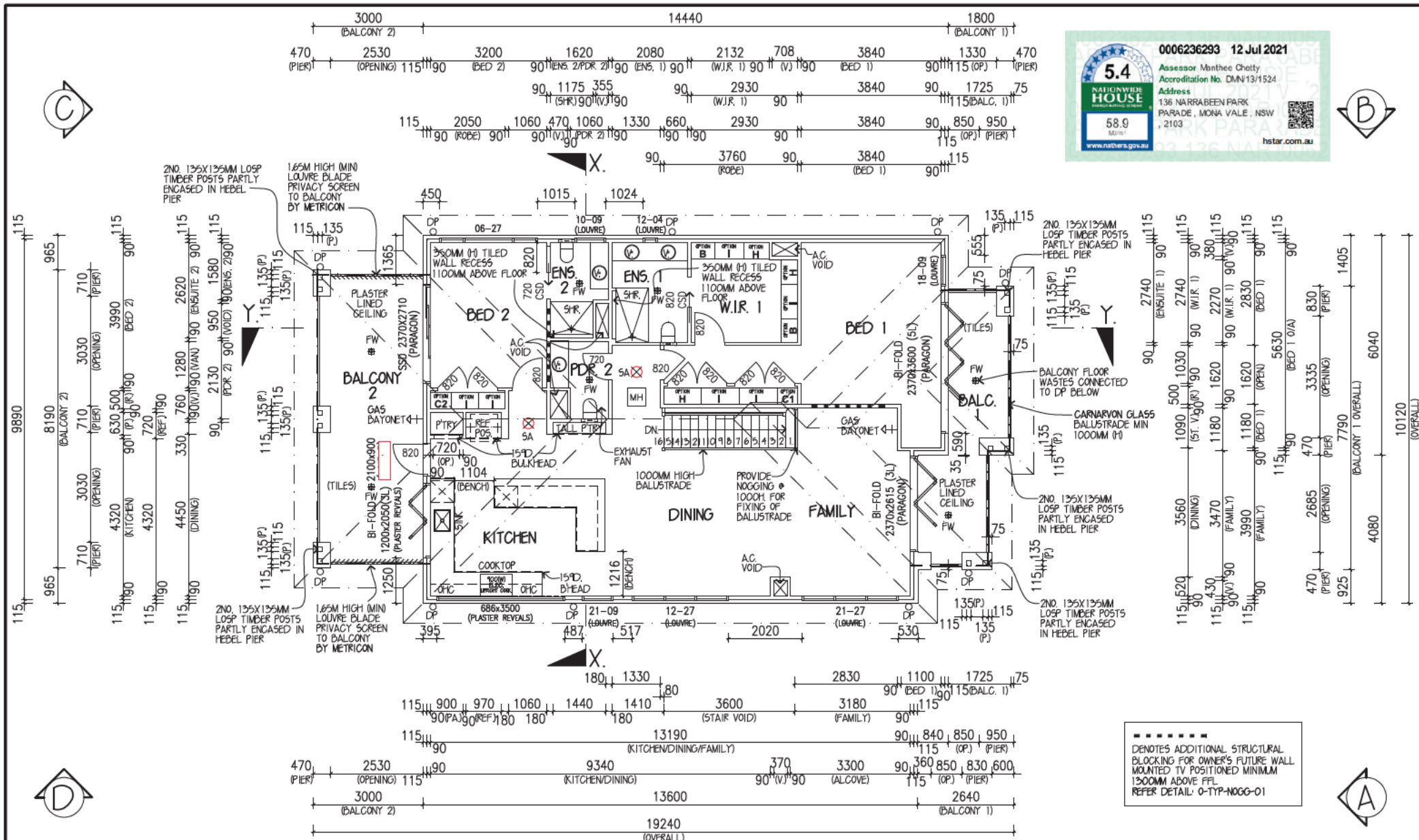
Address:  
136 NARRABEEN PARK  
PARADE, MONA VALE, NSW  
2103

hstar.com.au




















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DENOTES ADDITIONAL STRUCTURAL  
BLOCKING FOR OWNER'S FUTURE WALL  
MOUNTED TV POSITIONED MINIMUM  
1300MM ABOVE FFL  
REFER DETAIL: O-TYP-N0GG-01

