



northern
beaches
council



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT












DA2019/1522























AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

GENERAL NOTE:
COMPLIANCE
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.
BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE

REFERRALS
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
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PD	PIVOT DOOR
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GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
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	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE



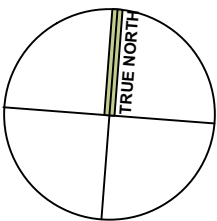
VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.



amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE

PROJECT

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

PROPOSED LOT AMALGAMATION PLAN

DATE

12/12/2019

REVISION NUMBER

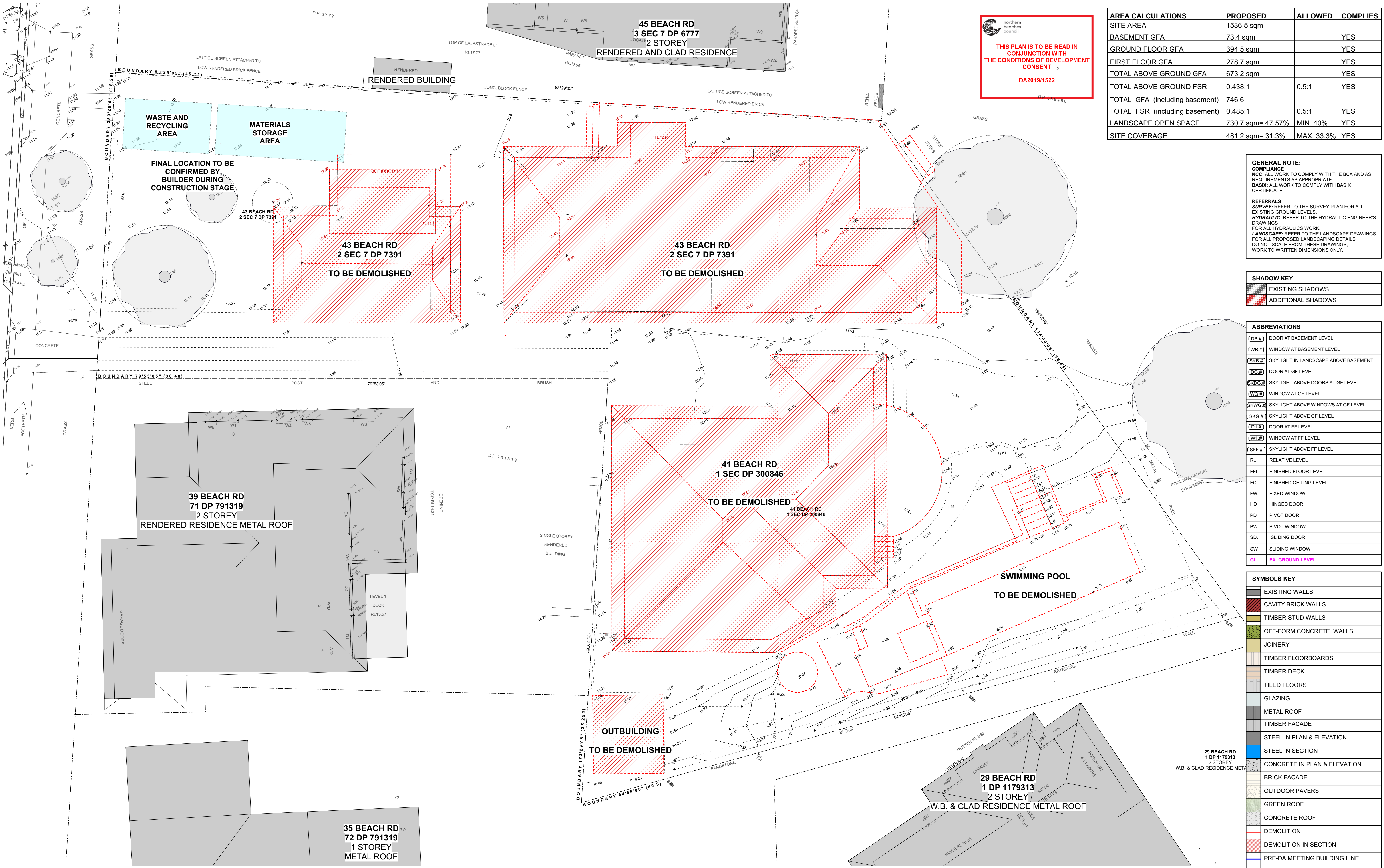
A

SCALE:

1:250 at A1 &
1:500 at A3

DRAWING NO.

DAE 120



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DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

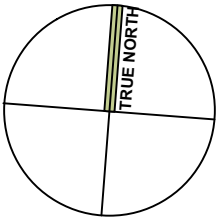
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	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
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	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
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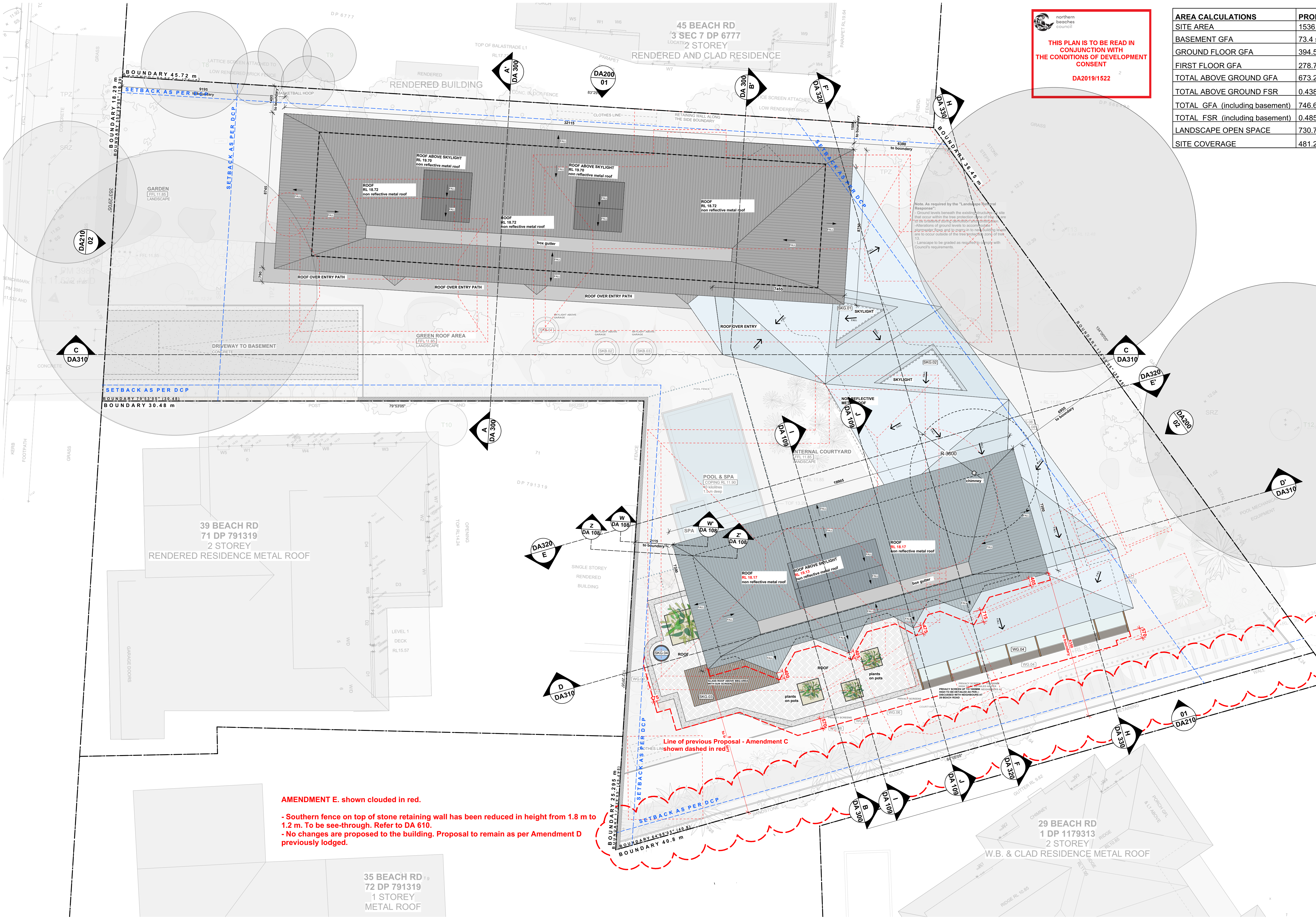
amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
</		

PROJECT		DATE	REVISION NUMBER
41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391		12/12/2019	A
DRAWING TITLE		SCALE:	DRAWING NO.
DEMOLITION AND WASTE MANAGEMENT PLAN		1:100 at A1 & 1:200 at A3	DAE 130

VIRGINIA KERRIDGE ARCHITECT

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 **northern beaches council**



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









DA2019/1522























AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
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BASEMENT GFA	73.4 sqm		YES
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	EXISTING SHADOWS
	ADDITIONAL SHADOWS

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	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

AMENDMENT E. shown clouded in red.

- Southern fence on top of stone retaining wall has been reduced in height from 1.8 m to 1.2 m. To be see-through. Refer to DA 610.
- No changes are proposed to the building. Proposal to remain as per Amendment D previously lodged.

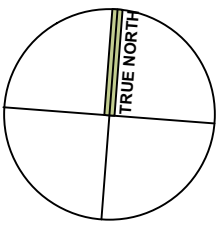
VIRGINIA KERRIDGE ARCHITECT

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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B
22/07/2020	D	DA ISSUE - AMENDMENT D
20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT
41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
SITE & ROOF PLAN

DATE
20/08/2020

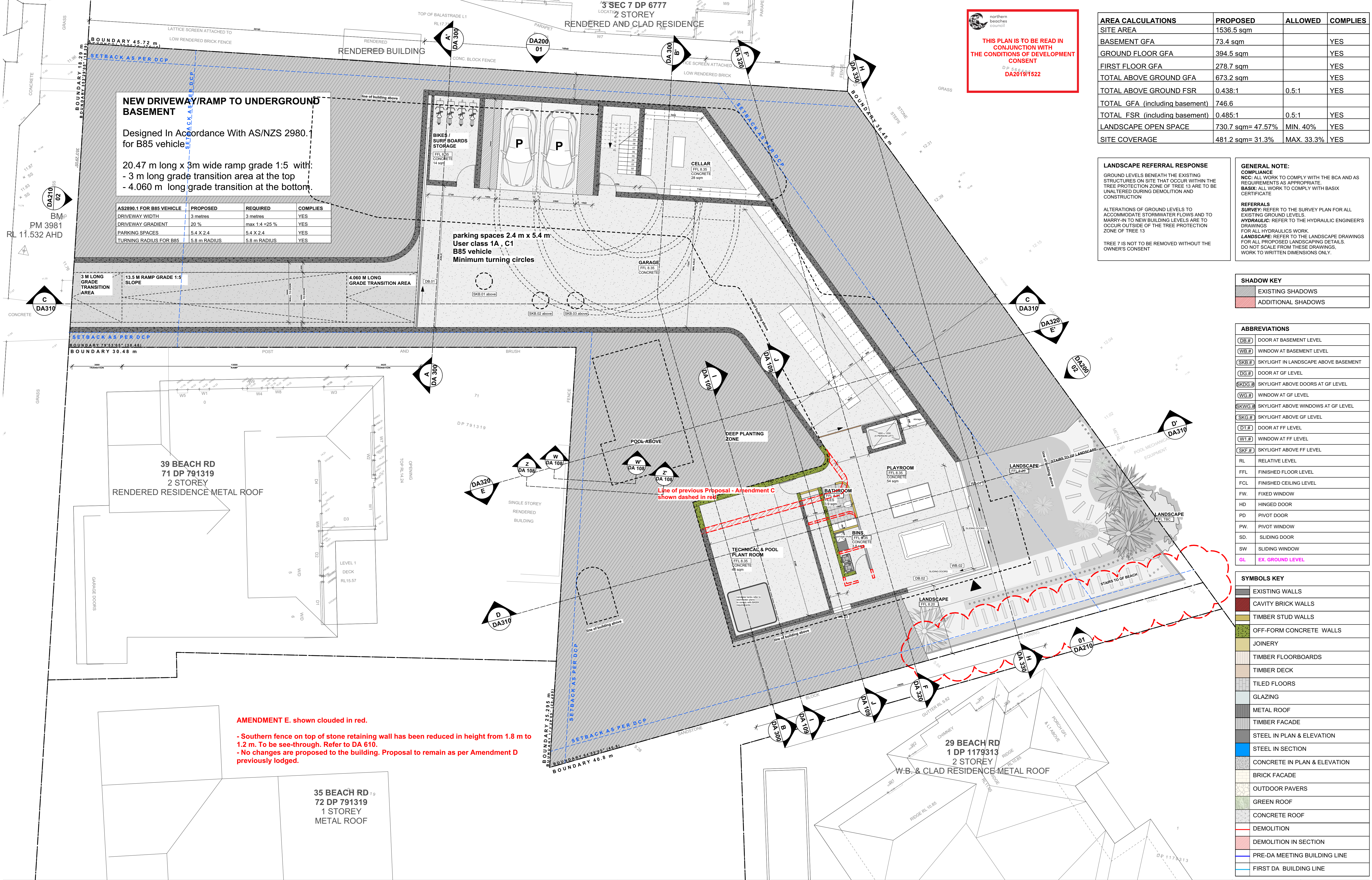
SCALE:
1:100 at A1 &
1:200 at A3

REVISION NUMBER

E

DRAWING NO.

DA 100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
D P 566 9 9 9
DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
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SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

LANDSCAPE REFERRAL RESPONSE	GENERAL NOTE:
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GROUND LEVELS BENEATH THE EXISTING STRUCTURES ON SITE THAT OCCUR WITHIN THE TREE PROTECTION ZONE OF TREE 13 ARE TO BE UNALTERED DURING DEMOLITION AND CONSTRUCTION	
ALTERATIONS OF GROUND LEVELS TO ACCOMMODATE STORMWATER FLOWS AND TO MARRY-IN TO NEW BUILDING LEVELS ARE TO OCCUR OUTSIDE OF THE TREE PROTECTION ZONE OF TREE 13	
TREE 7 IS NOT TO BE REMOVED WITHOUT THE OWNER'S CONSENT	

SHADOW KEY
EXISTING SHADOWS
ADDITIONAL SHADOWS

ABBREVIATIONS
(DB.#) DOOR AT BASEMENT LEVEL
(WB.#) WINDOW AT BASEMENT LEVEL
(SKB.#) SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#) DOOR AT GF LEVEL
(SKDG.#) SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#) WINDOW AT GF LEVEL
(SKWG.#) SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SG.#) SKYLIGHT ABOVE GF LEVEL
(DT.#) DOOR AT FF LEVEL
(WT.#) WINDOW AT FF LEVEL
(SKF.#) SKYLIGHT ABOVE FF LEVEL
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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B
22/07/2020	D	DA ISSUE - AMENDMENT D
20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

BASEMENT PLAN PROPOSED

DATE

20/08/2020

SCALE

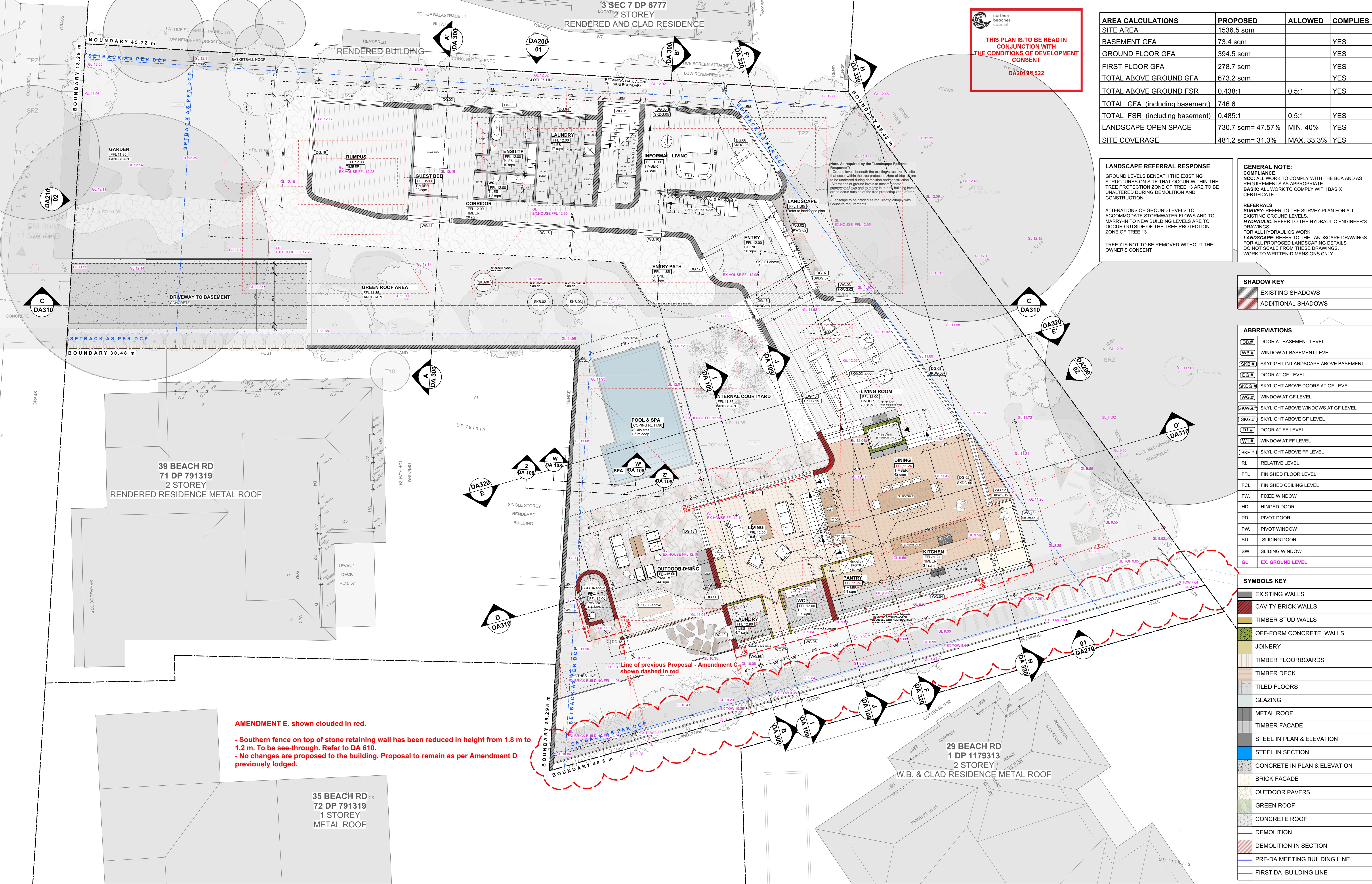
1:100 at A1 &
1:200 at A3

REVISION NUMBER:

E

DRAWING NO.

DA 110



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

LANDSCAPE REFERRAL RESPONSE

GROUND LEVELS BENEATH THE EXISTING STRUCTURES ON SITE THAT OCCUR WITHIN THE TREE PROTECTION ZONE OF TREE 13 ARE TO BE UNALTERED DURING DEMOLITION AND CONSTRUCTION

ALTERATIONS OF GROUND LEVELS TO ACCOMMODATE STORMWATER FLOWS AND TO MARRY-IN TO NEW BUILDING LEVELS ARE TO OCCUR OUTSIDE OF THE TREE PROTECTION ZONE OF TREE 13

TREE 7 IS NOT TO BE REMOVED WITHOUT THE OWNER'S CONSENT

GENERAL NOTE:

COMPLIANCE

NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.

BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE

REFERRALS

SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS

HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.

LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
	RELATIVE LEVEL
	FINISHED FLOOR LEVEL
	FINISHED CEILING LEVEL
	FIXED WINDOW
	HINGED DOOR
	PIVOT DOOR
	PIVOT WINDOW
	SLIDING DOOR
	SLIDING WINDOW
	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES:

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amendments:

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22/07/2020	D	DA ISSUE - AMENDMENT D
20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

GROUND FLOOR PLAN

DATE

20/08/2020

SCALE

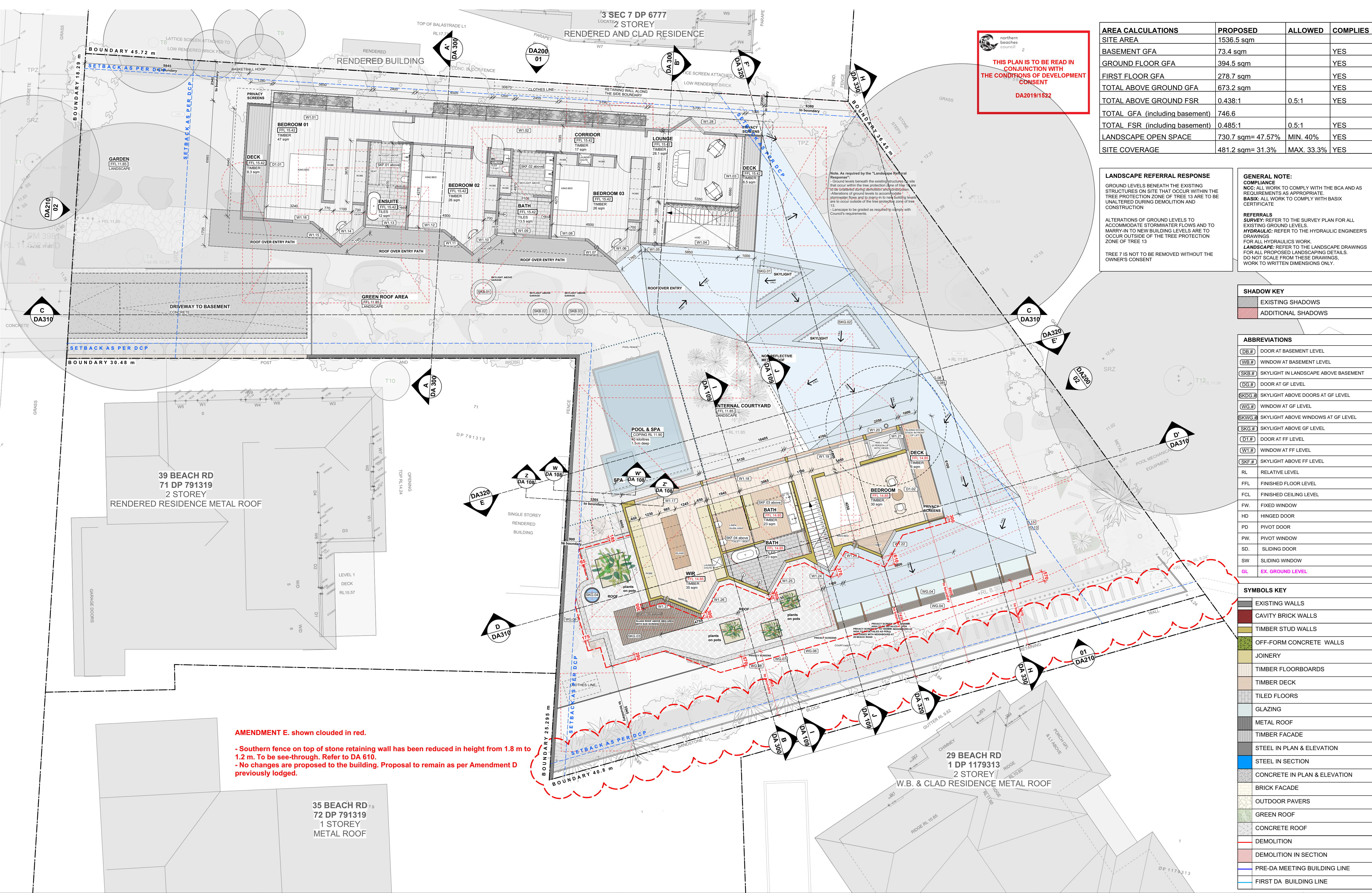
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1:200 at A3

REVISION NUMBER:

E

DRAWING NO.

DA 120



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

LANDSCAPE REFERRAL RESPONSE

GROUND LEVELS BENEATH THE EXISTING STRUCTURES ON SITE THAT OCCUR WITHIN THE TREE PROTECTION ZONE OF TREE 13 ARE TO BE UNALTERED DURING DEMOLITION AND CONSTRUCTION

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TREE 7 IS NOT TO BE REMOVED WITHOUT THE OWNER'S CONSENT

GENERAL NOTE:

COMPLIANCE

NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.

BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE

REFERRALS

SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS

HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK

LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SKG.#)	SKYLIGHT ABOVE GF LEVEL
(DT.#)	DOOR AT FF LEVEL
(WT.#)	WINDOW AT FF LEVEL
(SKF.#)	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FCL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

 northern beaches council



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1522






















AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

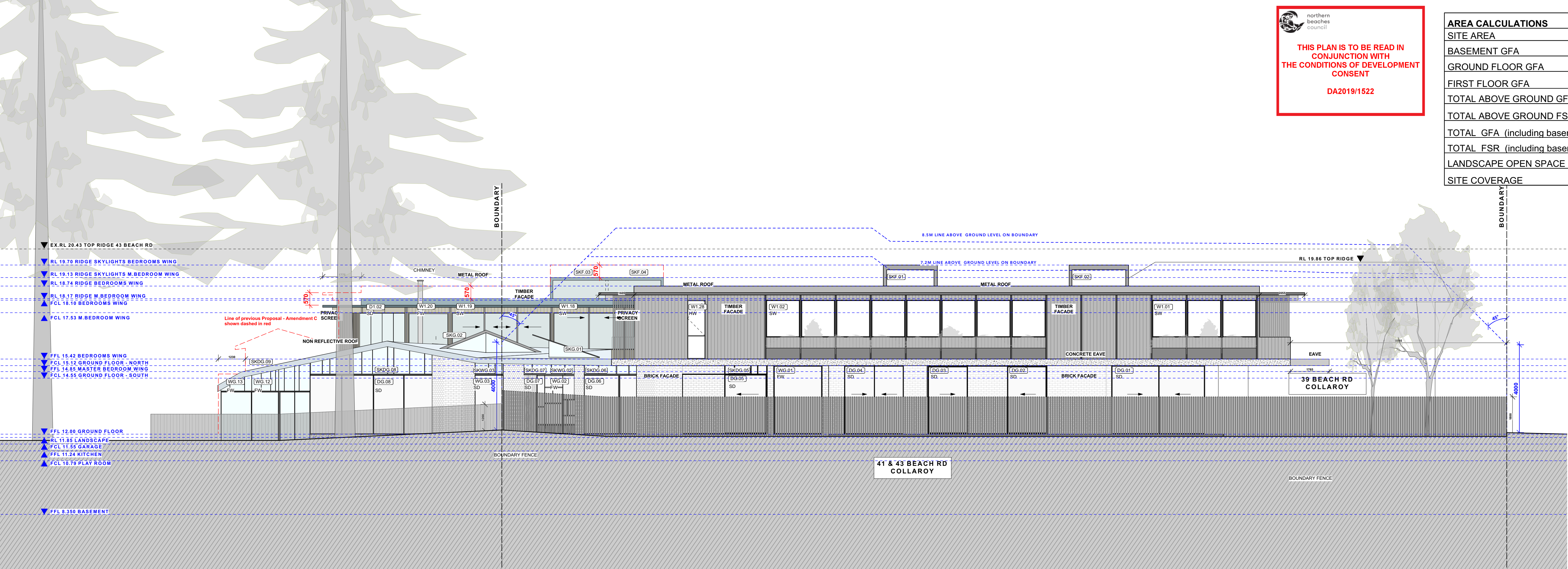
GENERAL NOTE:
COMPLIANCE
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BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE

REFERRALS
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.
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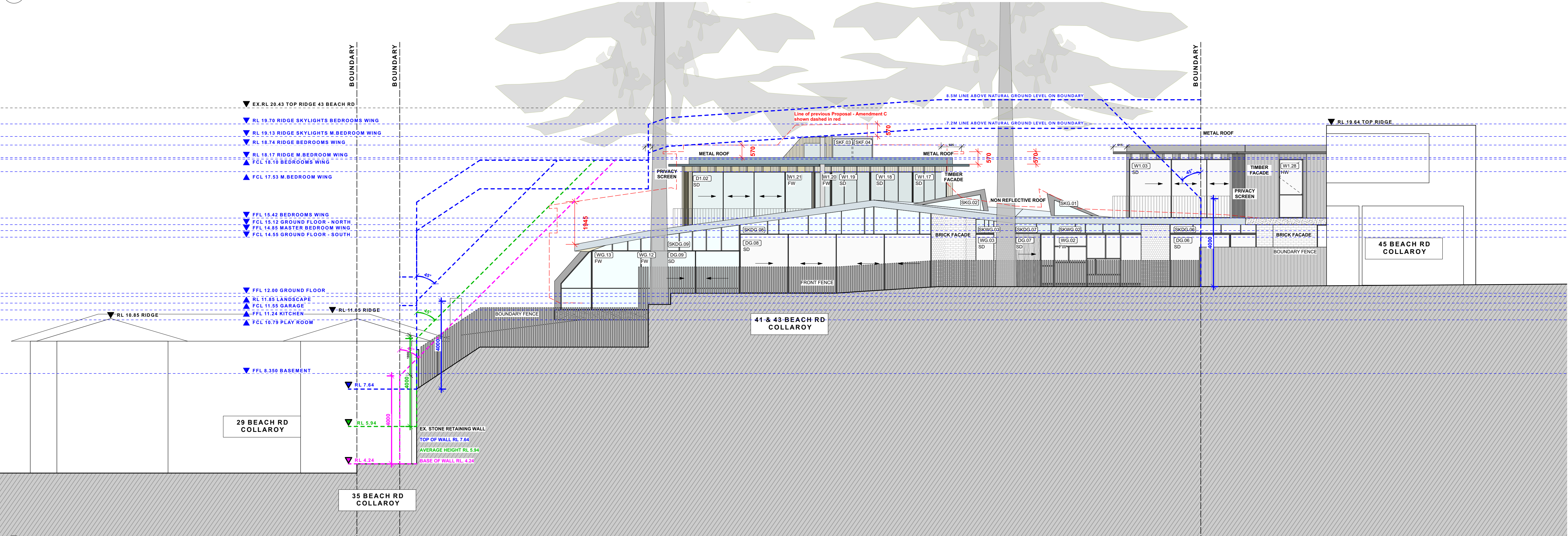
SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
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PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
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SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
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	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE



01 NORTH ELEVATION PROPOSED



02 EAST ELEVATION PROPOSED

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES:

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DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
25/05/2020	B	DA ISSUE - EX. GROUND LEVEL INFORMATION ENHANCED AS REQUIRED BY COUNCIL
03/07/2020	C	DA AMENDMENT C - STONE RETAINING WALL UPDATED. SIDE ENVELOPES UPDATED.
22/07/2020	D	DA ISSUE - AMENDMENT D
20/08/2020	E	DA ISSUE - AMENDMENT E

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
NORTH & EAST ELEVATIONS
PROPOSED

20/08/2020

SCALE
1:100 at A1 &
1:200 at A3

E

DRAWING NO.
DA 200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

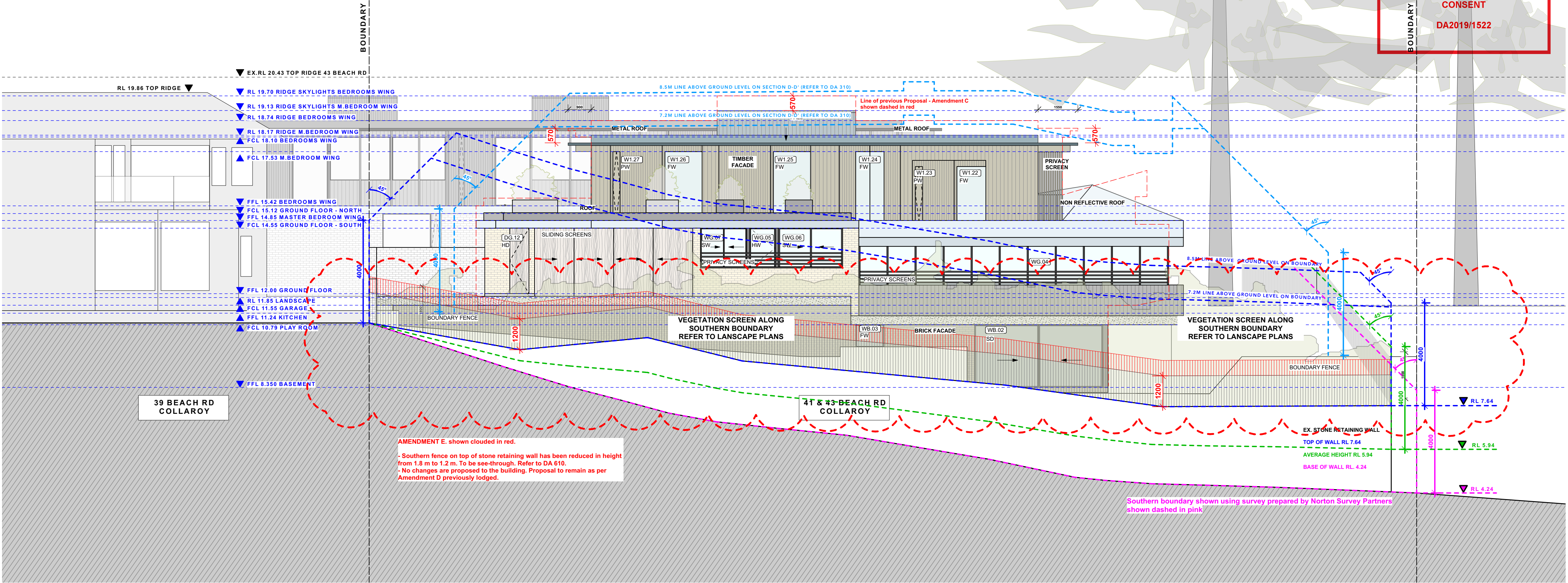
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

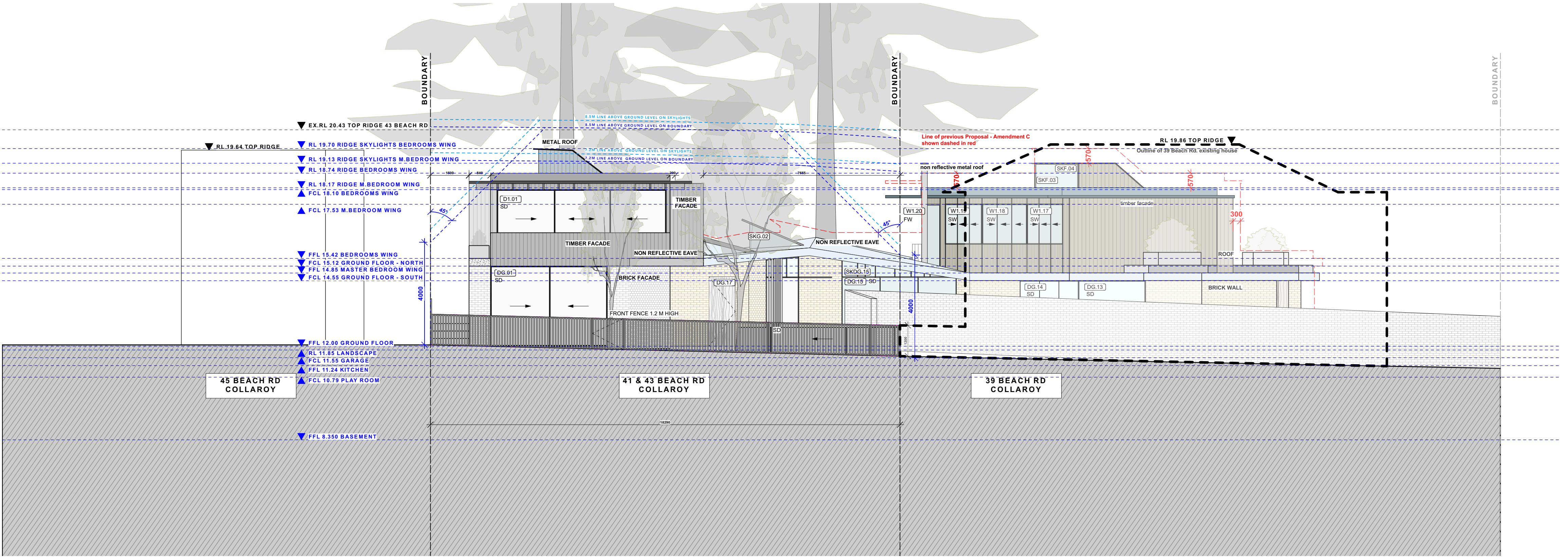
ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
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SYMBOLS KEY	
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	CAVITY BRICK WALLS
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	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

01 SOUTH ELEVATION PROPOSED



02 WEST ELEVATION PROPOSED (FRONT ELEVATION)



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VIRGINIA KERRIDGE ARCHITECT

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info@vk.com.au www.vk.com.au abn 12 083 17 159

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41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
SOUTH & WEST ELEVATIONS
PROPOSED

20/08/2020

SCALE
1:100 at A1 &
1:200 at A3

E

DRAWING NO.
DA 210

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
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SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

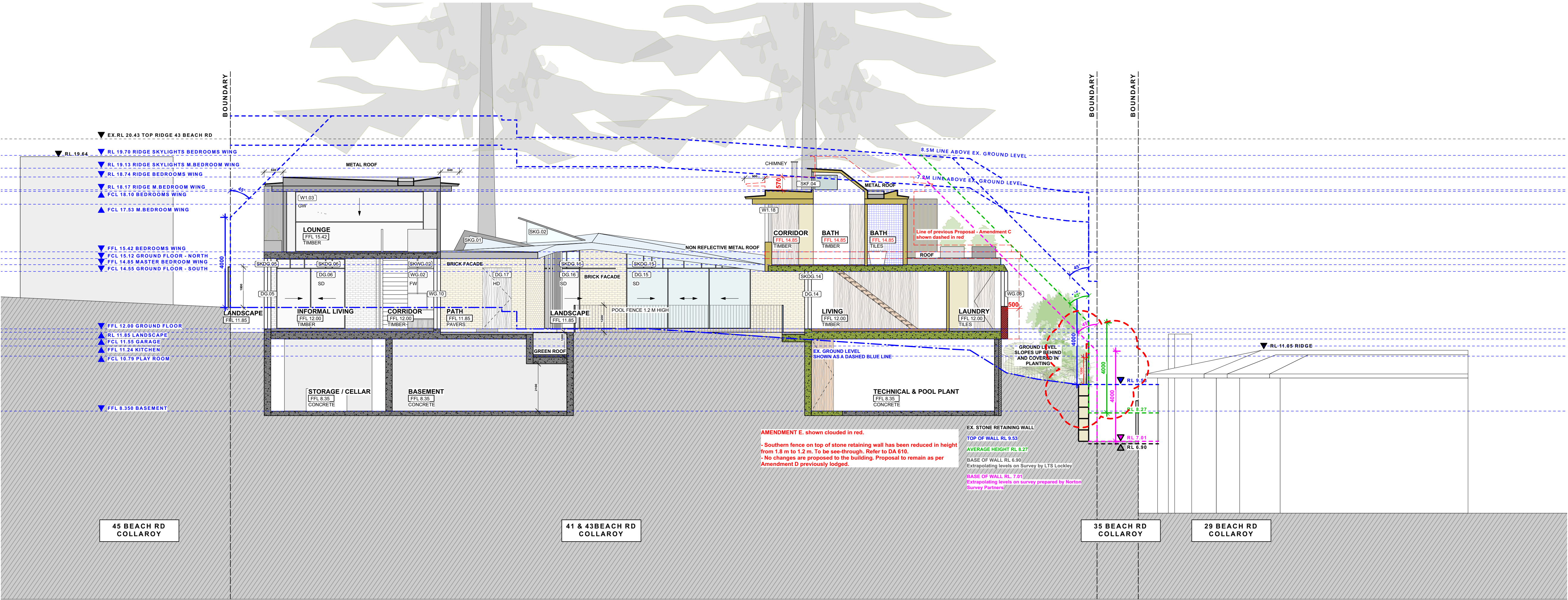
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
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	TIMBER STUD WALLS
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	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

01 SECTION A-A'



02 SECTION B-B'

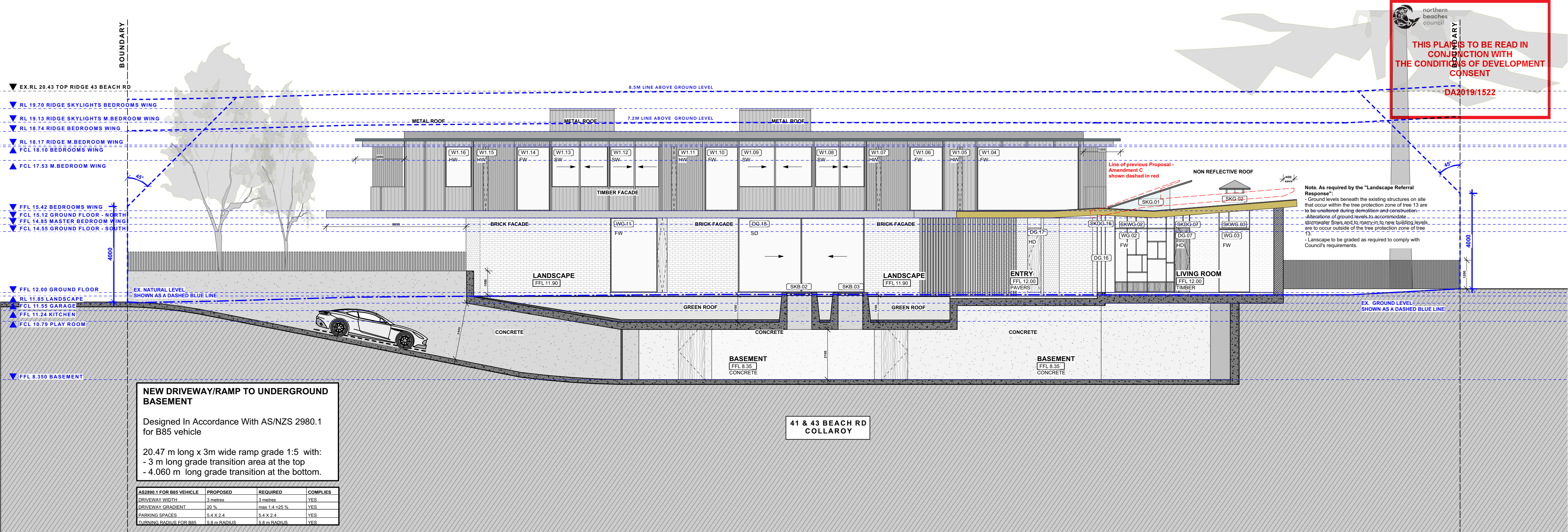
VIRGINIA KERRIDGE ARCHITECT

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amendments:		
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22/07/2020	D	DA ISSUE - AMENDMENT D
30/07/2020	D	DA ISSUE - AMENDMENT D - INTERNAL AREAS SHADED
20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT		DATE	REVISION NUMBER:
41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391		20/08/2020	E
DRAWING TITLE		SCALE	DRAWING NO.
PROPOSED SECTIONS A-A' & B-B'		1:200 at A3 & 1:100 at A1	DA 300



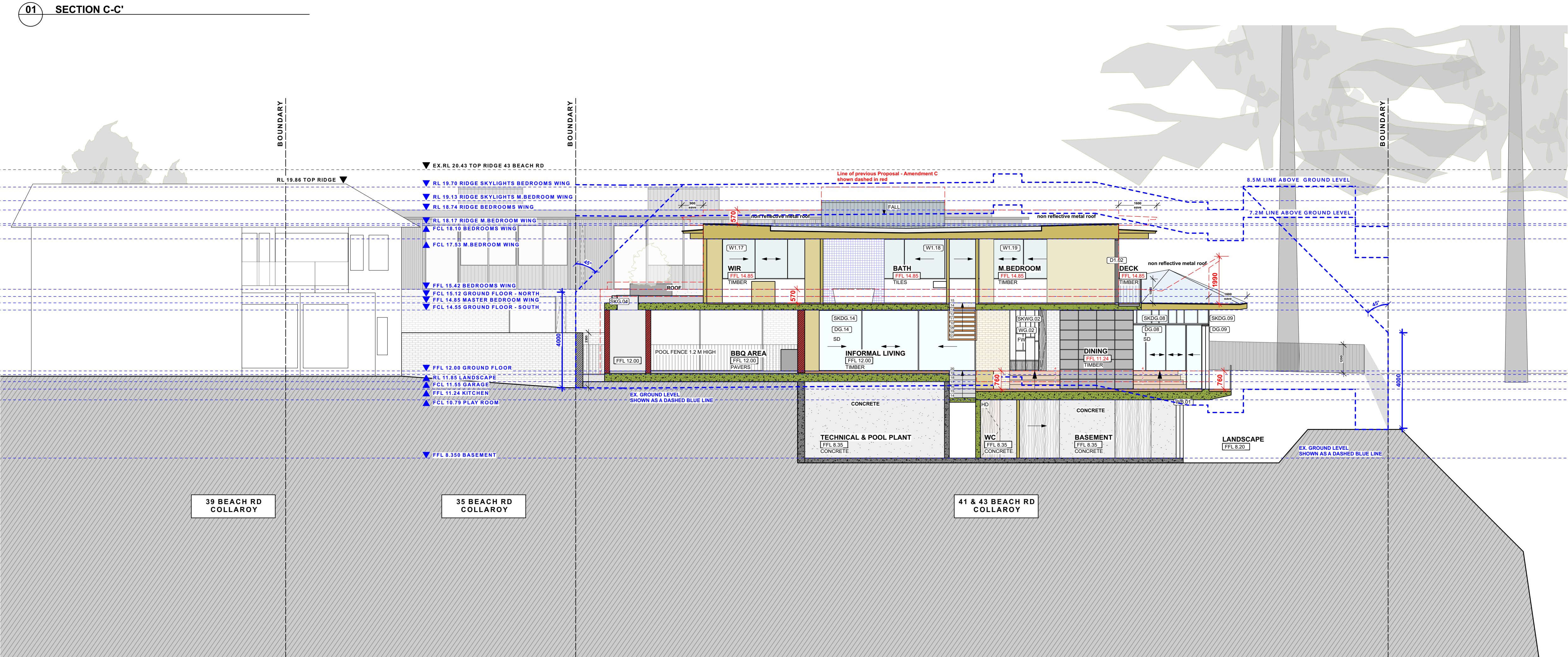
AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

GENERAL NOTE:
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SG.#)	SKYLIGHT ABOVE GF LEVEL
(DT.#)	DOOR AT FF LEVEL
(WT.#)	WINDOW AT FF LEVEL
(SKF.#)	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
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SYMBOLS KEY	
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	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
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	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
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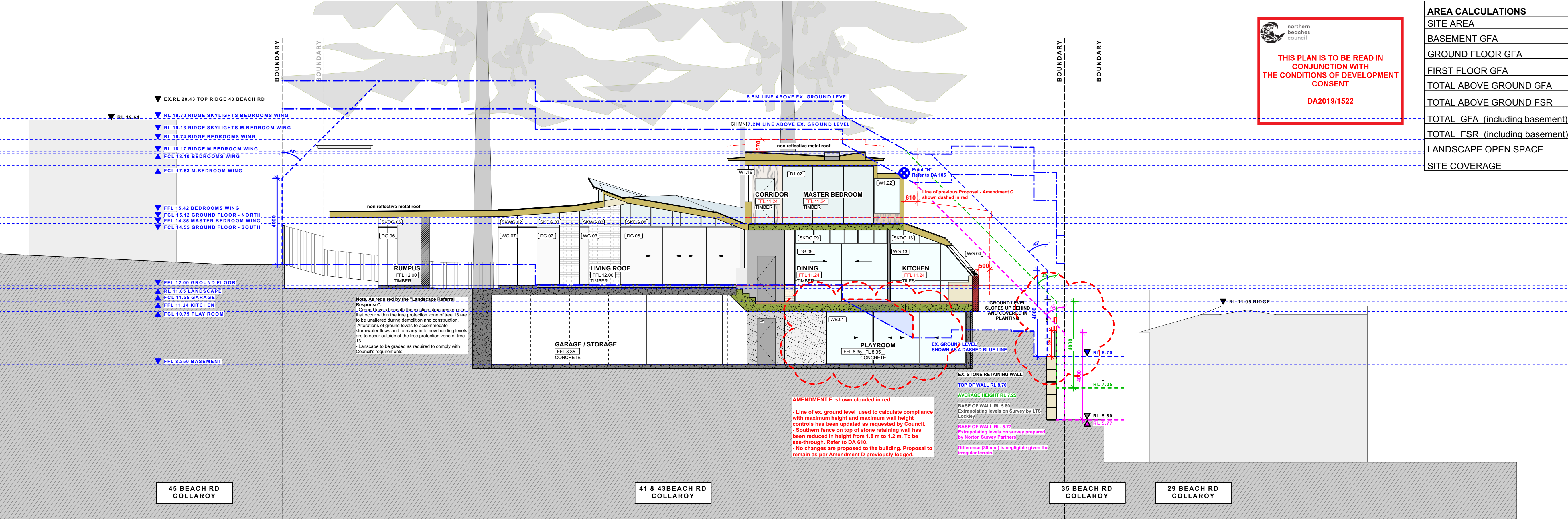


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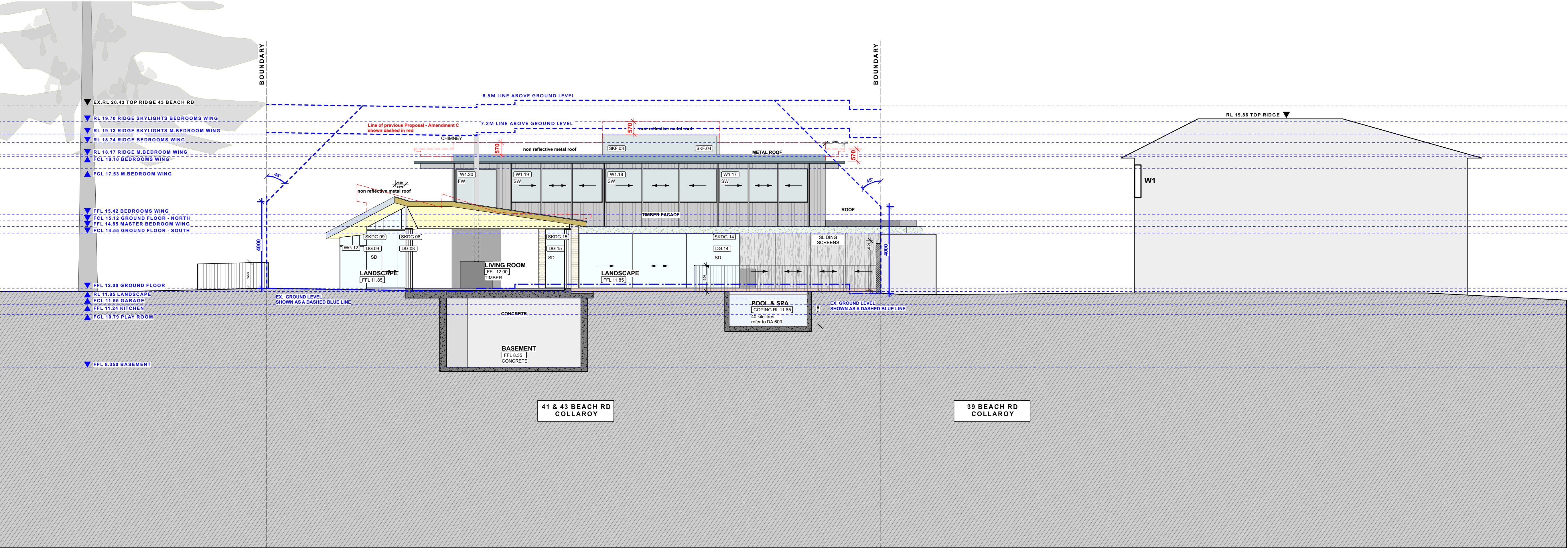
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20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT	
41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	
DRAWING TITLE	
PROPOSED SECTIONS C-C' & D-D'	

DATE	REVISION NUMBER:
20/08/2020	E
SCALE:	DRAWING NO.
1:100 at A1 & 1:200 at A3	DA 310



02 SECTION F-F'



01 SECTION E-E'

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	73.4 sqm		YES
GROUND FLOOR GFA	394.5 sqm		YES
FIRST FLOOR GFA	278.7 sqm		YES
TOTAL ABOVE GROUND GFA	673.2 sqm		YES
TOTAL ABOVE GROUND FSR	0.438:1	0.5:1	YES
TOTAL GFA (including basement)	746.6		
TOTAL FSR (including basement)	0.485:1	0.5:1	YES
LANDSCAPE OPEN SPACE	730.7 sqm= 47.57%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

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VIRGINIA KERRIDGE ARCHITECT

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19/08/2020	E	DA ISSUE - AMENDMENT E - NATURAL GROUND LEVEL UPDATED AS REQUESTED BY COUNCIL

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

PROPOSED SECTIONS E-E' & FF'

DATE
20/08/2020

SCALE
1:100 at A1 &
1:200 at A3

REVISION NUMBER:
E

DRAWING NO.
DA 320

 northern beaches council



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT












DA2019/1522























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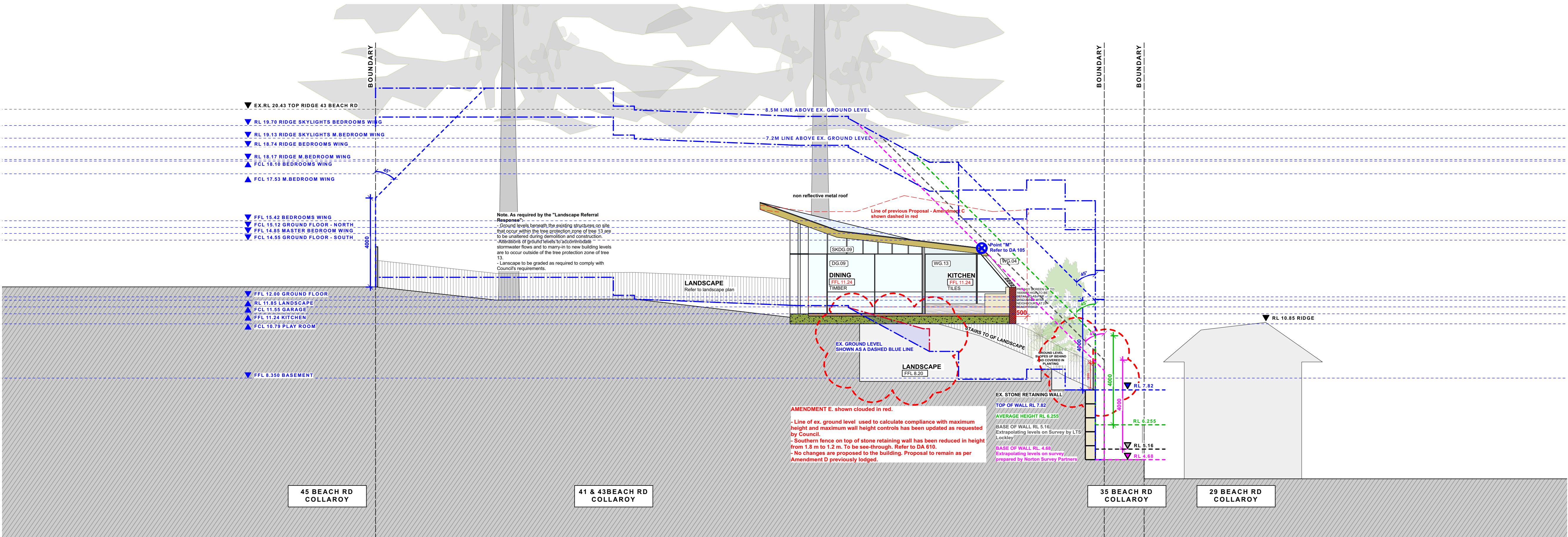
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	ADDITIONAL SHADOWS

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	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
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01 SECTION H-H'

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
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amendments:

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PROJECT

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

PROPOSED SECTION H-H'
INTERNAL AREAS SHADED

DATE

20/08/2020

SCALE

1:200 at A3 &
1:100 at A1

REVISION NUMBER:

E

DRAWING NO.

