



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

5 July 2005

Clare Hodges
25 The Outlook
BILGOLA PLATEAU NSW 2107

COPY

Dear Madam

Re: Construction Certificate CC0237/05
Property: 25 THE OUTLOOK BILGOLA PLATEAU NSW 2107

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development/Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0237/05

Page 1 of 2

Site Details: **25 THE OUTLOOK BILGOLA PLATEAU NSW 2107**

Legal Description: **Lot 190 DP 16902**

Type of Development: **Building Work**

Description: **Alterations and additions to an existing dwelling**

COPY

Associated Development Consent No: **N0730/04** Dated: **31/03/2005**

Building Code of Australia Certification: **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates:

- Architectural plans prepared by Peter Mandin, drawing labeled Plan: 1, dated 15 June 2004 and (amended on the 8 November 2004) endorsed by Jack Hodgson Consultants Pty.Limited, dated 27 April 2005.
- Sydney Water Quick Check Approval stamp, dated 18 April 2005.
- Structural Engineers details, prepared by Jack Hodgson Consultants Pty Limited, drawing no. 22116-S1, dated 27 October 2004 and drawing no. 22116-C1, and 18 May 2005.
- Certification from Jack Hodgson Consultants Pty Limited, dated 18 April 2005, certifying the adequacy of the existing structure to support the additional loads.
- Form No. 2 of Geotechnical Risk Management Policy For Pittwater, prepared by Jack Hodgson, dated 6 June 2005.
- Erosion and Sedimentation Management Control Plan and notes, drawn by Peter Mandin, prepared on D.P Surveying Services Pty Limited Plan, dated 17 August 2005.
- Schedule of external finishes re condition B33 of Development Consent N0730/04, undated.
- Specifications for Additions and Alterations on AS3959-1999, "Construction of Buildings In Bush Fire Prone Areas" with associated Bush Fire Statement prepared by Craig Geddes, dated 21 October 2005.
- Landscape plan and schedule of plant/species drawn by Clare Hodges, prepared on D.P Surveying Services Pty Limited Plan, dated 17 August 2005.
- Details of balustrading for the proposed timber deck, prepared by Clare Hodges, dated 4 June 2005.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: **N0730/04**



Pittwater Council

Construction Certificate No: CC0237/05

Page 2 of 2

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

Carl Georgeson
Development Compliance Group

COPY

5 July 2005
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for PETER MANDIN & CLARE HODGES
Name of Applicant

Address of site 25 THE OUTLOOK, BILGOLA PLATEAU

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, J. HODGSON on behalf of JACK HODGSON CONSULTING PTY LTD
(insert name) (trading or company name)

on this the 6-6-05
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details:

Report Title: RISK ANALYSIS & MANAGEMENT FOR PROPOSED
Report Date: 23/9/04
Author: J. HODGSON
ADDITIONS & ALTERATIONS AT 25 THE OUTLOOK, BILGOLA PLATEAU

Structural Documents list:

STRUCTURAL DETAIL PLAN 1 & 22116-S1

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JACK HODGSON
(name)

J. Hodgson
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 23-9-04 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature

Name

Chartered Professional Status

Membership No

J. HODGSON

M. Eng Sc. FIE Aust

149788

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0237/05

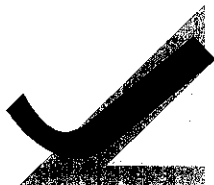
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date:

- 5 JUL 2005





Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VQ 22116B.
18th April, 2005.
Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

25 THE OUTLOOK, BILGOLA PLATEAU.

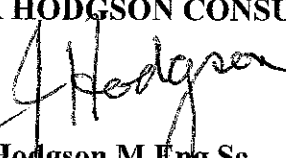
DA No. N0730/04.

This report on structural adequacy is based on a surface inspection of the subject property and an examination of the architectural plan of the proposed development. No opening up of the house or the grounds have been carried out.

We are satisfied that the existing structure is adequate to support the proposed replacement deck provided the ledger beam is adequately fastened to the wall and house structure.

Our Mr Jack Hodgson is appropriately qualified and experienced to issue this certificate.

JACK HODGSON CONSULTANTS PTY. LIMITED.


J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.

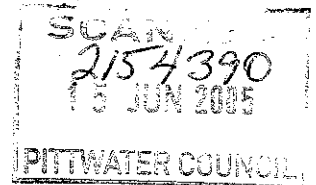
PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0237/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 5 JUL 2005

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

67 Darley Street, Mona Vale NSW 2103

PO Box 389 Mona Vale NSW 1660

Telephone: 9979 6733 Facsimile: 9979 6926



25 The Outlook

12th May 2005

To Whom It May Concern:

In relation to our application for a construction certificate:

Application CC0237/05

And as owner /builder of property:

25 The Outlook, Bilgola Plateau, NSW, 2107

190/ 16902

I will ensure that all construction specifications will comply with AS3959-1999 Level 3 under the conditions set by the Rural Bush fire service as per attached letter addressed to Elizabeth Piper, prepared by Craig Geddes: fire Control Officer for the Rural Fire service

Reference: N0730/40 dated 21st October 2004

Yours truly,
Clare Hodges

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0237/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 5 JUL 2005

Peter Mandin & Clare Hodges
25 The Outlook, Bilgola Plateau, 2107, Sydney, N.S.W, Australia.
Contact; + 61 2 9973 4473 peter@dauidsasia.comt

All communications to be addressed to:

Warringah / Pittwater FCC
NSW Rural Fire Service
PO Box 111
Terrey Hills NSW 2084

Warringah / Pittwater FCC
NSW Rural Fire Service
Thompson Dr Off Kamber Rd
Terrey Hills NSW 2084

Telephone: (02) 9450 3000
e-mail: george.sheppard@rfs.nsw.gov.au

Facsimile: (02) 9450 1028



The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Your Ref: N0730/04

Our Ref: DA04101314712 GS

Attention: Elizabeth Piper

Date: 21-Oct-2004

Dear Elizabeth,

RE: Land Use Application for 190 / 16902, 25 The Outlook, Bilgola Plateau NSW 2107

I refer to your letter dated 07-Oct-2004 seeking our advice in accordance with section S.79BA of the Environmental Planning & Assessment Act 1979 for the above property.

Based upon an assessment of the plans and documentation received for the proposal, the NSW Rural Fire Service, in respect to bush fire matters, provides the advice that the development should have the following conditions:

1. Construction shall comply with AS3959 - 1999 level 3 'Construction of Buildings in bushfire prone areas'.
2. All glazing towards the bushfire hazard shall be fire rated glass or toughened glass with non combustible shutters to be installed on all windows directly exposed to the bushfire hazard.
3. Roller doors, tilt-a-doors and the like shall be sealed to prevent the entry of embers into the structure.
4. The entire property shall be managed as an 'Inner Protection Area' as outlined within section 4.2.2 in Planning for Bushfire Protection 2001.
5. Access to the rear of the property shall be provided for fire fighting purposes.
6. All fencing shall be constructed from non-combustible materials.
7. The property around the dwelling to a distance of 20 metres, or to the Boundary, shall be maintained as an 'Inner Protection Area' (IPA) as outlined within section 4.2.2 in Planning for Bushfire Protection 2001.

For any enquiries regarding this correspondence please contact George Sheppard.

