


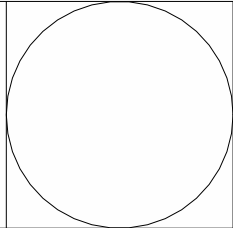


# 65 MARINE PARADE, AVALON

MODIFICATION TO APPROVED DA APPLICATION  
NUMBER DA2020/0278 - 30/06/2020

## LIST OF DOCUMENTS

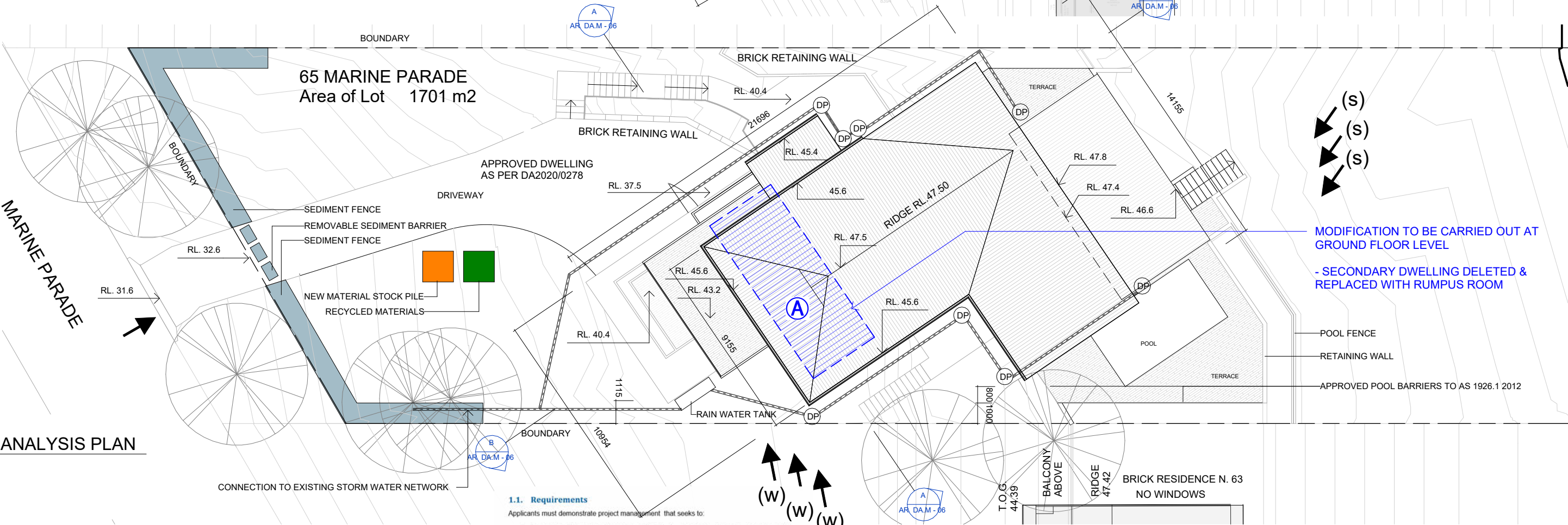
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AR DA.M - 03	A	UPPER FLOOR & ROOF PLAN - APPROVED
AR DA.M - 04	A	FIRST FLOOR APPROVED & GROUND FLOOR - MODIFIED
AR DA.M - 05	A	NORTH & SOUTH ELEVATION - APPROVED
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					A	02.08.24	COUNCIL SUBMISSION				

SITE NOTES

- NO KNOWN WATERCOURSES OR WATERWAYS ON SITE
- PROVIDE SILTRATION BARRIER AS REQUIRED BY COUNCIL
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORIZED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- PROJECT INFORMATION IN ACCORDANCE WITH APPROVED DA APPLICATION NUMBER DA2020/0278 - 30/06/2020
- ALL PROPOSED WORKS TO BE CARRIED OUT INSIDE APROVED DWELLING

1 PROPERTY PLAN  
1 : 500



2 SITE ANALYSIS PLAN  
1 : 200

- KEY
- EXISTING VEGETATION TO REMAIN
  - CAR ENTRY POINT
  - BOUNDARY
  - PREVAILING WINDS (summer)
  - PREVAILING WINDS (winter)
  - WINDOW TO LIVING SPACE IN ADJACENT DWELLING
  - EXISTING CONTOURS SLOPE OF LAND 500mm INCREMENT

- SEDIMENT FENCE
- RECYCLED MATERIALS
- NEW MATERIAL STOCK PILE
- ADJACENT DWELLINGS
- APPROVED DWELLING SHOWN IN BLACK LINEWORK
- SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM
- DELETED ELEMENTS SHOWN IN BLUE LINEWORK

1.1. Requirements

- Applicants must demonstrate project management that seeks to:
- Incorporate the waste hierarchy principle of avoidance, resource recovery and disposal.
  - Minimise the waste sent for disposal.
  - Minimise the impact and disturbance on surrounding amenity, public safety, roadways and natural and built environment.
  - Adhere to any relevant legislation not limited to hazardous waste, storage and transportation regulations.
  - Send waste materials to a suitably licensed facility.
  - Identify suitable locations on the site for sorting and storing of materials for re-use, recycling and disposal. Factors to consider include slopes, drainage and personnel and vehicular access.
  - Maintain valid tipping dockets and receipts on site for inspection.