DA 330



TIMBER PRIVACY SCREENS



NON-REFLECTIVE METAL ROOF



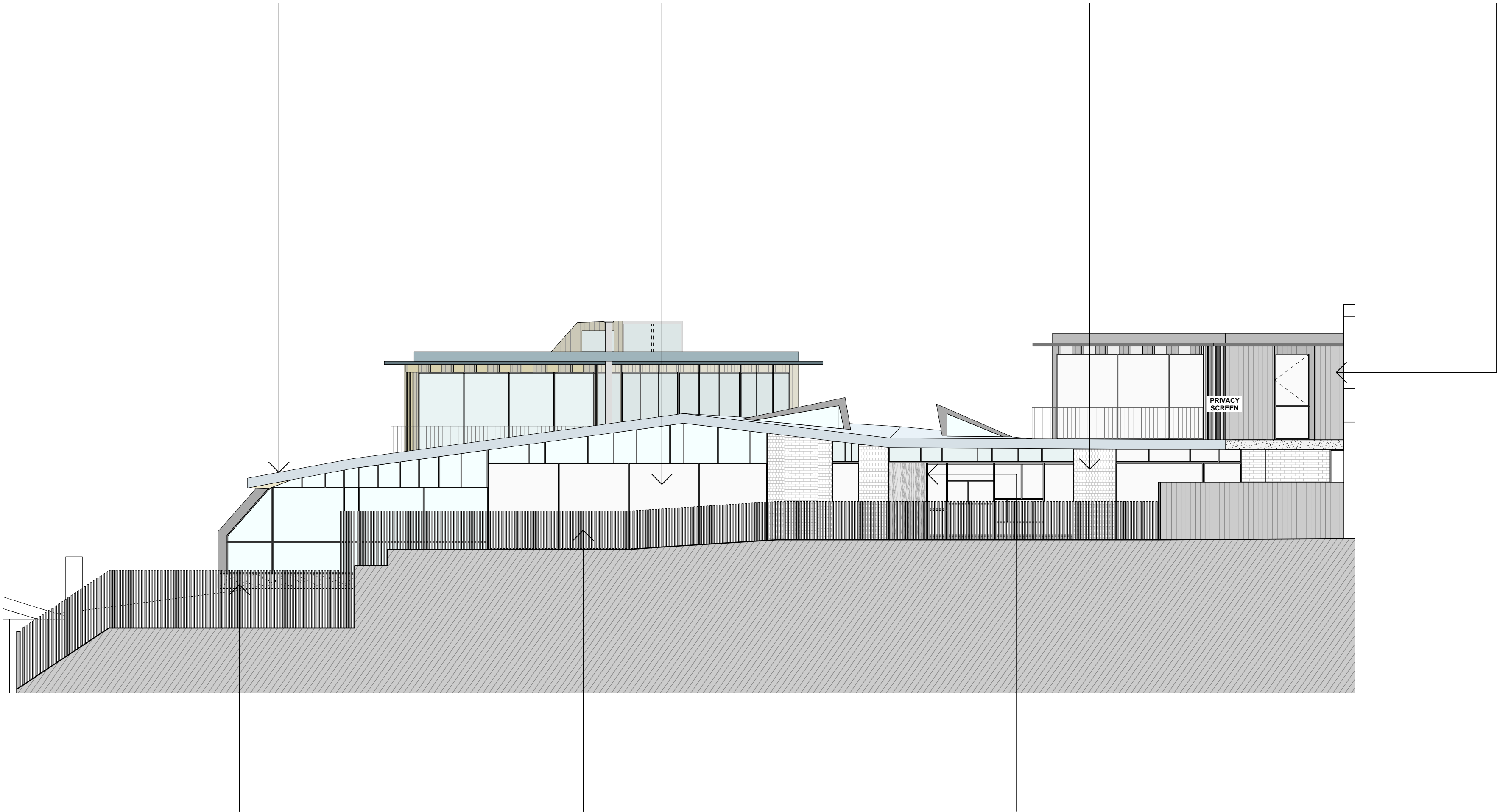
WINDOWS / DOORS - ALUMINIUM FRAME



BRICK WALLS / STRUCTURE



TIMBER CLADDING



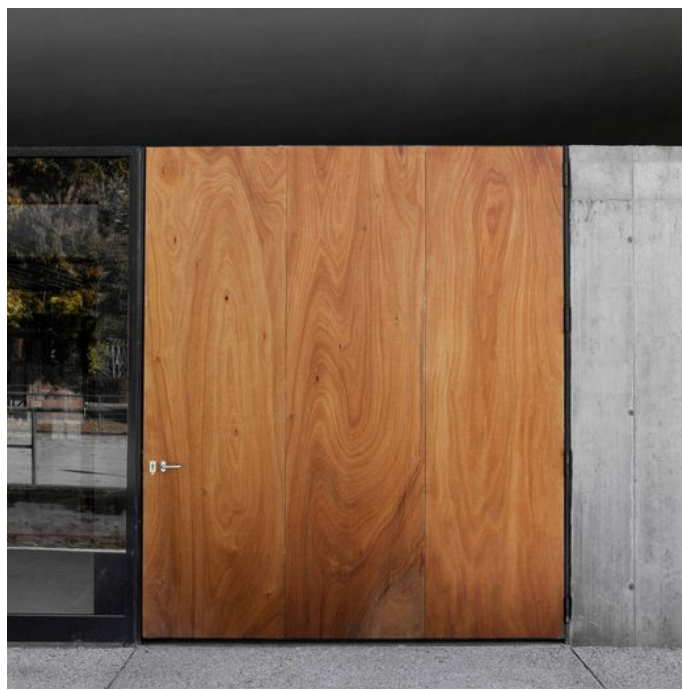
TIMBER DECK



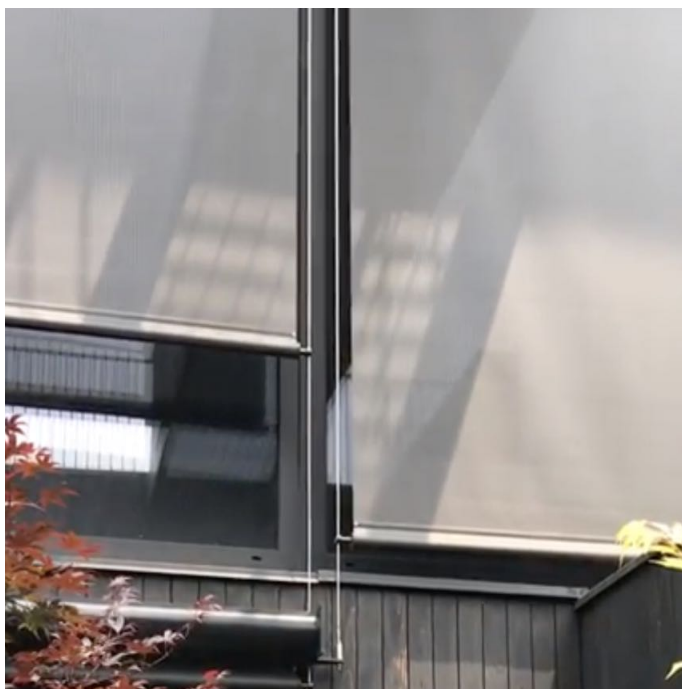
CONCRETE



STEEL / TIMBER BALUSTRADE



TIMBER DOOR



WINDOWS - EXTERNAL BLINDS

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PROJECT

41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

MATERIALS AND FINISHES SCHEDULE

DATE

20/08/2020

SCALE

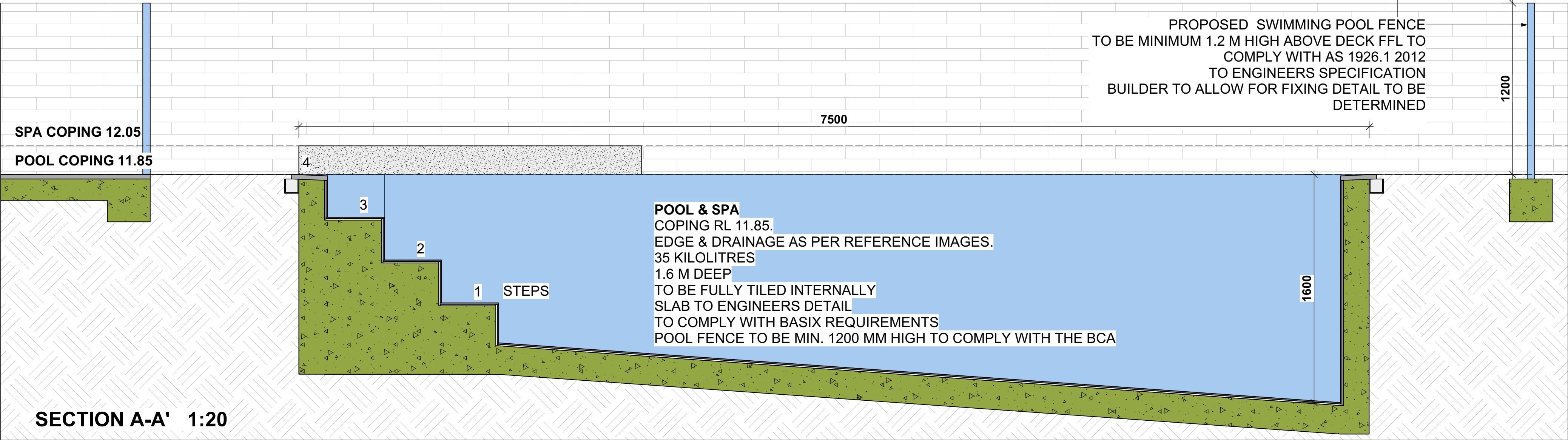
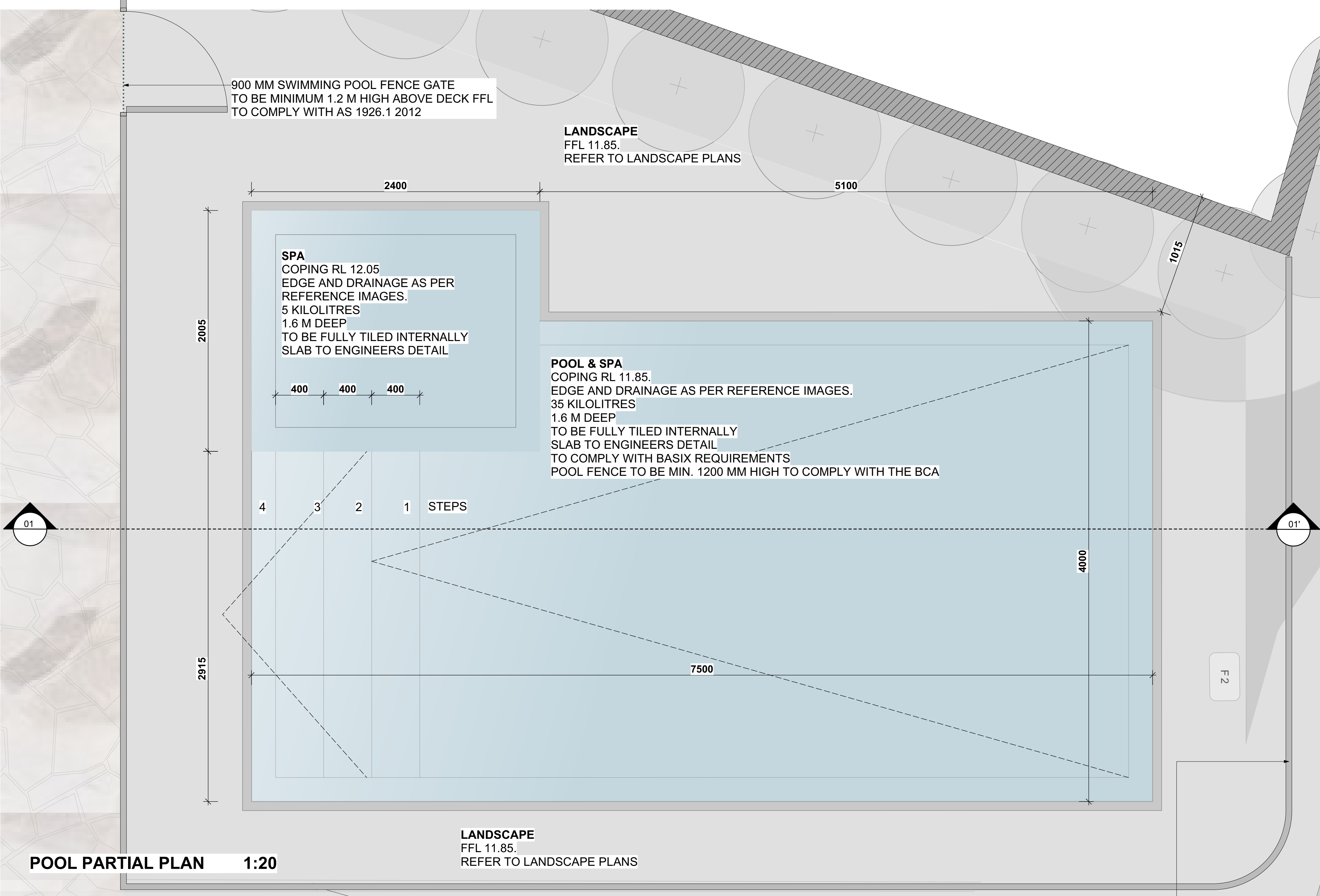
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REVISION NUMBER:

E



DRAWING NO.

DA 400





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DA2019/1522

GENERAL NOTE:
COMPLIANCE
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS
REQUIREMENTS AS APPROPRIATE.
BASIX: ALL WORK TO COMPLY WITH BASIX
CERTIFICATE
REFERRALS
SURVEY: REFER TO THE SURVEY PLAN FOR ALL
EXISTING GROUND LEVELS.
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S
DRAWINGS
FOR ALL HYDRAULICS WORK.
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS
FOR ALL PROPOSED LANDSCAPING DETAILS.
DO NOT SCALE FROM THESE DRAWINGS,
WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SKG.#)	SKYLIGHT ABOVE GF LEVEL
(DT.#)	DOOR AT FF LEVEL
(WT.#)	WINDOW AT FF LEVEL
(SKF.#)	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES:

THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY

REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS.
REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS.
REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS.
REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
20/08/2020	E	DA ISSUE - AMENDMENT E

PROJECT
41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
SWIMMING POOL PLANS

DATE

20/08/2020

SCALE

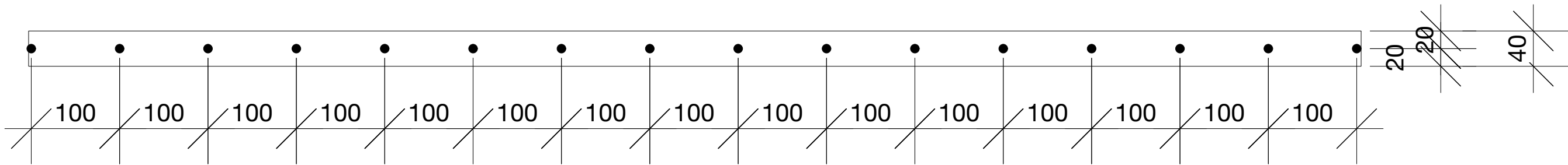
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1:40 at A3

REVISION NUMBER:

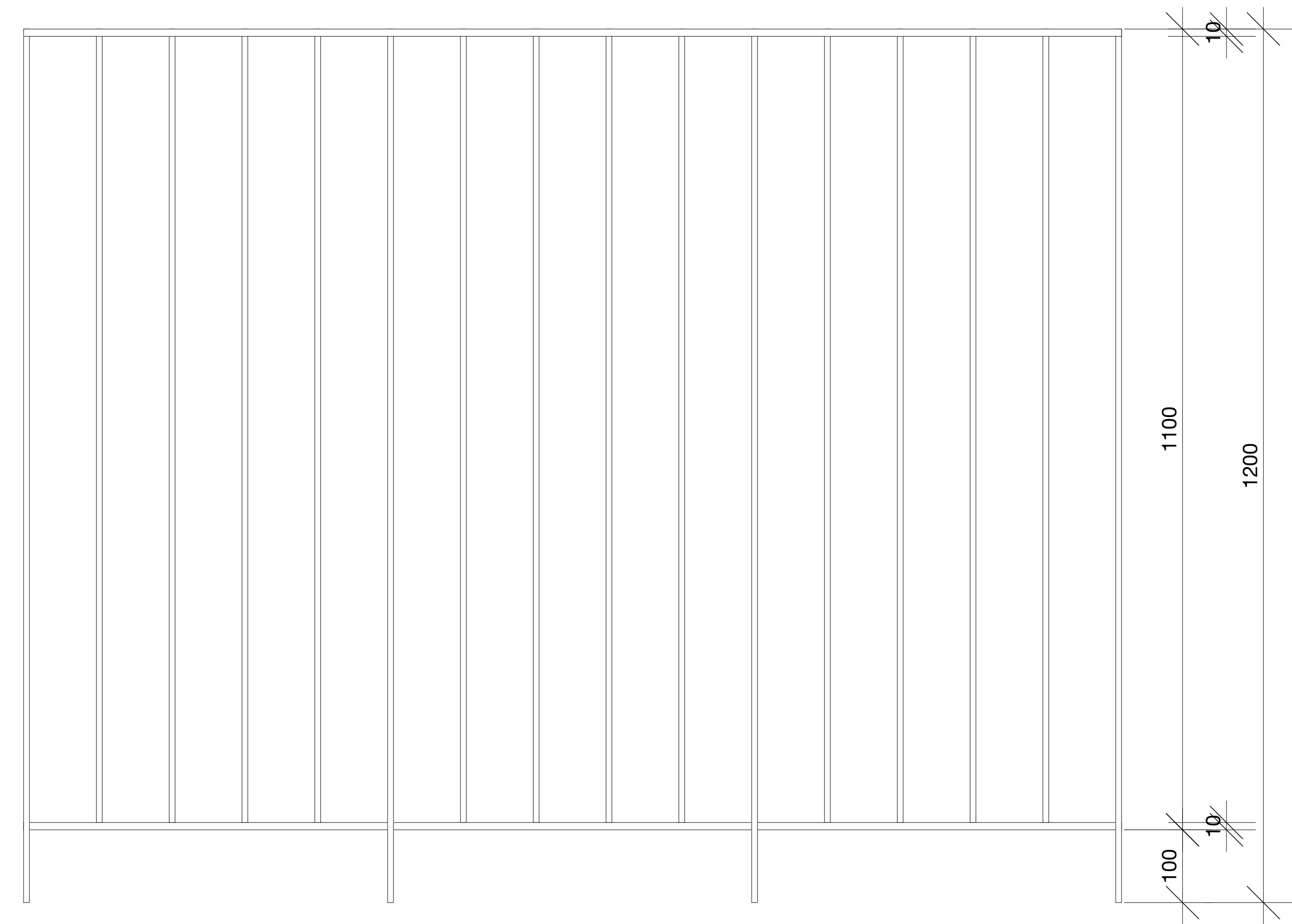
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DRAWING NO.

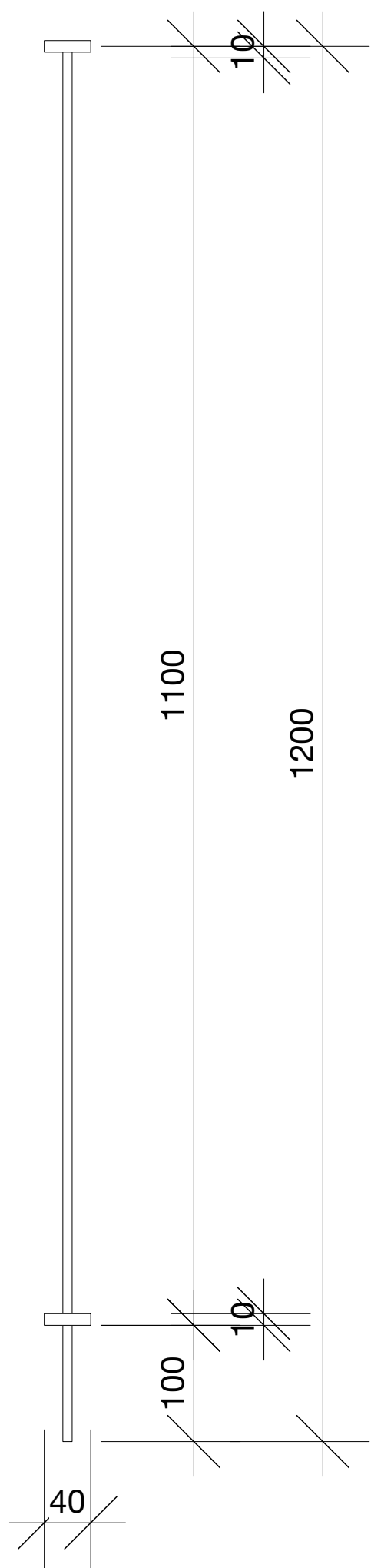
DA 600



PLAN - FENCE



ELEVATION



SECTION





Reference image.
Southern fence on top of ex.stone retaining wall to be see-through.






