SYMBOL LEGEND		AREAS:		DESIGN: ALTO 33		FREEDOM		OWNER: [REDACTED]	
	DOWNPIPE 90mm ROUND PVC		GARDEN TAP	GRD FLR:	113.80 50M	FACADE: PENINSULA		LOT 40, NO.136 NARRADEEN PARK PARADE	
	DOWNPIPE 100x50mm RECT. C/BOND		GAS BAYONET	FIRST FLR:	142.87 50M	GARAGE SINGLE		MONA VALE	
	DOWNPIPE WITH SPREADER		COLD WATER POINT			LOCATION: F			
	DOWNPIPE WITH RAINWATER HEAD		FLOOR WASTE	BALC. 1:	14.00 50M	GROUND FLOOR PLAN		BY METRICON	
	EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1688.2.		DISCONNECTED GULLY	BALC. 2:	23.29 50M			Buld. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Northwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	
	MANHOLE FOR CEILING ACCESS		ELEC. METERBOX 600x600 RECESSED	SUBTOTAL:	256.67 50M	METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.		JOB No: 704711	
	SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.E.C.C. 3.7.2 & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED		AIR COND. UNIT	TOTAL:	355.78 50M			DATE: 25.09.2019	
	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS		LOAD BEARING WALL					FC DATE: 25.05.2020	
			70mm STUD WALL					MST VER: 04.12.2018	
			120mm STUD WALL					SCALE: 1:100 ON A3 SHEET	
								REVISION: G	
								DRAWN: ALM	
								CHECK: DUM	
								SHEET: 2 of 11	



**0006236293 12 Jul 2021**  
 Assessor: Manthee Chetty  
 Accreditation No: DMN13/1524  
 Address:  
 136 NARRABEEN PARK  
 PARADE, MONA VALE, NSW  
 2103  
 hstar.com.au

