

PROJECT:

NEW SECONDARY DWELLING TO:  
LOT 6 IN D.P 11376  
15 HUDSON PARADE, AVALON BEACH, NSW

ARCHITECT:

ANNABELLE CHAPMAN ARCHITECT

ANNABELLE CHAPMAN ARCHITECT PTY LTD | Nominated Architect: Annabelle Chapman | NSWARB Reg No 4921 | ABN: 66 095 399 518  
Level 19, 100 William Street, Sydney, New South Wales 2000  
t 02 8076 5333 m 0412 665 412 e info@achapmanarchitect.com.au w achapmanarchitect.com.au

STAGE:

ISSUED FOR DEVELOPMENT APPLICATION

DATE:

AUGUST 2020

SITE LOCATION:



EXISTING MAIN DWELLING - NO CHANGE



BASIX COMMITMENTS:	
Thermal Comfort Specifications	
Glazing Doors/windows/clerestory	Aluminium framed single clear performance glazing throughout: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Given values are AFRC, total window system values (glass and frame)
Roof	Metal roof with foil backed blanket (R <sub>up</sub> 1.3 and R <sub>down</sub> 1.3) External Colour: Light (SA < 0.475)
Ceiling	Plasterboard ceiling with R3.0 insulation (insulation value only) where roof is above Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assume sealed LED downlights, one every 2.5m².
External Walls	Lightweight wall with R2.0 insulation (insulation only value) Concrete wall with R2.0 insulation (insulation only value) to the stairs in the carport External Colour: Light (SA < 0.475)
Internal walls	Plasterboard on studs
Floors	Concrete slab on ground, 150mm slab thickness Suspended concrete slab, 150mm slab thickness with R2.0 insulation (insulation only value) to open subfloor and floor above storeroom & carport Floor coverings: tiles to bathroom and timber elsewhere as per plans
External Shading	Covered Porch and Alfresco. Eaves as per stamped plans
BASIX Water Commitments	
Fixtures	Install showerheads minimum rating of 4 stars-Low flow (>4.5 and <= 6 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 5 stars in the kitchen Install taps with minimum rating of 5 stars in each bathroom
Alternative Water	Storm water present on site with a minimum 4,500L capacity. Tank connected to – At least one outdoor tap
BASIX Energy Commitments	
Hot water System	Gas Instantaneous – 6 Stars
Cooling system	Ceiling fan to living areas and bedrooms
Heating system	No active heating system to living areas and bedrooms
Ventilation	Kitchen– Individual fan, externally ducted to roof or façade, manual on/off switch Bathrooms/Laundry - Individual fan, externally ducted to roof or façade, manual on/off switch
Other	Gas cooktop & gas oven Outdoor clothes drying line Well ventilated fridge space

**GENERAL NOTES:**

**NOTE 1:** ALL WORK TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND B.C.A. REQUIREMENTS.

**NOTE 2:** CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

**NOTE 3:** THE PROPOSED WORKS HAVE BEEN DESIGNED TO COMPLY WITH BASIX CERTIFICATE.

**NOTE 6:** PROVIDE FLOOR, WALL AND ROOF STRUCTURE AS REQUIRED AND TO ENGINEERS DETAILS.

**NOTE 11:** PROVIDE FOR FLOOR FINISHES NOTED ON THE DRAWINGS. PROVIDE APPROPRIATE SETDOWNS TO ENSURE DIFFERENT FLOOR FINISHES, FINISH FLUSH.

**NOTE 12:** ALLOW FOR COLORBOND GUTTERS, DOWNPIPES AS REQUIRED TO CONNECT TO THE EXISTING STORMWATER SYSTEM.

**NOTE 13:** PROVIDE INSULATION WITH MINIMUM INSULATING PROPERTIES AS SPECIFIED IN THE BASIX CERTIFICATION ATTACHED TO THIS APPLICATION.

**NOTE 14:** ALLOW TO PROVIDE TIMBER OR ALUMINIUM FRAMED WINDOWS AND DOORS TO ALL NEW WINDOWS AND DOORS, INSTALL FRAMING AND GLAZING IN ACCORDANCE WITH THE REQUIREMENTS OF THE BASIX CERTIFICATE.

**NOTE 15:** ALLOW TO CONNECT TO EXISTING ELECTRICAL AND SEWERAGE MAINS CONNECTION.

**NOTE 16:** RETAIN EXISTING METERBOX.

**NOTE 17:** ALLOW TO RETAIN ALL EXISING BOUNDARY FENCING.

**NOTE 19:** REFER TO ALL OTHER ATTACHED DOCUMENTATION FOR FURTHER DETAIL ON THE DEVELOPMENT PROPOSAL.

**NOTE 20:** ALL DRAWINGS PREPARED IN ACCORDANCE WITH PITTWATER MUNICIPAL COUNCIL DCP 2014 LEP 2014

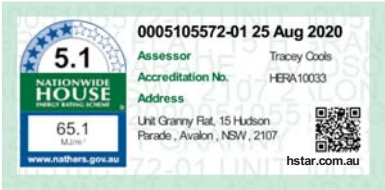
LEGEND / ANNOTATIONS:

AC	AIR CONDITIONING	HWU	HOT WATER UNIT
AS	ADJUSTABLE SHELF	L	LOUVRES
APP	APPLIANCES	LN	LINEN
CB	CUPBOARD	M	MIRROR
COL	COLUMN	NGL	NATURAL GROUND LINE
CONC	CONCRETE	OF	OVERFLOW
COS	CHECK ON SITE	OBS	OBSCURED GLAZING
CR	CEMENT RENDER	OV	OVEN
CT	COOK TOP	P	PANTRY
D	DRAWER	PB	PAINTED BRICKWORK
DP	DOWN PIPE	PLB	PLASTERBOARD
DR	DRYER	R	RELOCATE
DW	DISH WASHER	REF	REFRIGERATOR
EX	EXISTING	RB	ROBE
F	FIXED	RT	ROOF TILE
FB	FACE BRICK	RWT	RAIN WATER TANK
FC	FIBRE CEMENT SHEET	SHR	SHOWER
FCL	FINISHED CEILING LEVEL	SK	SINK
FFL	FINISHED FLOOR LEVEL	SL	SKYLIGHT
FGB	FRAMELESS GLASS BALUSTRADE	STK	STONework
FP	FIREPLACE	TBC	TO BE CONFIRMED
FS	FIXED SHELF	TIM	TIMBER
FW	FLOOR WASTE	TUB	TUB (LAUNDRY)
GO	GAS OUTLET	TYP	TYPICAL
GPO	GENERAL PURPOSE OUTLET (DOUBLE)	VP	VENT PIPE
GSS	GLAZED SHOWER SCREEN	WC	TOILET
GD	GRATED DRAIN	WM	WASHING MACHINE
H	HEIGHT	WPM	WATERPROOF MEMBRANE
HTR	HEATED TOWEL RAIL		

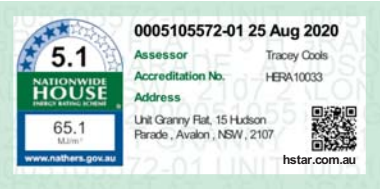
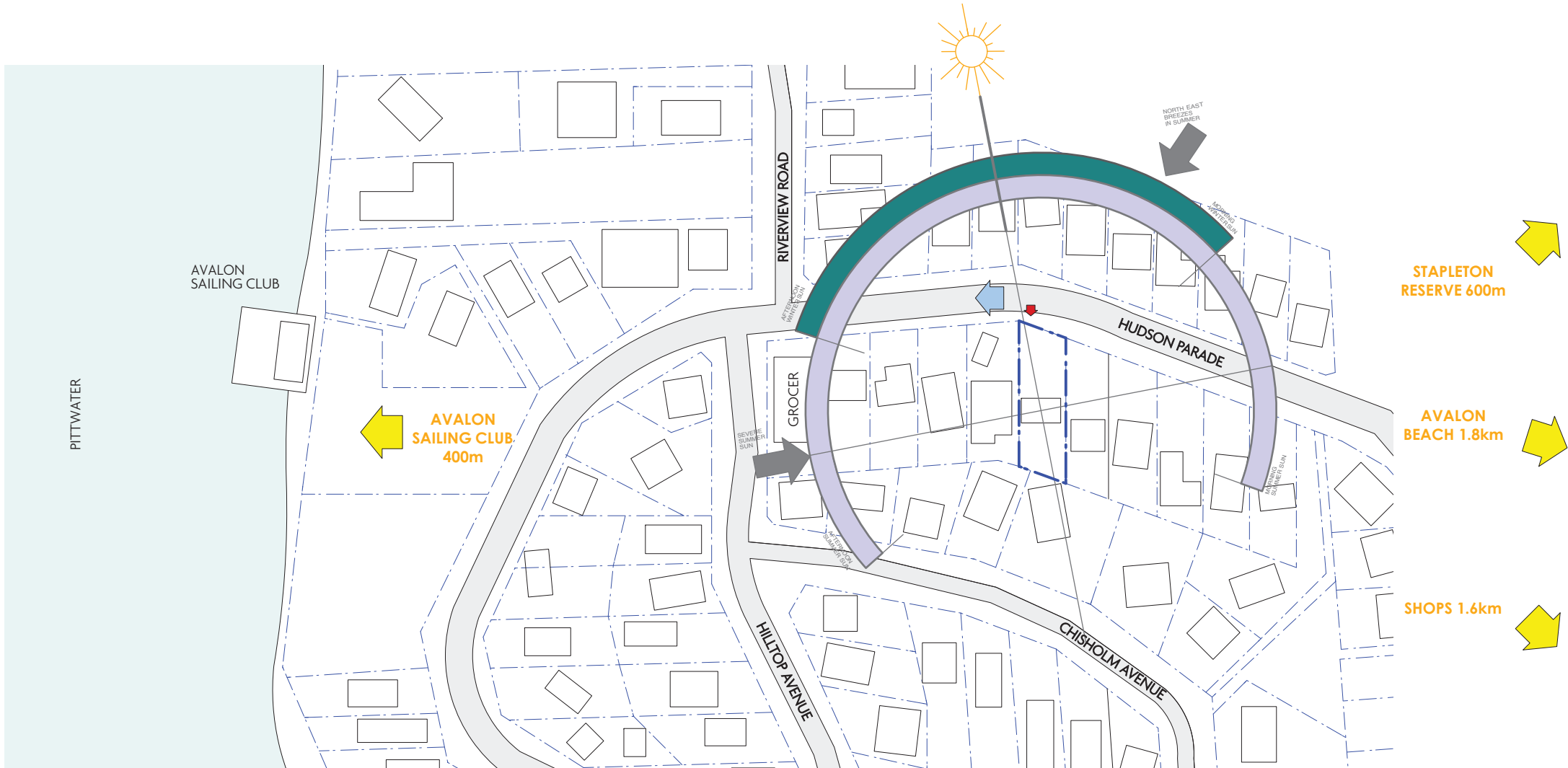
DRAWING SCHEDULE:

DA	001	EXISTING SITE ANALYSIS PLAN	1:2000
DA	002	PROPOSED SITE PLAN	1:200
DA	101	PROPOSED GROUND FLOOR PLAN	1:100
DA	101.1	PROPOSED GROUND FLOOR PLAN - CAR TURN	1:100
DA	102	PROPOSED FIRST FLOOR PLAN	1:100
DA	103	PROPOSED ROOF PLAN	1:100
DA	201	PROPOSED ELEVATIONS	1:100
DA	202	PROPOSED ELEVATIONS	1:100
DA	301	PROPOSED SECTIONS A-A & B-B	1:100
DA	302	PROPOSED SECTIONS C-C & D-D	1:100
DA	401	SHADOW DIAGRAM 9AM JUNE 21	1:200
DA	402	SHADOW DIAGRAM 12PM JUNE 21	1:200
DA	403	SHADOW DIAGRAM 3PM JUNE 21	1:200
DA	501	EXTERNAL FINISHES SCHEDULE	NTS
DA	502	EROSION & SEDIMENT CONTROL PLAN	NTS
DA	503	WASTE MANAGEMENT SITE PLAN	NTS
DA	504	LANDSCAPE OPEN SPACE PLAN	1:200
DA	N	NOTIFICATION PLANS	1:200

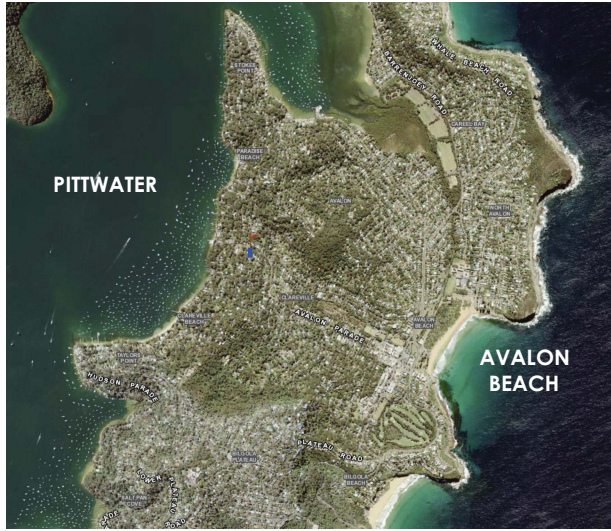
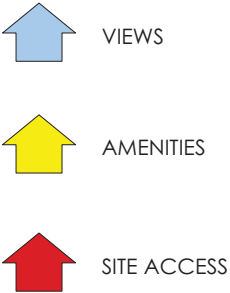
- EXTENT OF EXISTING RESIDENCE TO BE DEMOLISHED
- EXTENT OF EXISTING BUILDING TO BE RETAINED
- NEW WALLS. ALLOW TO FINISH WALL TO MATCH EXISTING SURFACES







SITE CONTEXT  
SCALE 1:2000



SITE CONTEXT PHOTO



EXISTING MAIN HOUSE TO REMAIN




EXISTING CARPORT TO BE REMOVED



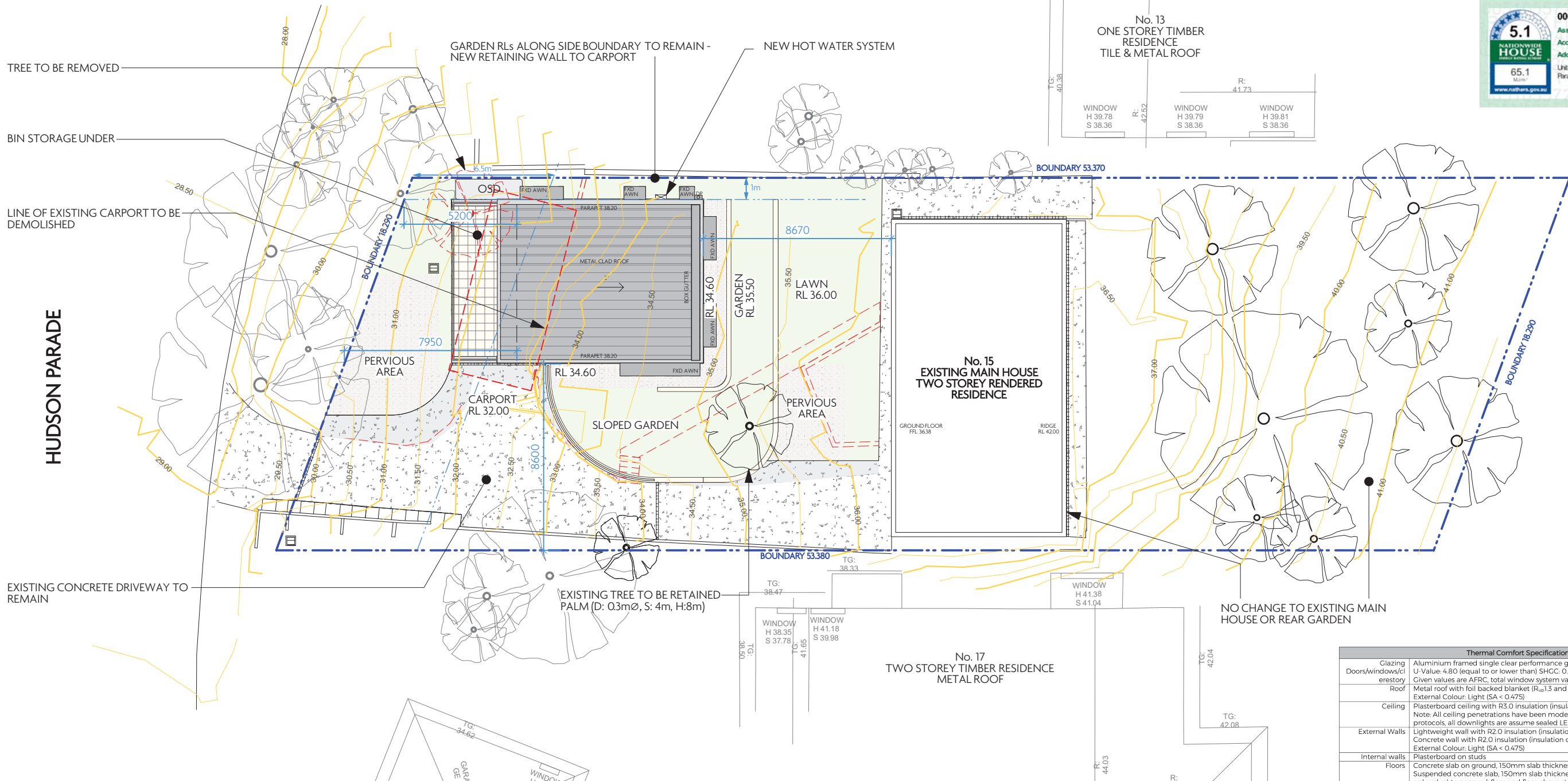
EXISTING DRIVEWAY



TREE NEXT TO CARPORT TO BE REMOVED

<div><div>N</div><div>TRUE NORTH</div></div> <div><div>NOTES</div><div>The builder is responsible for setting out the works, checking all dimensions and levels on site. Report any discrepancies to the Architect prior to the commencement of work. Do not scale drawings. Check boundary distance on survey.</div></div>	<div><div>ANNABELLE CHAPMAN ARCHITECT</div><div>ANNABELLE CHAPMAN ARCHITECT PTY LTD   Nominated Architect: Annabelle Chapman   NSWARB Reg No 4921   ABN: 66 095 399 518</div><div>Level 19, 100 William Street, Sydney, New South Wales 2000</div><div>t 02 8076 5333 m 0412 665 412 e info@achapmanarchitect.com.au w achapmanarchitect.com.au</div></div>				ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS		PROJECT #	DATE #		
									NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON		2004	25/8/20		
									FOR	DWG		SCALE @ A3	DWG #		
									FIONA RAE & TIM GATES	EXISTING SITE ANALYSIS PLAN		1:2000@A3	001		
												DRAWN	AM	ISSUE	STAGE
												CHECKED	AC		DA

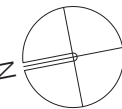
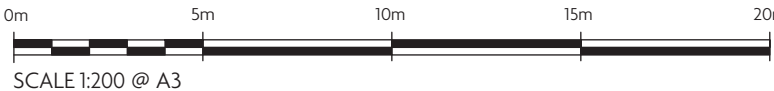




SITE CALCULATIONS				
SITE AREA	= 917.2m <sup>2</sup>			
	EXISTING	PROPOSED	CONTROL	COMPLIANCE
EXISTING PRIMARY DWELLING GFA	163.5m <sup>2</sup>	163.5m <sup>2</sup>	-	NO CHANGE
CARPORT AREA	33.5m <sup>2</sup>	26.7m <sup>2</sup>	-	-
PROPOSED SECONDARY DWELLING GFA	0m <sup>2</sup>	56m <sup>2</sup>	MAX 60m <sup>2</sup> or 25% of total floor area of principal dwelling MIN 550m <sup>2</sup> (60%)	Y
OVERALL SOFT LANDSCAPED AREA	570m <sup>2</sup> (62%)	550m <sup>2</sup> (60%)	-	Y
OVERALL IMPERVIOUS AREA	348m <sup>2</sup> (38%)	381m <sup>2</sup> (41%)	-	-
MINIMUM FRONT SETBACK OF PROPOSED SECONDARY DWELLING	3980mm	5200mm	MIN 6500mm	Refer to SEE
MAXIMUM FRONT SETBACK OF PROPOSED SECONDARY DWELLING	4920mm	7950mm	-	-
MINIMUM SIDE SETBACK OF PROPOSED SECONDARY DWELLING	540mm	1000mm	MIN 2500mm at least one side 1000mm for other side	Y

LEGEND	
	STRUCTURE TO BE DEMOLISHED
	CONTOUR LINE
	NEW RETAINING WALL
	NEW SOFT LANDSCAPING
	NEW CONCRETE
	NEW METAL ROOFING
	NEW TERRACE

Thermal Comfort Specifications	
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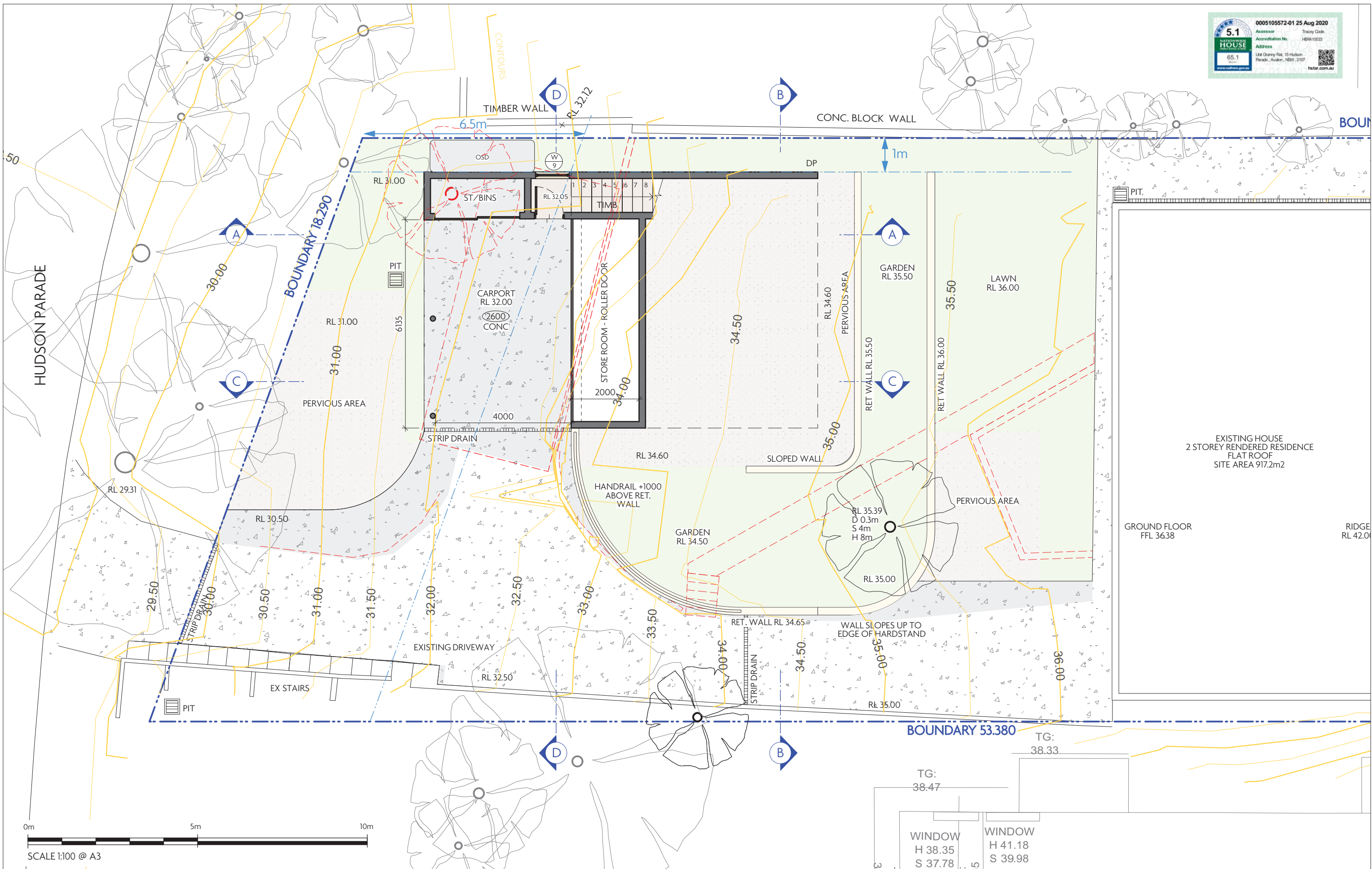
**ANNABELLE CHAPMAN ARCHITECT**