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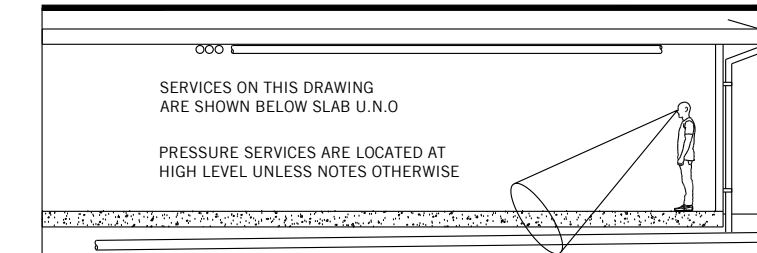
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(SKWG #)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SG #)	SKYLIGHT ABOVE GF LEVEL
(D1 #)	DOOR AT FF LEVEL
(W1 #)	WINDOW AT FF LEVEL
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	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE



NEW RESIDENCE
AT
41 & 43 BEACH ROAD
COLLARROY
FOR
RUSSELL STALEY
JENNIFER STALEY

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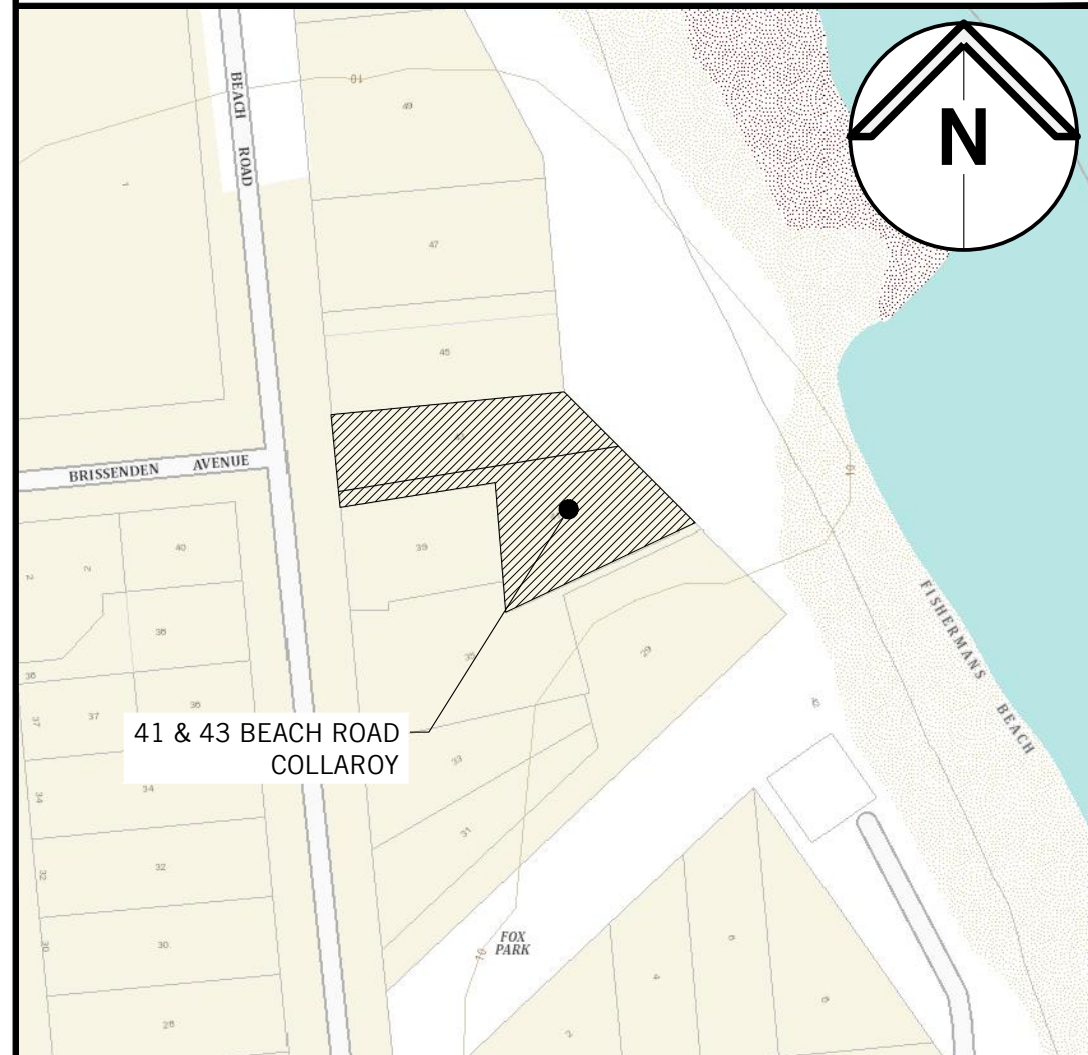
LEGEND

PIPEWORK		MISCELLANEOUS	
RW	RAINWATER DRAINAGE	Service / Service Number	PIPE SIZE
RW	RAINWATER CHARGED	FOR CONTINUATION	REFER DRG No
STW	STORMWATER DRAINAGE	FOR SECTION VIEW	REFER TO DRAWING
STWRM	STORMWATER RISING MAIN		
SS	SUBSOIL DRAINAGE		
B	BARRIER FENCE		
e	EXISTING PIPE		
e	EXISTING PIPE MADE REDUNDANT		
	SEDIMENT FENCE LINE		
	PROPERTY BOUNDARY		
	SWALE		
	DROPPER		
	RISER		
TB	TURBIDITY BARRIER		
FALL	DIRECTION OF FALL OR FLOW		
PBO	DOWN PIPE		
RWO/BO	PLANTER BOX OUTLET		
SWP	RAIN WATER OUTLET / BALCONY OUTLET		
SWP	STORMWATER PIT (GRATE)		
SWP	STORMWATER PIT (RWO IN BASE)		
	SEALED PIT COVER		
	GULLY PIT		
	REFLUX VALVE		
	PIPE CONNECTION POINT		
	PIPE PENETRATING		
	PIPE NOT PENETRATING		
	PUMP		
	OVERLAND FLOW PATH		
CO	CLEAR OUT		
TD	TUNDISH		
TG	TRENCH GRATE		
	DOWNPIPE SPREADER		
AHD	AUSTRALIAN HEIGHT DATUM		
AP	ACCESS PANEL		
BG	BOX GUTTER		
DP	DOWNPIPE		
e	EXISTING		
FFL	FINISHED FLOOR LEVEL		
GIP	GRATED INLET PIT		
HED	HIGH EARLY DISCHARGE		
HFB	HIGH FLOW BYPASS		
HL	HIGH LEVEL IN CEILING		
HP	HIGH POINT		
IL	INVERT LEVEL		
INT	INTERNAL		
KIP	KERB INLET PIT		
O/F	OVERFLOW		
OSD	ON SITE DETENTION		
RHS	RECTANGULAR HOLLOW SECTION		
RL	RELATIVE LEVEL		
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SRL	SLAB RELATIVE LEVEL		
SRZ	STRUCTURAL ROOT ZONE		
TBA	TO BE ADVISED		
TKL	TOP KERB LEVEL		
TRZ	TREE ROOT ZONE		
TWL	TOP WATER LEVEL		
UNO	UNLESS NOTED OTHERWISE		

DRAWING LIST

DRAWING No.	TITLE
SWDA 1.1	COVERSHEET AND DRAWING LEGEND
SWDA 1.2	GROUND FLOOR LAYOUT
SWDA 1.3	BASEMENT FLOOR LAYOUT
SWDA 1.4	DETAILS SHEET
SWDA 1.5	EROSION & SEDIMENT CONTROL PLAN AND DETAILS

LOCALITY PLAN



NOTES

- ALL DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH AS/NZS 3500 - STORMWATER DRAINAGE, WARRINGAH COUNCIL DEVELOPMENT CONTROL PLAN FOR ON-SITE STORMWATER MANAGEMENT AND THE LATEST BASIX CERTIFICATE.
- SITE AREA = 1536m²
- DUE TO THE PRESENCE OF A SILTY CLAY LAYER INVESTIGATED BY TAYLOR GEOTECHNICAL ENGINEERING REPORT DATED ON 15/06/2019, IT IS CONCLUDED THAT A STORMWATER ABSORPTION TRENCH IS NOT SUITABLE FOR THE DEVELOPMENT. A STORMWATER DISPERSAL TRENCH AND LEVEL SPREADER IS PROPOSED DOWNSTREAM OF THE DEVELOPMENT IN LIEU OF A STORMWATER ABSORPTION TRENCH IN ACCORDANCE WITH COUNCIL PRE-DA MEETING MINUTES ADVICE NUMBER PLM2019/0024 - DATED ON 26/02/2019.
- A SILT TRAP PIT IS TO BE INCORPORATED WITHIN THE DOWNSTREAM END OF THE EXISTING STORMWATER SYSTEM SERVING THE SITE IN ACCORDANCE WITH WARRINGAH COUNCIL REQUIREMENTS. THIS IS TO BE REGULARLY MAINTAINED AND CLEARED OF ALL DEBRIS.
- IN ACCORDANCE WITH THE BASIX CERTIFICATE A RAINWATER TANK WITH A MIN CAPACITY OF 6000L IS PROPOSED. THIS IS TO COLLECT A MINIMUM ROOF AREA OF 370m².

P2	ISSUED FOR DA	DH	GB	17.12.19
P1	95% PRELIMINARY ISSUE	DH	GB	16.12.19
Rev.	Issue / Amendment	By	App.	Date



PARTRIDGE HYDRAULIC SERVICES ABN 11 608 027 078
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email: partridge@partridge.com.au web: www.partridge.com.au

HYDRAULIC SERVICES

Client
RUSSELL STALEY
JENNIFER STALEY

Architect
VIRGINIA KERRIDGE ARCHITECT
03/59 GREAT BUCKINGHAM STREET, REDFERN
TEL: 02 3699 8527 EMAIL: info@vk.com.au

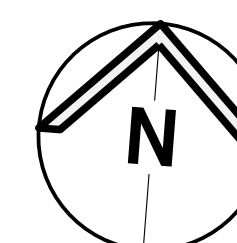
Project
NEW RESIDENCE
41 & 43 BEACH ROAD
COLLARROY

Title
STORMWATER DRAINAGE SERVICES
COVERSHEET AND DRAWING LEGEND

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N/A	DECEMBER 2019	S.P
Job No.	Drawing No.	Revision
2019H0087	SWDA 1.1	P2

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DA2019/1522



PARTRIDGE

24 **HYDRAULIC SERVICES**

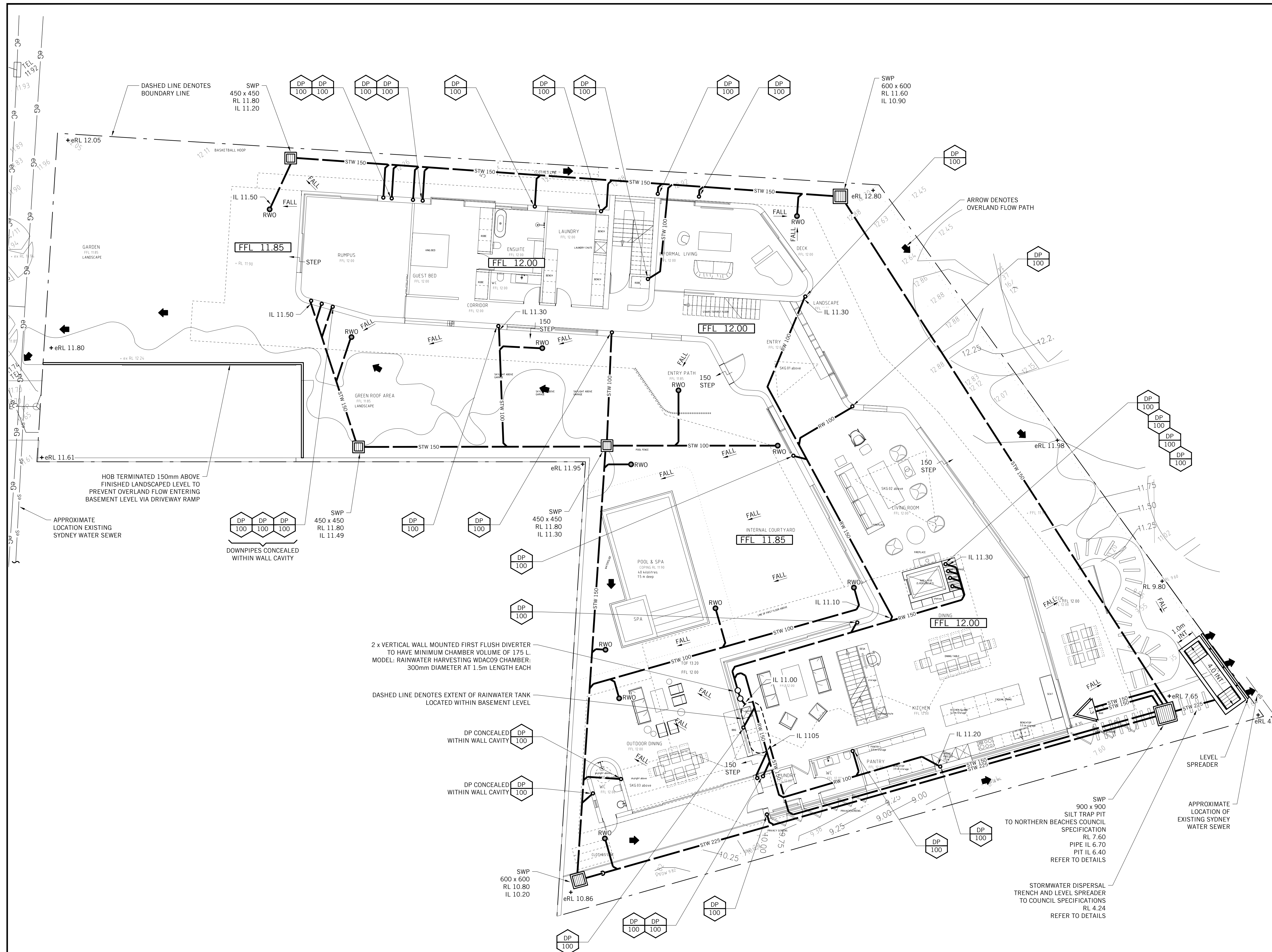
Architect
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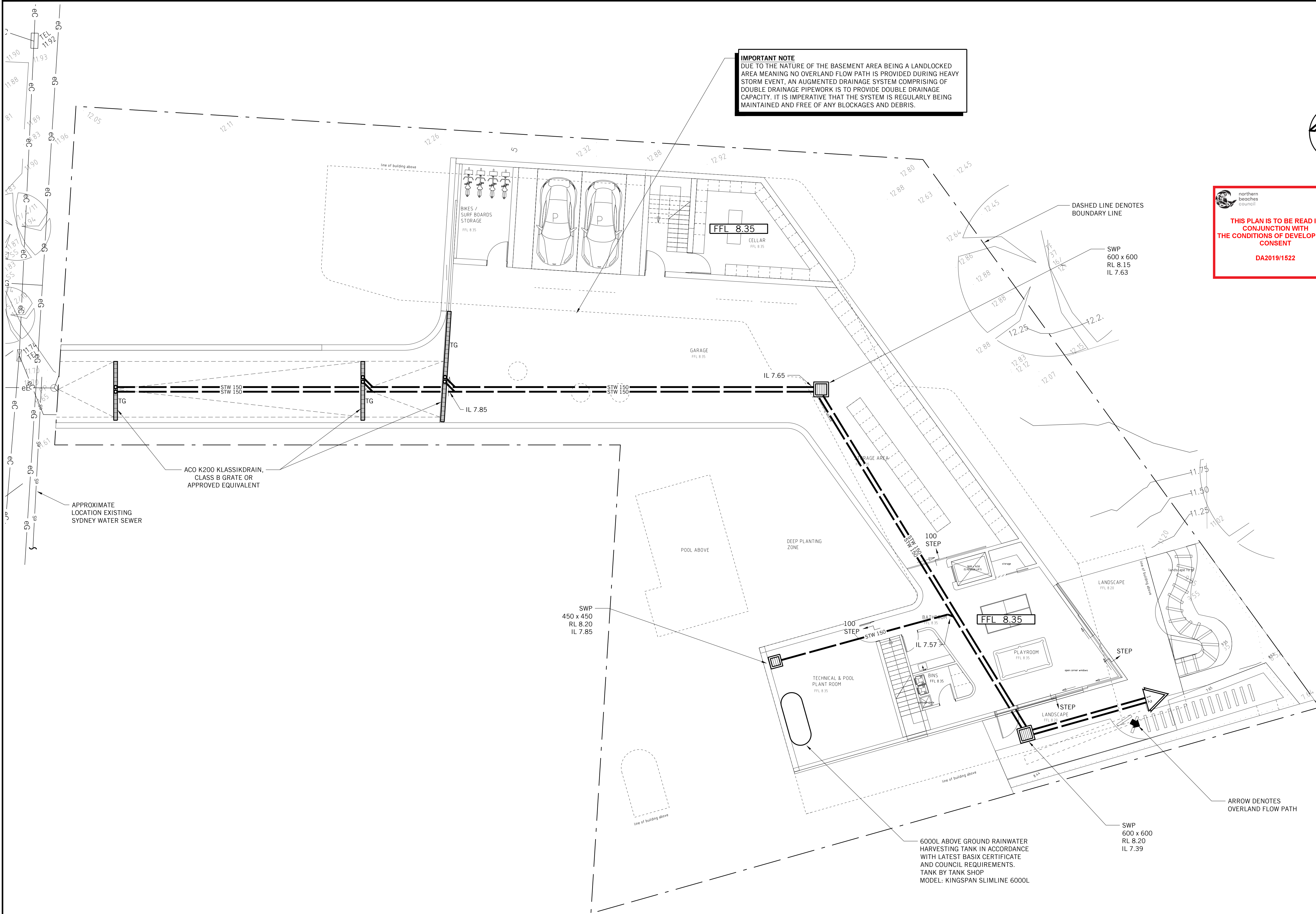
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		D.H
Scale at A1	Date	Drawn by
1:100	DECEMBER 2019	S.P
Job No.	Drawing No.	Revision

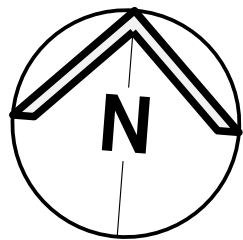
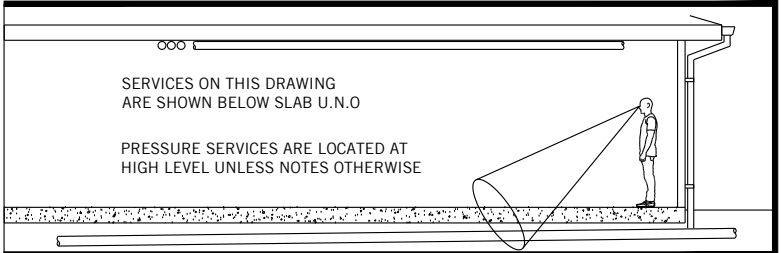
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IMPORTANT NOTE
DUE TO THE NATURE OF THE BASEMENT AREA BEING A LANDLOCKED AREA MEANING NO OVERLAND FLOW PATH IS PROVIDED DURING HEAVY STORM EVENT, AN AUGMENTED DRAINAGE SYSTEM COMPRISING OF DOUBLE DRAINAGE PIPEWORK IS TO PROVIDE DOUBLE DRAINAGE CAPACITY. IT IS IMPERATIVE THAT THE SYSTEM IS REGULARLY BEING MAINTAINED AND FREE OF ANY BLOCKAGES AND DEBRIS.

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P3	ISSUED FOR DA	DH	GB	17.12.19
P2	ISSUED FOR DA	DH	GB	17.12.19
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HYDRAULIC SERVICES

Client

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JENNIFER STALEY

Architect

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03/59 GREAT BUCKINGHAM STREET, REDFERN
TEL: 02 3699 8527 EMAIL: info@vk.com.au

Project

NEW RESIDENCE
41 & 43 BEACH ROAD
COLLARROY

Title

STORMWATER DRAINAGE SERVICES
BASEMENT LAYOUT

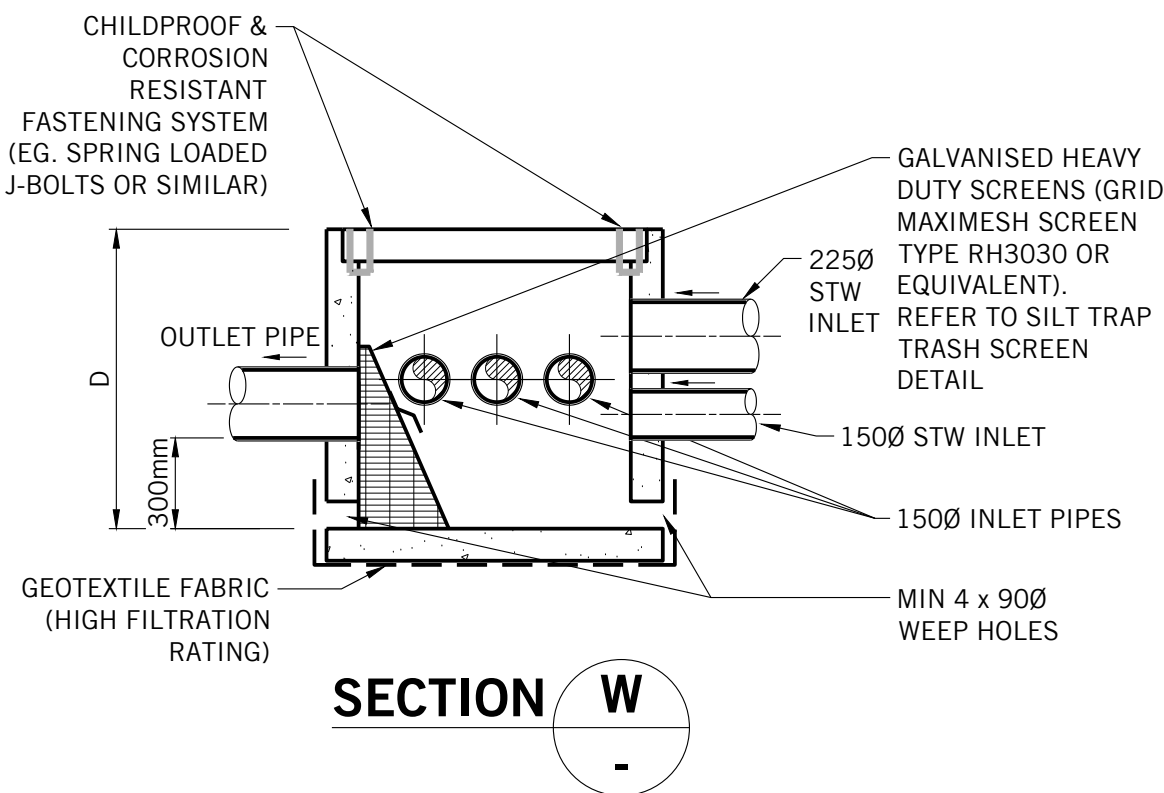
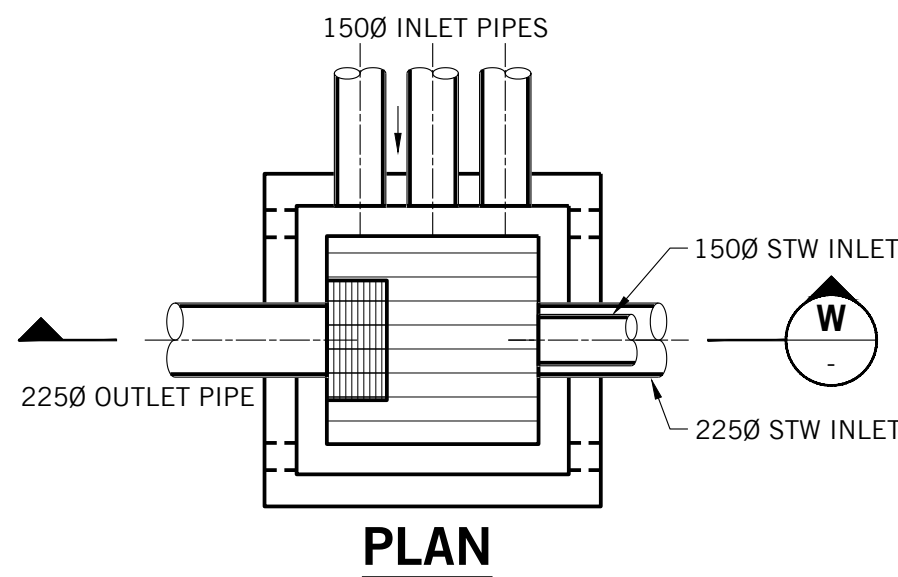
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Job No.	Drawing No.	Revision

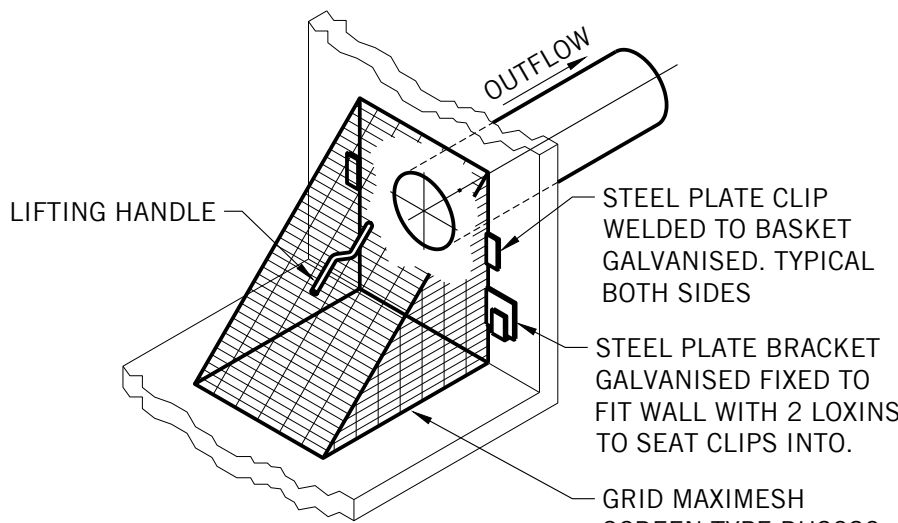
2019H0087 SWDA 1.3 **P3**

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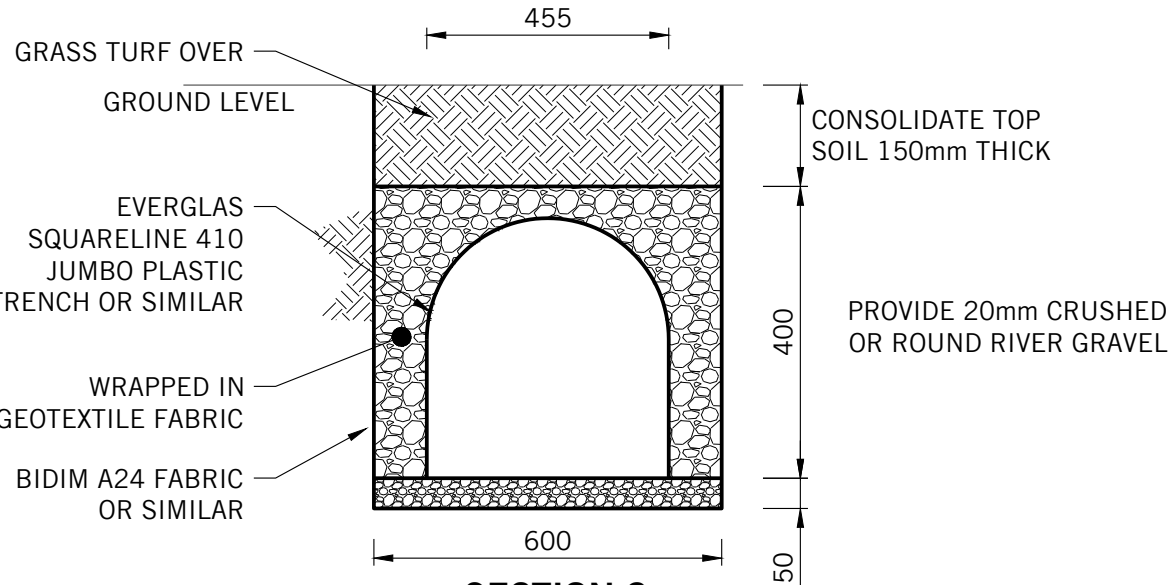
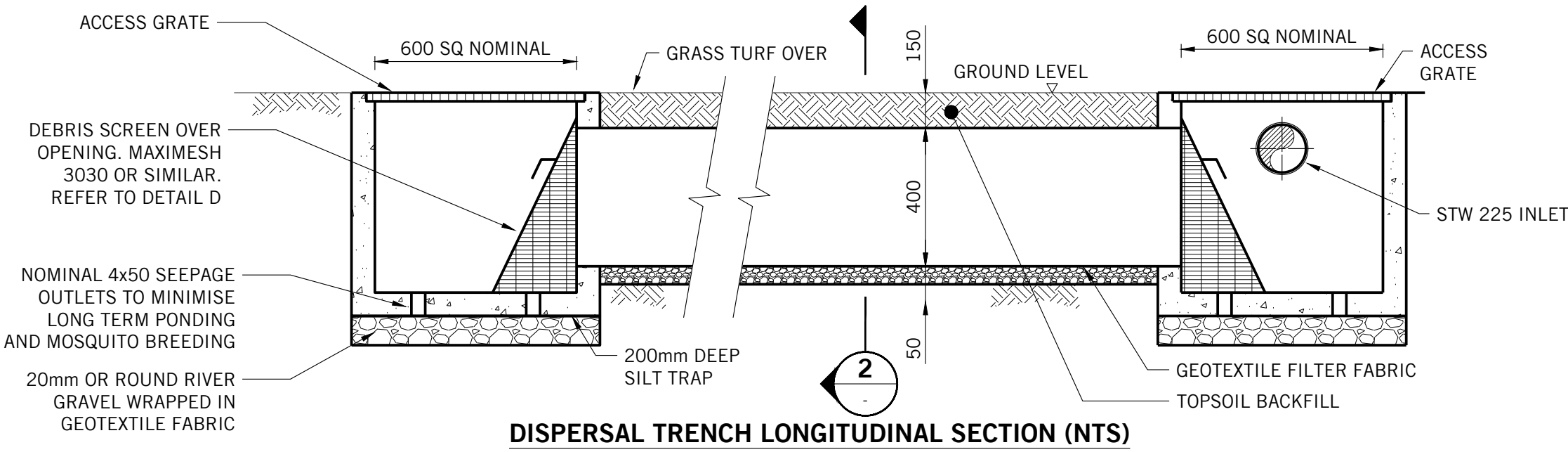
SILT TRAP PIT
N.T.S

MAINTENANCE ACTION	FREQUENCY	RESPONSIBILITY	PROCEDURE
SILT TRAP PIT	MONTHLY AND AFTER HEAVY RAINFALL EVENTS	PROPERTY OWNER	OPEN GRATE AND REMOVE TRASH OR LEAF LITTER THAT HAS BEEN CAPTURED BY THE TRASH SCREEN. REMOVE ALL SILT IN SUMP AND DISPOSE IN GARDEN WASTE BIN. REMOVE ANY BLOCKAGES OVER WEEP HOLES IN BASE. ENSURE TRASH SCREEN IS SECURELY FIXED AND REPLACE GRATE CORRECTLY.