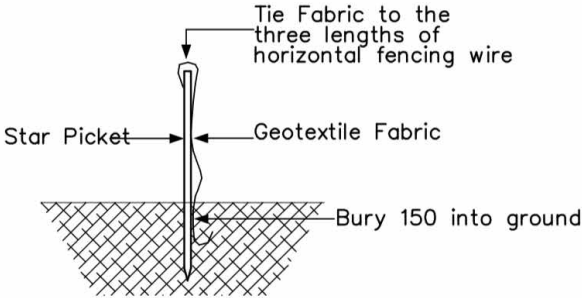
NORTHERN BEACHES COUNCIL Waste Management Guidelines  
Effective Date: 25 October 2016

- (W)
- (W)
- (W)


1.2. Re-use and recycling opportunities

The table below provides guidance on re-use and recycling opportunities:

Material	Re-use and recycling opportunities
Excavated materials	Re-use for filling or levelling
Concrete	Re-use for filling, levelling or road base
Bricks / Pavers	Re-use or crush for landscaping and driveways
Roof Tiles	Re-use or crush for landscaping and driveways
Untreated Timber	Re-use as floorboards, fencing, furniture, mulch or send to second -hand timber suppliers
Treated Timber	Re-use as formwork, bridging, blocking and propping and send to second -hand timber suppliers
Doors / Windows / Fittings	Send to second -hand suppliers, or recycle
Metals	Re-use or recycle
Green Waste	Mulch or compost
Plasterboard	Re-use for landscaping, recycle or return to supplier
Carpet	Recycle or re-use in landscaping
Plastics / Rubber	Re-use or recycle



SEDIMENTATION CONTROL FENCE  
Scale 1: 10



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Client  
HALL RESIDENCE

Project Address  
65 MARINE PARADE, AVALON

Sheet Number  
AR DA.M - 02

Sheet Title  
SITE ANALYSIS PLAN

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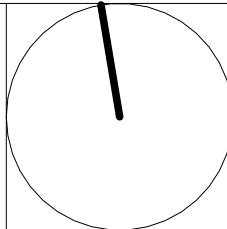
Job N°. 0167 HALL