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ISSUE	DATE	NOTE	DWN BY	PROJECT
				NEW SECONDARY DWELLING FOR FIONA RAE & TIM GATES

CLIENT ADDRESS	15 HUDSON PARADE, AVALON
DWG	<b>PROPOSED SITE PLAN</b>

PROJECT #	2004	DATE #	25/8/20
SCALE @ A3	1:200@A3	DWG #	002
DRAWN	AM	ISSUE	STAGE
CHECKED	AC		DA



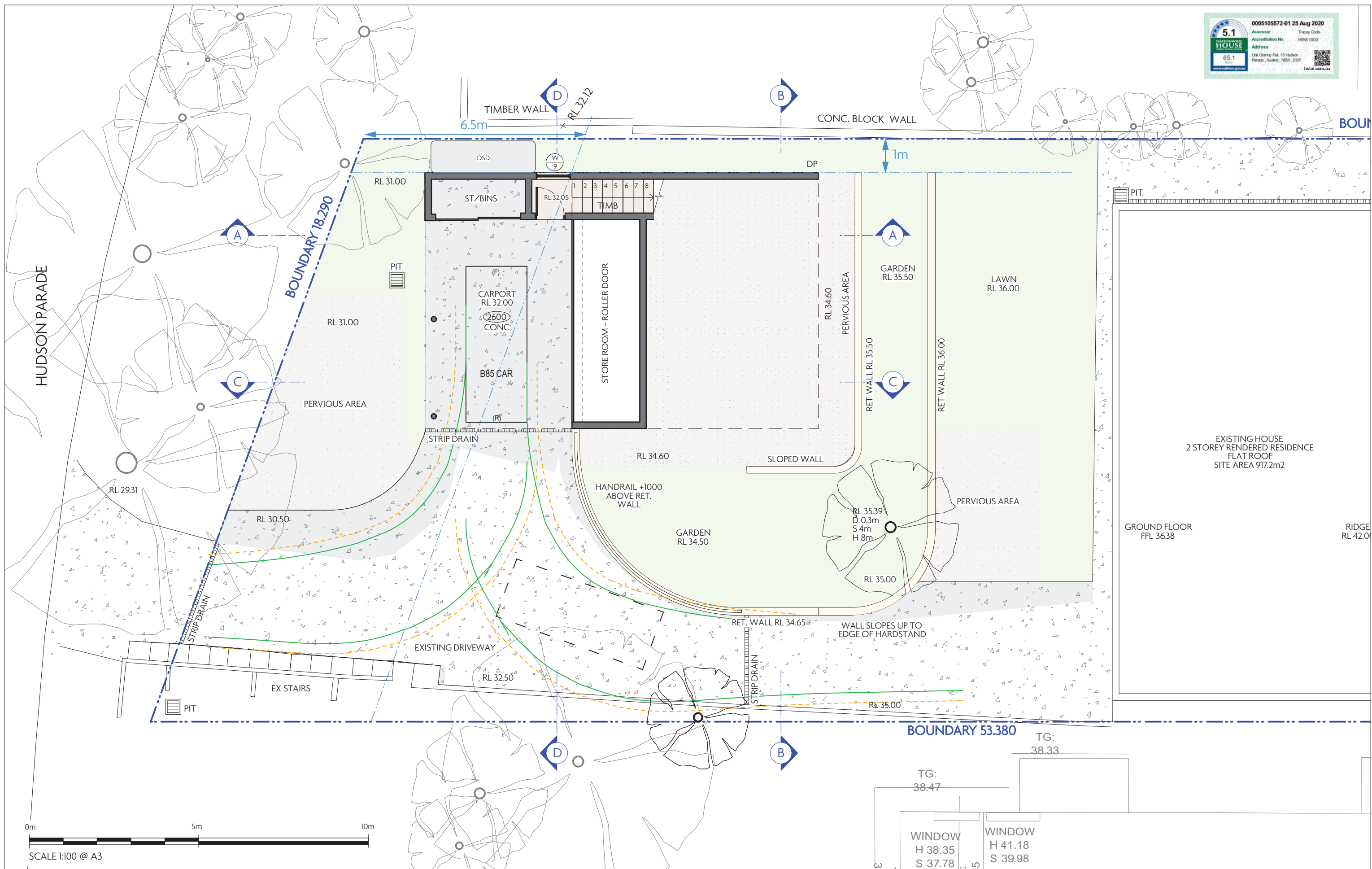
EXISTING HOUSE  
2 STOREY RENDERED RESIDENCE  
FLAT ROOF  
SITE AREA 917.2m2


GROUND FLOOR  
FFL 36.38

RIDGE  
RL 42.00

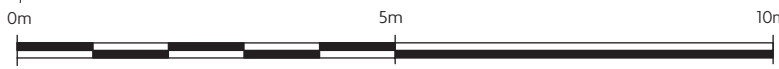
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								NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20
								FOR FIONA RAE & TIM GATES	DWG	SCALE @ A3 1:100@A3	DWG # 101
									<b>PROPOSED GROUND FLOOR PLAN</b>	DRAWN AM CHECKED AC	ISSUE STAGE DA





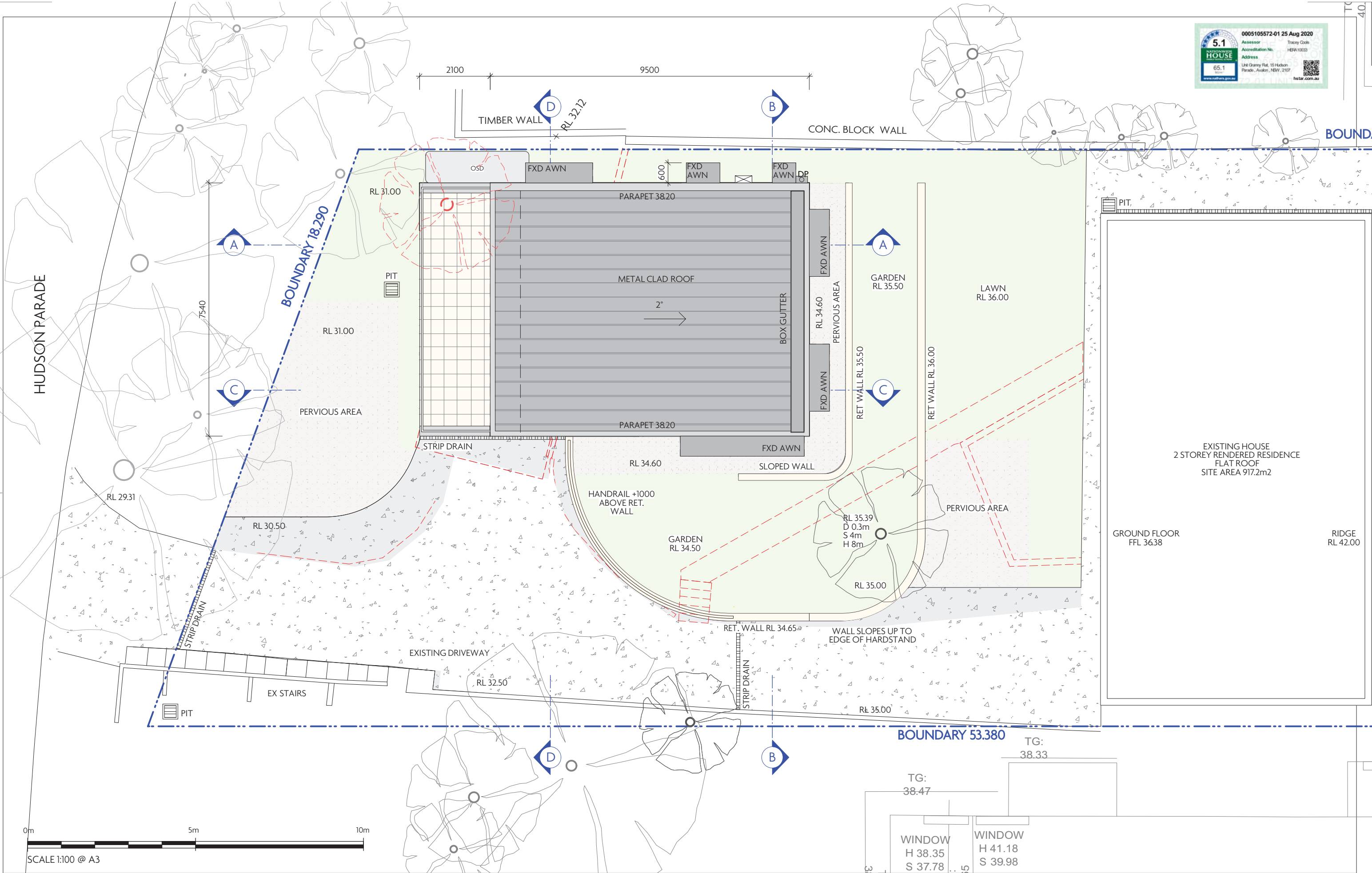
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									FOR			SCALE @ A3	DWG #
									FIONA RAE & TIM GATES	<b>PROPOSED GROUND FLOOR PLAN - CAR TURN</b>		1:100@A3	101.1
									DWG	DRAWN	AM	ISSUE	STAGE
										CHECKED	AC		DA