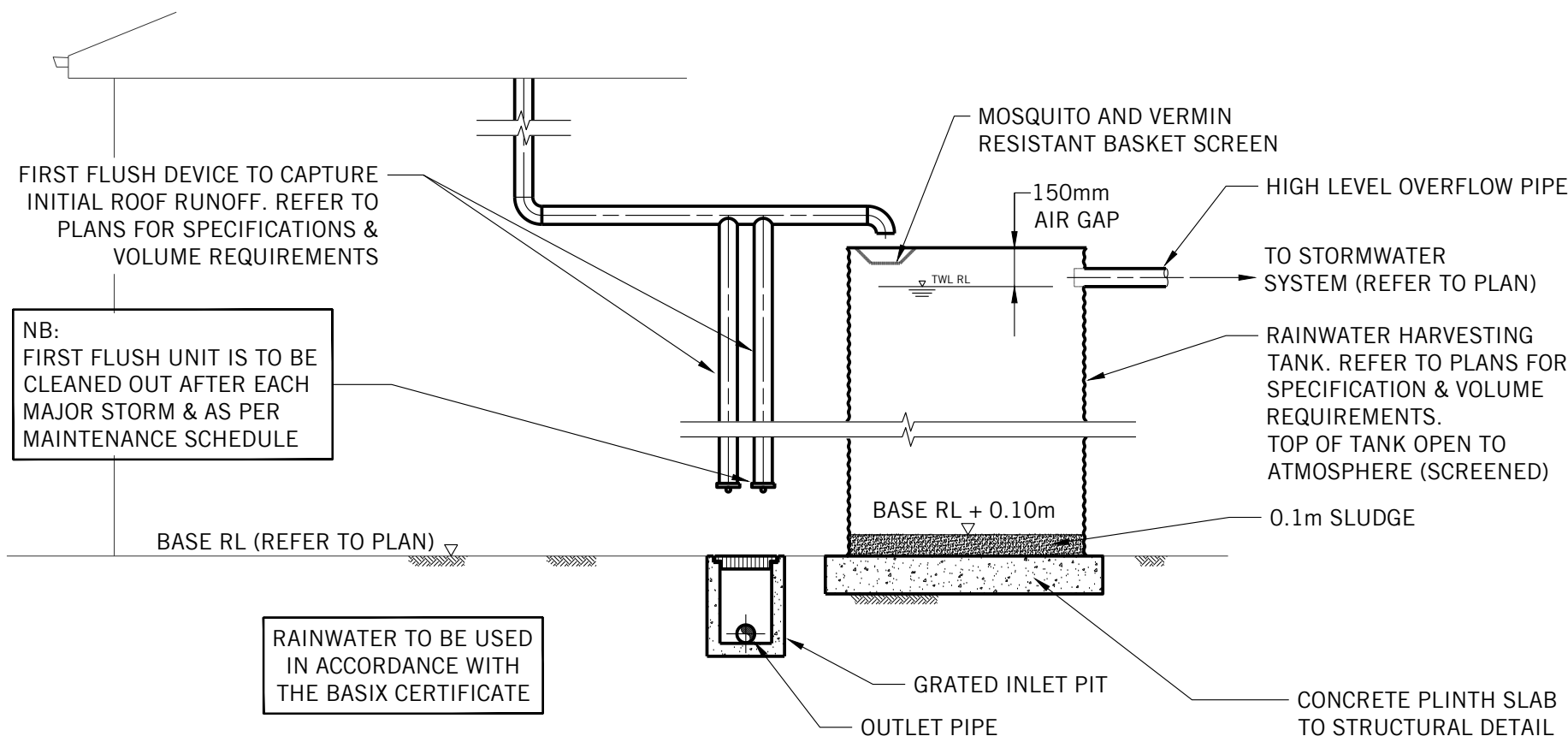


SILT TRAP TRASH SCREEN DETAIL
N.T.S.

- NOTES
- 1) PIT DIMENSIONS:
600 x 600 FOR $< D \leq 0.9$
600 x 900 FOR $0.9 < D \leq 1.2$
900 x 900 FOR $1.2 < D$ (AS SHOWN ON PLAN)
 - 2) PITS TO BE CONSTRUCTED FROM - CAST IN-SITU CONCRETE, PRECAST CONCRETE OF DOUBLE BRICK.
 - 3) A SIGN SHALL BE CONSTRUCTED ADJACENT TO THE PIT STATING: "THIS SEDIMENT / SILT ARRESTOR PIT SHALL BE REGULARLY INSPECTED AND CLEANED".

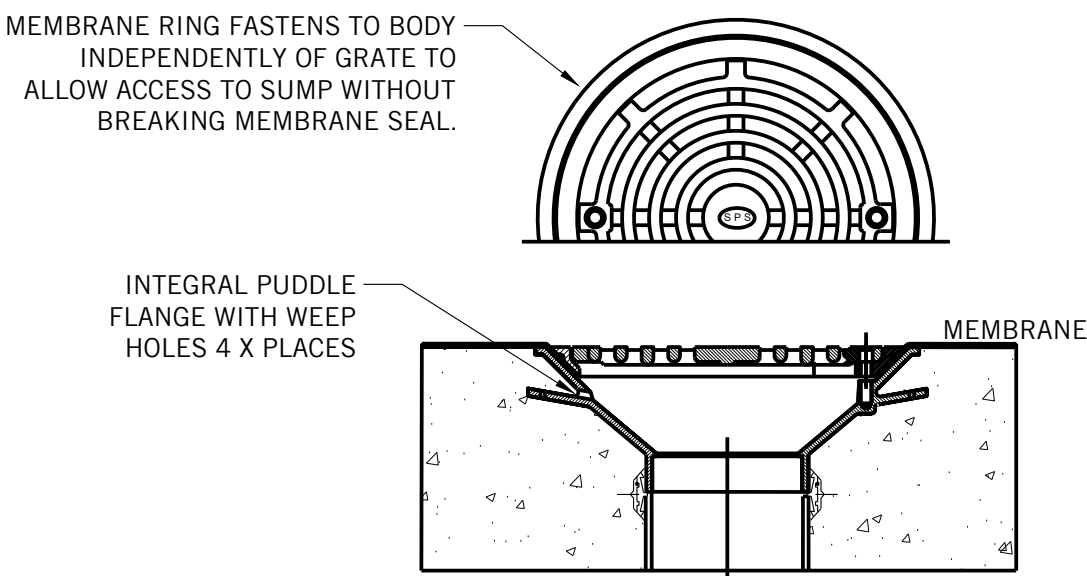


SECTION 2
TYPICAL STORMWATER DISPERSAL TRENCH
N.T.S

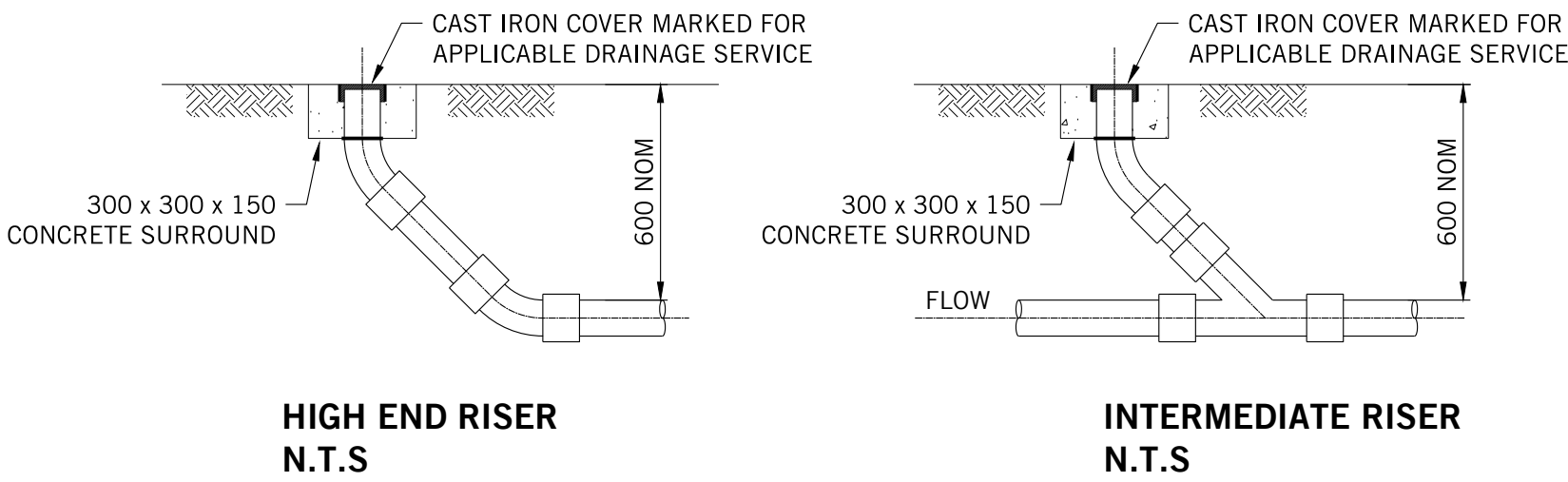


TYPICAL ABOVE GROUND RAINWATER STORAGE TANK
N.T.S

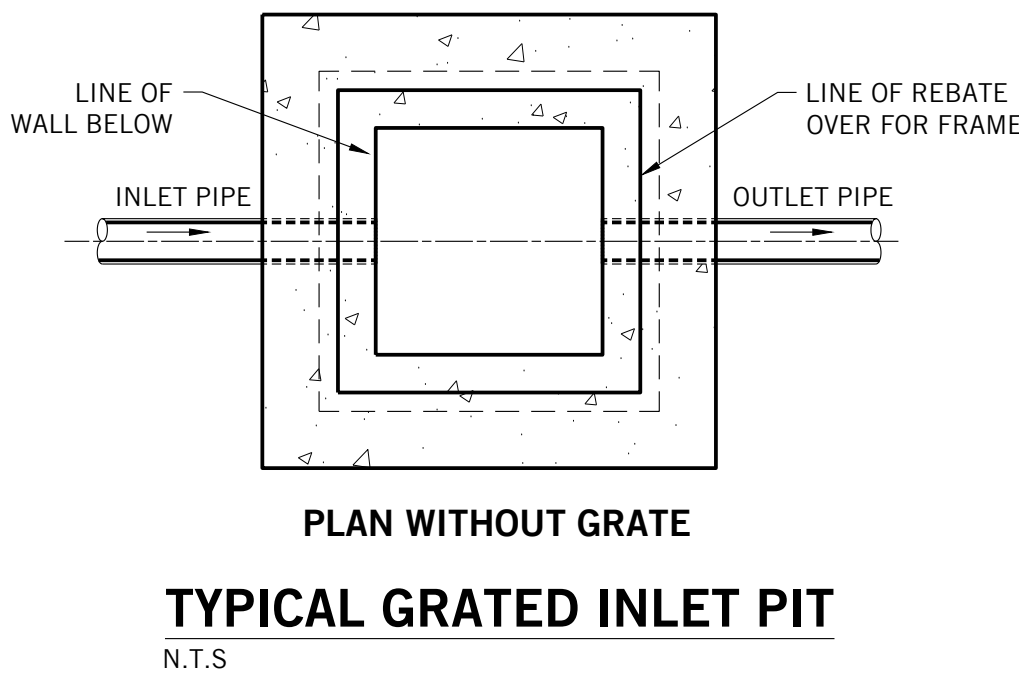
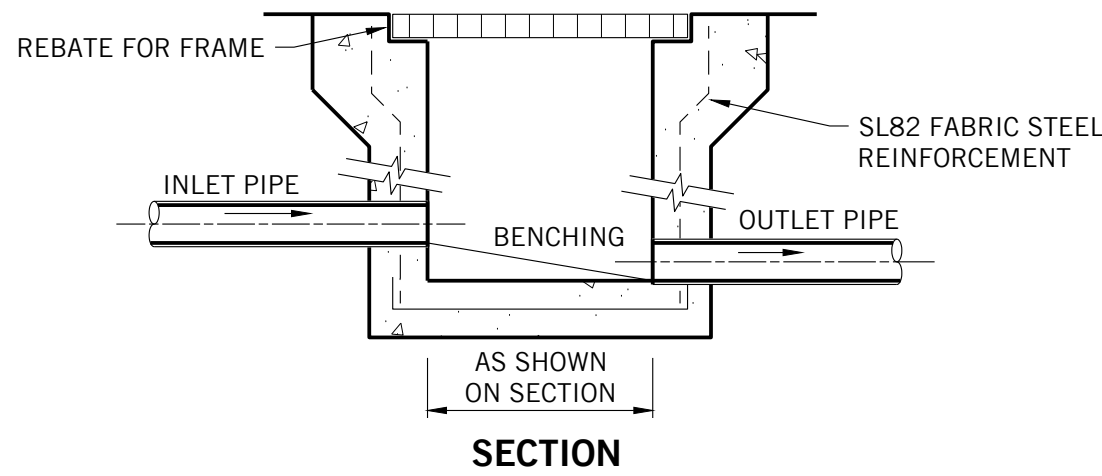
SPECIFICATION CODES:
TIA100F2 (CI BODY, ALUMINIUM FLAT GRATE & MEMBRANE RING)



SPS TRUFLO 100mm RWO WITH
FLAT GRATE & MEMBRANE CLAMP
N.T.S
(SPS REF 1.03)

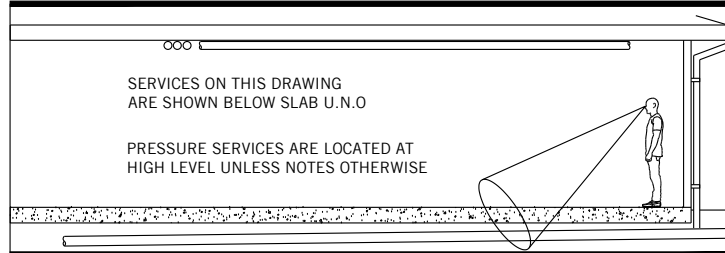


PROVIDE CLEAR OUTS INSTALLED IN ACCORDANCE WITH
A.S. 3500 AT LOCATIONS WHERE NOTED C.O. ON PLAN
TYPICAL DRAINAGE CLEAR OUT (INSPECTION OPENING)
N.T.S



PLAN WITHOUT GRATE
TYPICAL GRATED INLET PIT
N.T.S

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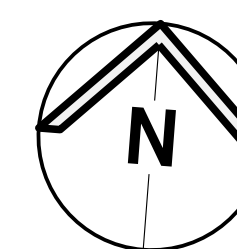
Project
NEW RESIDENCE
41 & 43 BEACH ROAD
COLLAROY

Title
STORMWATER DRAINAGE SERVICES
DETAILS SHEET

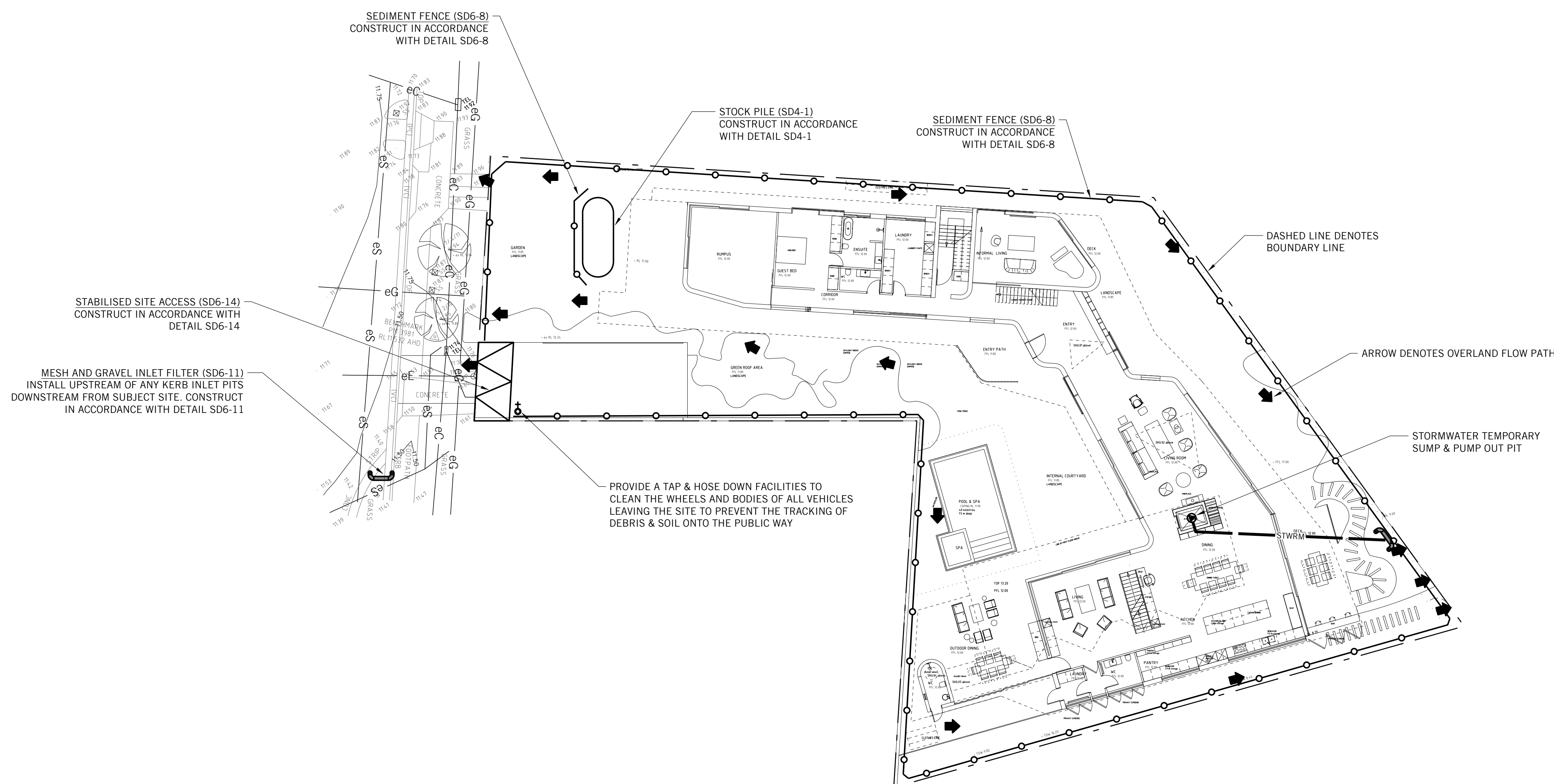
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AS SHOWN	DECEMBER 2019	S.P
Job No.	Drawing No.	Revision
2019H0087	SWDA 1.4	P2

PRELIMINARY - NOT FOR CONSTRUCTION



DA2019/1522



1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
2. Construct on the contour as low as flat, elongated mounds.
3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

STOCKPILES

SD 4-1



1. Strip the topsoil, level the site and compact the subgrade.
2. Cover the area with needle-punched geotextile.
3. Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence.

STABILISED SITE ACCESS

SD 6-14

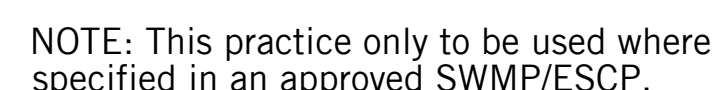


Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6-8



Construction Notes

1. Install filters to kerb inlets only at sag points.
2. Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
3. Place an elliptical cross-section about 150 mm high x 400 mm wide.
4. Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
5. Form a seal with the kerb to prevent sediment bypassing the filter.
6. Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between them.

MESH AND GRAVEL INLET FILTER

SD 6-11

EROSION AND SEDIMENT CONTROL PLAN

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2. ALL EXCAVATION WORKS ARE TO BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, IF AVAILABLE, AND THE STRUCTURAL ENGINEER'S DRAWINGS.
3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
4. MESH AND GRAVEL INLET FILTERS (SD 6-11) TO BE INSTALLED UPSTREAM OF PROPOSED STORMWATER PITS AS WELL AS EXISTING STORMWATER PITS DOWNSTREAM OF DISTURBED AREAS.
5. TOP SOIL WILL BE STRIPPED AND STOCKPILED (SD 4-1) FOR LATER USE IN LANDSCAPING.
6. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
7. TOP SOIL WILL BE RE SPREAD AND ALL DISTURBED AREAS WILL BE REHABILITATED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
8. ALL SEDIMENT TO BE STORED AND COLLECTED BY A LIQUID WASTE COMPANY FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.
9. ROADS AND FOOTWAYS TO BE SWEEP AT THE END OF THE DAY.
10. ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAINFALL EVENTS TO MAKE SURE THEY ARE MAINTAINED TO A FULLY FUNCTIONAL CONDITION.

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Project
**NEW RESIDENCE
41 & 43 BEACH ROAD
COLLAROY**

Title
**STORMWATER DRAINAGE SERVICES
EROSION & SEDIMENT CONTROL
PLAN AND DETAILS**

ELECTRONIC SIGNATURE:
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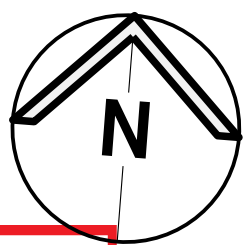
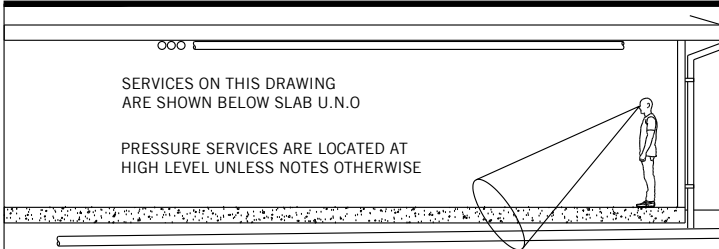
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			D.H.