Yours faithfully,

Craig Geddes
Fire Control Officer

PETER MANON & CLARE HODGES . DP 16902

LOT 190

25 THE OUTLOOK

BILGOLA

PLATEAU

2107

COLOUR SCHEDULE
& FINISHED SURFACES

DEV. APPL. N° NO730/04



~ Wooden deck "merbau hardwood"



~ roof ~ colourbond "Jasper"



~ roof ~ skylights



Garden Path

~ walls ~ Bristol paint "gardenpath"



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0237/05

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by:

Date: - 5 JUL 2005

PITTSBURGH COUNCIL ON CONSTRUCTION CERTIFICATE

Number: CC 0237/08

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date:

-5 JUL 2005

189

262' 55" 30" 61.385

262° 55' 30" 80.02

191

CONSTRUCTION CERT APPLIC. CCO23705

PLANTS / SPECIES TO BE PLANTED
INDICATED IN ORANGE & N°

1, 3 & 5 :- EUCALYPTUS MACULATA

2,486 :- EVCAUPTUS VMBRA

7,10 & 11 :- COROALINE

849 :- CLUMPING BAMBOO

12 d 15 :- BromilADS

13,14 & 16 :- STAR JASMINE

These are the plants & species we will
plant in our property. 10/5/05

D. P. SURVEYING SERVICES PTY. LTD.

LAND & ENGINEERING SURVEYORS
227 QUEENS AVENUE, AVALON 2107.
PHONE : 99182060
FAX NO : 99187677
DATE : 17 AUGUST, 2004
MY REF : 1202

PLANTS & SPECIES TO BE PLANTED
BY C. HODGES 10/5/2005
99734473

LOT 190 IN D.P. 16902

AT No.25 THE OUTLOOK, BILGOLA PLATEAU.

SCALE 1:200 DATUM A.H.D.

SITE AREA = 928.5M SQ.

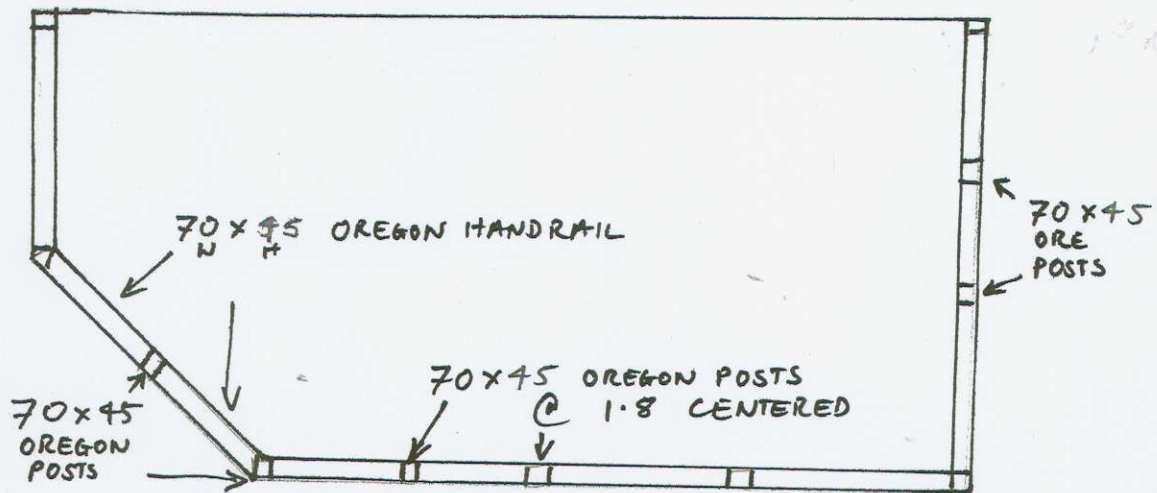
CONSTRUCTION CERTIFICATE APPLICATION CC0237/05

NOTES:

1. BEARINGS AND DISTANCES ARE BY TITLE ONLY.
2. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
3. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGNOSTIC ONLY, WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
4. SERVICES SHOWN HEREIN HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY, PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.
5. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND TITLES OFFICE PLANS; THEY ARE IN MAGNETIC MERIDIAN IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
6. S. V INDENT WINDOW
7. SUBJECT LAND IS AFFECTED BY COVENANTS NOS. C359422 WHICH HAVE NOT BEEN INVESTIGATED.