Scale As indicated

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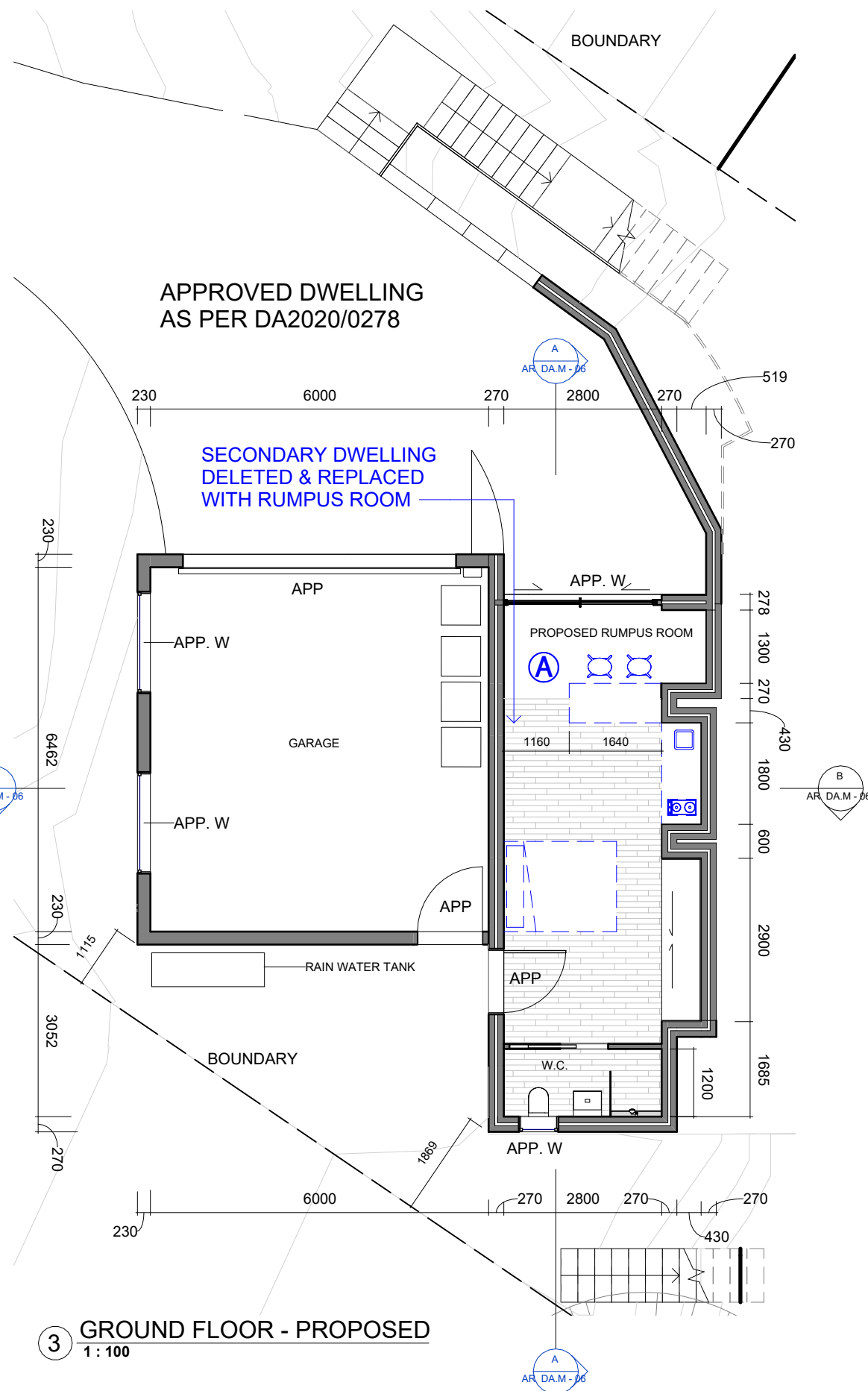
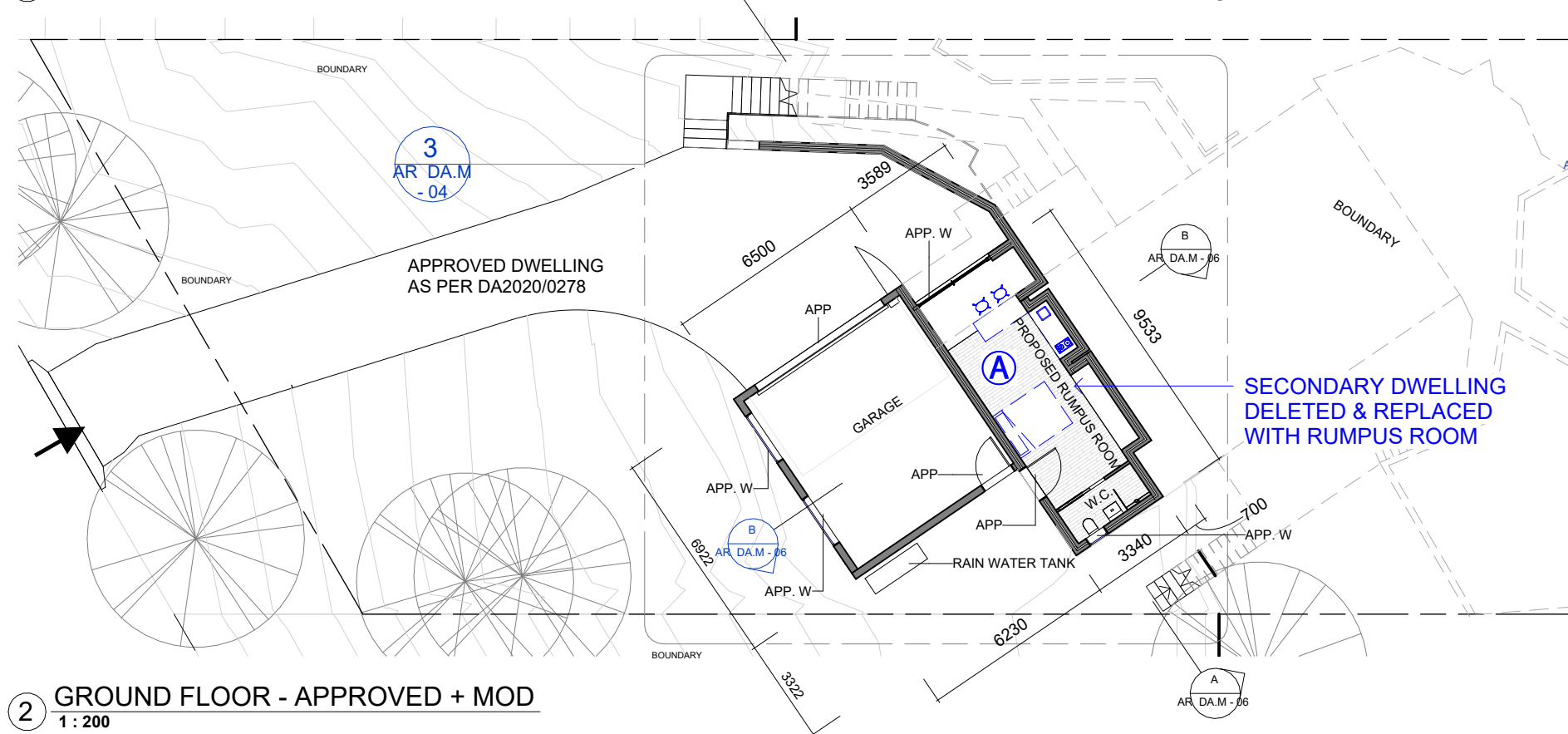