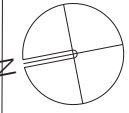




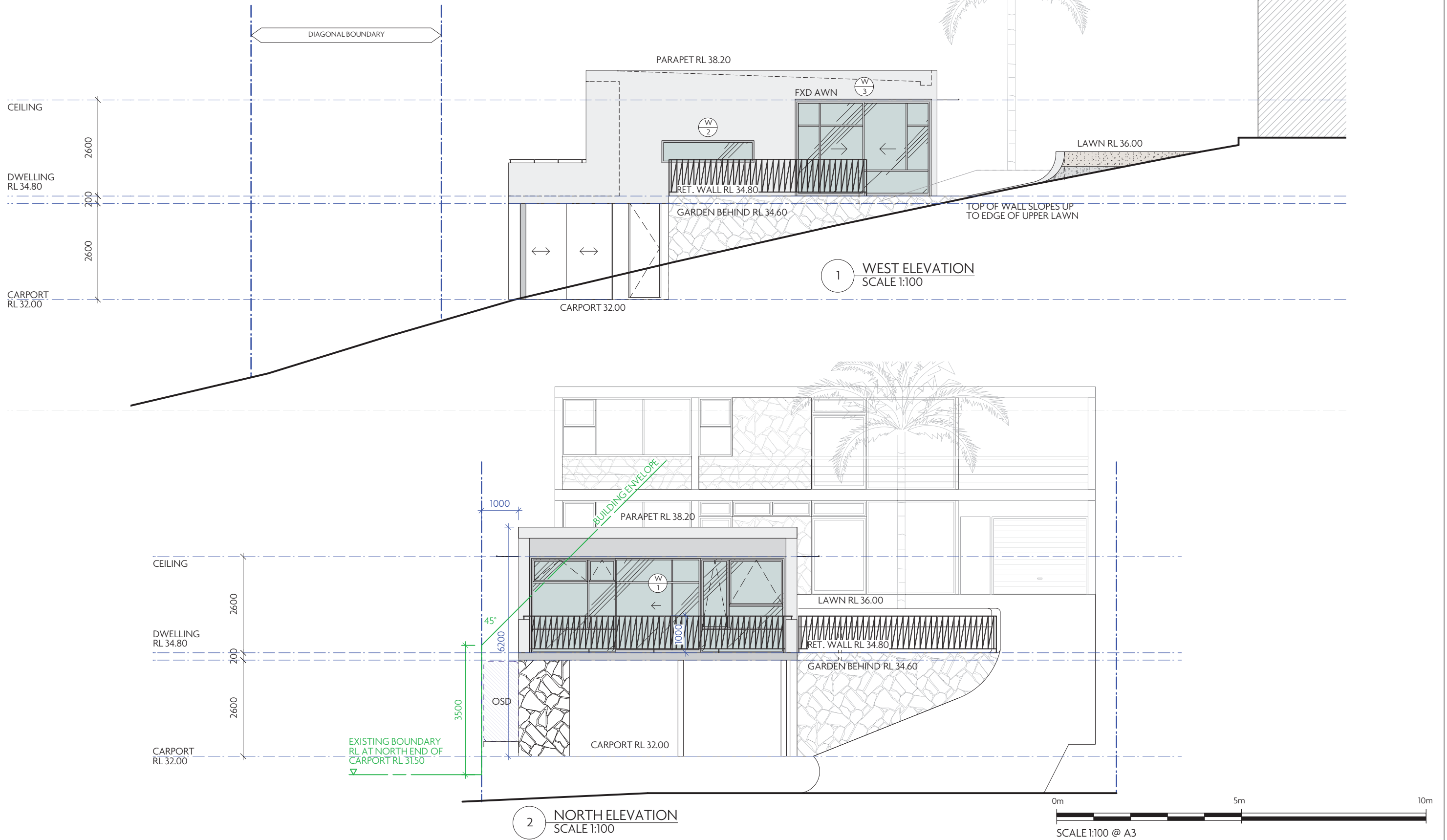
ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #	
				NEW SECONDARY DWELLING  FOR FIONA RAE & TIM GATES	15 HUDSON PARADE, AVALON	2004	25/8/20	
					DWG	PROPOSED FIRST FLOOR PLAN	SCALE @ A3 1:100@A3	DWG # 102
							DRAWN AM	ISSUE
					CHECKED AC			





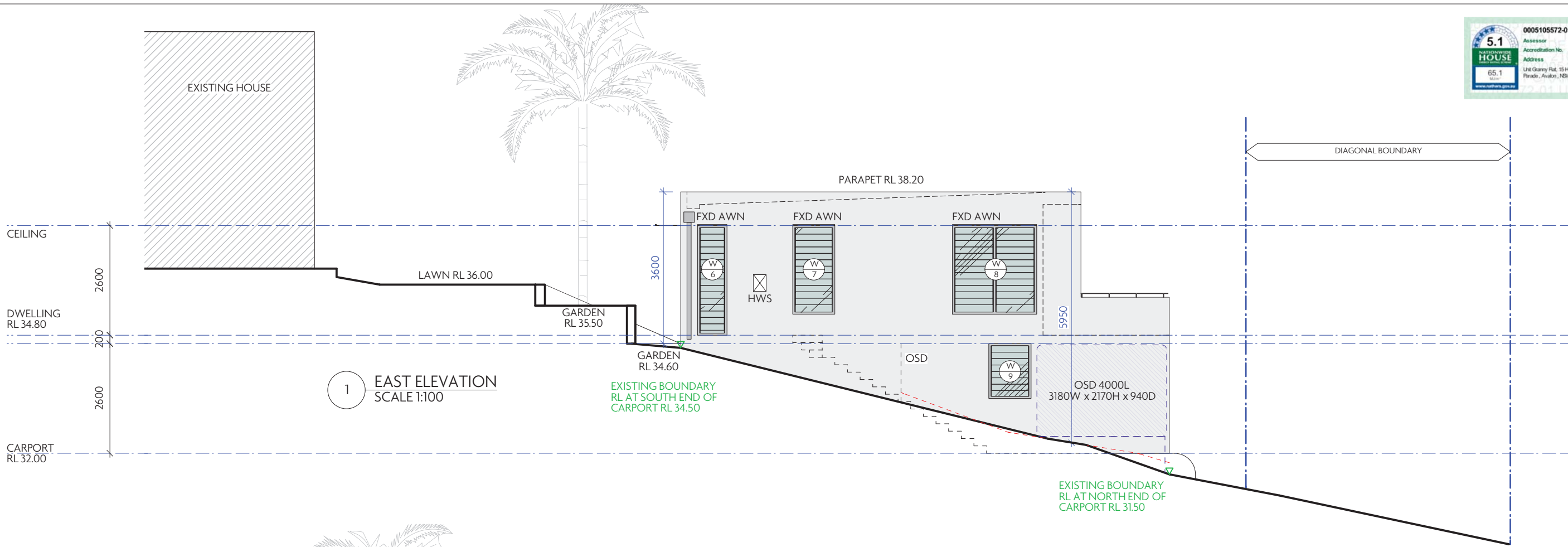
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								SCALE @ A3 1:100@A3	DWG # 103
								DRAWN AM	ISSUE
								CHECKED AC	STAGE DA



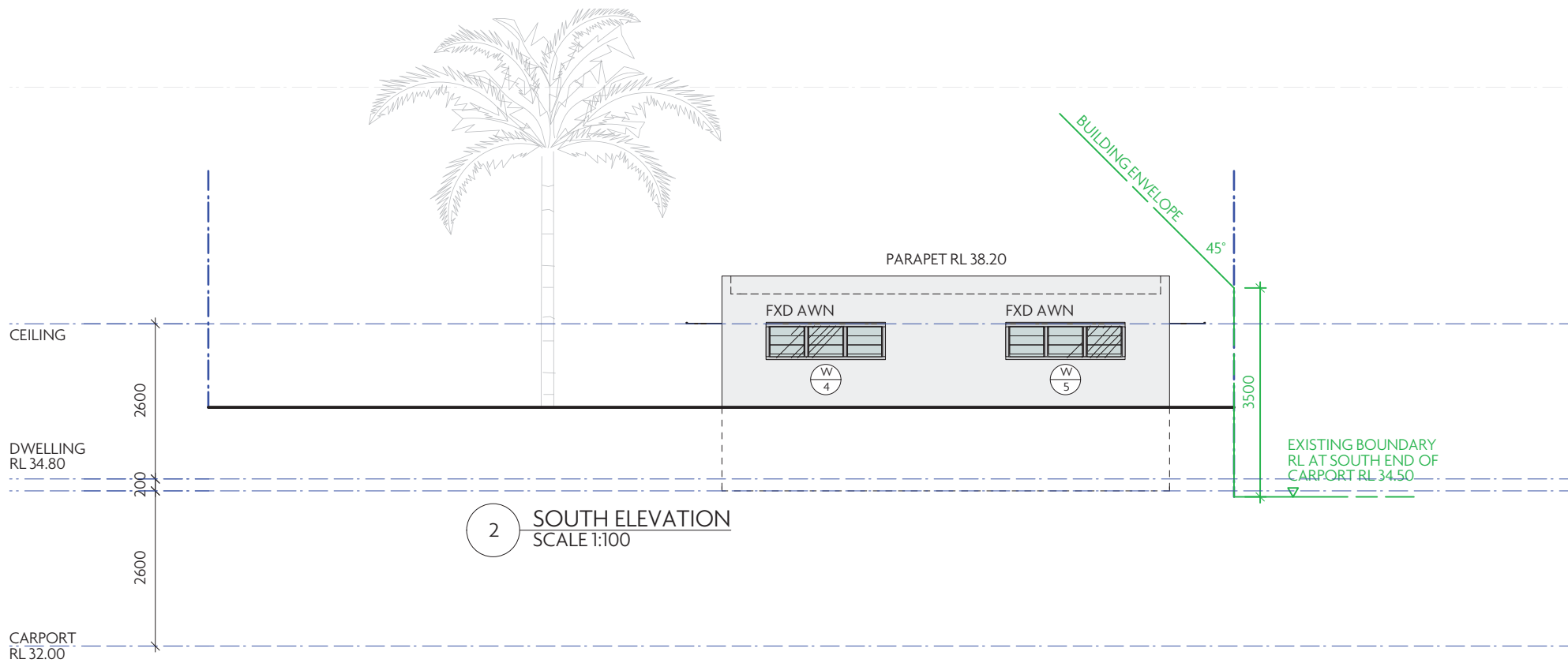


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							FOR	DWG	SCALE @ A3	DWG #	
							FIONA RAE & TIM GATES	<b>PROPOSED ELEVATIONS</b>	1:100@A3	201	
								DRAWN	AM	ISSUE	STAGE
								CHECKED	AC		DA