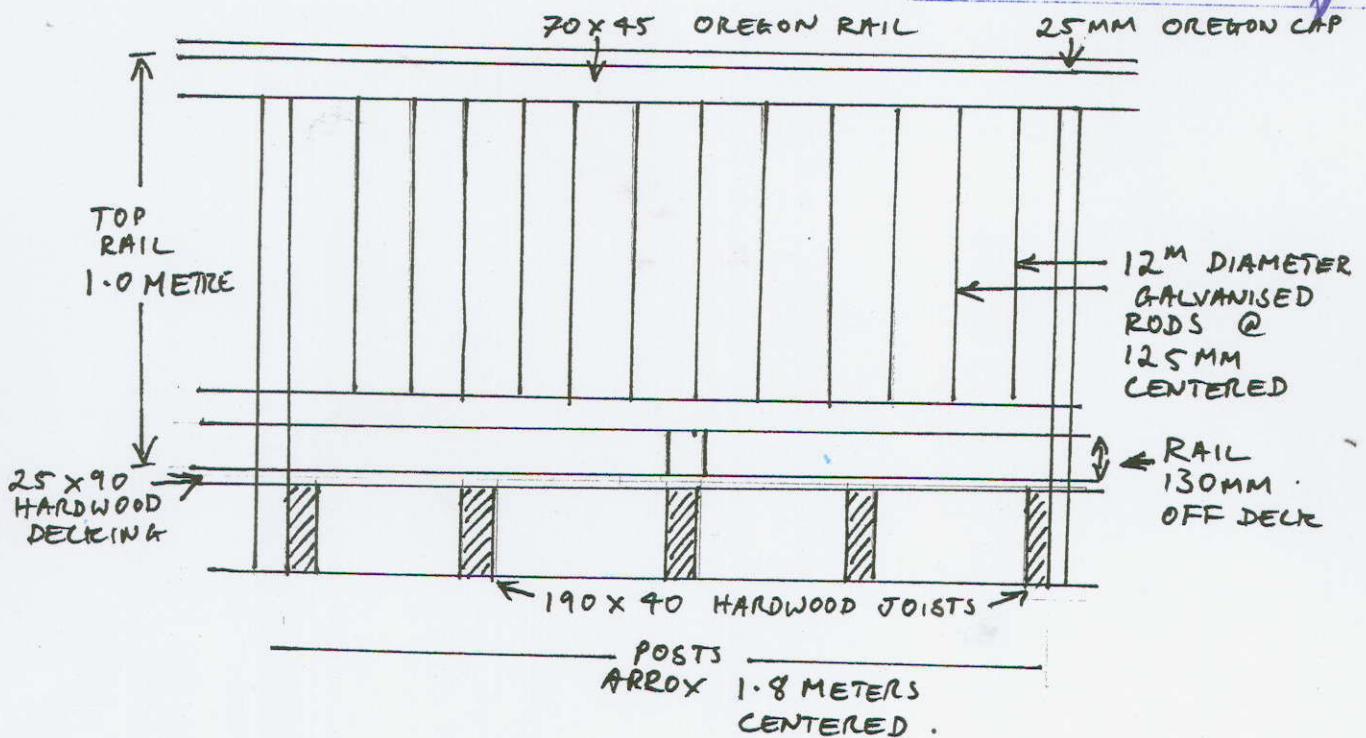
4/6/05

DETAILS OF BALUSTRADES FOR
PROPOSED DECK AT "25 THE OUTLOOK"
CONSTRUCTION APPLICATION CC0237/05
LOT 190/16902



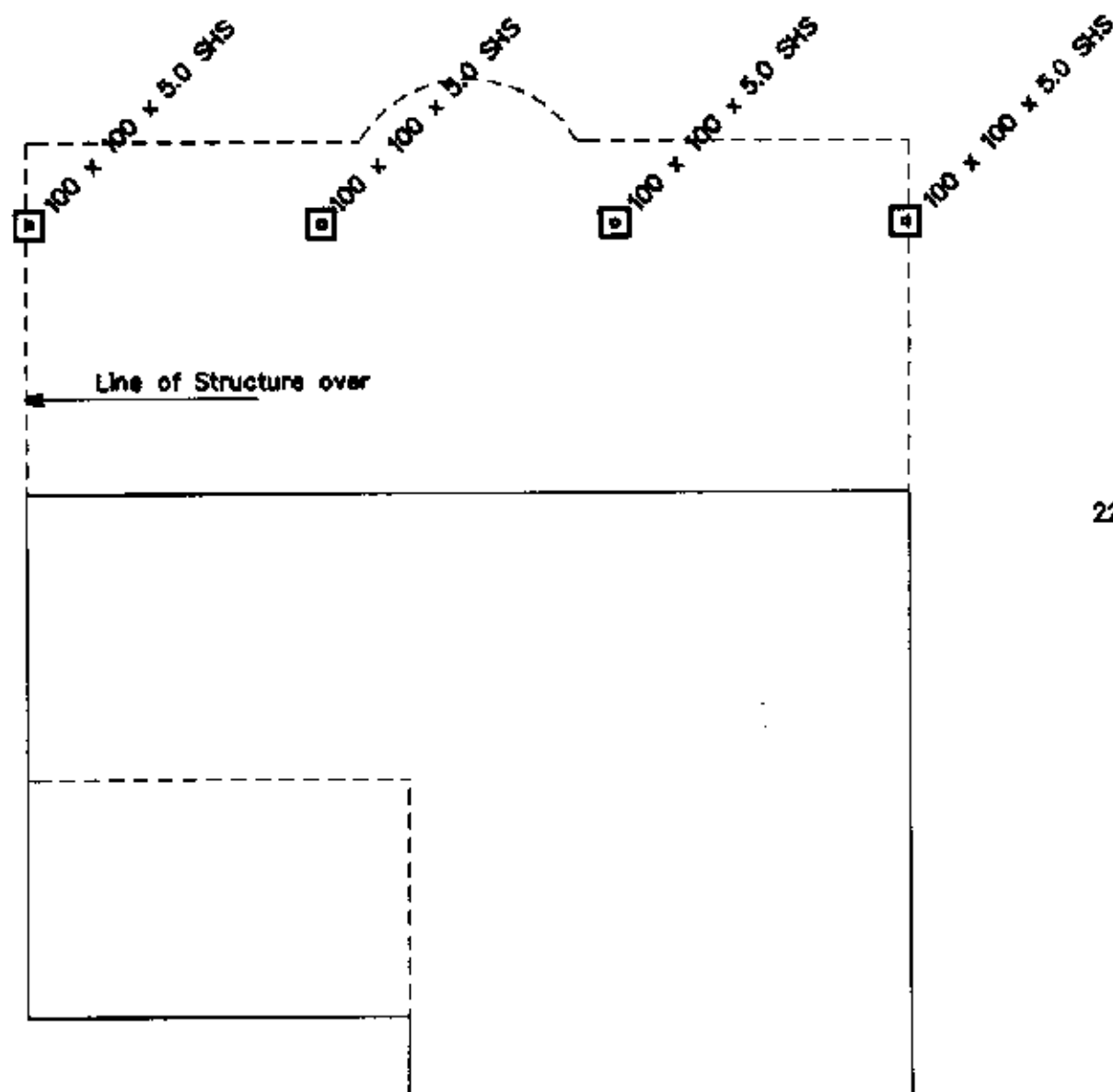
PLAN OF DECK

PMTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC0237/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	- 5 JUL 2005
Date:	



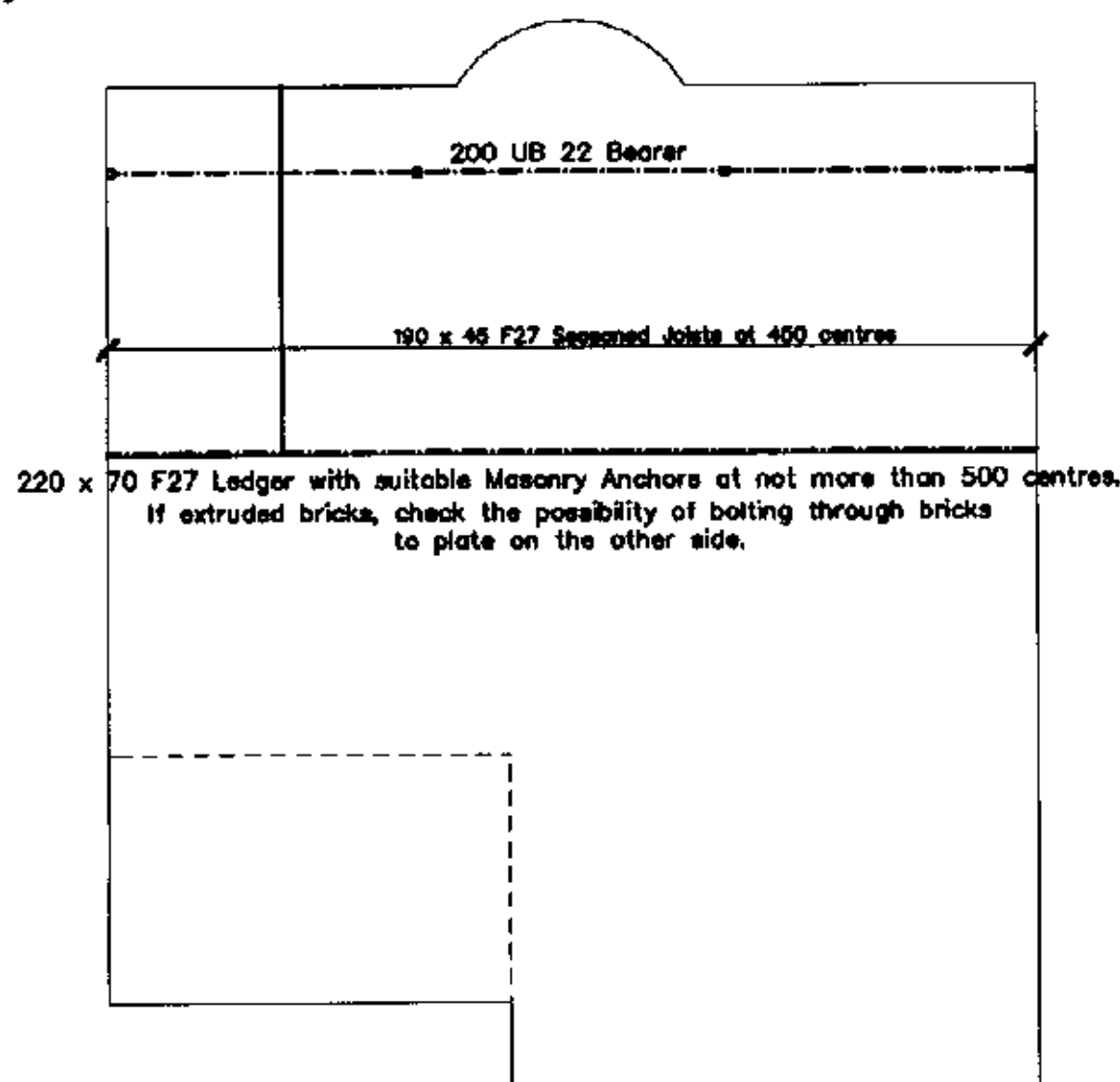
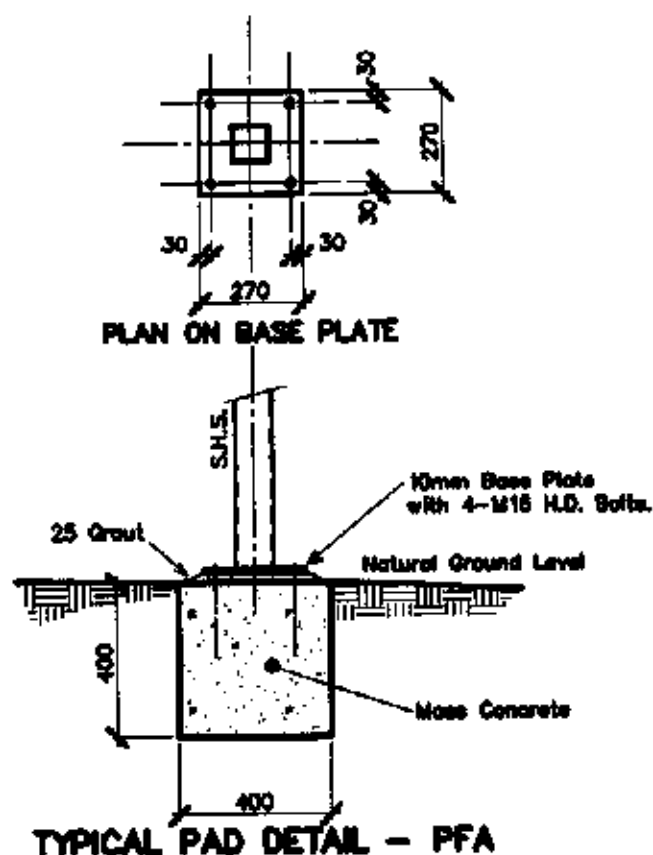
HAND RAIL