Scale at A1	Date	Drawn
1-100	1-10-1999	1-10-1999

1:200	DECEMBER 2019	S.P
Job No.	Drawing No.	Revision

2019H0087 SWDA 1.5 P3

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Project

**NEW RESIDENCE
41 & 43 BEACH ROAD
COLLAROY**

Title

**STORMWATER DRAINAGE SERVICES
GROUND FLOOR LAYOUT**

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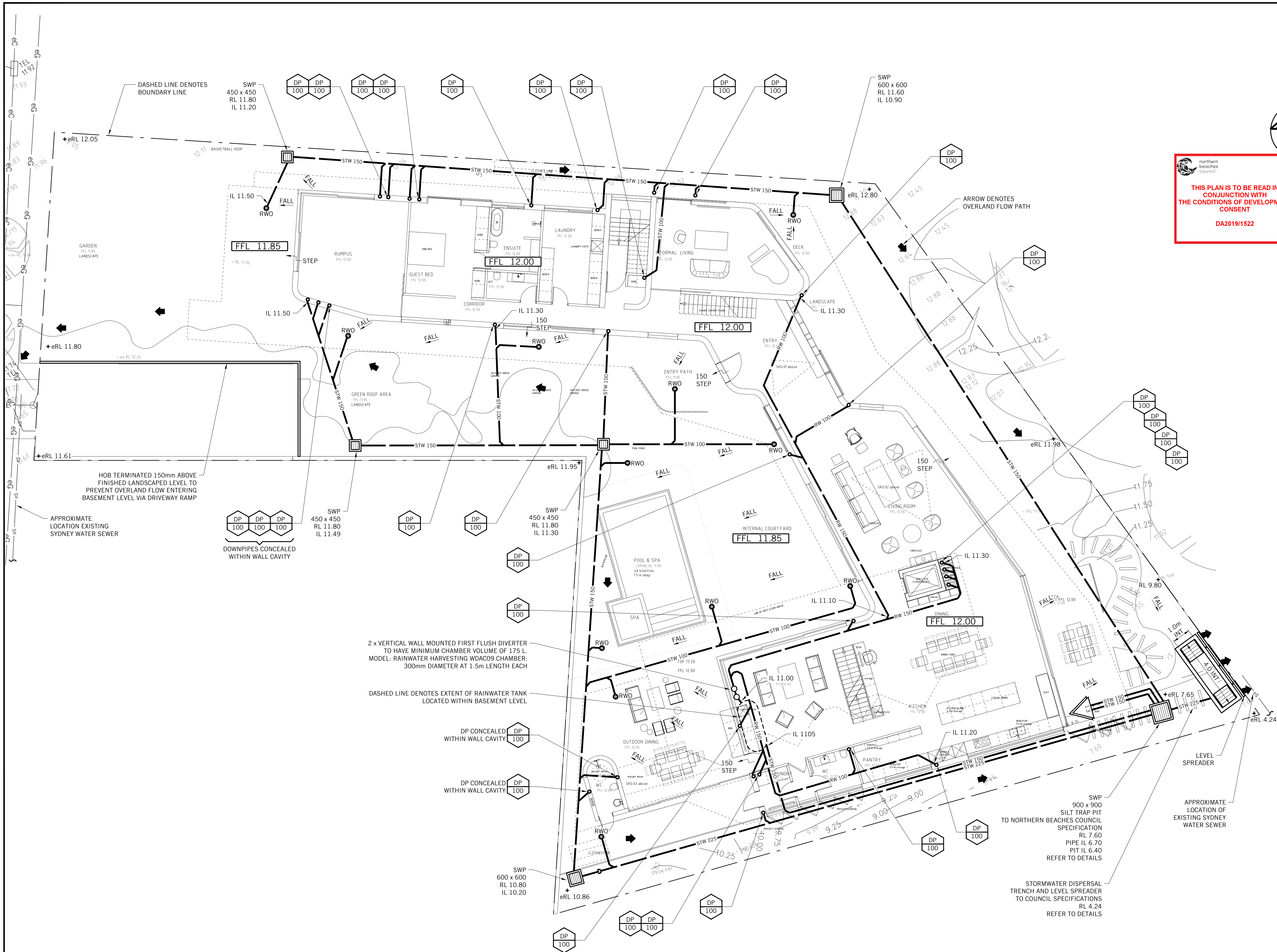
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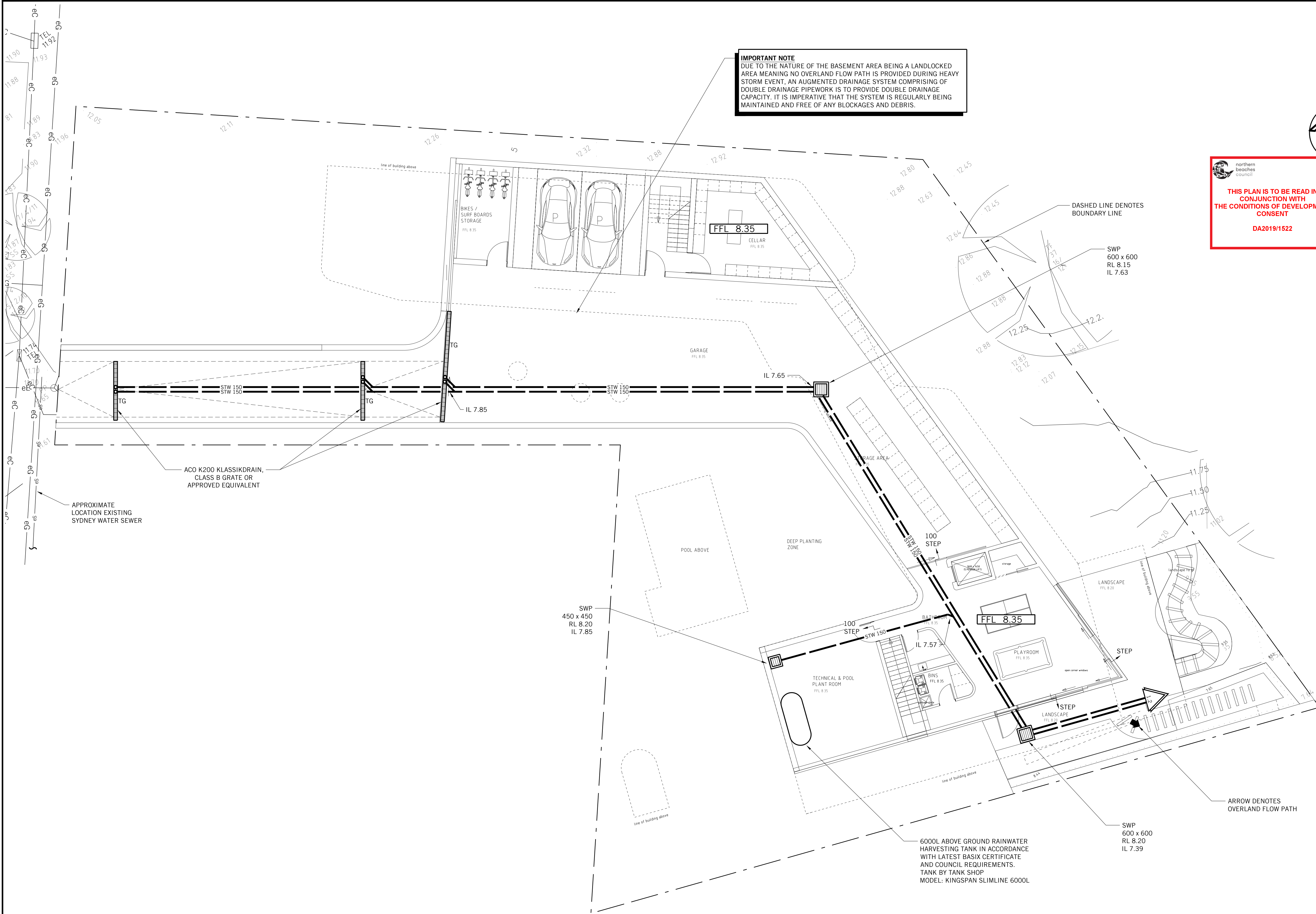
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Job No.	Drawing No.	Revision
2019H0087 SWDA 1.2		

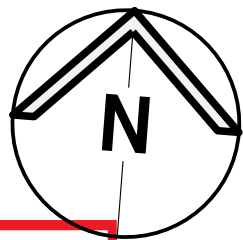
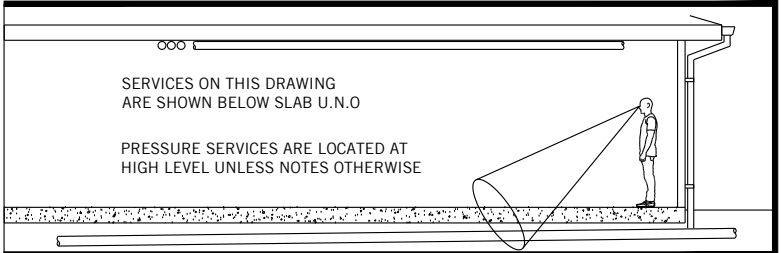
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IMPORTANT NOTE
DUE TO THE NATURE OF THE BASEMENT AREA BEING A LANDLOCKED AREA MEANING NO OVERLAND FLOW PATH IS PROVIDED DURING HEAVY STORM EVENT, AN AUGMENTED DRAINAGE SYSTEM COMPRISING OF DOUBLE DRAINAGE PIPEWORK IS TO PROVIDE DOUBLE DRAINAGE CAPACITY. IT IS IMPERATIVE THAT THE SYSTEM IS REGULARLY BEING MAINTAINED AND FREE OF ANY BLOCKAGES AND DEBRIS.

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Project
NEW RESIDENCE
41 & 43 BEACH ROAD
COLLARROY

Title
STORMWATER DRAINAGE SERVICES
BASEMENT LAYOUT

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2019H0087 SWDA 1.3 **P3**
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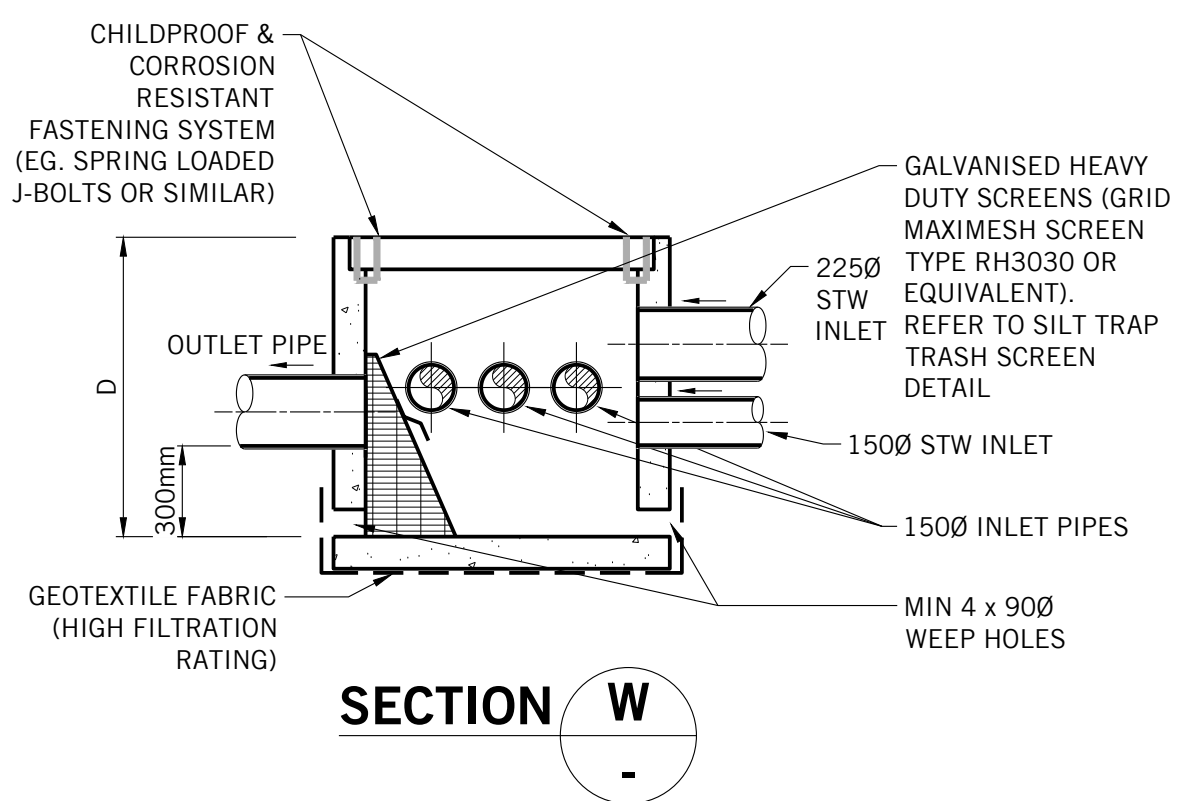


Diagram illustrating the components and assembly of the RH3030 screen:

- HANDLE**: The top handle of the screen assembly.
- OUTFLOW**: The pipe through which the filtered water flows.
- STEEL PLATE CLIP WELDED TO BASKET GALVANISED. TYPICAL BOTH SIDES**: The clip used to secure the screen to the basket.
- STEEL PLATE BRACKET GALVANISED FIXED TO FIT WALL WITH 2 LIXINS TO SEAT CLIPS INTO.**: The bracket that holds the screen in place against the wall.
- GRID MAXIMESH SCREEN TYPE RH3030**: The main filtering screen.

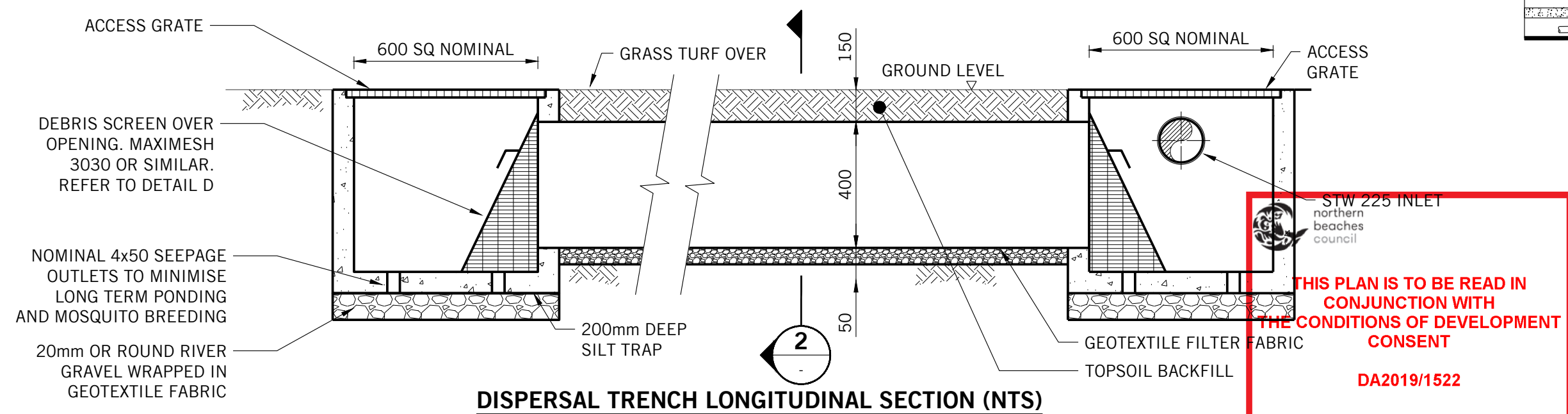
NOTES

1) PIT DIMENSIONS:
600 x 600 FOR $C \leq 0.9$
600 x 900 FOR $0.9 < C \leq 1.2$
900 x 900 FOR $1.2 < C$ (AS SHOWN ON PLAN)

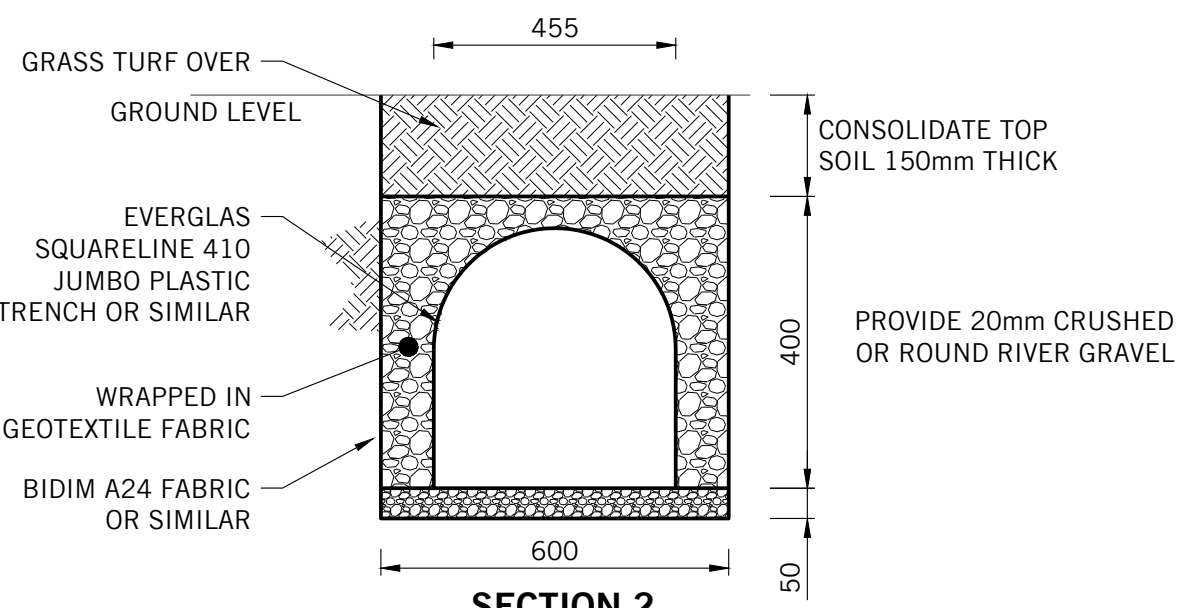
2) PITS TO BE CONSTRUCTED FROM C- CAST IN-SITU CONCRETE,
PRECAST CONCRETE OF DOUBLE BRICK.

3) A SIGN SHALL BE CONSTRUCTED ADJACENT TO THE PIT STATING:
"THIS SEDIMENT / SILT ARRESTOR PIT SHALL BE REGULARLY
INSPECTED AND CLEANED".

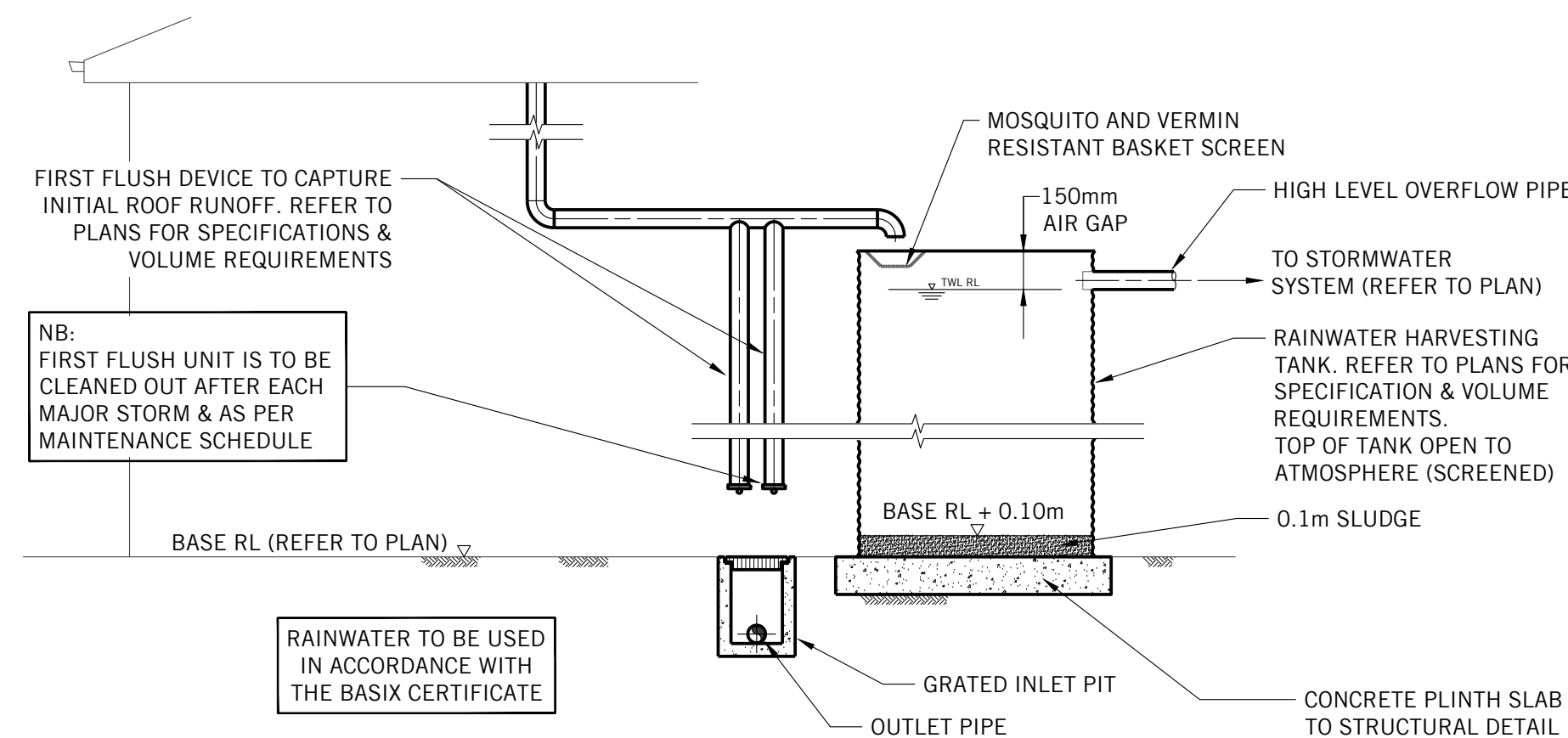
MAINTENANCE ACTION	FREQUENCY	RESPONSIBILITY	PROCEDURE
SILT TRAP PIT	MONTHLY AND AFTER HEAVY RAINFALL EVENTS	PROPERTY OWNER	OPEN GRATE AND REMOVE TRASH OR LEAF LITTER THAT HAS BEEN CAPTURED BY THE TRASH SCREEN. REMOVE ALL SILT IN SUMP AND DISPOSE IN GARDEN WASTE BIN. REMOVE ANY BLOCKAGES OVER WEEP HOLES IN BASE. ENSURE TRASH SCREEN IS SECURELY FIXED AND REPLACE GRATE CORRECTLY.



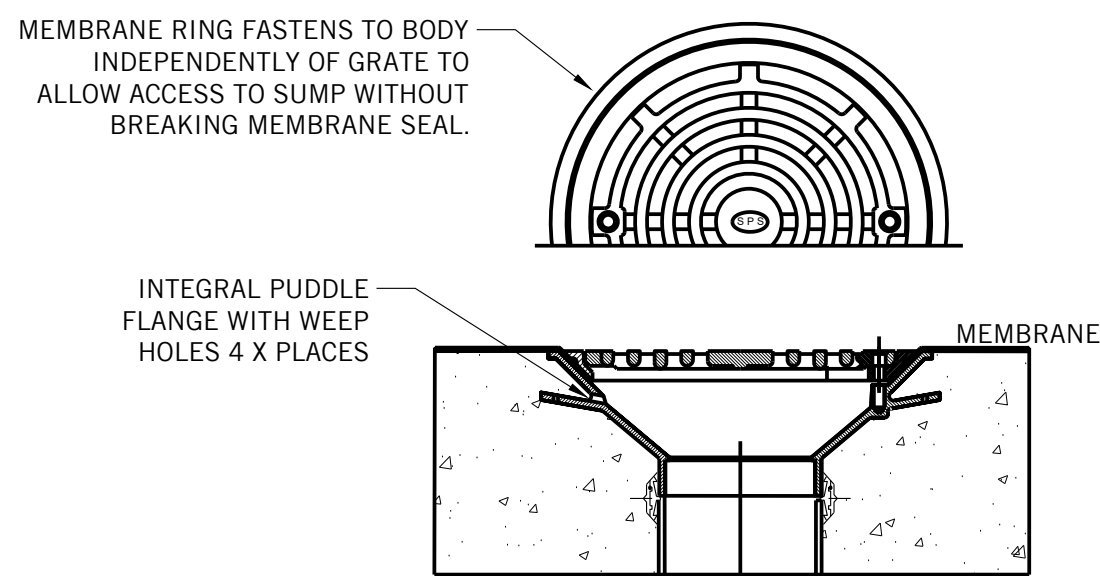
DISPERSAL TRENCH LONGITUDINAL SECTION (NTS)



SECTION 2
TYPICAL STORMWATER DISPERSAL TRENCH
N.T.S

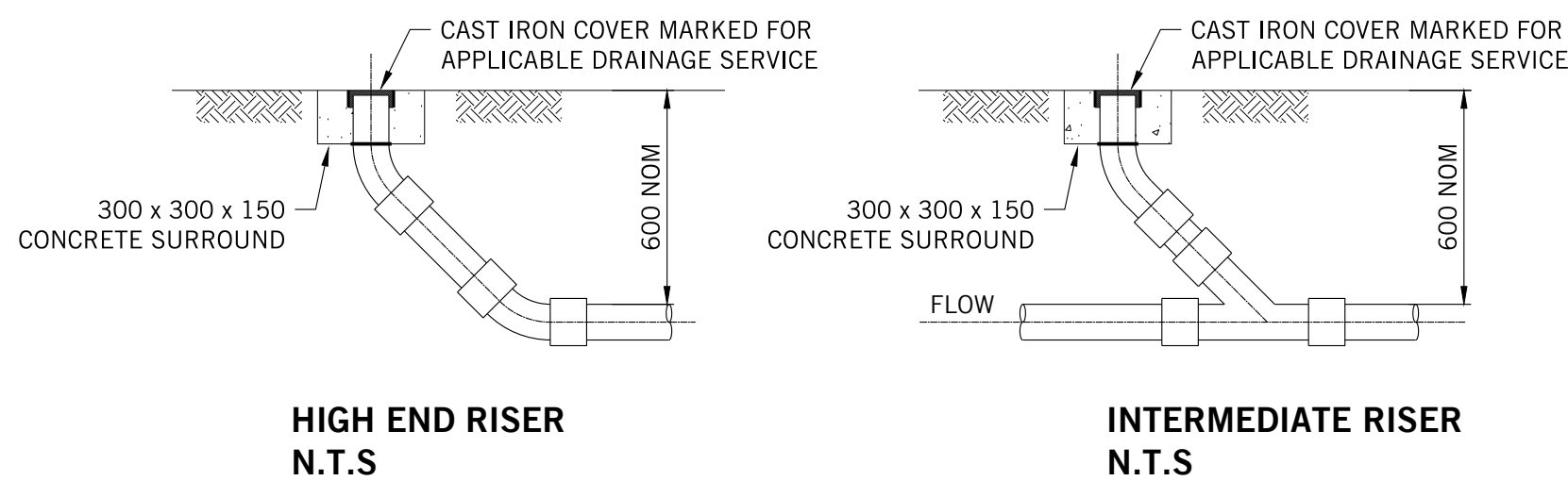


TYPICAL ABOVE GROUND RAINWATER STORAGE TANK
N.T.S



**SPS TRUFLO 100mm RWO WITH
FLAT GRATE & MEMBRANE CLAMP**

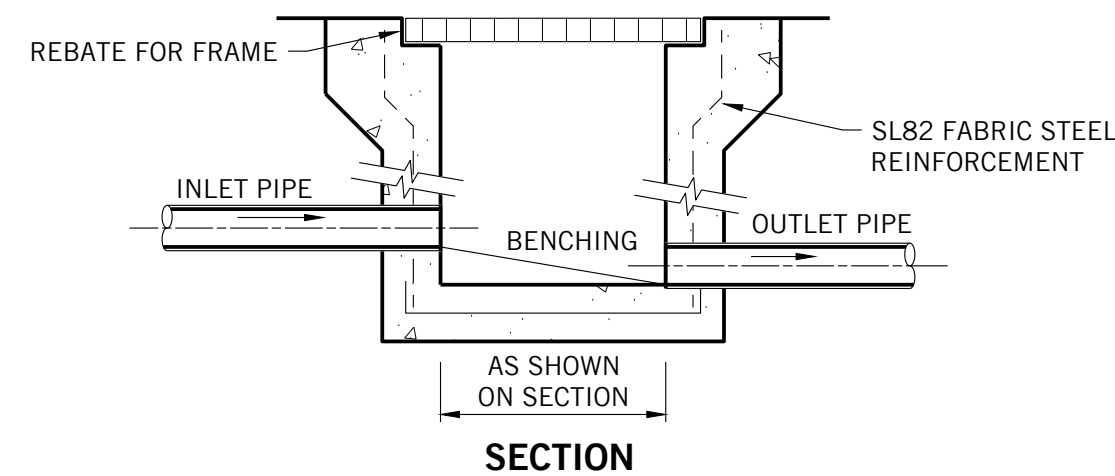
N.T.S
(SPS REF 1.03)



PROVIDE CLEAR OUTS INSTALLED IN ACCORDANCE WITH
A.S. 3500 AT LOCATIONS WHERE NOTED C.O. ON PLAN

TYPICAL DRAINAGE CLEAR OUT (INSPECTION OPENING)

N.T.S.