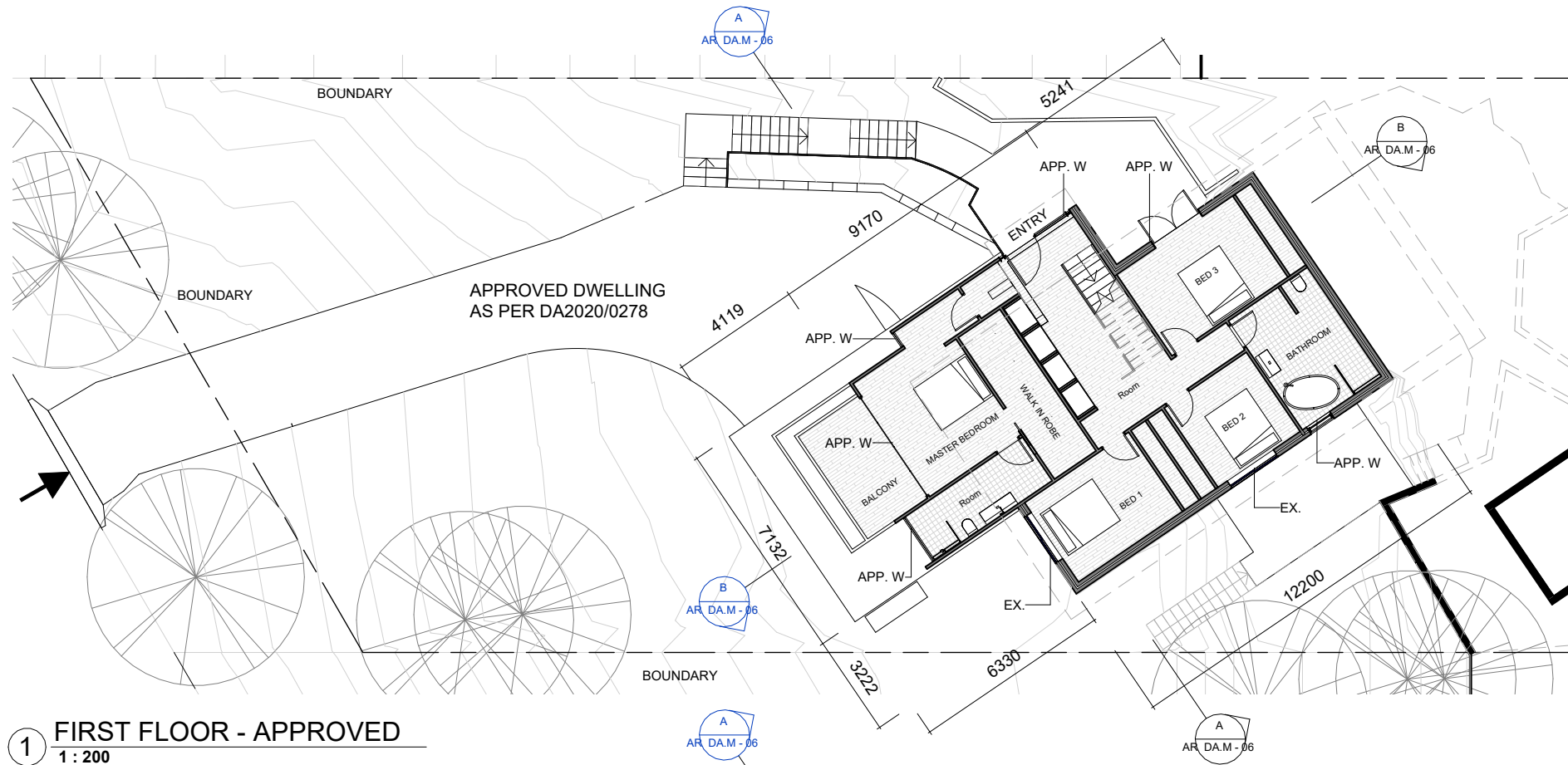
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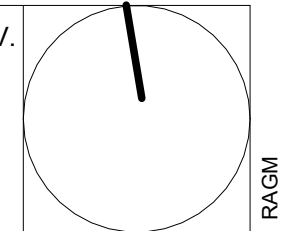