BY CLARE HODGES
4/6/05

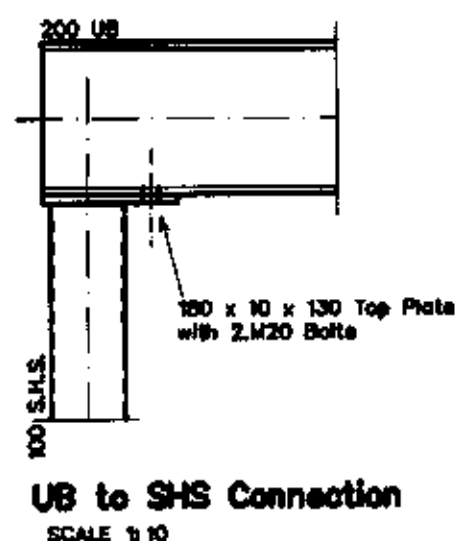


FOOTING PLAN

NOTE:
If rock is encountered at founding depth, Base plate may be placed on Levelling Pad, and adequately fixed to Rock.



DECK MARKING PLAN



UB to SHS Connection
SCALE 1:10

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0237/05

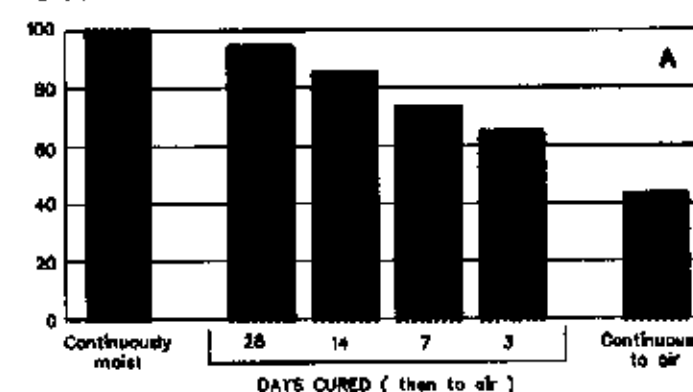
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: [Signature]

Date: - 5 JUL 2005

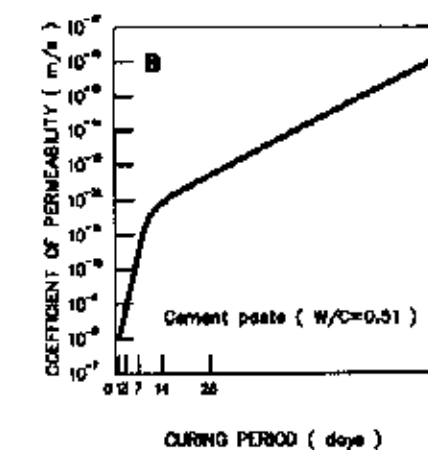
IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 140 DAYS
AS % OF CONTINUOUSLY MOIST CURED SAMPLE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability

Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)



CONCRETE NOTES.

- All concrete work to be in accordance with AS 3600.
- F'a Refer to table.
- Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
- Slump = 80.
- All concrete, including block filling, to be vibrated.
- Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
- Bar Chairs to be no more than 800mm ctr to ctr spacing.
- Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
- Reinforcement to be tied at every other intersection minimum.
- Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1986.

Element	Cover (mm)		F'a at 28 Days	
	Internal	External	Internal	External
Piers				
Footings			32	

The minimum clear cover is to reinforcement ties and stirrups.

STEELWORK NOTES

- Fabricate and erect all structural steelwork in accordance with AS 3680.1, AS 4100, AS 1554 and the Specification.
- Do not obtain dimensions by scaling the structural elements.
- Chip all welds free of slag.
- All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
- Unless otherwise noted use
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.6/s bolts
- Minimum end bearing 150mm.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...

I hold the following qualifications or licences No.....M.Eng.Sc.....

.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149768.....

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.

A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870.1, A.S.3600, A.S.3700

A.S.4100 & A.S. 1183

Jack D. Hodgson 29/10/04 [Signature]

Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

FOOTING AND DECK MARKING PLAN

PROPOSED IMPROVEMENTS

25 THE OUTLOOK

BILGOLA PLATEAU

CLARE HODGES and PETER MANDIN

Our drawings are based on the information provided by:-

Peter Mandin, Owner / Client

Drawing No:- Date:-

Amendment:- Date:-

The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificates will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.

11 Bungon Street, MONA VALE 2103, P.O. Box 388, Post Code 1680.

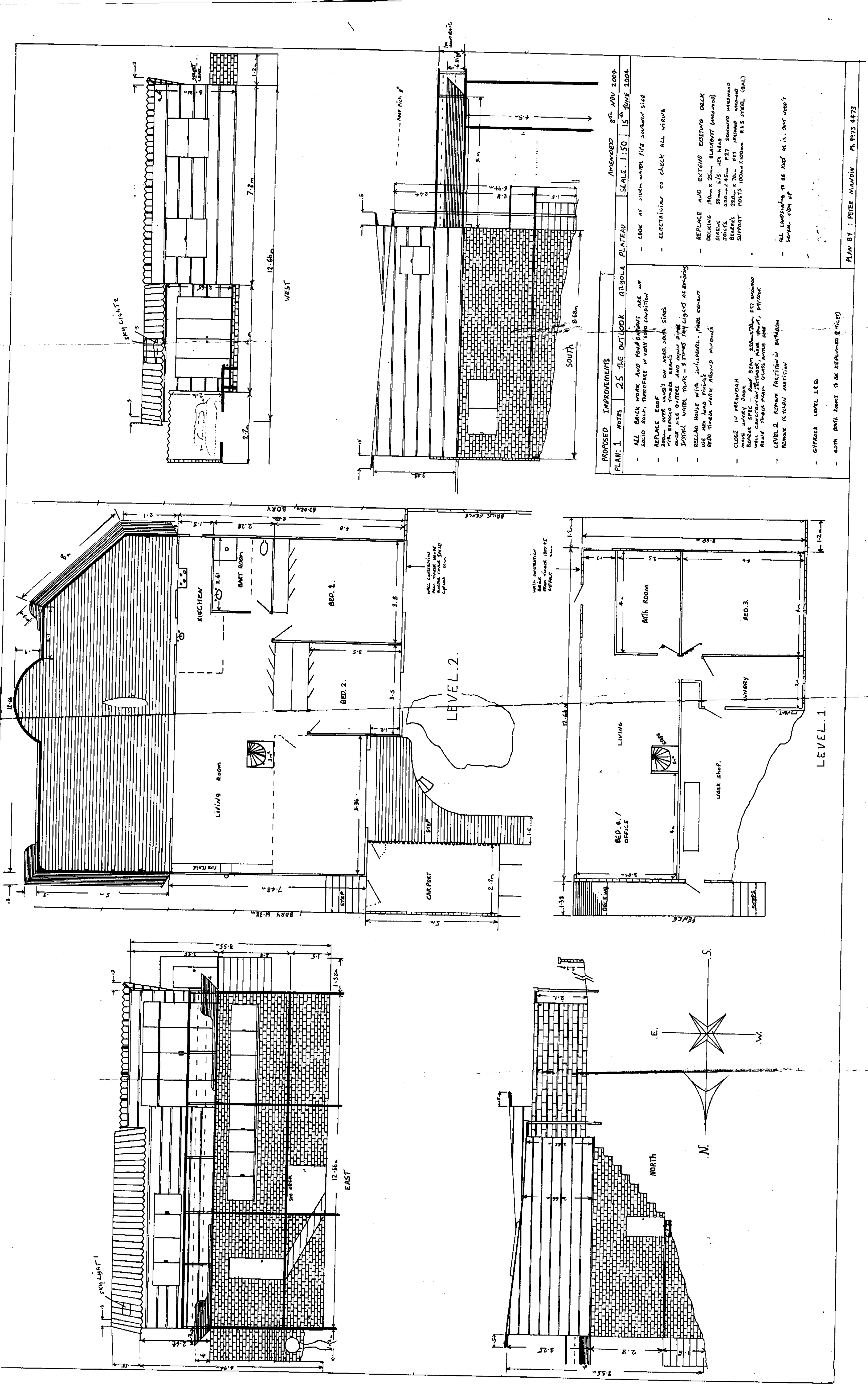
Telephone (02) 9979 6733. Facsimile (02) 9979 6826. A.C.N. 053 425 011