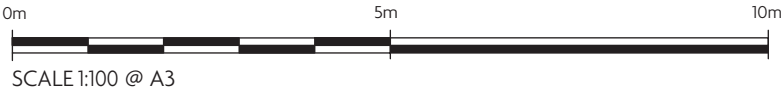


1 EAST ELEVATION  
SCALE 1:100

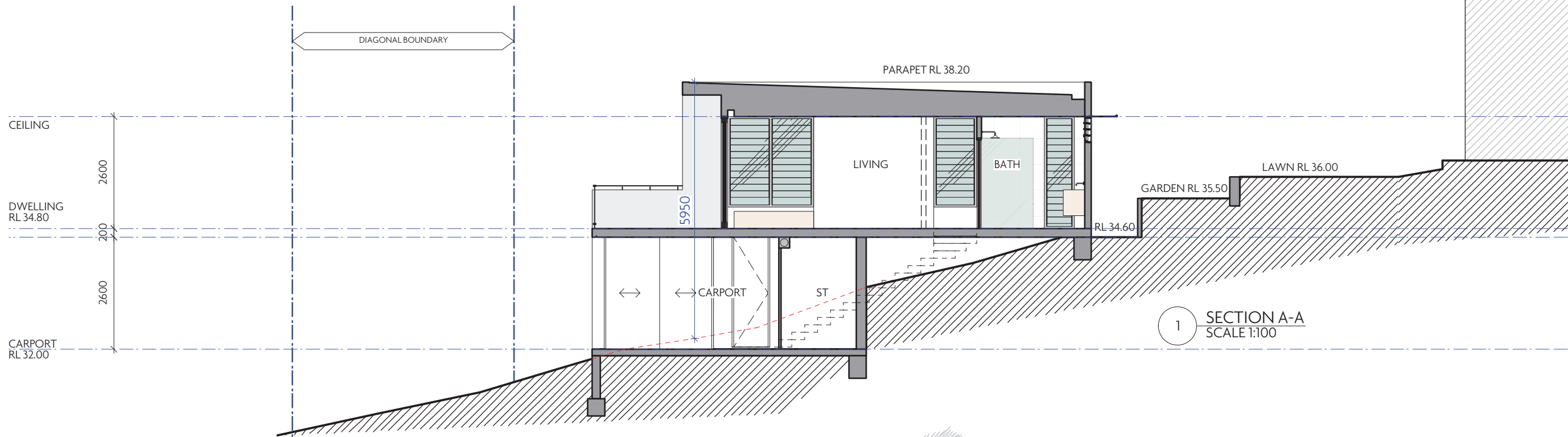


2 SOUTH ELEVATION  
SCALE 1:100

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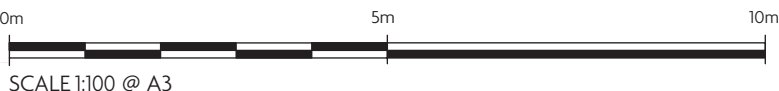
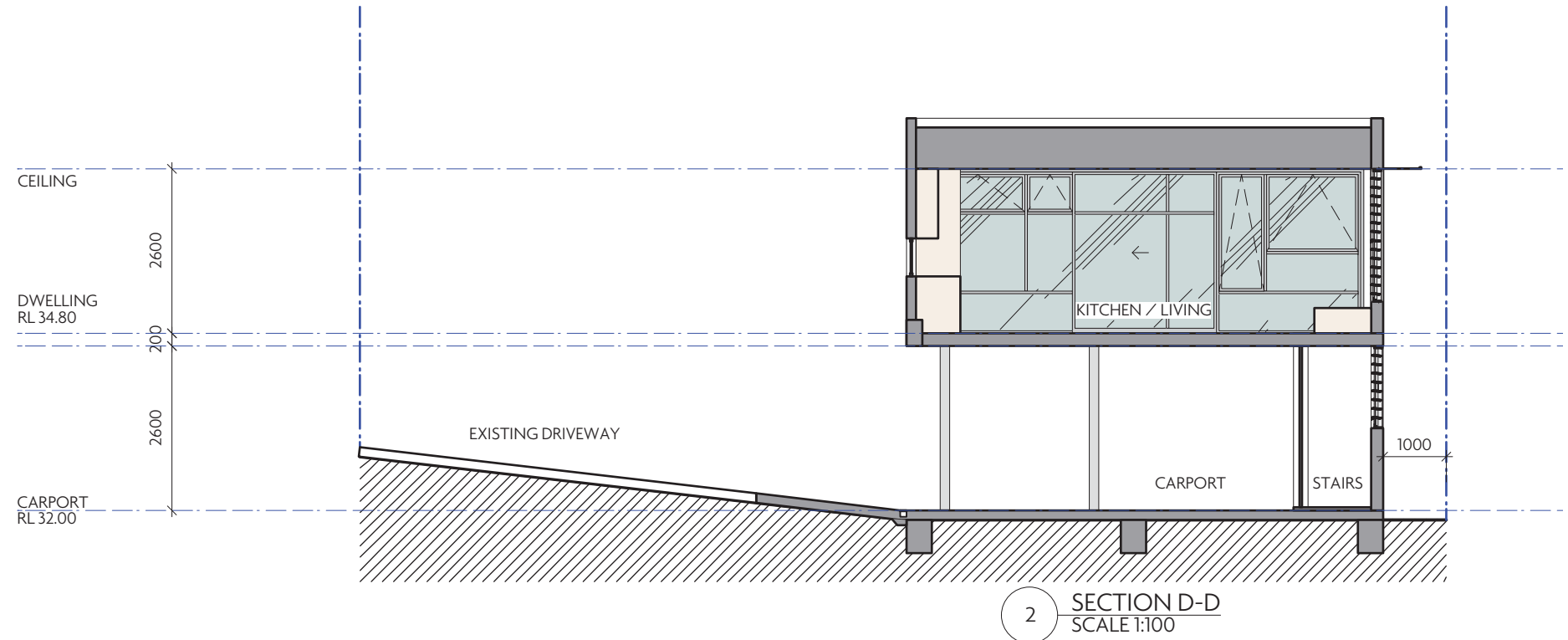
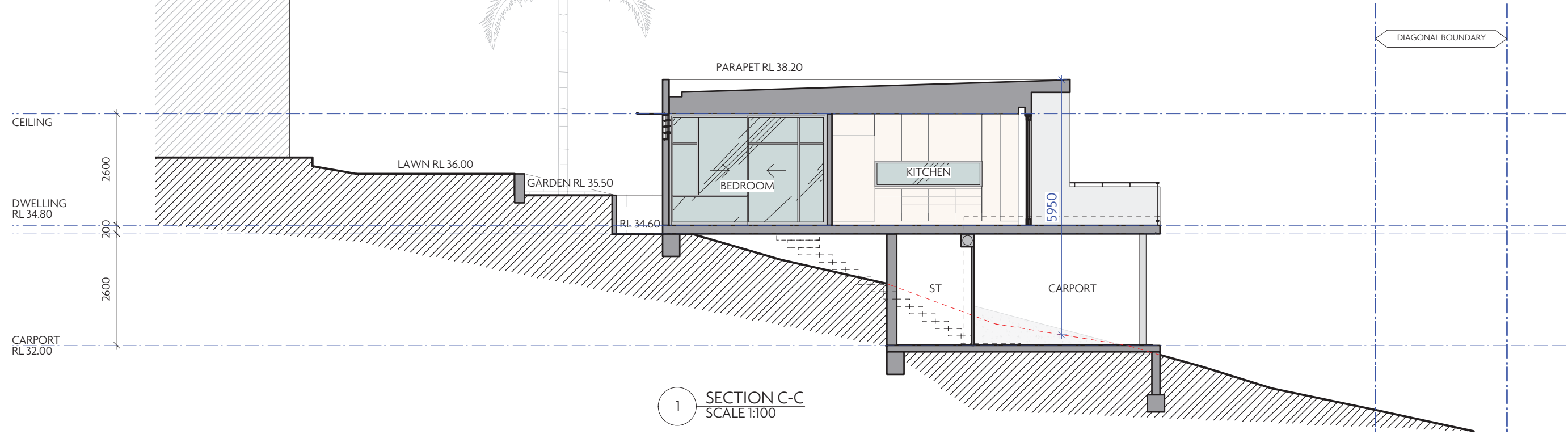






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								FIONA RAE & TIM GATES	1:100@A3	301	
								DWG	SECTIONS A-A & B-B		
								DRAWN	AM	ISSUE	STAGE
								CHECKED	AC		DA

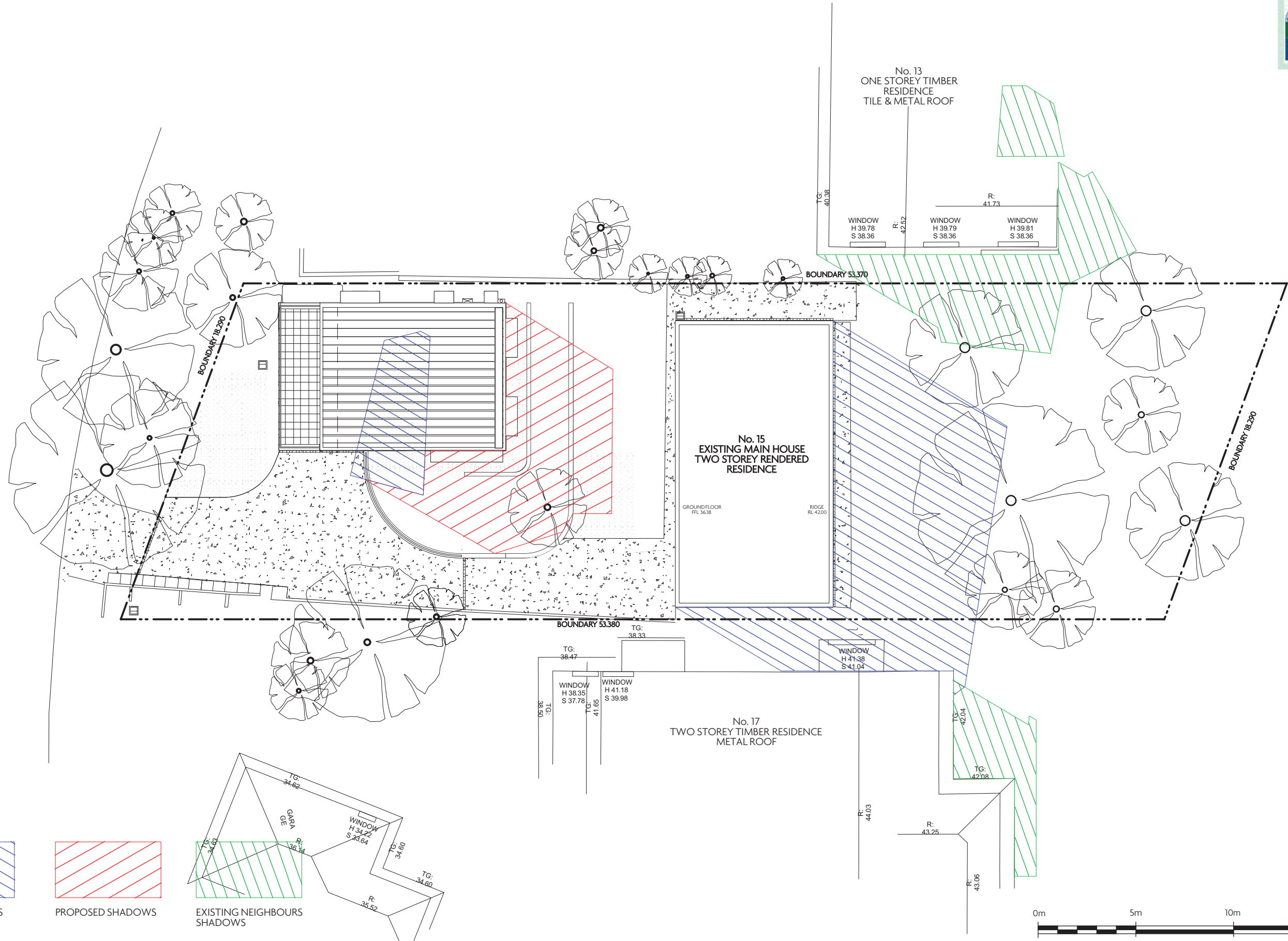




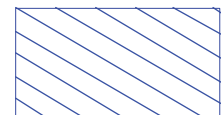
TRUE NORTH	<p><b>NOTES</b></p> <p>The builder is responsible for setting out the works, checking all dimensions and levels on site. Report any discrepancies to the Architect prior to the commencement of work. Do not scale drawings. Check boundary distance on survey.</p>	<p><b>ANNABELLE CHAPMAN ARCHITECT</b></p> <p>ANNABELLE CHAPMAN ARCHITECT PTY LTD   <i>Nominated Architect: Annabelle Chapman   NSWARB Reg No 4921   ABN: 66 095 399 518</i></p> <p>Level 19, 100 William Street, Sydney, New South Wales 2000</p> <p>t 02 8076 5333   m 0412 665 412   e info@achapmanarchitect.com.au   w achapmanarchitect.com.au</p>	ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #		
							NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20		
							FOR					
							FIONA RAE & TIM GATES					
							DWG	SECTIONS C-C & D-D	SCALE @ A3	DWG #		
									1:50@A3	302		
									DRAWN	AM	ISSUE	STAGE
									CHECKED	AC		CD