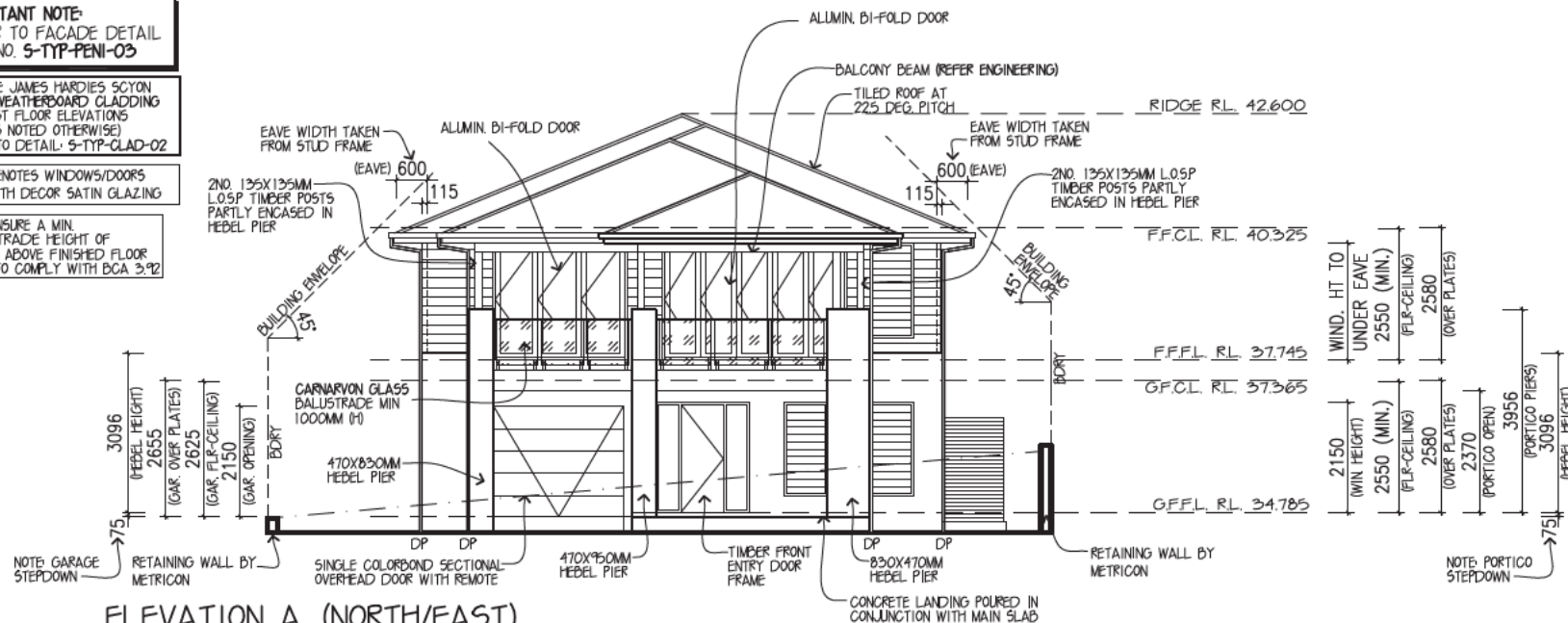
<b>SYMBOL LEGEND</b>			<b>MANHOLE</b> FOR CEILING ACCESS			DESIGN: <b>ALTO 33</b>		<b>FREEDOM</b>   <b>m</b> metricon		OWNER: <b>LOT 40, NO.136 NARRABEEN PARK PARADE</b> <b>MONA VALE</b>			
	DOWNPIPE 90mm ROUND PVC		GARDEN TAP		GAS BAYONET		SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.E.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED	FACADE: <b>PENINSULA</b>		CEILING 25, R			
	DOWNPIPE 100x50mm RECT. C/BOND		COLD WATER POINT		FLOOR WASTE		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS	GARAGE SINGLE		LOCATION: F			
	DOWNPIPE WITH SPREADER		DISCONNECTED GULLY		ELEC. METERBOX 600x600 RECESSED		LOAD BEARING WALL	<b>FIRST FLOOR PLAN</b>		BY METRICON			
	DOWNPIPE WITH RAINWATER HEAD		AIR COND. UNIT		70mm STUD WALL		120mm STUD WALL			Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000    Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes			
	EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1688.2.									JOB No: <b>704711</b>		DATE: 25.09.2019	
										FC DATE: 25.05.2020		MST VER: 04.12.2018	
										SCALE: 1:100 ON A3 SHEET		REVISION: <b>G</b>	
										DRAWN: ALM		CHECK: DUM	
												SHEET: 3 of 11	