Designed JDH Drawn SG Job No. Drawing No.

Checked JDH Scale 1:100,20, uno.

Date 27 October 2004

22116-S1



SHANEY WATKIN APPROVED

1. Review of documents in relation to this project.
2. Review of documents in relation to this project.
3. Review of documents in relation to this project.
4. Review of documents in relation to this project.
5. Review of documents in relation to this project.
6. Review of documents in relation to this project.
7. Review of documents in relation to this project.
8. Review of documents in relation to this project.
9. Review of documents in relation to this project.
10. Review of documents in relation to this project.

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLAN

NOTE: THESE PLANS MUST BE RE-APPROVED IN CONJUNCTION WITH THE COUNCIL DEVELOPMENT

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
I hold the following qualifications: M. Eng. Sc.
F. I. E. Aust. N. Eng. & Structure No. 16788

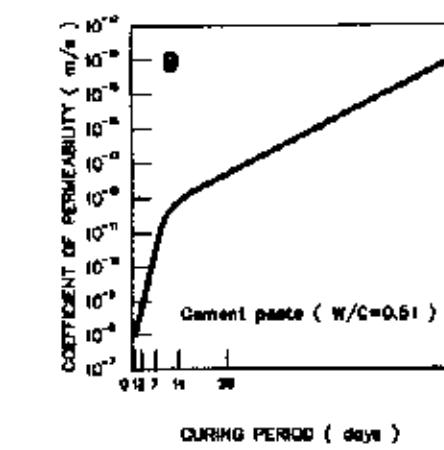
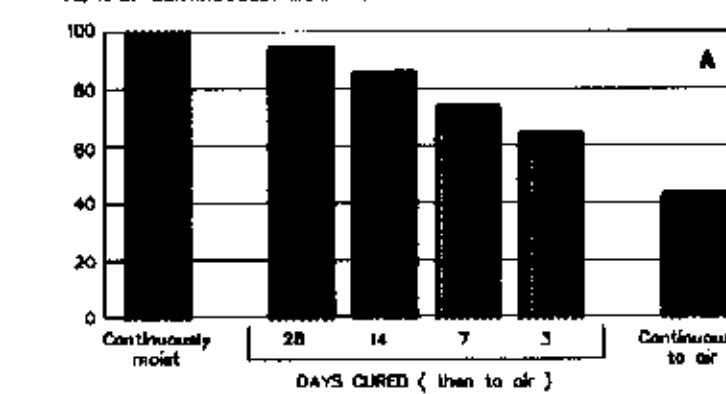
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian industry standards apply.

JACK HODGSON 27/11/25
Date: 27/11/25
Signature: [Signature]

Sydney Water
Quick
check
Stamp

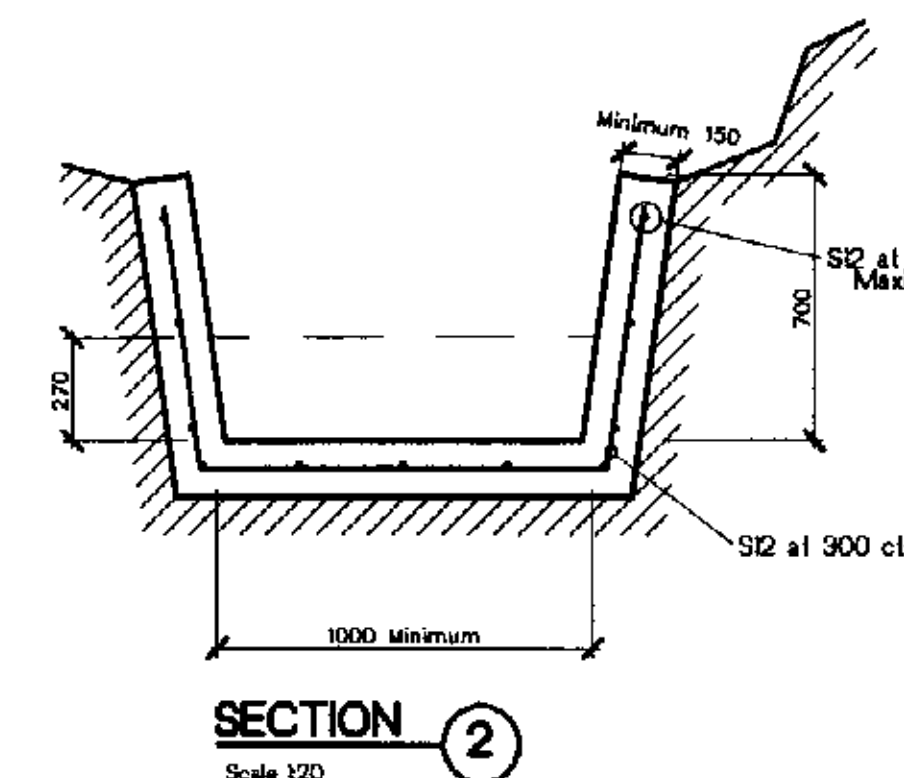
IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS
AS % OF CONTINUOUSLY MOST CURED SAMPLE



Effect of curing duration on : (A) compressive strength and (B) concrete permeability

Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1984:1996)



NOTE: Maximum capacity for the 525mm diam pipe is 15m³/s
Therefore the depth of flow is 0.27m where the channels minimum slope occurs.

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0237/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: [Signature]
Date: 5 JUL 2005

CONCRETE NOTES.