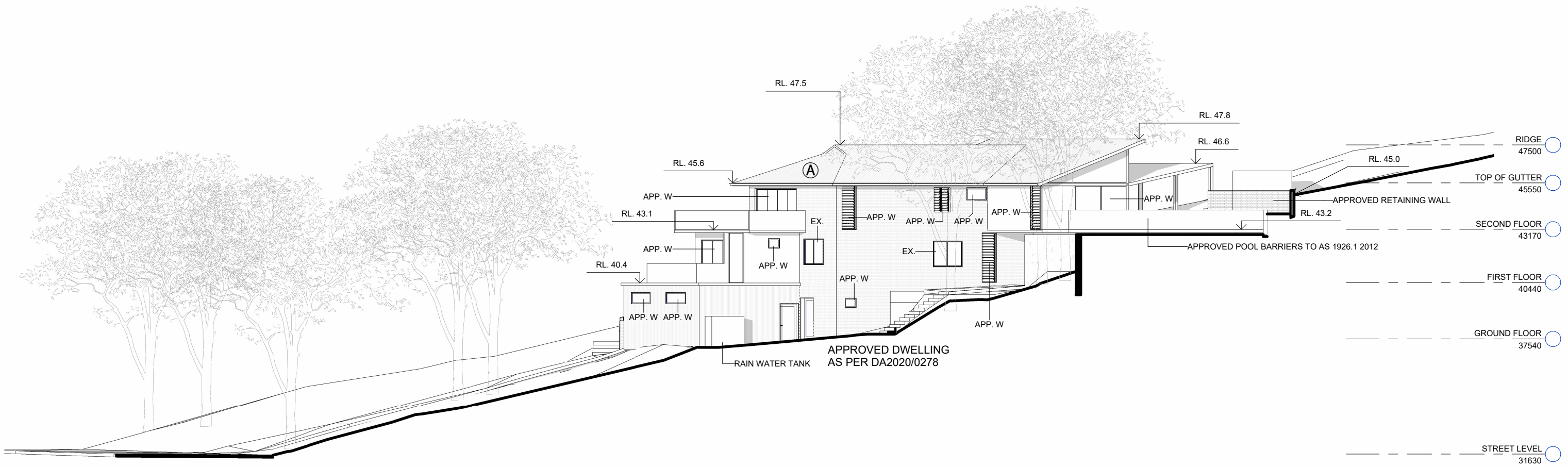
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**DELETED ELEMENTS SHOWN IN BLUE LINEWORK**