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. 5-TYP-PENI-03

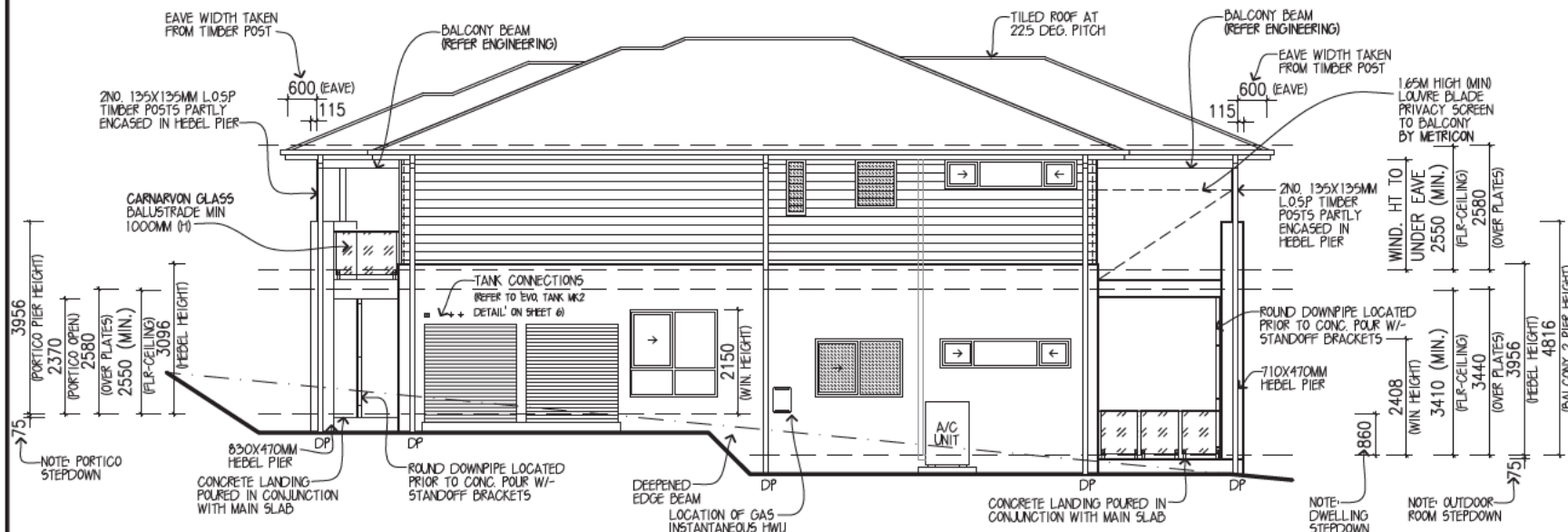
PROVIDE JAMES HARDIES SCYON  
LINEA WEATHERBOARD CLADDING  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: 5-TYP-CLAD-02

DENOTES WINDOWS/DOORS  
WITH DECOR SATIN GLAZING

NOTE ENSURE A MIN.  
BALUSTRADE HEIGHT OF  
1000MM ABOVE FINISHED FLOOR  
LEVEL TO COMPLY WITH BCA 3.9.2



ELEVATION A. (NORTH/EAST)



ELEVATION B. (NORTH/WEST)

## SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT
	DOWNPIPE W/- RAINWATER HEAD		WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	ROOF VENTILATOR		



DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING 25, R

GARAGE: SINGLE LOCATION: F

## ELEVATIONS

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BY METRICON

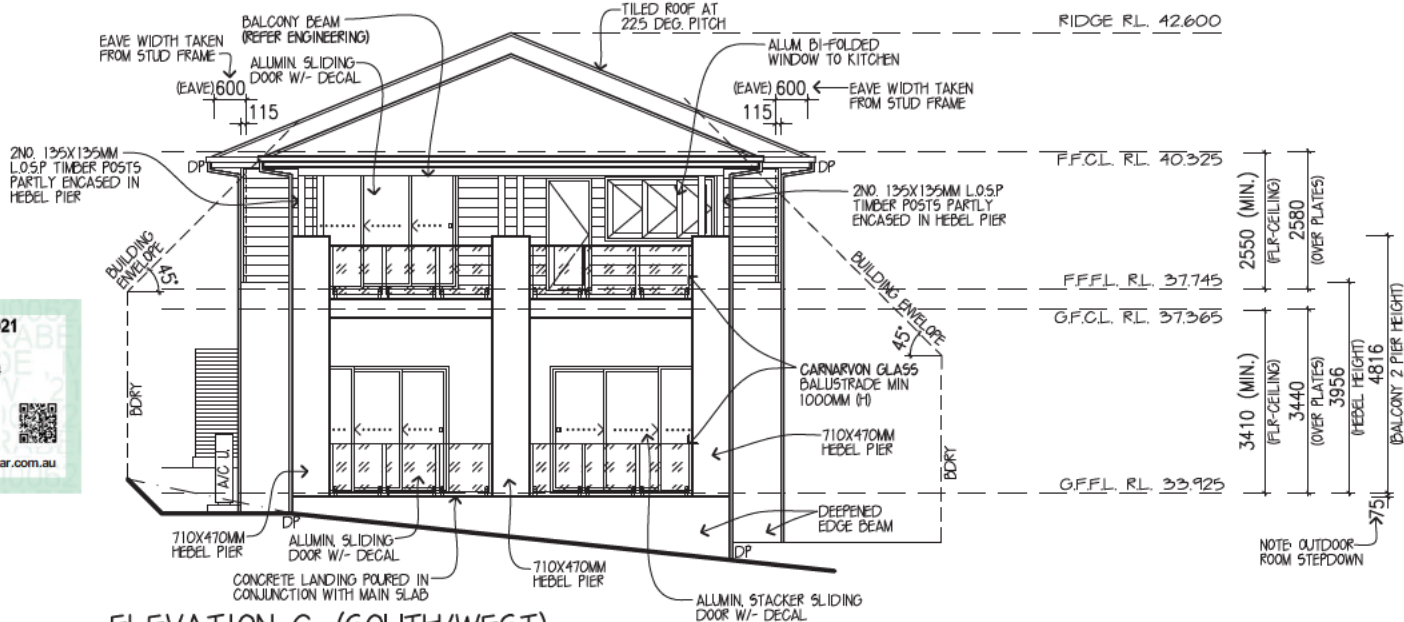
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OWNER: **LOT 40, NO.136 NARRABEEN PARK PARADE MONA VALE**