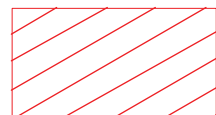
HUDSON PARADE



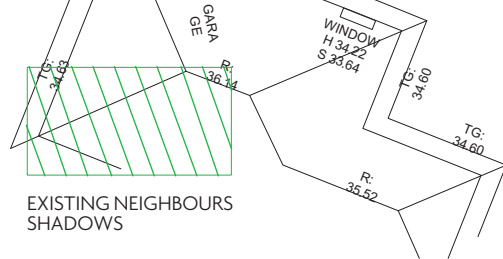
LEGEND



EXISTING SHADOWS



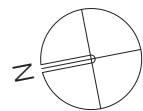
PROPOSED SHADOWS



EXISTING NEIGHBOURS SHADOWS

0m 5m 10m 15m 20m

SCALE 1:200 @ A3



TRUE NORTH

**NOTES**  
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**ANNABELLE CHAPMAN ARCHITECT**

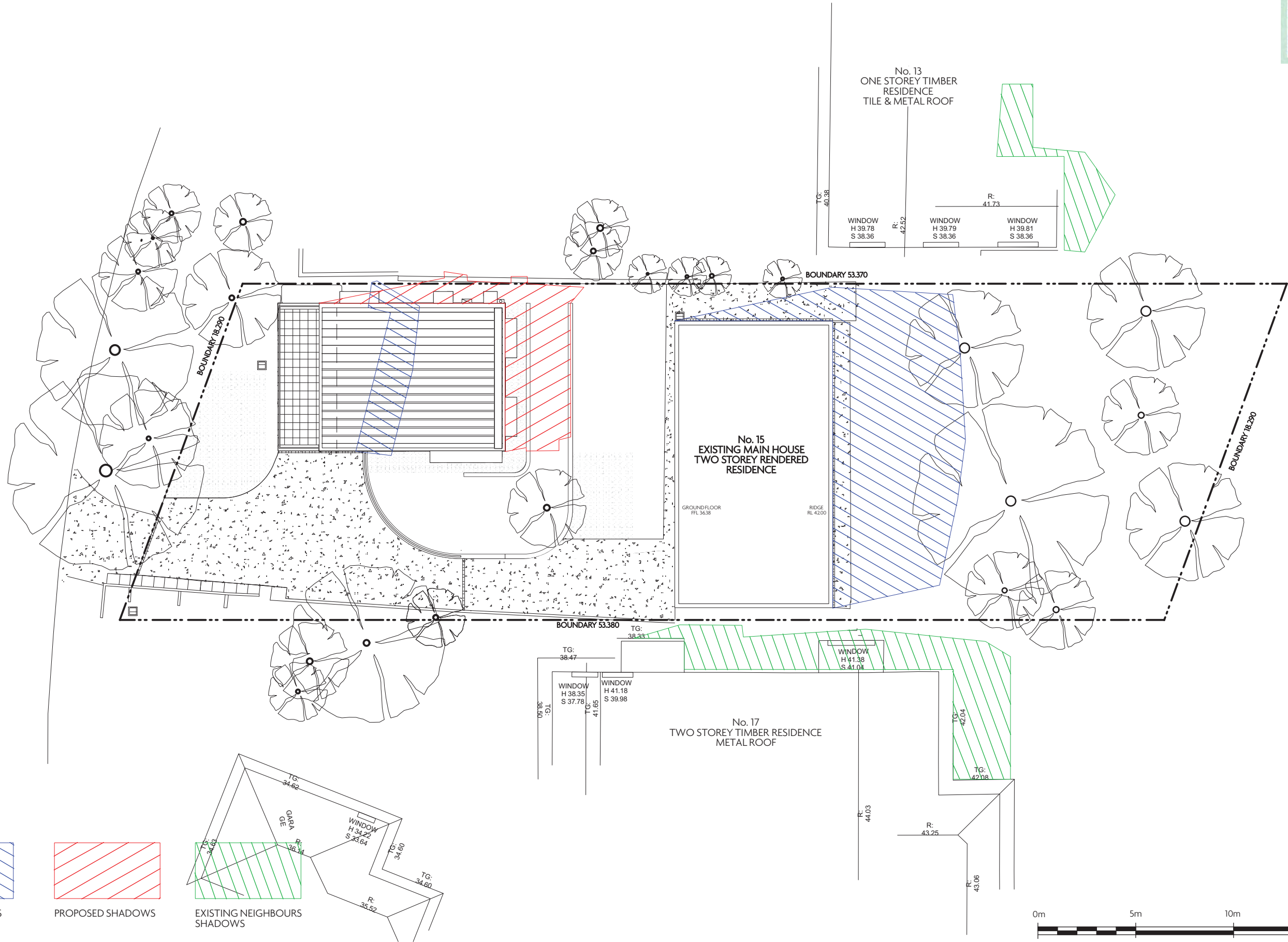
ANNABELLE CHAPMAN ARCHITECT PTY LTD | Nominated Architect: Annabelle Chapman | NSWARB Reg No 4921 | ABN: 66 095 399 518  
Level 19, 100 William Street, Sydney, New South Wales 2000  
t 02 8076 5333 m 0412 665 412 e info@achapmanarchitect.com.au w achapmanarchitect.com.au


ISSUE	DATE	NOTE	DWN BY	PROJECT
				NEW SECONDARY DWELLING FOR FIONA RAE & TIM GATES

CLIENT ADDRESS	15 HUDSON PARADE, AVALON
DWG	<b>SHADOW DIAGRAMS 9am JUNE 21st</b>

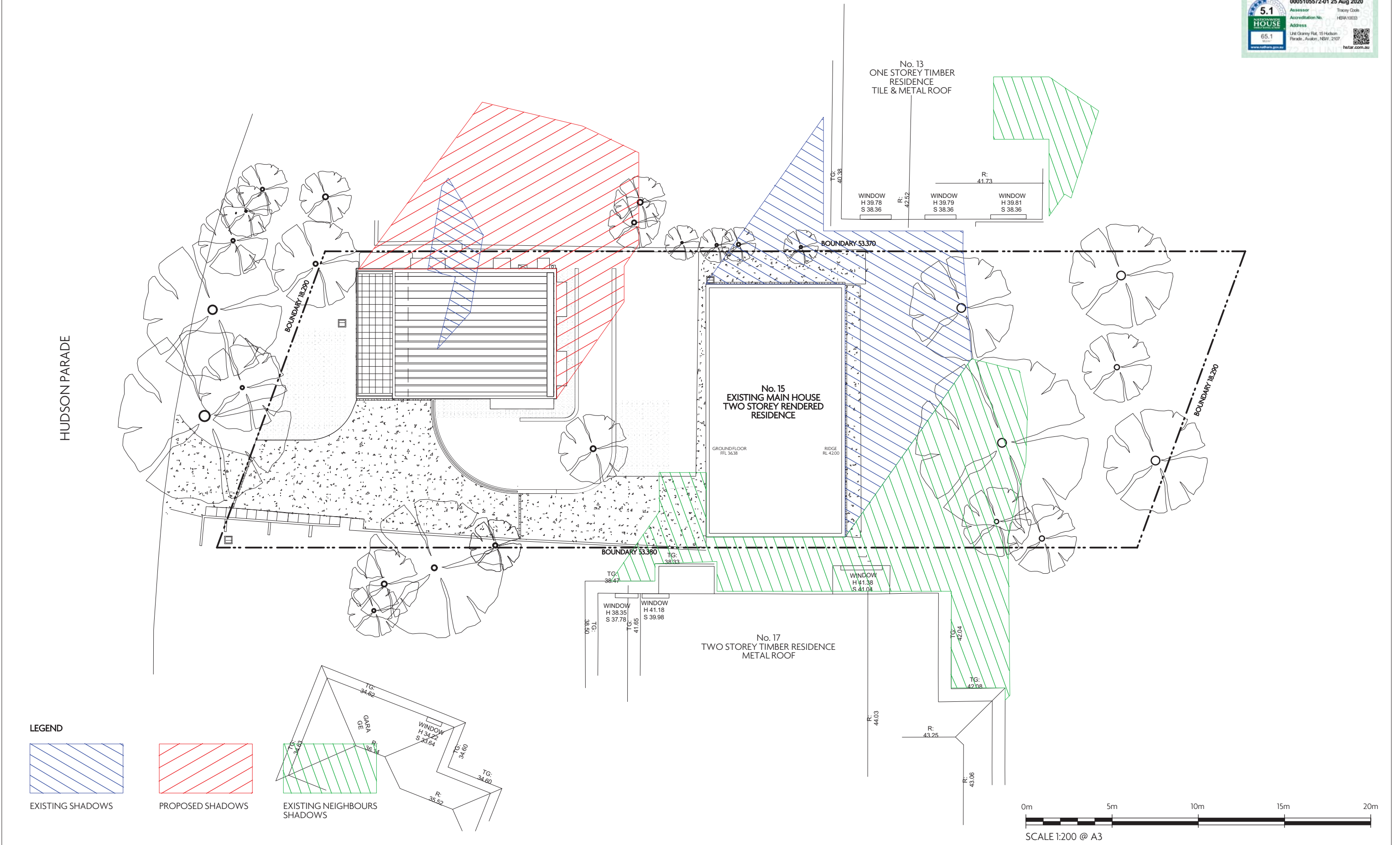
PROJECT #	2004	DATE #	25/8/20
SCALE @ A3	1:200@A3	DWG #	401
DRAWN	AM	ISSUE	DA
CHECKED	AC		