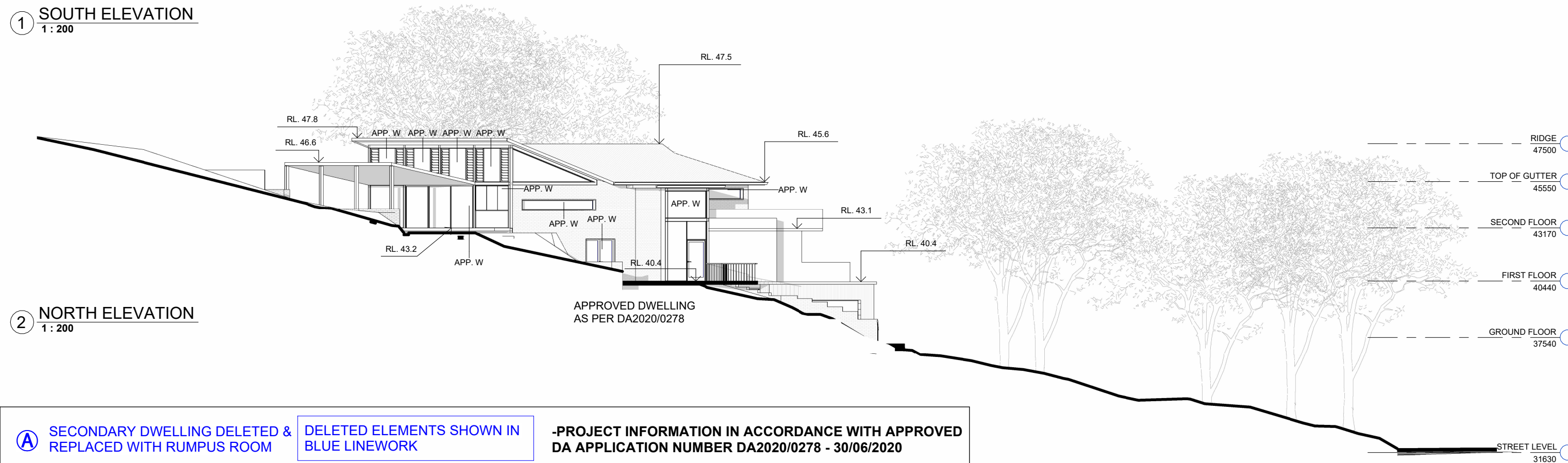
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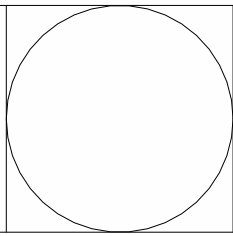
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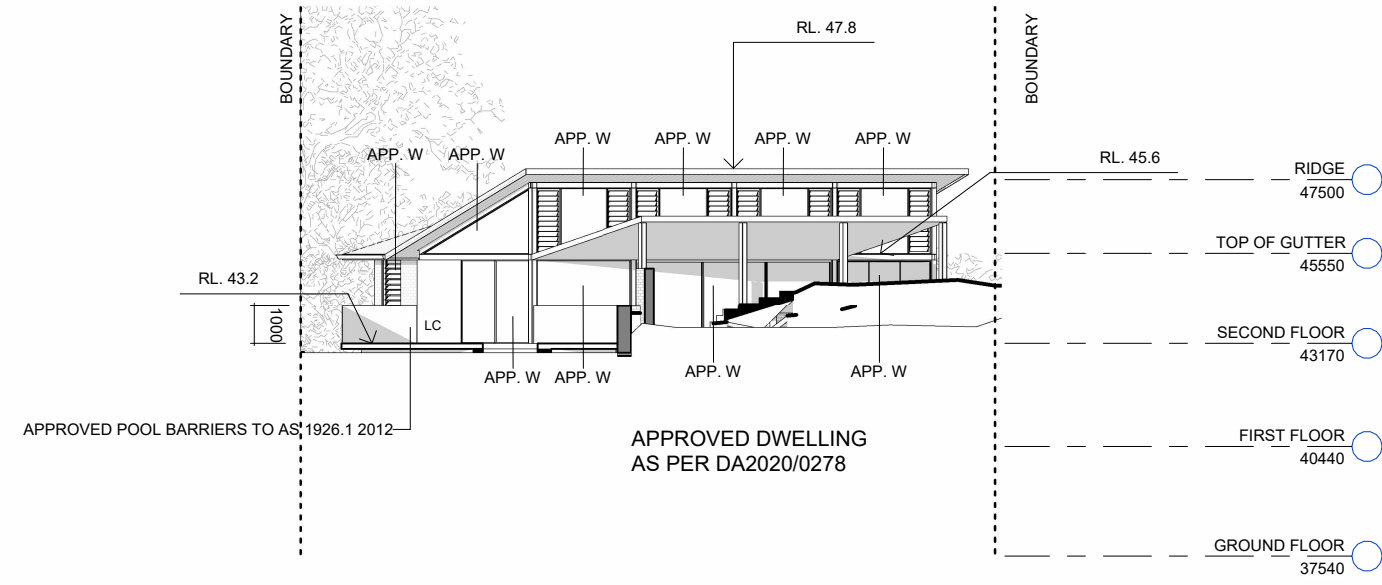