JOB No: <b>704711</b>	DATE: 25.09.2019
FC DATE: 25.05.2020	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: <b>G</b>
DRAWN: ALM	CHECK: DUM
SHEET: 4 of 11	



PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-GLAD-02



ELEVATION C. (SOUTH/WEST)

## SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT
	DOWNPIPE W/- RAINWATER HEAD		WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	ROOF VENTILATOR		

DESIGN: ALTO 33

FACADE: PENINSULA CEILING 25, R

GARAGE: SINGLE LOCATION: F

## ELEVATIONS

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**FREEDOM** | **m** metricon

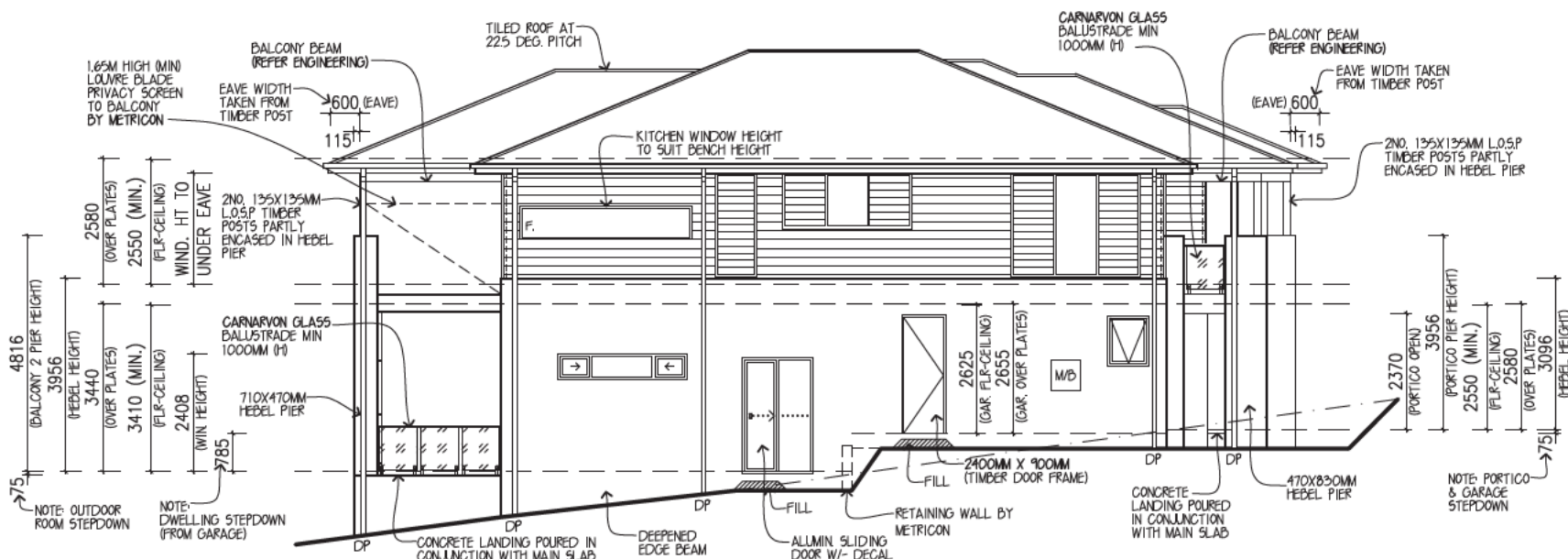
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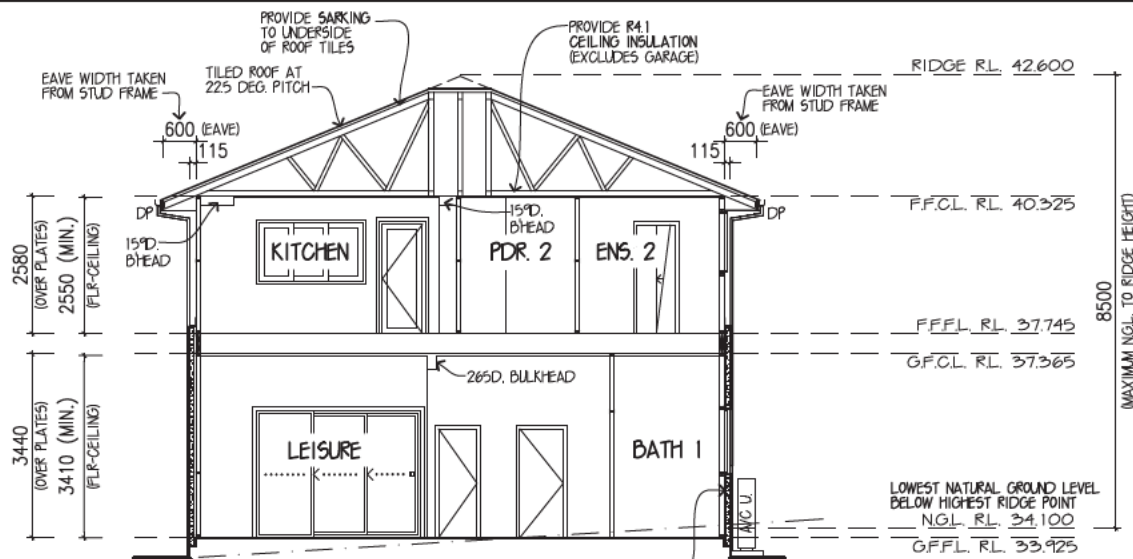
OWNER: [REDACTED]

LOT 40, NO. 136 NARRABEEN PARK PARADE  
MONA VALE

JOB No: 704711	DATE: 25.09.2019
FC DATE: 25.05.2020	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: G
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SHEET: 5 of 11	



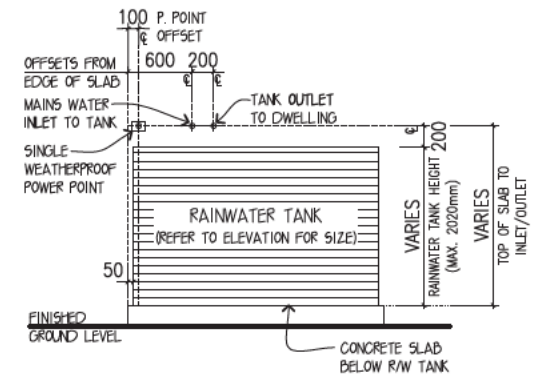
ELEVATION D. (SOUTH/EAST)