1. All concrete work to be in accordance with AS 3600.
2. $f_{ck} = 25 \text{ MPa}$
3. Maximum aggregate size = 20 for footings/slabs & beams
= 10 for block filling
4. Slump = 80.
5. All concrete, including block filling to be vibrated.
6. Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
7. Bar Chairs to be no more than 800mm c/c to air spacing.
8. Reinforcing Steel to comply with AS/NZS 4672:2001 and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
9. Reinforcement to be tied at every other intersection minimum.
10. Moisture Vapour Membrane to be 200 Microns thick U.V. Resistant and to be in accordance with AS 2870-1996.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700
A.S.4100 & A.S. 1163

Jack D. Hodgson 3/6/05 [Signature]
Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

SITE PLAN, LONG SECTION AND TYPICAL SECTION

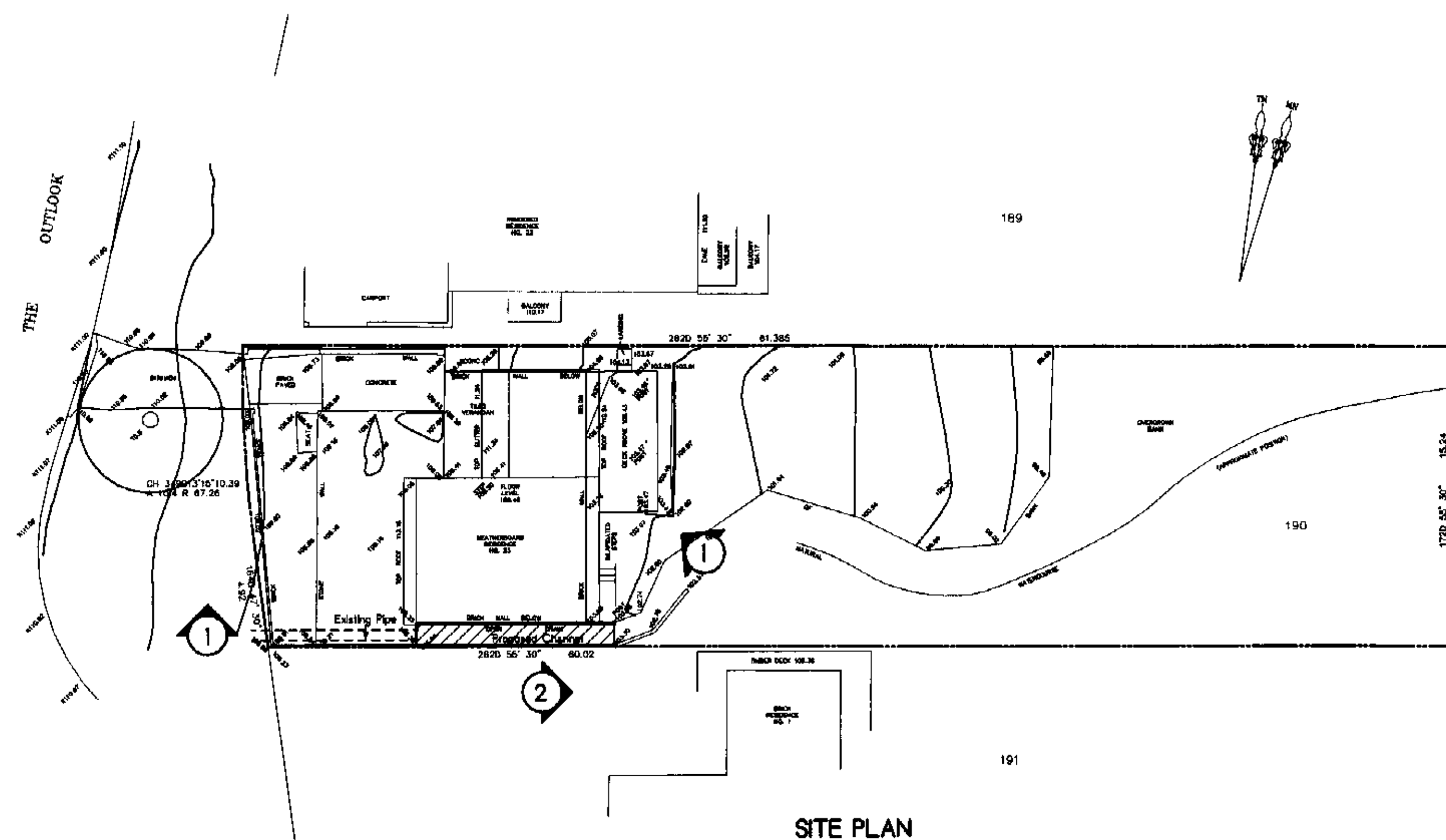
PROPOSED CHANNEL
25 THE OUTLOOK
BILGOLA PLATEAU
CLARE HODGES

Our drawings are based on the information provided by:-
GP SURVEYING SERVICES
Drawing No:- 1202 Date:- 17 August 2004

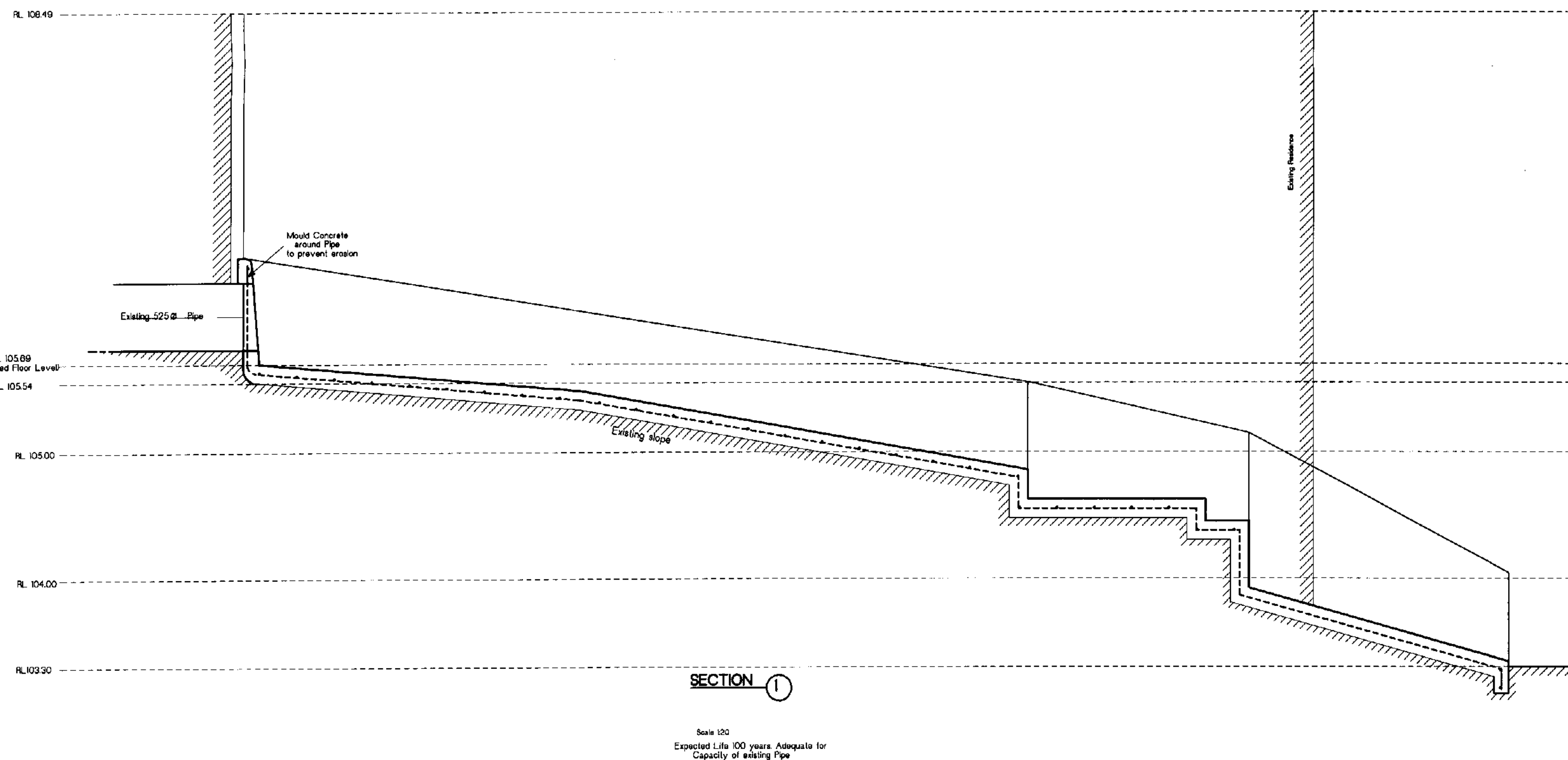
The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers
87 Dorley Street, MONA VALE 2103, P.O. Box 388, Post Code 1680.
Telephone (02) 9579 6733, Facsimile (02) 9579 6926, A.C.N. 053 405 011