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**A** SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM  
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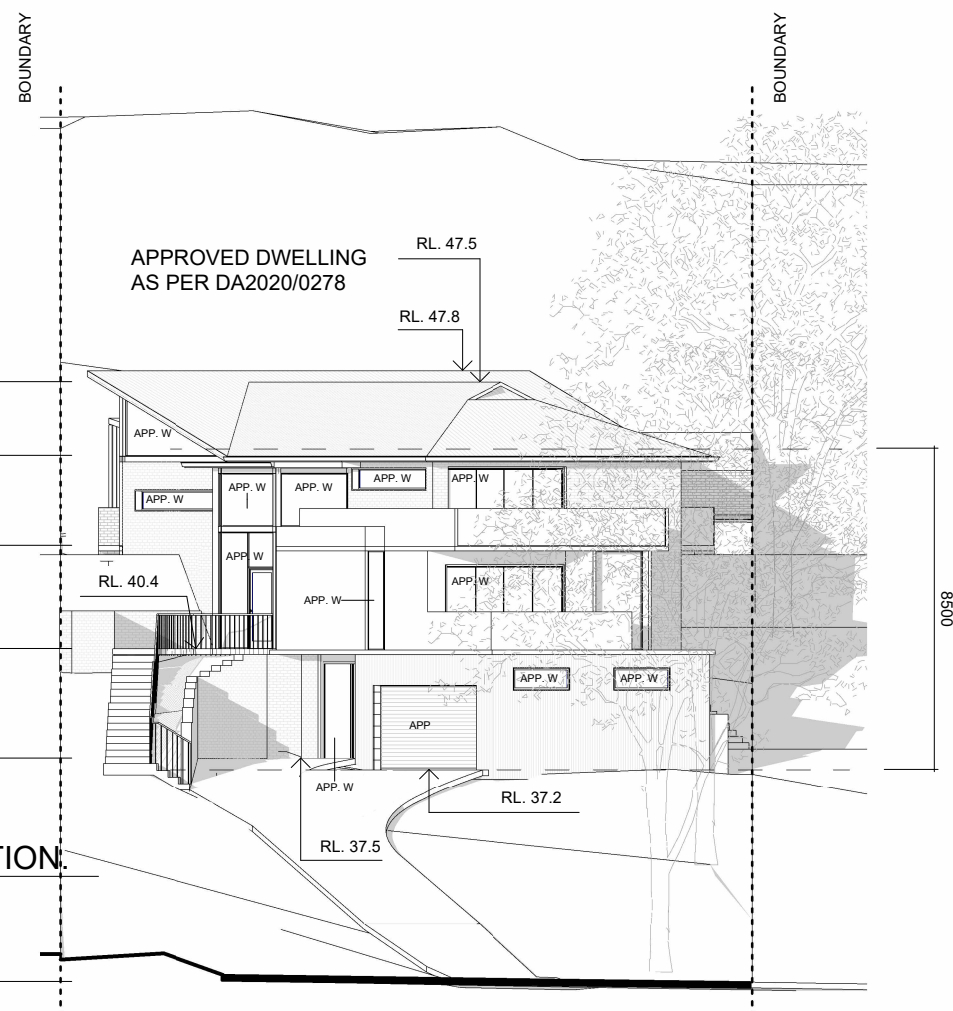
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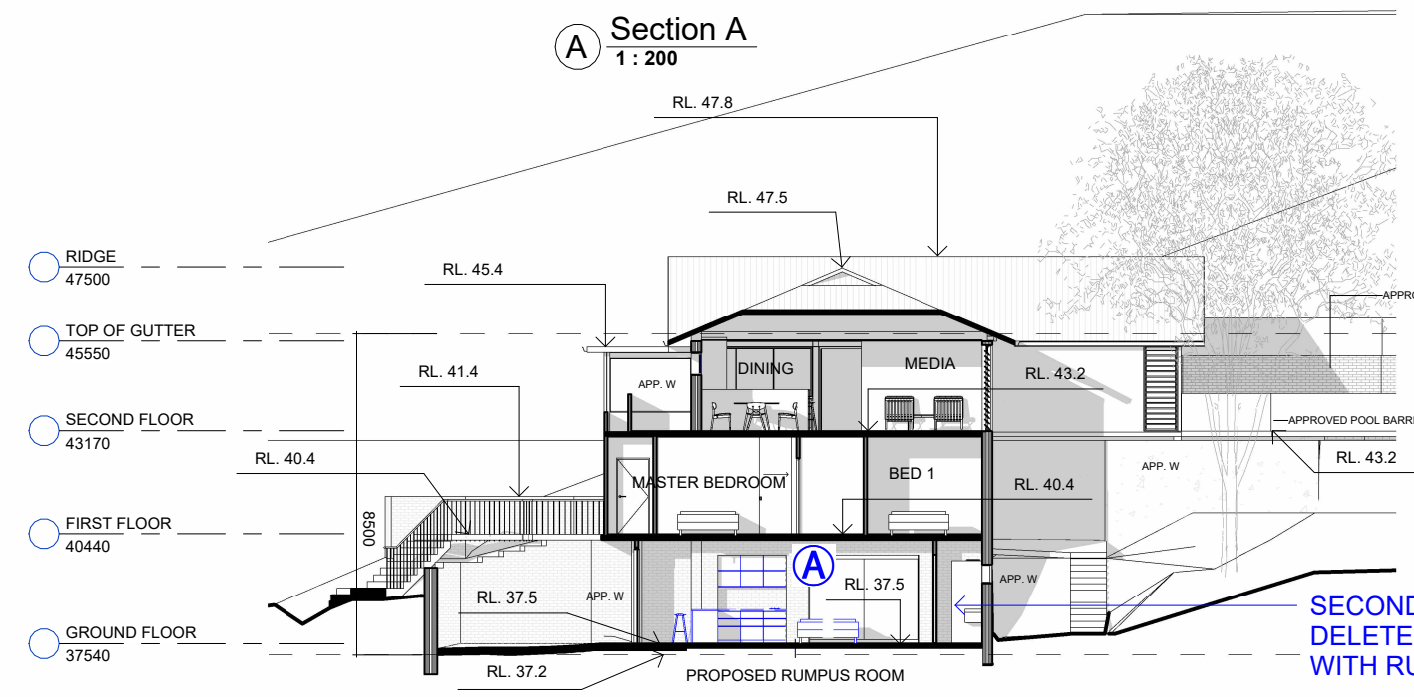