LINE OF WALL BELOW

INLET PIPE

OUTLET PIPE

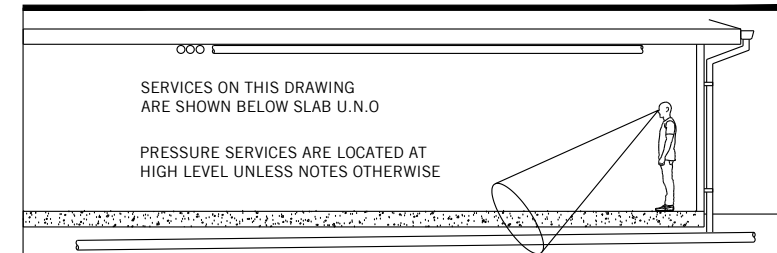
LINE OF REBATE OVER FOR FRAME

PLAN WITHOUT GRATE

TYPICAL GRATED INLET PIT

N.T.S.

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Project
**NEW RESIDENCE
41 & 43 BEACH ROAD
COLLAROY**

STORMWATER DRAINAGE SERVICES
DETAILS SHEET

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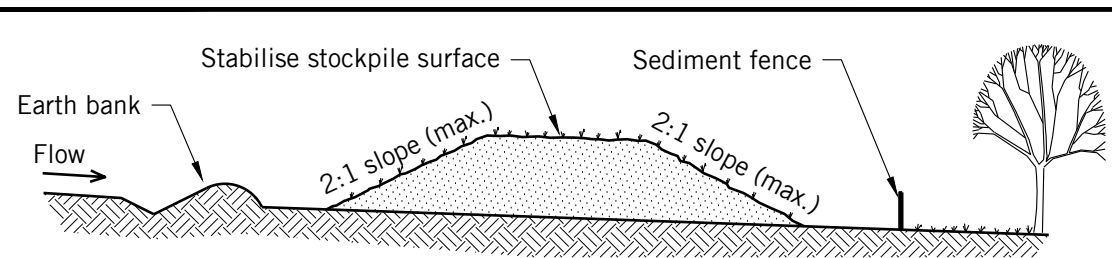
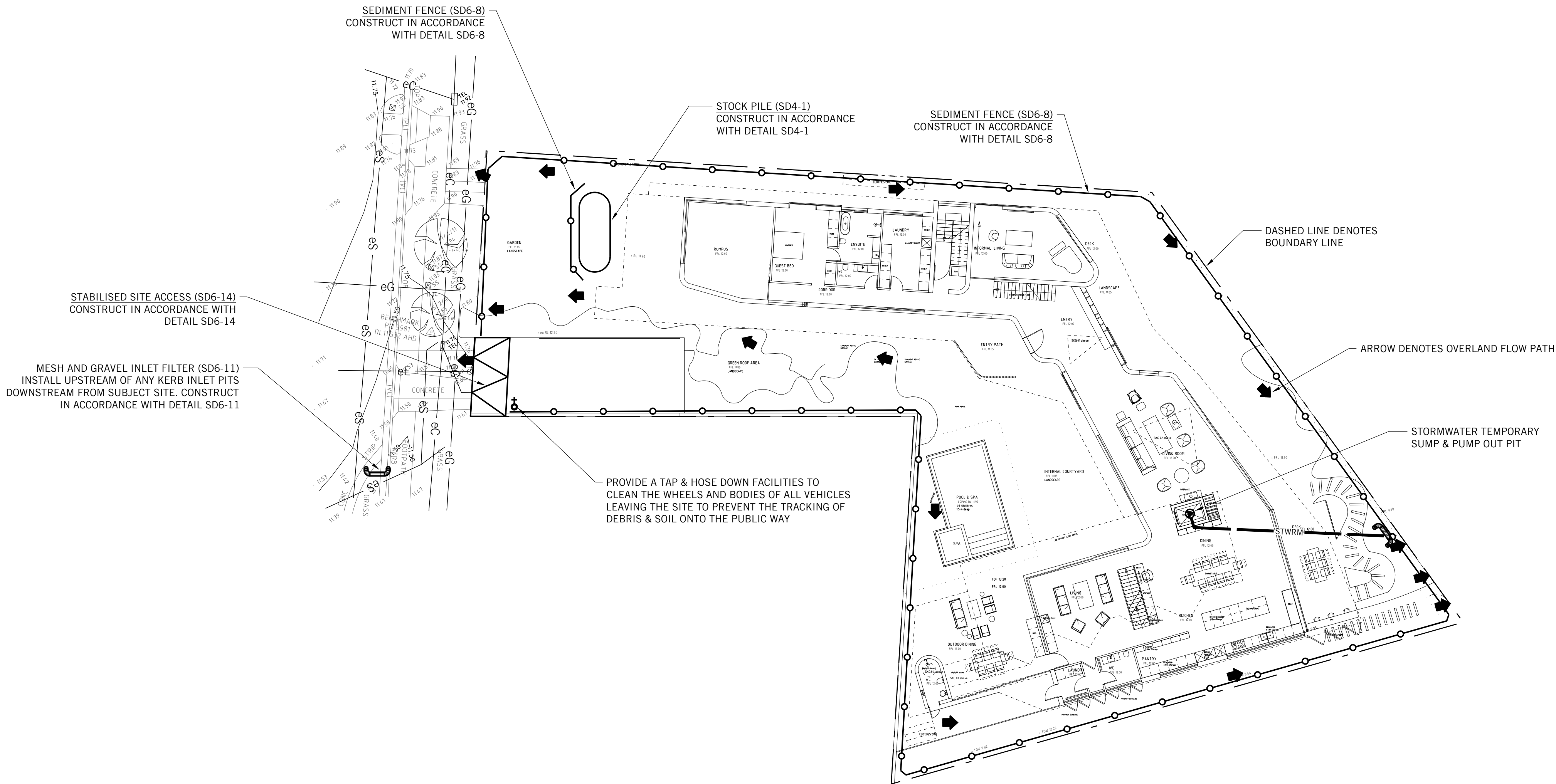
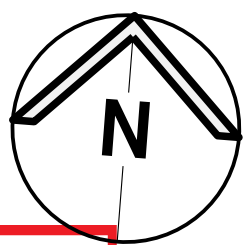
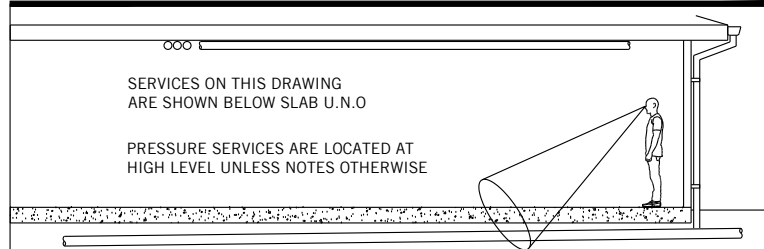
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Job No.	Drawing No.	Revision
2019H0087	SWDA 1.4	P2

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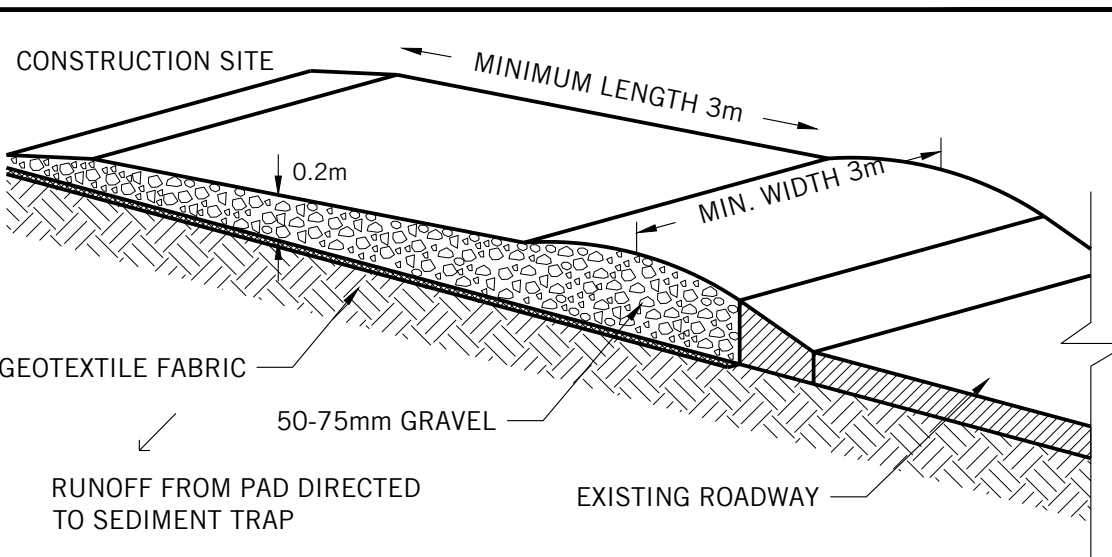


Construction Notes

1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
2. Construct on the contour as low, flat, elongated mounds.
3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

STOCKPILES

SD 4-1

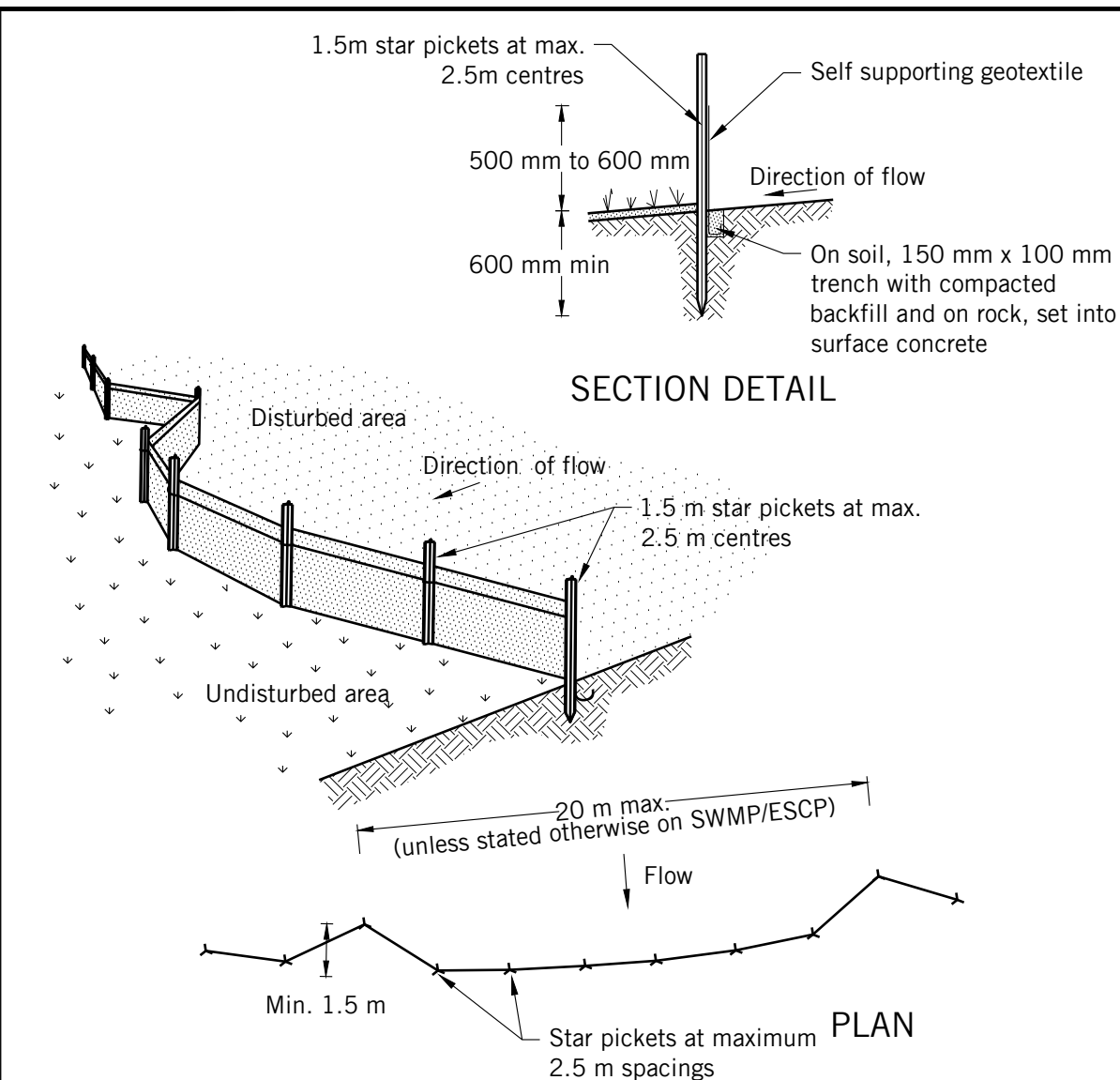


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STABILISED SITE ACCESS

SD 6-14

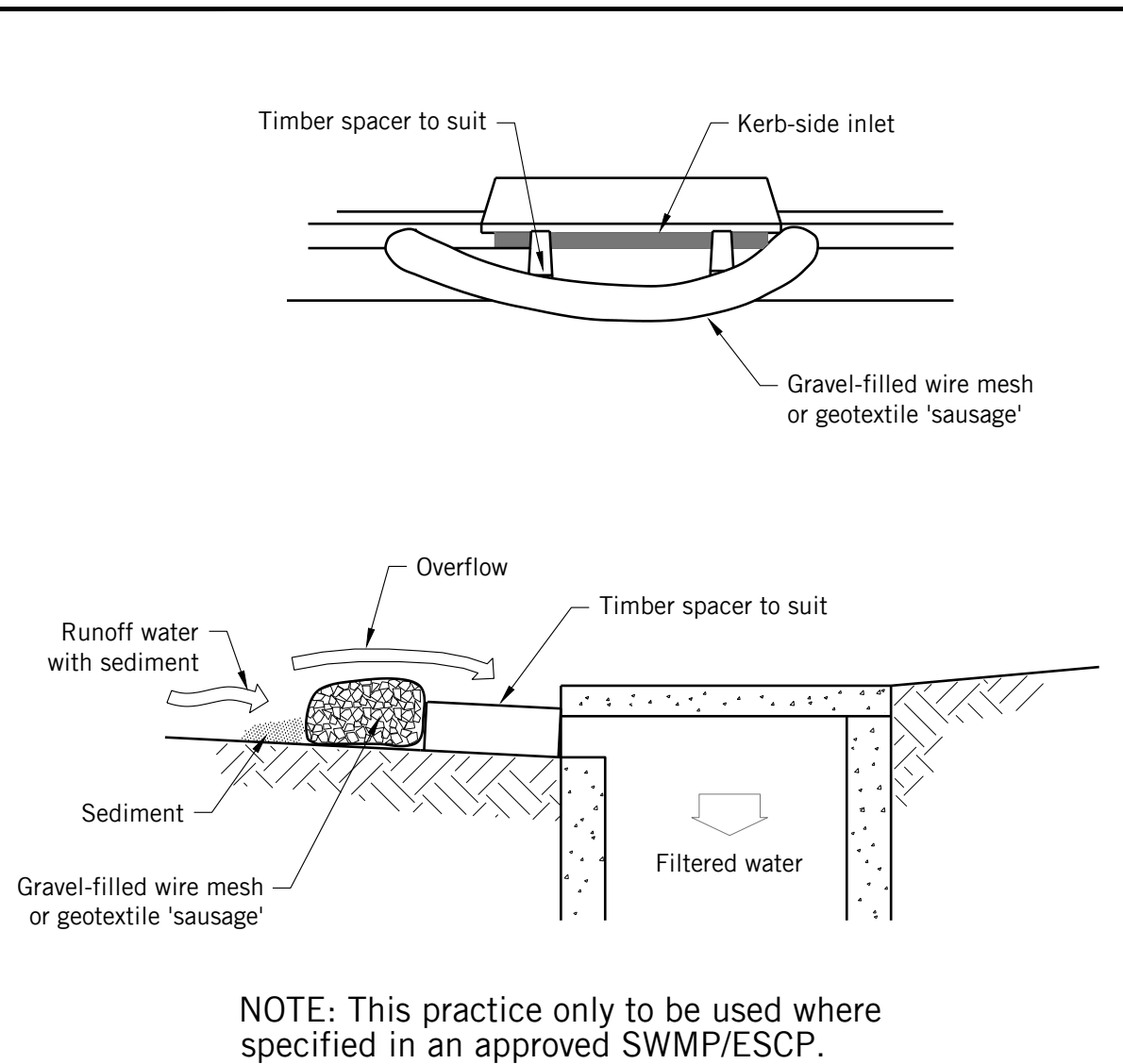


Construction Notes

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SEDIMENT FENCE

SD 6-8



Construction Notes

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MESH AND GRAVEL INLET FILTER

SD 6-11

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Project

NEW RESIDENCE
41 & 43 BEACH ROAD
COLLAROY

Title

STORMWATER DRAINAGE SERVICES
EROSION & SEDIMENT CONTROL
PLAN AND DETAILS


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1:200	DECEMBER 2019	S.P

Job No.	Drawing No.	Revision
2019H0087 SWDA 1.5		P3

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Rev	Amendment	Date	By	<p>IMPORTANT NOTES:</p> <p>Overlook from drawing.</p> <p>All dimensions to be brought to the attention of the Project Landscape Architect.</p> <p>Legible scale drawings and written dimensions (see schedule). All dimensions to be included otherwise stated.</p> <p>All dimensions to be in metres.</p> <p>Use Imperial dimensions only.</p> <p>Note all dimensions on all sheets.</p> <p>Confirmations that have not been provided at all times prior to construction.</p> <p>All work to be carried out in accordance with the relevant Code of Practice for the relevant Regulations.</p> <p>Relevant details and notes to be included in the relevant Regulations.</p> <p>Drawing 4 (under the table) shall be subject to the Project Engineer's Specifications.</p> <p>All work to be carried out in accordance with the relevant Regulations, including the relevant Drawing and the Engineer's Specifications.</p> <p>Numerical values shall be in accordance with the relevant Regulations, including the relevant Drawing and the Engineer's Specifications.</p> <p>The Engineer's Specifications shall be in accordance with the relevant Regulations, including the relevant Drawing and the Engineer's Specifications.</p>	CLIENT Jennifer & Russell Staley	CHECKED GD	<p>DWG. TITLE</p> <p>Cover Page & Drawing Schedule</p> <p>PROJECT</p> <p>41 & 43 BEACH ROAD COLLAROY</p> <div><p>Level 1, 1 Mary's Place Surry Hills, 2010</p><p>P 02 9332 3601 W 360b.mel.au ABN 90 146 901 322</p><p>L-DA-00</p></div>
A	Draft DA for Co-ordination	12.12.19	KR		ARCHITECT Virginia Kerridge Architect	DRAWN KR	
B	DA	18.12.19	KR		SCALE N/A @ A1	ISSUED FOR DA	

FINISHES SCHEDULE

HARDWORKS		
	Edge Type 1	Flush steel edge to all Garden beds
	Fence Type 1	Palisade Boundary Fence to Architects Detail
	Fence Type 2	1200mm High Palisade Pool Fence
	Gate Type 1	Gate to match F1 to Architects Detail
	Gate Type 2	1200mm High Pool Gate
	Paving Type 1	Mixed Stone Crazypaver
	Paving Type 2	Crazypave Steppers in Planting
SOFTWARES		
	Tree to be Retained and Protected	Refer to Arborist Report
	Tree to be Removed	Refer to Arborist Report
	New Tree	Refer to Plant Schedule
	Garden Bed Type 1	Garden Bed on Grade
	Garden Bed Type 2	Garden Bed on Slab
	Turf	Buffalo 'Palmetto'. 300mm min Soil Underlay
GENERALS		
	Site Boundary	Refer to Survey's Drawings
	Awning Over	Refer to Architect's Drawings
	Building Line	Refer to Architect's Drawings
LEVELS		
+ ex RL 88.00	Existing Level	To be Retained
+ RL 88.00	Reduced Level	Top of Finish Level
+ ToW 88.00	Top of Wall RL	Top of Finish Level
+ ToE 88.00	Top of Edge RL	Top of Finish Level
+ ToS 88.00	Top of Seat RL	Top of Finish Level
+ ToF 88.00	Top of Fence RL	Top of Finish Level

GENERAL NOTES

* FOR DEVELOPMENT APPLICATION ONLY

* All tree dimensions and RLs in metres. All other dimensions in mm unless stated otherwise.

* Do not scale from drawings. Use figured dimensions only. Larger scale drawings and written dimensions take preference.

* All work shall be carried out in accordance with current versions of Australian Standards, BCA and Local Government Regulations.

* Service location on plans are indicative only. *360 Degrees Landscape Architects Pty Ltd* accepts no responsibility for the accuracy of service locations shown or for services not shown. It is the responsibility of the contractor to determine service locations prior to the commencement of work, including contacting *Dial Before You Dig* and performing on site service locations. Locate and protect all services on site and in adjacent public domain. Any damages to services and associated damages remains the responsibility of the contractor and shall be rectified at no cost to the client or any other party.

*All adjoining property elements including but not limited to buildings, walls, trees and paving to be protected. Damaged elements remain the responsibility of the contractor and shall be rectified at no cost to the client or any other party.

* Existing trees to be retained are to be protected to Council and Project Arborist's requirements. No vehicular traffic, stockpiling or storage of materials within Tree Protection Zones (TPZs).

* No responsibility will be taken by 360 Degrees Landscape Architects Pty Ltd for any variations in design, construction method, materials specified and general specifications without permission from the Project Landscape Architect.

* This Drawing is copyright to 360 Degrees Landscape Architects Pty Ltd.

IRRIGATION NOTES

* Irrigation by specialist D&C Irrigation Consultant in accordance with the Performance Specification in the Landscape Technical Specification. Refer to Irrigation Consultant documentation for details and requirements of landscape irrigation system.

* Irrigation is to comply with Council Conditions of Consent and Water Authorities.

* All turf and garden beds within the site boundary are to be irrigated unless stated otherwise.

* Irrigation must be spaced at min. 200 centres and adjusted according to plant setout to provide adequate irrigation to all plants.

* Drip irrigation is to be fully concealed by 75mm minimum of mulch.

LANDSCAPE DIAGRAMS

LANDSCAPE OPEN SPACE



PLANT SCHEDULE

GROUND FLOOR - PLANTING SCHEDULE

Botanical Name	Common Name	Pot Size
TREES & PALMS		
<i>Draceana draco</i>	Dragon Tree	ex ground
<i>Elaeocarpus eumundii</i> *	Quandong	300L
<i>Howea forsteiana</i> *	Kentia Palm	ex ground
<i>Robinia pseudoacacia 'Frisia'</i>	Golden Robinia	300L
<i>Tristaniopsis laurina 'Luscious'</i> *	Luscious Water Gum	300L
<i>Waterhousea floribunda 'Sweeper'</i> *	Sweeper Weeping Lillypillly	300L
SHRUBS, GRASSES, FERNS & PERENNIALS		
<i>Acmena 'Sublime'</i> *	Sublime Lillypillly	400mm
<i>Aeonium arboreum</i>	Tree houseleek	200mm
<i>Alpinia nutans</i>	Dwarf Cardamon Ginger	200mm
<i>Alyxia buxifolia</i> *	Sea Box	200mm
<i>Banksia ericifolia</i> *	Heathleaved Banksia	200mm
<i>Casuarina 'Green Wave'</i> *	Green Wave Dwarf SheOak	200mm
<i>Correa alba</i> *	White Correa	200mm
<i>Dianella caerulea 'Little Jess'</i> *	Little Jess Flax Lily	200mm
<i>Dietes robinsoniana</i> *	Lord Howe Wedding Lily	200mm
<i>Doodia aspera</i> *	Rasp Fern	200mm
<i>Fatsia japonica</i>	Japanense Aralia	200mm
<i>Gardenia augusta 'Florida'</i>	Gardenia	300mm
<i>Leptospermum laevigatum 'Fore Shore'</i> *	Fore Shore Dwarf Tea Tree	200mm
<i>Ligularia tussilaginea</i>	Leopard Plant	200mm
<i>Liriope muscari 'Just Right'</i>	Just Right LillyTurf	200mm
<i>Lomandra 'Verday'</i> *	Verday Mat Rush	200mm
<i>Poa labillardieri 'Eskdale'</i> *	Eskdale Tussok Grass	200mm
<i>Rhaphiolepis 'Oriental Pearl'</i>	Oriental Pearl Indian Hawthorn	300mm
<i>Telopea speciosissima 'Wirrimbia White'</i> *	White Waratah	200mm
<i>Westringia fruticosa 'Blue Gem'</i> *	Blue Gem Coastal Rosemary	200mm
<i>Westringia fruticosa 'Mundi'</i> *	Mundi Coastal Rosemary	200mm
GROUNDCOVERS		
<i>Carpobrotus glaucescens</i> *	Angular Pig Face	150mm
<i>Casuarina 'Cousin It'</i> *	Trailing SheOak	150mm
<i>Rosmarinus 'Irene'</i>	Trailing Rosemary	150mm
<i>Viola hederacea</i> *	Native Violet	150mm
<i>Zoysia tenuifolia</i>	Temple Grass	150mm

LEVEL 1 - PLANTING SCHEDULE

Botanical Name	Common Name	Pot Size
SHRUBS & PERENNIALS		
<i>Fatsia japonica</i>	Japanense Aralia	200mm
<i>Raphiolepis</i> 'Snow Maiden'	Snow Maiden Indian Hawthorn	300mm
GRASSES, SUCCULENTS & GROUNDCOVERS		
<i>Crassula ovata</i>	Jade	300mm
<i>Crassula undulatum</i> 'Max Cook'	Wavy Jade	300mm
<i>Lampranthus</i> 'Pink Explosion'	Pink Explosion Dewplant	150mm
<i>Lomandra</i> 'Verday' *	Verday Mat Rush	150mm
<i>Rosmarinus</i> 'Irene'	Trailing Rosemary	150mm
<i>Yucca filamentosa</i>	Adam's Needle	300mm

* Australian Native / Native cultivar

LANDSCAPE STATEMENT

The proposed DA Landscape Drawings for 41 - 43 Beach Road Collaroy have been designed and set out in accordance with;

- The Client's Brief
- The Northern Beaches Council (Warringah DCP Documents)
- Architectural plans by Virginia Kerridge Architects

As part of a collaborative design team, 360 Degrees Landscape Architects propose to support clients requirements, architectural function and character through considered and refined landscape design, while also responding to the Northern Beaches Council (Warringah) Development Control Guidelines and the residences context within the coastal headland and beachfront Reserve of Stanley Florence Twight Reserve.