Designed JDH	Drawn MJC	Job No. 22116-C1
Design Check JDH	Drawing Check SG	
Date 18 MAY 2005		

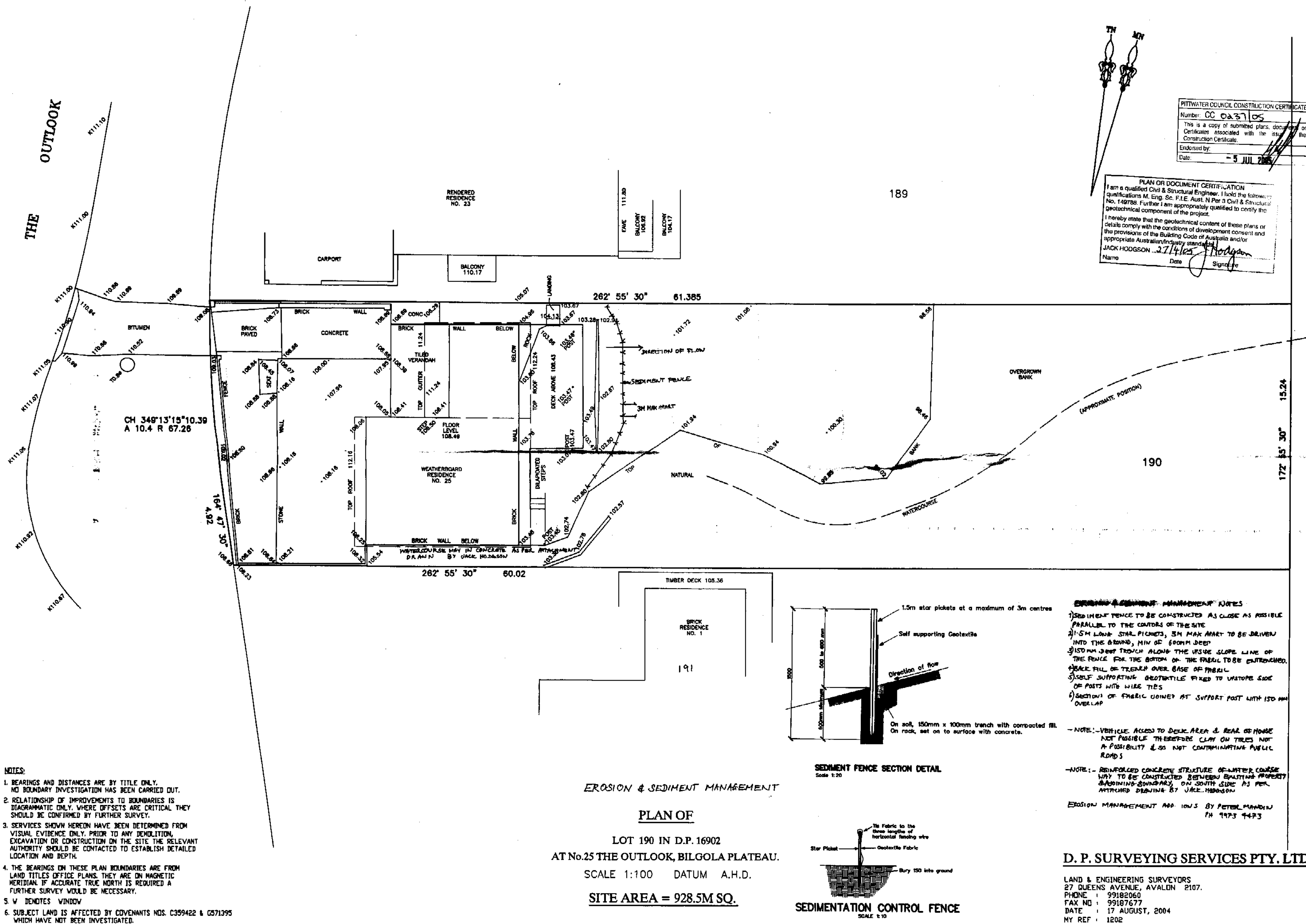


SITE PLAN



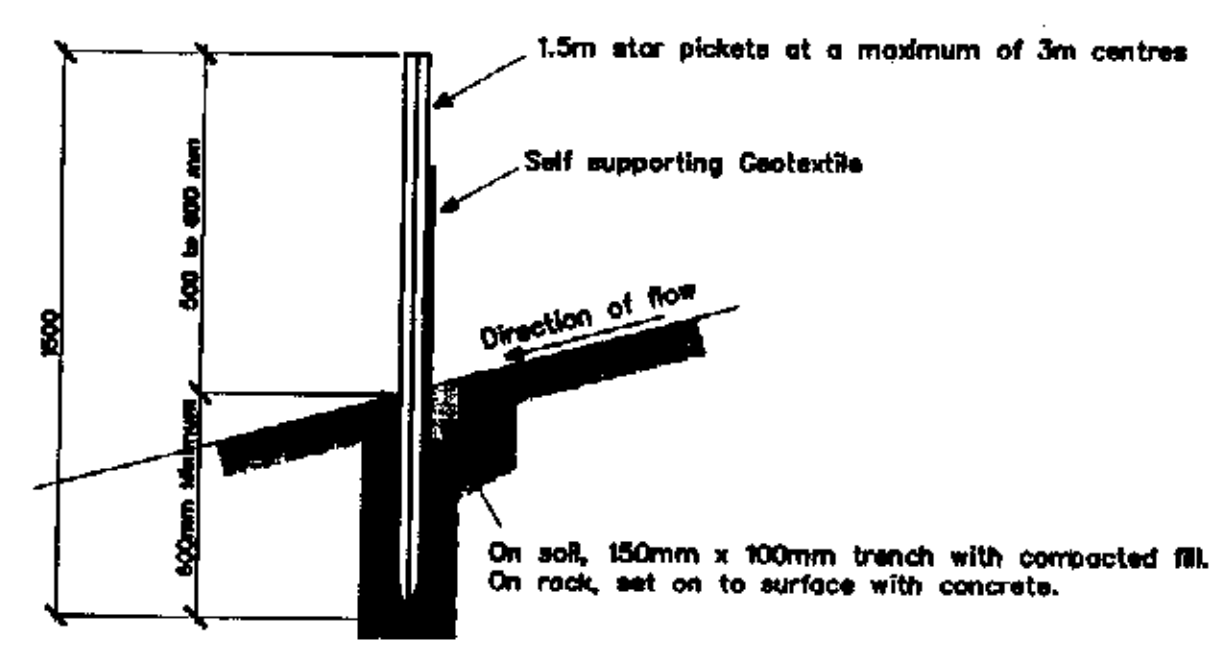
SECTION 1

Scale 1:20
Expected Life 100 years. Adequate for Capacity of existing Pipe

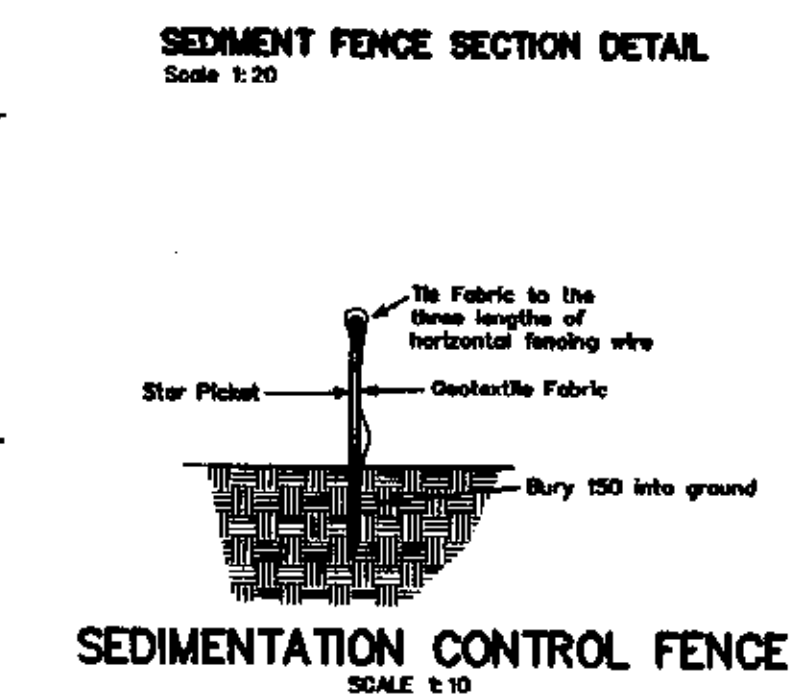


PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0237105
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 Endorsed by:
 Date: - 5 JUL 2005