HUDSON PARADE

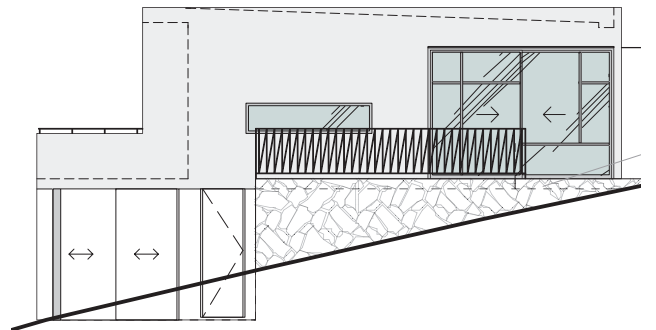
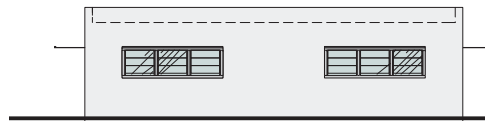
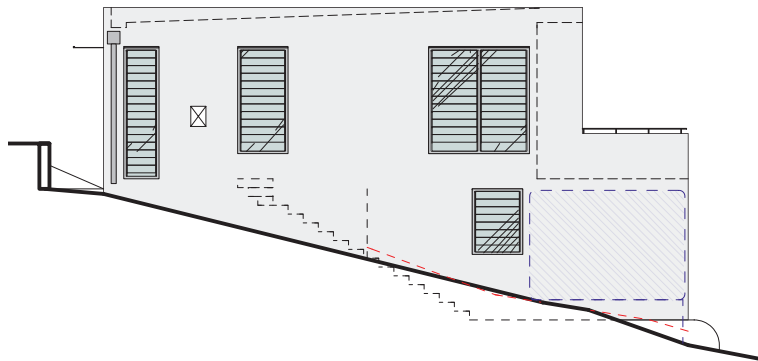
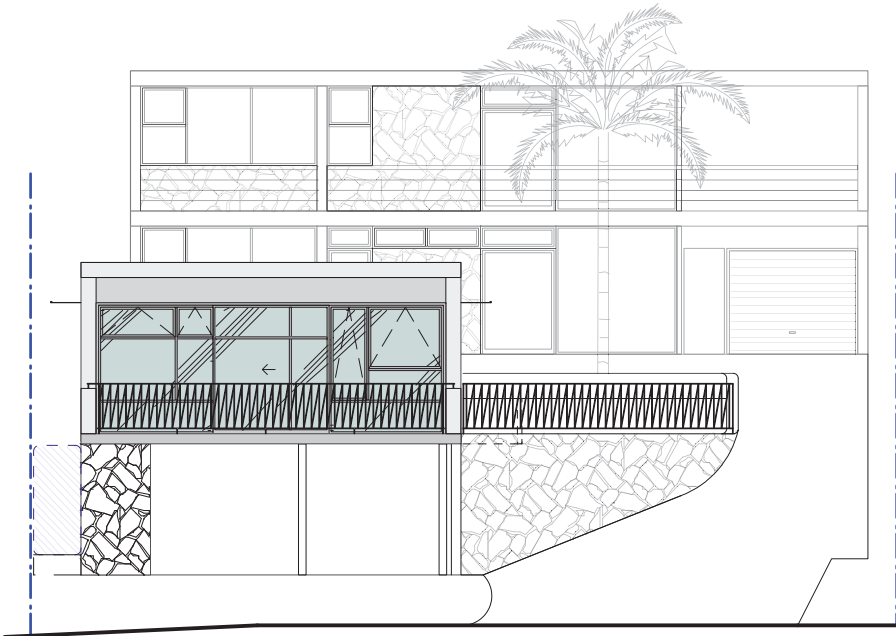


<div></div> <div>TRUE NORTH</div>	<div>NOTES</div> <div>The builder is responsible for setting out the works, checking all dimensions and levels on site. Report any discrepancies to the Architect prior to the commencement of work. Do not scale drawings. Check boundary distance on survey.</div>	<div>ANNABELLE CHAPMAN ARCHITECT</div> <div>ANNABELLE CHAPMAN ARCHITECT PTY LTD   <i>Nominated Architect: Annabelle Chapman   NSWARB Reg No 4921   ABN: 66 095 399 518</i></div> <div>Level 19, 100 William Street, Sydney, New South Wales 2000</div> <div>t 02 8076 5333   m 0412 665 412   e info@achapmanarchitect.com.au   w achapmanarchitect.com.au</div>	ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #	
							NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20	
							FOR		SCALE @ A3	DWG #	
							FIONA RAE & TIM GATES		1:200@A3	402	
<div>DWG</div> <div>SHADOW DIAGRAMS 12pm</div> <div>JUNE 21st</div>								DRAWN	AM	ISSUE	STAGE
								CHECKED	AC		









EXISTING HOUSE



INSPIRATION



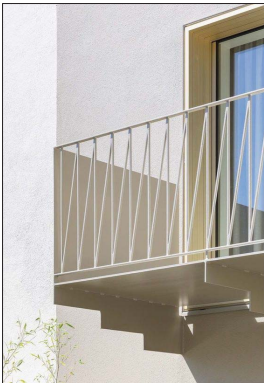
MATERIALS



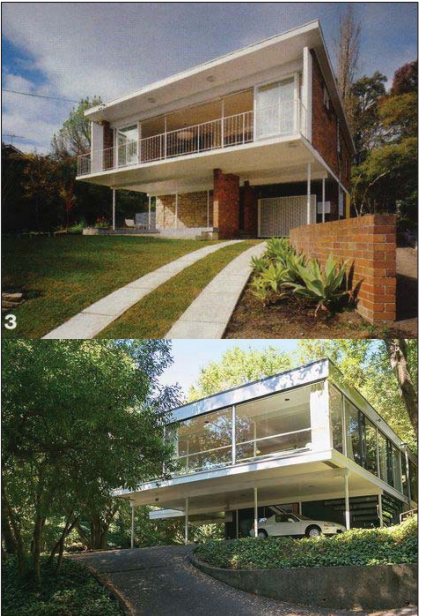
LIGHT COLOUR TIMBER WINDOWS



WHITE COLOUR FIBRE CEMENT CLADDING



LIGHT COLOUR BALUSTRADES



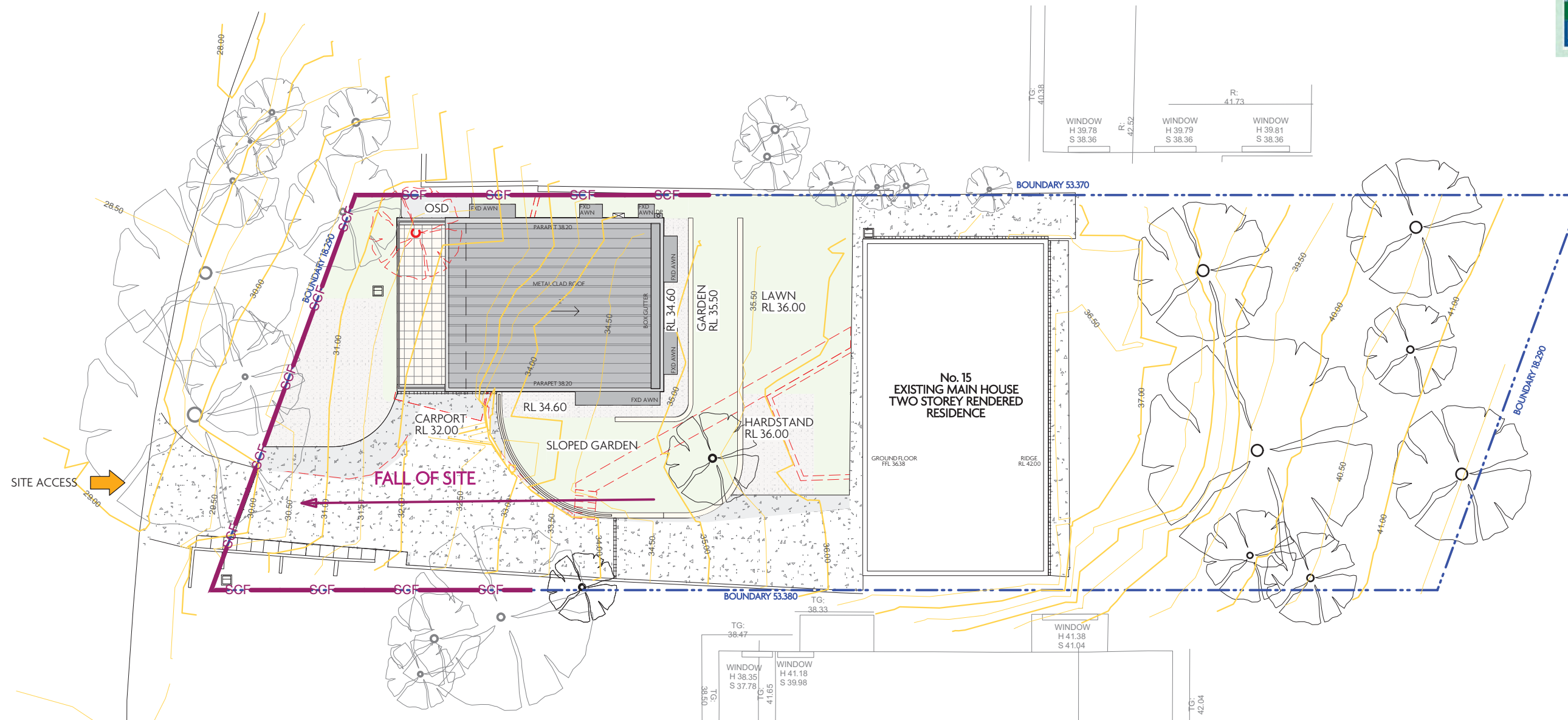
LIGHT COLOUR POSTS/STILTS



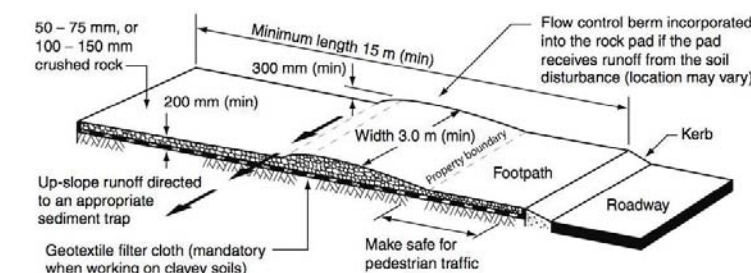
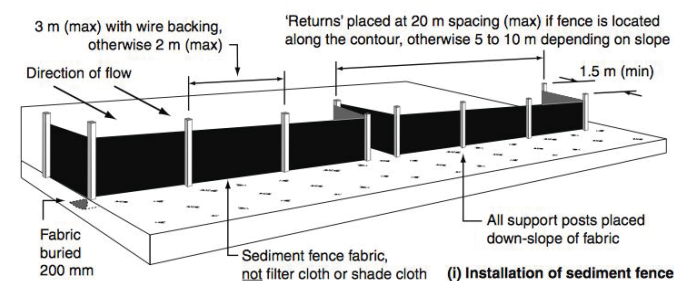
SANDSTONE CLADDING TO MATCH EXISTING DWELLING

TRUE NORTH	<p><b>NOTES</b></p> <p>The builder is responsible for setting out the works, checking all dimensions and levels on site. Report any discrepancies to the Architect prior to the commencement of work. Do not scale drawings. Check boundary distance on survey.</p>	<p><b>ANNABELLE CHAPMAN ARCHITECT</b></p> <p>ANNABELLE CHAPMAN ARCHITECT PTY LTD   <i>Nominated Architect: Annabelle Chapman   NSWARB Reg No 4921   ABN: 66 095 399 518</i></p> <p>Level 19, 100 William Street, Sydney, New South Wales 2000</p> <p>t 02 8076 5333   m 0412 665 412   e info@achapmanarchitect.com.au   w achapmanarchitect.com.au</p>	ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #			
							NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20			
							FOR		DWG	SCALE @ A3	DWG #		
							FIONA RAE & TIM GATES		EXTERNAL FINISHES SCHEDULE	NTS	501		
										DRAWN	AM	ISSUE	STAGE
										CHECKED	AC		DA