SECTION X-X

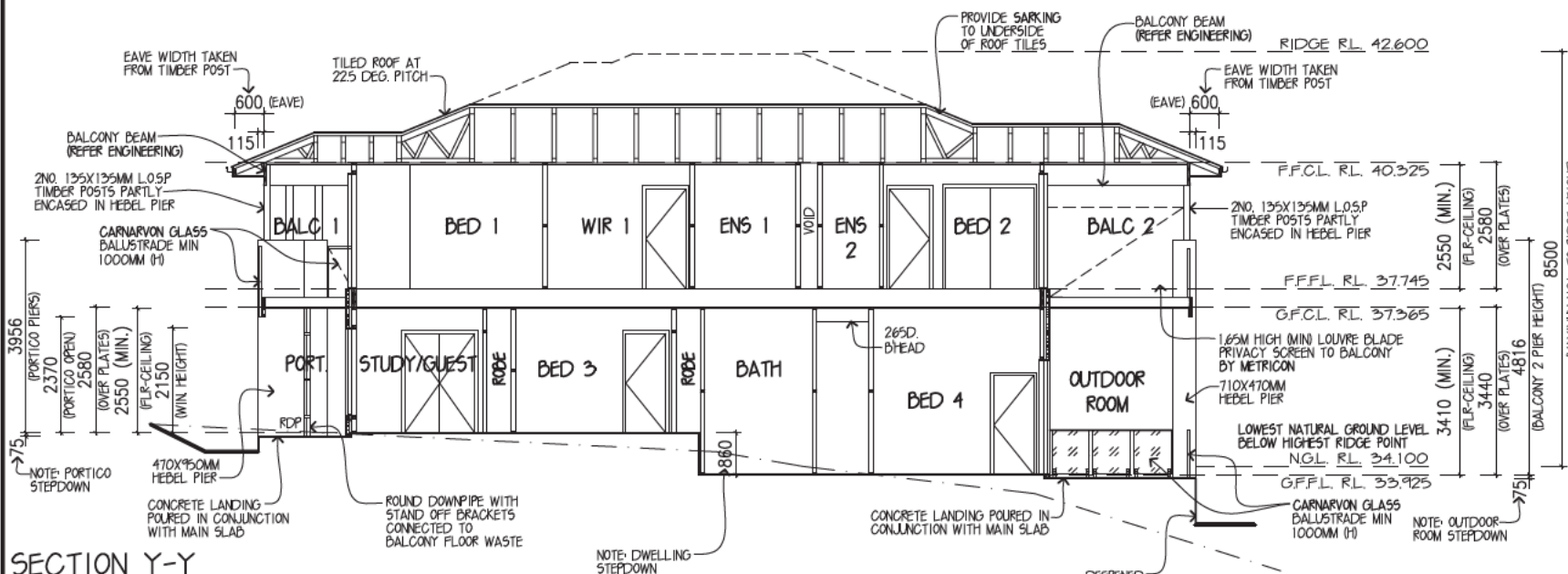
PROVIDE SISALATION WALL WRAP AND R2.0 INSULATION BATTS TO EXTERNAL WALLS (INCL. R2.0 INSULATION BATTS TO GARAGE/HOUSE INTERNAL WALL EXC. GARAGE EXTERNAL WALL)

PROVIDE R3.1 110MM (T) SOUNDSCREEN ACOUSTIC INSULATION BATTS TO CEILINGS BETWEEN GROUND & FIRST FLOOR (EXCLUDES BALCONY 1 & 2)



ROUGH-IN POSITIONING  
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL  
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)



SECTION Y-Y

DESIGN: <b>ALTO 33</b>
FACADE: <b>PENINSULA</b> CEILING 25, R
GARAGE: SINGLE      LOCATION: F
<b>SECTION</b>
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OWNER: <b>LOT 40, NO.136 NARRABEEN PARK PARADE MONA VALE</b>
JOB No: <b>704711</b> DATE: 25.09.2019
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SCALE: 1:100 ON A3 SHEET      REVISION: <b>G</b>
DRAWN: ALM      CHECK: DUM      SHEET: 6 of 11