PLAN OR DOCUMENT CERTIFICATION
 I am a qualified Civil & Structural Engineer. I hold the following
 qualifications M. Eng. Sc. F.I.E. Aust. N Per 3 Civil & Structural
 No. 149788. Further I am appropriately qualified to certify the
 geotechnical component of the project.
 I hereby state that the geotechnical content of these plans or
 details comply with the conditions of development consent and
 the provisions of the Building Code of Australia and/or
 appropriate Australian Industry standards.
 JACK HODGSON 27/4/05
 Name Date Signature



EROSION & SEDIMENT MANAGEMENT NOTES
 1) SEDIMENT FENCE TO BE CONSTRUCTED AS CLOSE AS POSSIBLE
 PARALLEL TO THE BOUNDARY OF THE SITE
 2) 1.5M LONG STAR PICKETS, 3M MAX APART TO BE DRIVEN
 INTO THE GROUND, MIN OF 600MM DEEP
 3) 150MM DEEP TRENCH ALONG THE UPSLOPE SIDE OF
 THE FENCE FOR THE BOTTOM OF THE FENCE TO BE ENTRENCHED.
 4) BACK FILL OF TRENCH OVER BASE OF FENCE
 5) SELF SUPPORTING GEOTEXTILE FIXED TO UPSLOPE SIDE
 OF POSTS WITH WIRE TIES
 6) SECTIONS OF FABRIC JOINED AT SUPPORT POST WITH 150MM
 OVERLAP
 -NOTE:- VEHICLE ACCESS TO DRIVE AREA & REAR OF HOUSE
 NOT POSSIBLE THEREFORE CLAY ON TIRES NOT
 A POSSIBILITY & SO NOT CONTAMINATING PUBLIC
 ROADS
 -NOTE:- REINFORCED CONCRETE STRUCTURE OF WATER COURSE
 WAY TO BE CONSTRUCTED BETWEEN BAILING PROPERTY
 BOUNDARY BOUNDARY, ON SOUTH SIDE AS PER
 ATTACHED DRAWING BY JACK HODGSON
 EROSION MANAGEMENT APP. 10/05 BY PETER MANDIJA
 PH 9473 9473



EROSION & SEDIMENT MANAGEMENT
PLAN OF
LOT 190 IN D.P. 16902
AT No.25 THE OUTLOOK, BILGOLA PLATEAU.
SCALE 1:100 DATUM A.H.D.
SITE AREA = 928.5M SQ.

NOTES:
 1. BEARINGS AND DISTANCES ARE BY TITLE ONLY.
 NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
 2. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS
 DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY
 SHOULD BE CONFIRMED BY FURTHER SURVEY.
 3. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM
 VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION,
 EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT
 AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED
 LOCATION AND DEPTH.
 4. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM
 LAND TITLES OFFICE PLANS. THEY ARE ON MAGNETIC
 MERIDIAN. IF ACCURATE TRUE NORTH IS REQUIRED A
 FURTHER SURVEY WOULD BE NECESSARY.
 5. W DENOTES WINDOW
 6. SUBJECT LAND IS AFFECTED BY COVENANTS NOS. C359422 & C571395
 WHICH HAVE NOT BEEN INVESTIGATED.

D. P. SURVEYING SERVICES PTY. LTD.
 LAND & ENGINEERING SURVEYORS
 27 QUEENS AVENUE, AVALON 2107.
 PHONE : 99182060
 FAX NO : 99187677
 DATE : 17 AUGUST, 2004
 MY REF : 1202



Pittwater Council
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HINC)
\$0 - \$5,000	\$92.00	\$161.00
\$5,001 - \$100,000	\$235.00	\$305.00
\$100,001 - \$250,000	\$376.00	\$430.00
\$250,001 and over	\$484.00	
\$250,001 - \$500,000		\$590.00
\$500,001 - \$1,000,000		\$740.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
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1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: <i>NO730/04</i>	Determination Date: <i>31 MARCH 2005</i>
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: <i>CC0237/05</i>	Date of Issue: <i>5 JULY 2005</i>
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1c) DEVELOPMENT DETAILS

Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development:
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1d) SITE DETAILS

Unit/Suite:	Street No: <i>25</i>	Street: <i>THE OUTLOOK</i>
Suburb: <i>BILGOLA PLATEAU</i>	Lot No:	Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B): Mobile: Email: Fax:

3. **PRINCIPAL CERTIFYING AUTHORITY**

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If **NO** work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

**If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia.
Tel: 61 2 98950111 Fax: 61 2 9895 0222.**

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:


Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- | | |
|--|--|
| <input checked="" type="checkbox"/> Footing Inspection (prior to placement of concrete) | 
Office Use Only |
| <input type="checkbox"/> Slab and other Steel Inspection (prior to placement of concrete) | |
| <input checked="" type="checkbox"/> Frame Inspection (prior to fixing floor, wall & ceiling linings) | |
| <input checked="" type="checkbox"/> Wet Area Waterproofing Inspection (prior to covering) | |
| <input checked="" type="checkbox"/> Stormwater Inspection (prior to backfilling of trenches) | |
| <input type="checkbox"/> Swimming Pool Safety Fence Inspection (prior to placement of water) | |
| <input checked="" type="checkbox"/> Final Inspection (all works completed and prior to occupation of the building) | |

Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$100,000	\$150
\$100,001 and over	\$250

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$270	\$270
Commercial (Class 2 – 9 buildings)	\$325	\$325

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

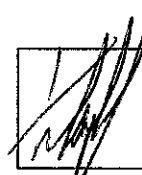
Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☒ Details of compliance with development consent conditions


Office Use Only

Office Use Only

7f) Certification of Works:


To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
 - ☐ Shoring and support for adjoining premises and structures by a structural engineer
 - ☐ Contiguous piers or piling by a structural engineer
 - ☐ Underpinning works by a structural engineer
 - ☐ Structural engineering works by a structural engineer
 - ☐ Retaining walls by a structural engineer
 - ☐ Stormwater drainage works by a hydraulic engineer and surveyor
 - ☐ Landscaping works by the landscaper
 - ☐ Condition of trees by an Arborist
 - ☐ Mechanical ventilation by a mechanical engineer
 - ☐ Termite control and protection by a licensed pest controller
 - ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
 - ☐ Installation of glazing by a licensed builder
 - ☒ Installation of smoke alarm systems by a licensed electrician
 - ☐ Completion of construction requirements in a bush fire prone area by a competent person
 - ☐ Completion of requirements listed in the BASIX Certificate by a competent person
 - ☐ Fire resisting construction systems by a competent person
 - ☐ Smoke hazard management systems by a competent person
 - ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
 - ☐ Completion of Bushland Management requirements by a suitably qualified person.
 - ☐ Installation of Waste Water Management System by a suitably qualified person
 - ☐ Installation of the inclined lift by a suitably qualified person
 - ☐ Installation of sound attenuation measures by an acoustic engineer
- 
 Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. COUNCIL'S AGREEMENT TO APPOINTMENT

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	