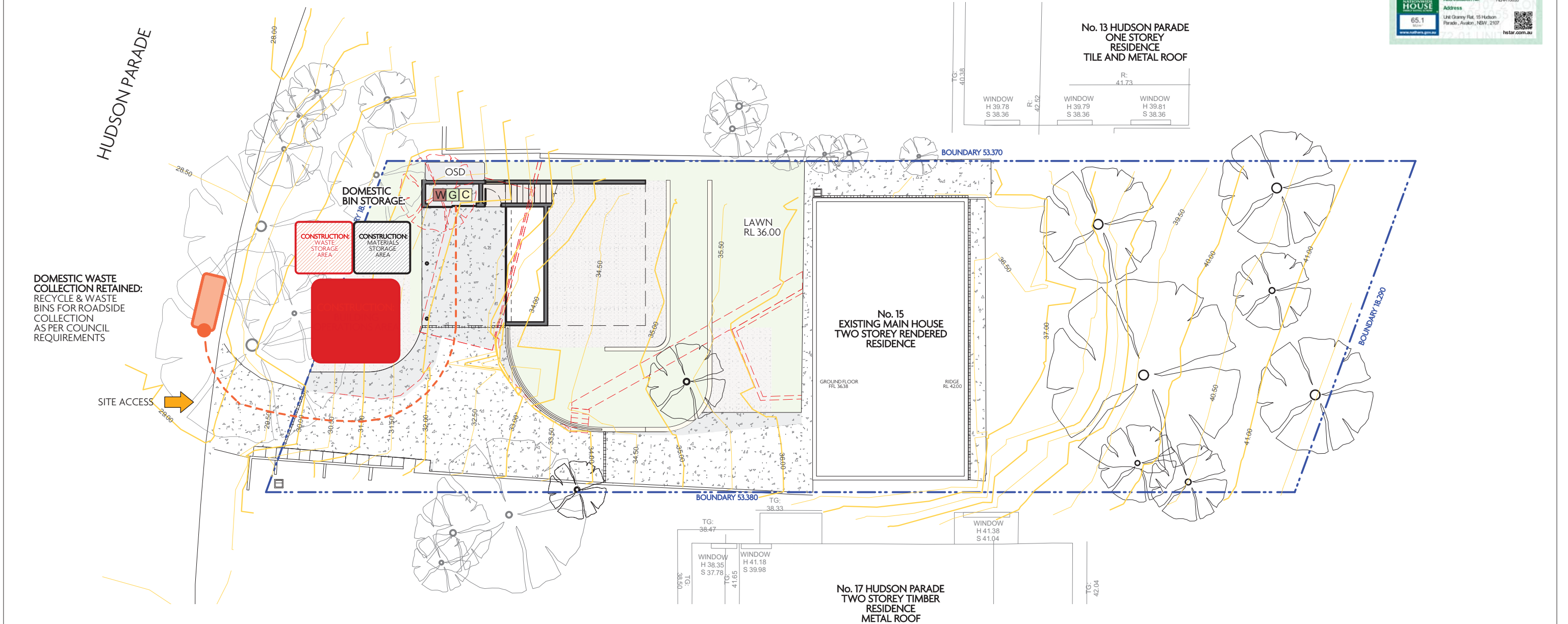




1. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL LOOSE MATERIAL STOCKPILES TO BE COVERED AND CLEAR OF ALL DRAINS, NATURAL WATER COURSES, GUTTERS AND FOOTPATHS.
4. ROAD AND FOOTPATH TO BE SWEEPED DAILY.
5. STABILIZE AND REVEGETATE SITE BEFORE REMOVING EROSION AND SEDIMENT DEVICES.
6. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
7. EXCESS MATERIALS (CEMENT, CONCRETE SLURRY, WATER AND SOLVENT FOR CLEANING PAINT BRUSHES & TOOLS) MUST NOT BE WASHED INTO STORMWATER SYSTEM.
8. REFER TO *STORMWATER MANAGEMENT PLAN* FOR PIT LOCATIONS



TRUE NORTH	<div>NOTES</div> <div>The builder is responsible for setting out the works, checking all dimensions and levels on site. Report any discrepancies to the Architect prior to the commencement of work. Do not scale drawings. Check boundary distance on survey.</div>	<div>ANNABELLE CHAPMAN ARCHITECT</div> <div>ANNABELLE CHAPMAN ARCHITECT PTY LTD   <i>Nominated Architect: Annabelle Chapman   NSWARB Reg No 4921   ABN: 66 095 399 518</i></div> <div>Level 19, 100 William Street, Sydney, New South Wales 2000</div> <div>t. 02 8076 5333   m 0412 665 412   e info@achapmanarchitect.com.au   w achapmanarchitect.com.au</div>	ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #	
							NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20	
							FOR		SCALE @ A3	DWG #	
							FIONA RAE & TIM GATES		NTS	502	
									EROSION AND SEDIMENT CONTROL PLAN		DRAWN
								CHECKED	AC		DA



- NOTES:**
- WHERE APPLICABLE, ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
  - MINIMISE DISTURBED AREAS.
  - ALL LOOSE MATERIAL STOCKPILES TO BE COVERED AND CLEAR OF ALL DRAINS, NATURAL WATER COURSES, GUTTERS AND FOOTPATHS.
  - ROAD AND FOOTPATH TO BE SWEEPED DAILY.
  - STABILIZE AND REVEGETATE SITE BEFORE REMOVING EROSION AND SEDIMENT DEVICES.
  - DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
  - EXCESS MATERIALS (CEMENT, CONCRETE SLURRY, WATER AND SOLVENT FOR CLEANING PAINT BRUSHES & TOOLS) MUST NOT BE WASHED INTO STORMWATER SYSTEM.

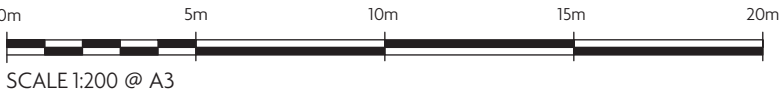
\*EXISTING DOMESTIC WASTE MANAGEMENT RETAINED

**CONSTRUCTION WASTE:**  
CONTRACTOR TO ENSURE SEPARATION & APPROPRIATE DISPOSAL OF ALL RECYCLABLE WASTE

**CONSTRUCTION:**  
SECURE PERIMETER FENCING TO BE INSTALLED TO MAINTAIN SITE SECURITY & SECURE WASTE STORAGE

**DOMESTIC WASTE BINS**

- C** MIXED CONTAINER/ GLASS RECYCABLES (FORTNIGHTLY)
- G** GREEN WASTE / VEGETATION (MONTHLY)
- W** GENERAL WASTE (WEEKLY)





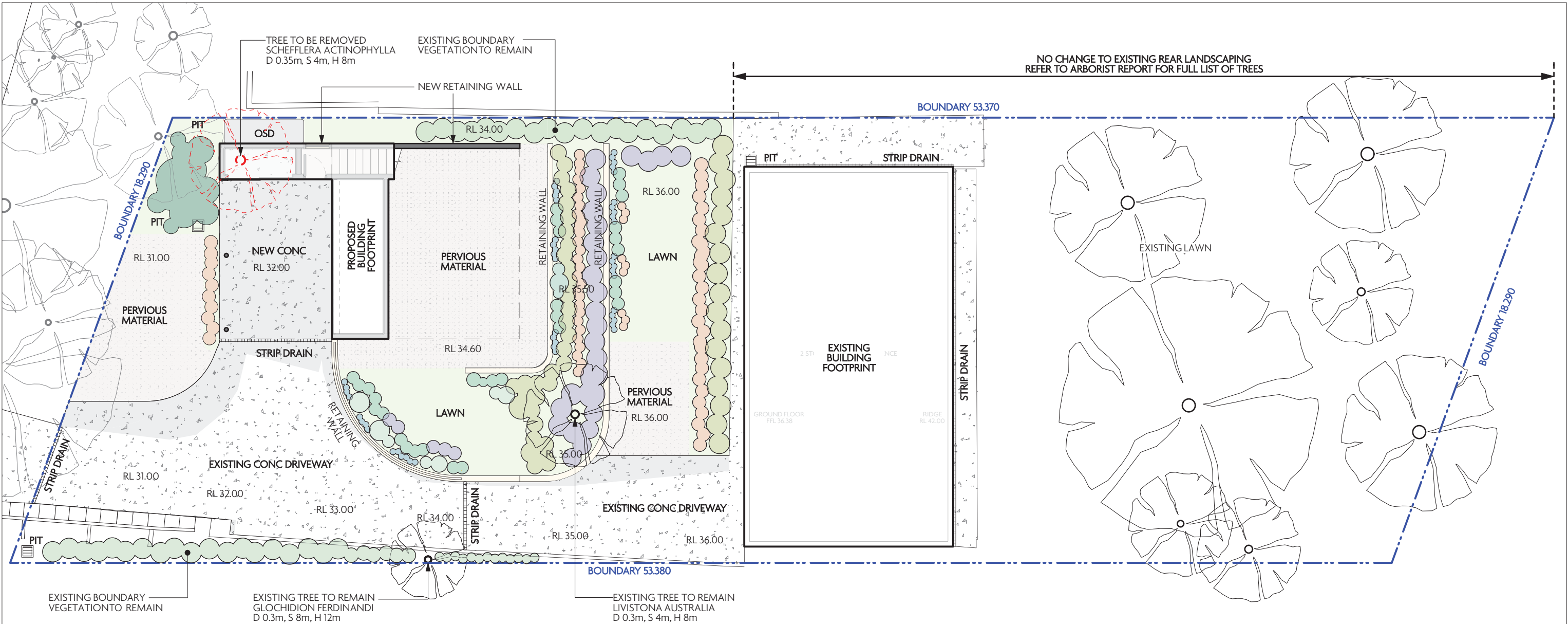
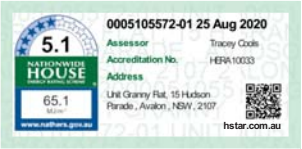


	Image	Common name	Scientific name	Description
				Existing boundary vegetation to remain
		Common Maiden Hair	Adiantum aethiopicum	Delicate fern found in dense colonies. Growth height: 200mm-500mm
		Rasp Fern	Doodia aspera	Small erect fern with rough fronds. Growth height: up to 350mm
		Silver Falls	Dichondra argentea	A dense groundcover plant that's a waterfall of silvery colour. Growth height: 70mm-100mm
		Cast Iron Plant	Aspidistra elatior	Dichondra argentea Growth height: 500mm-700mm
		Silver Falls	Senecio serpens	A low growing evergreen compact ground cover, perfect for rockeries or planting outen masse. Growth height: up to 200mm
		FoxTail Agave	Agave attenuata	It is popular as an ornamental plant in gardens in many other places with subtropical and warm climates. Growth height: 450mm
		Baby's Tears	Soleirolia soleirolii	They are low growing plants that give off a moss-like look Growth height: 60mm-100mm

SITE AREA	= 917.2m <sup>2</sup>			
	EXISTING	PROPOSED	CONTROL	COMPLIANCE
OVERALL SOFT LANDSCAPED AREA	570m <sup>2</sup> (62%)	550m <sup>2</sup> (60%)	MIN 550m <sup>2</sup> (60%)	Y
OVERALL IMPERVIOUS AREA	348m <sup>2</sup> (38%)	381m <sup>2</sup> (41%)	-	-



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ISSUE	DATE	NOTE	DWN BY	PROJECT	CLIENT ADDRESS	PROJECT #	DATE #
				NEW SECONDARY DWELLING	15 HUDSON PARADE, AVALON	2004	25/8/20
				FOR FIONA RAE & TIM GATES		SCALE @ A3	DWG #
						NTS@A3	504
						DRAWN	AM
						CHECKED	AC
						ISSUE	STAGE
							DA