The proposed landscape increases the sites existing landscape offerings while maintaining deep soil zones for all proposed tree and palms to provide useable and attractive garden spaces for the residents.

The ground level landscape consists of three primary garden zones;

- Entry garden & Kids freeplay area
- Protected central pool garden and outdoor dining space
- Coastal bushland garden with pocketed lawn spaces to address Stanley & Florence Twilight Reserve.

Level 1 Roof Gardens will provide screening and privacy planting along the sites Northern boundary, while the green roof to the Southern wing will provide a green outlook for the Western neighbours will maintaining view lines.

The gardens will consist of primarily native plantings complemented with hardy exotic species suitable to the sites frontline coastal position.

Native Tree and Palm plantings will frame views lines and settle the building within the natural bushland reserve landscape.

LANDSCAPE PRECEDENTS

Landscape Character



Protected Central Garden with Pool, Spa & Entertaining Area



Pocketed Lawn spaces ensconced in garden



Connection to beach & surrounding coastal landscape character

Planting Character



Native Coastal planting palette which extends the surrounding reserve and coastal landscape



Intergration of hardy low water succulents suitable for coastal landscapes



Feature plants to compliment Architecture

Materiality



Granite pool tiling with flush wet edge coping



Entry pathway - Mixed stone crazy pave



Decking & Crushed granite informal pathways

[illegible]



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1522

STANLEY & FLORENCE TWILIGHT RESERVE

BEACH ROAD

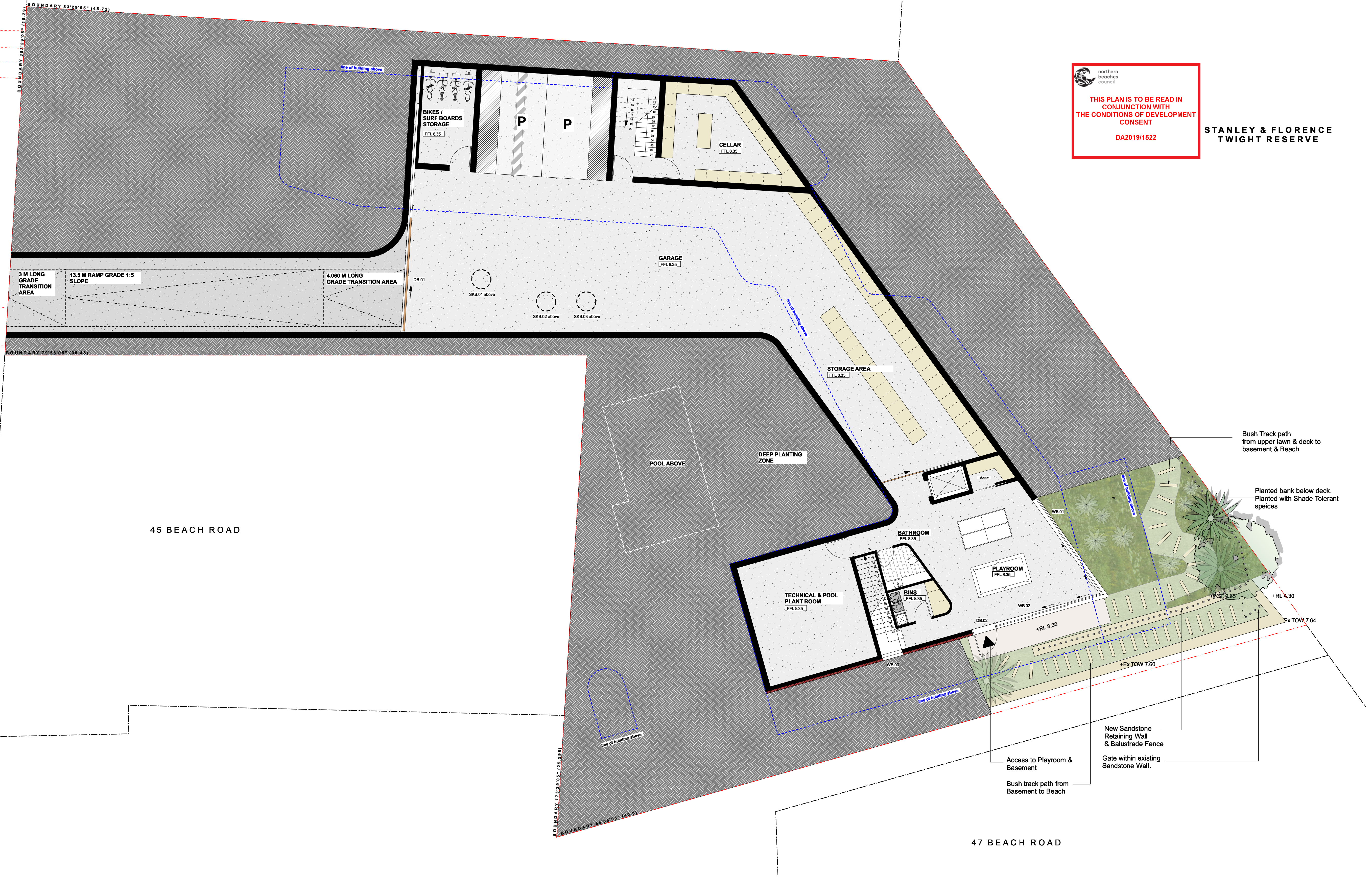
39 BEACH ROAD

45 BEACH ROAD

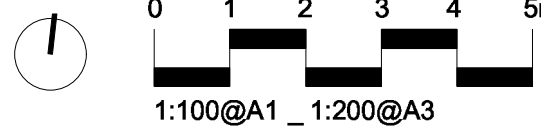
47 BEACH ROAD



STANLEY & FLORENCE
TWIGHT RESERVE



Rev	Amendment	Date	By
A	Draft DA for Coordination	12.12.19	KR
B	DA	18.12.19	KR



IMPORTANT NOTES:
This drawing is for general information only. It is not to be used for construction purposes. All dimensions are to be confirmed by the client. The client is responsible for ensuring that the drawing is used for the intended purpose. The client is responsible for ensuring that the drawing is used for the intended purpose. The client is responsible for ensuring that the drawing is used for the intended purpose.

CLIENT
Jennifer & Russell Staley
ARCHITECT
Virginia Kerridge Architect
SCALE
1:100 @ A1

CHECKED
GD
DRAWN
KR
ISSUED FOR
DA

DWG. TITLE
Landscape Plan - Basement
PROJECT
41 & 43 BEACH ROAD COLLAROY

360°
Level 1, 1 Mary's Place
Surry Hills, 2010
P 02 9332 3601
W 360.net.au
ABN 90 146 901 322

L-DA-05

STANLEY & FLORENCE
TWIGHT RESERVE

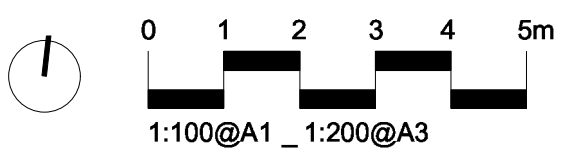
REFER TO GROUND FLOOR
LANDSCAPE PLANS

REFER TO GROUND FLOOR
LANDSCAPE PLANS

Raised Planters with feature plantings of succulents

Shallow Green Roof _____
Planted with low growing succulents,
ground covers and grasses

Rev	Amendment	Date	By
A	Draft DA for Coordination	12.12.19	KR
B	DA	18.12.19	KR



IMPORTANT NOTES:

- All drawings from drawings
- All discrepancies to be brought to the attention of the Project Landscape Architect
- Large scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated
- All tree work to be in accordance with the Tree Preservation Order
- Use figured dimensions only
- Verify all dimensions on site before commencement of any works
- Contractors shall locate and protect all services prior to construction
- All work shall be carried out in accordance with BS54, RCA and Local Government Regulations
- Supplementary Details shall be subject to Engineers' Specifications
- Grasspaw & Water Feature Details shall be subject to Hydraulic Engineer's Specifications
- All work shall be carried out in professional manner by Qualified Tradesmen according to Landscape Drawings and Engineers' Specifications
- Non-compliance will be taken to 3rd Professional member of Qualified Tradesmen according to Landscape Drawings and Engineers' Specifications
- Responsibility will be taken to 3rd Professional member of Qualified Tradesmen for any variations in design, construction and materials, methods, and general specifications without permission from the Project Engineer or Landscape Architect.

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CLIENT
Jennifer & Russell Staley

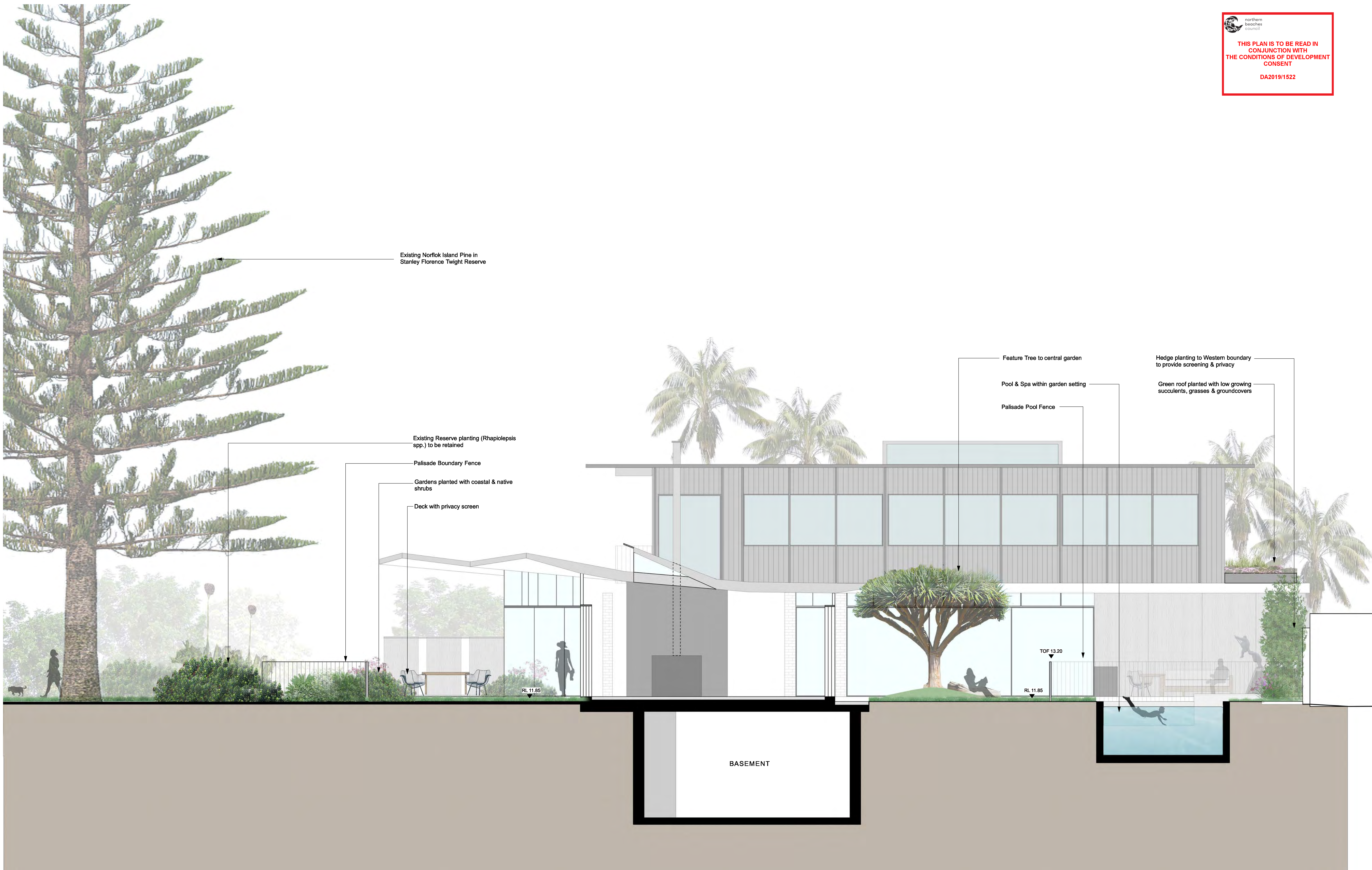
ARCHITECT
Virginia Kerridge Architect

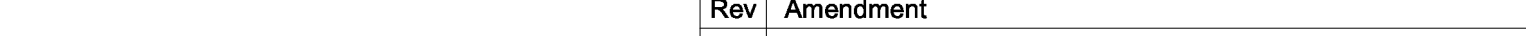

SCALE
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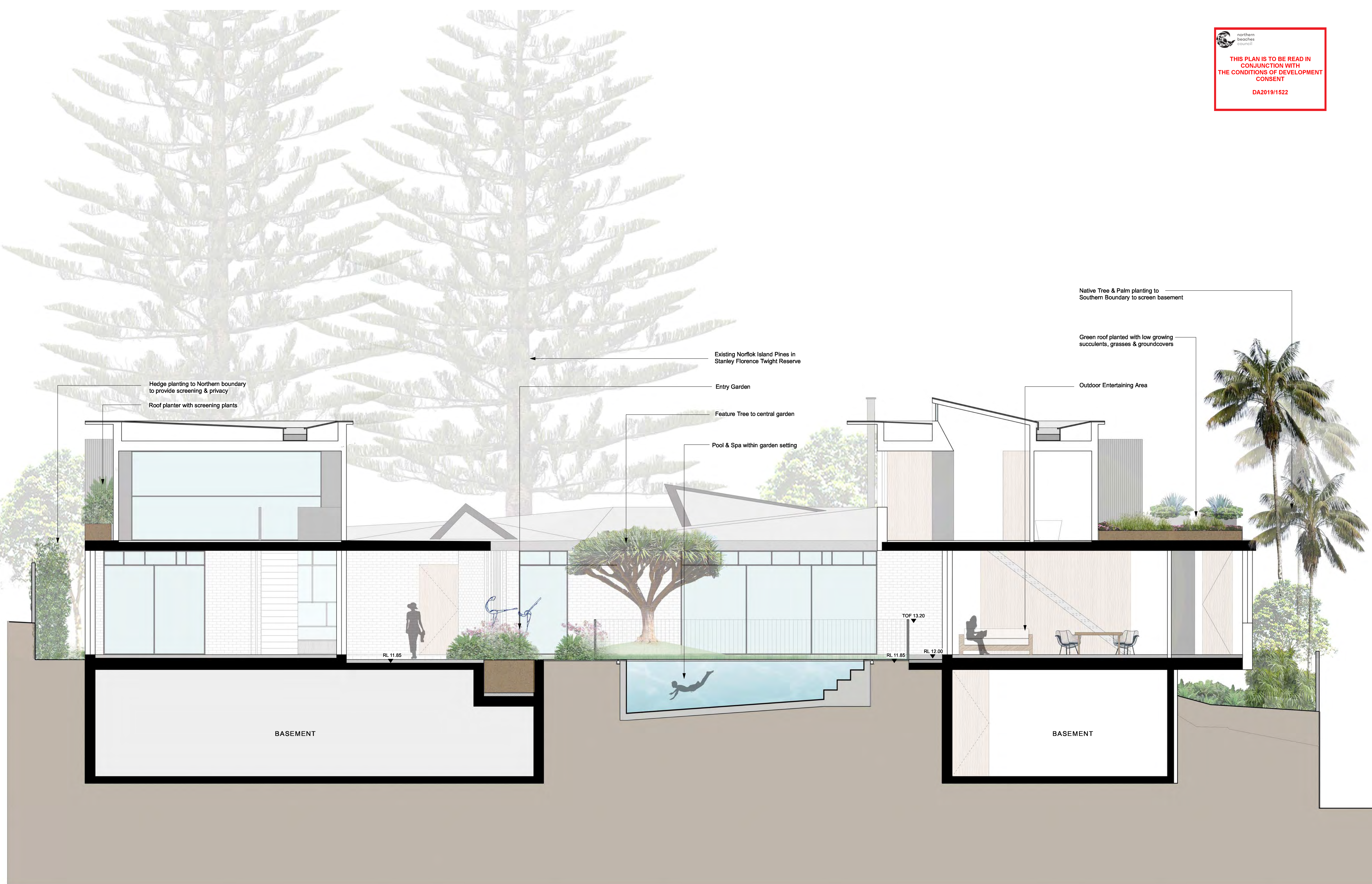
CHECKED	GD
DRAWN	KR
ISSUED FOR	DA

DWG. TITLE
Landscape Plan - Roof

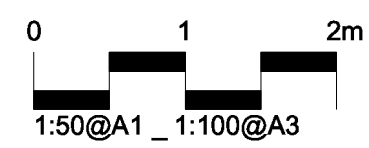
PROJECT
41 & 43 BEACH ROAD COLLAROY



Rev	Amendment	Date	By		IMPORTANT NOTES: Do not scale from drawings All dimensions to be brought to the attention of the Project Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All dimensions and fix to nearest mm Use typical dimensions unless otherwise stated Verify all dimensions on site before the commencement of any works. Carry out trial works and any ground or surface prior to construction All work shall be carried out in accordance with the NSW, ACT and Local Government Regulations. Boundaries shall not be based on the Engineer's Specifications. Drawings & Notes include Details shall be subject to hydraulic Engineer's Specifications. All work shall be carried out in accordance with the Engineer's Specifications, including the Landscape Drawings and the Engineer's Specifications. The Engineer is not responsible for any errors or omissions in the design, construction, installation, operation, maintenance, or general specifications without permission from the Project Engineer in Landscape Architect. This Drawing is copyright to 360 Degrees Landscape Architects Pty Ltd.	CLIENT Jennifer & Russell Staley ARCHITECT Virginia Kerridge Architect SCALE 1:50 @ A1	CHECKED GD DRAWN KR ISSUED FOR DA	DWG. TITLE Landscape Section 1 PROJECT 41 & 43 BEACH ROAD COLLAROE	 Level 1, 1 Mary's Place Surry Hills, 2010 P 02 9332 3601 W 360.net.au ABN 90 146 901 322	LDA-07
A	Draft DA for Co-ordination	12.12.19	KR							
B	DA	18.12.19	KR							



	Rev	Amendment	Date	By
	A	Draft DA for Co-ordination	12.12.19	KR
	B	DA	18.12.19	KR



IMPORTANT NOTES:

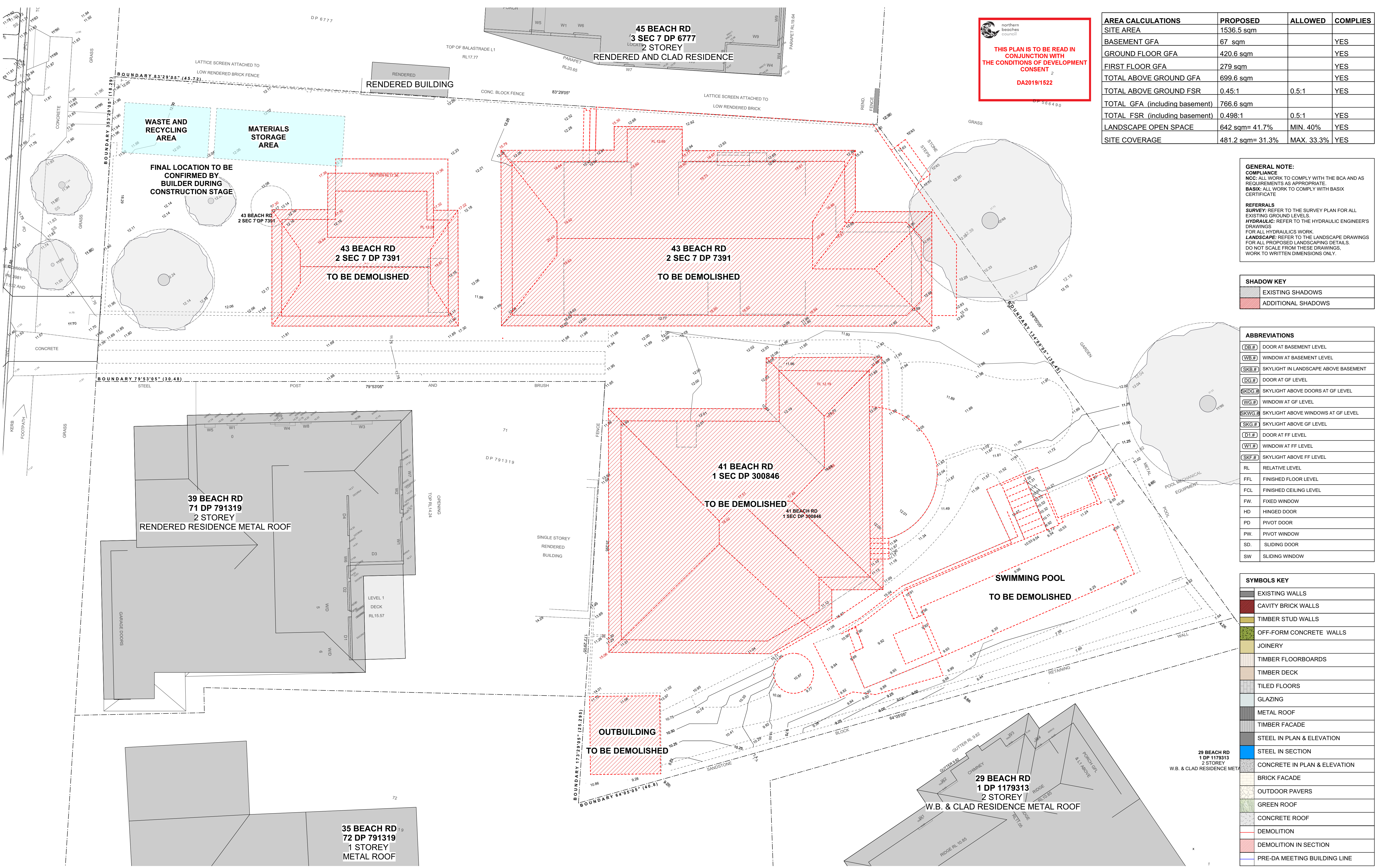
Do not scale from drawings
All dimensions to be brought to the attention of the Project Landscape Architect.
Larger scale drawings will provide dimensions take preference. All dimensions in mm unless otherwise stated.
All true dimensions and R/LA in inches.
Use Square dimensions only
Verify all dimensions on-site before the commencement of any work.
Confirmations shall include and project shall be subject to Hydraulic Engineer's Regulation
All work shall be carried out in accordance with ASA, BCA and Local Government Regulations
Structural Details shall be prepared by a Professional Engineer
Storage & Water Feature Drawings shall be subject to Hydraulic Engineer's Regulation
All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications
The drawing shall be sealed by 380 Degrees Landscape Architects Pty Ltd for any variations in design, conditions, method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
This Drawing is copyright to 380 Degrees Landscape Architects Pty Ltd.

CLIENT	Jennifer & Russell Staley
ARCHITECT	Virginia Kerridge Architect
SCALE	1:50 @ A1

CHECKED GD
DRAWN KR
ISSUED FOR DA

DWG. TITLE
Landscape Section 2

PROJECT
41 & 43 BEACH ROAD COLLAROY



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1522

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	67 sqm		YES
GROUND FLOOR GFA	420.6 sqm		YES
FIRST FLOOR GFA	279 sqm		YES
TOTAL ABOVE GROUND GFA	699.6 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	766.6 sqm		
TOTAL FSR (including basement)	0.498:1	0.5:1	YES
LANDSCAPE OPEN SPACE	642 sqm= 41.7%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

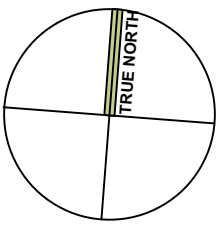
GENERAL NOTE:
COMPLIANCE
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.
BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE
REFERRALS
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DR MEETING BUILDING LINE

NOTES:
THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY
REFER TO WRITTEN DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.
REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS.
REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS.
REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.



amendments:			PROJECT
DATE	REV	DESCRIPTION	41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391
12/12/2019	A	DA ISSUE	
			DRAWING TITLE
			DEMOLITION AND WASTE MANAGEMENT PLAN

DATE	REVISION NUMBER
12/12/2019	A
SCALE:	DRAWING NO.
1:100 at A1 & 1:200 at A3	DAE 130

VIRGINIA KERRIDGE ARCHITECT
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ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159