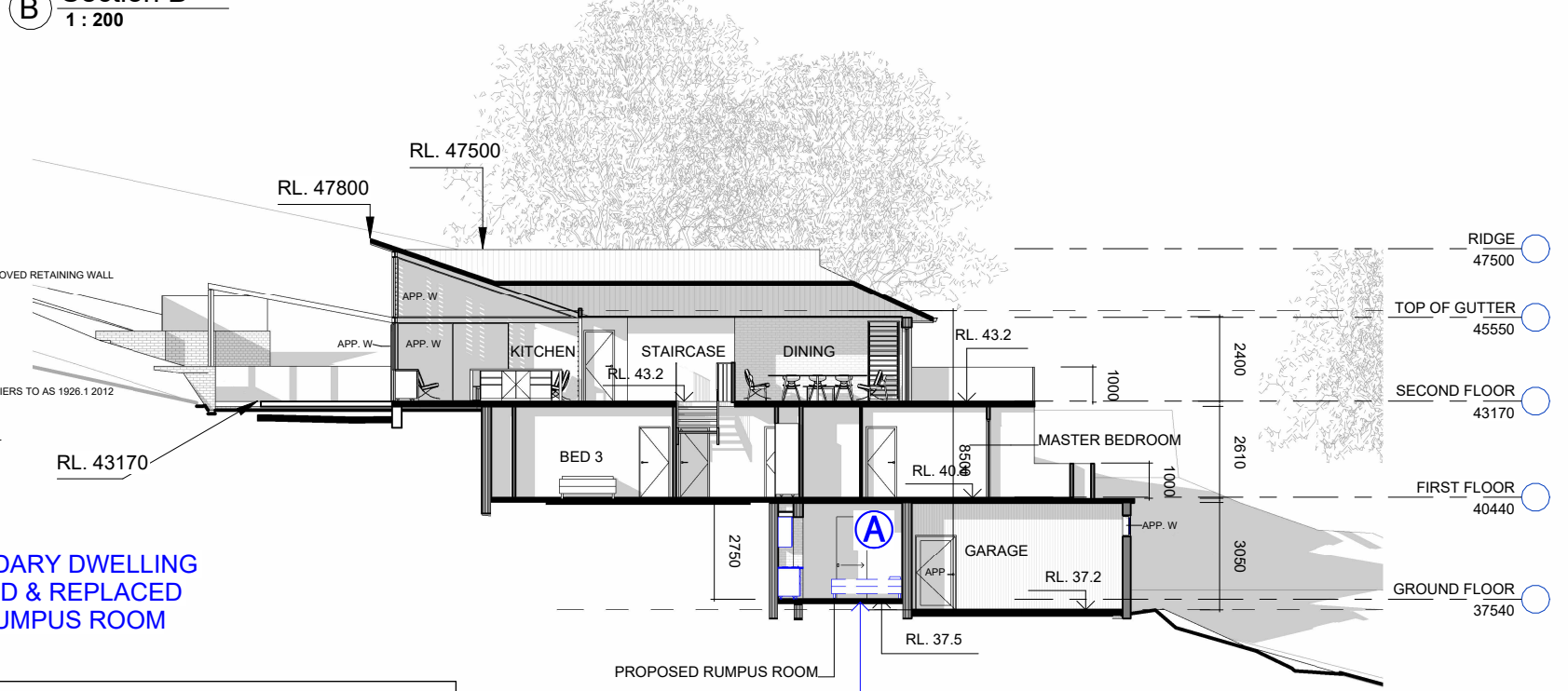
1 EAST ELEVATION.  
1 : 200



2 WEST ELEVATION.  
1 : 200



A Section A  
1 : 200




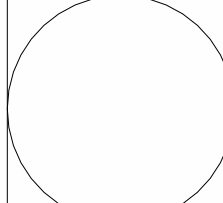
B Section B  
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**A SECONDARY DWELLING DELETED & REPLACED WITH RUMPUS ROOM**

**DELETED ELEMENTS SHOWN IN BLUE LINEWORK**

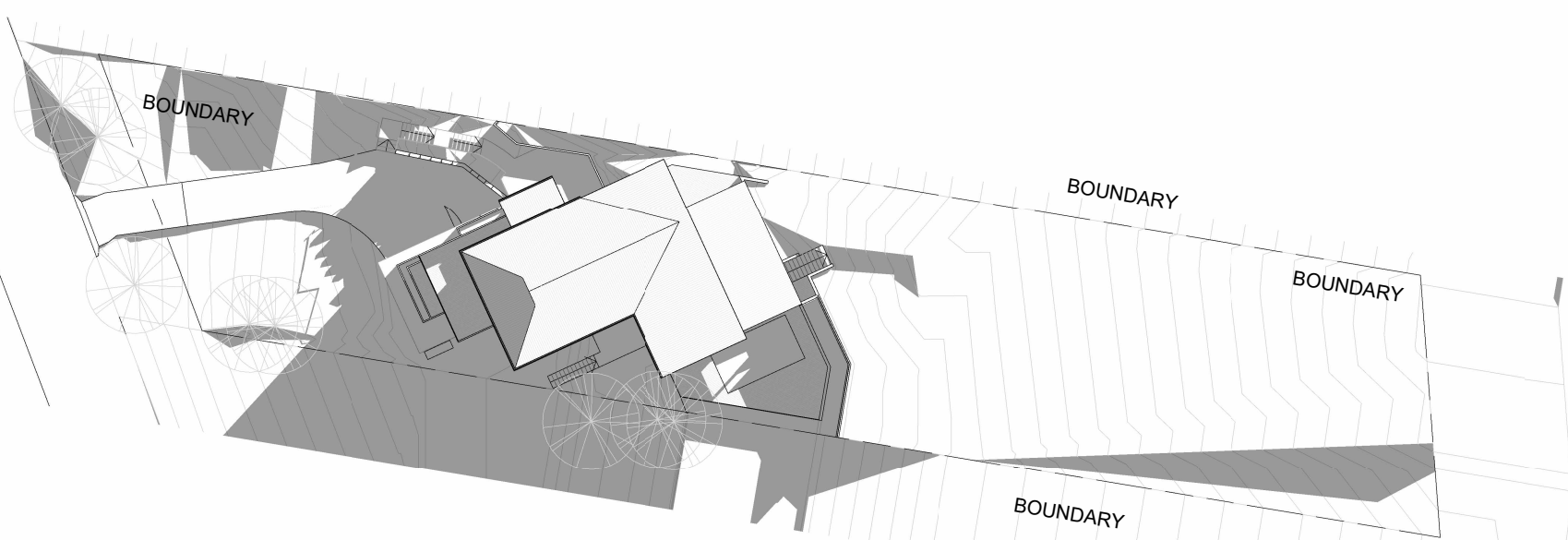
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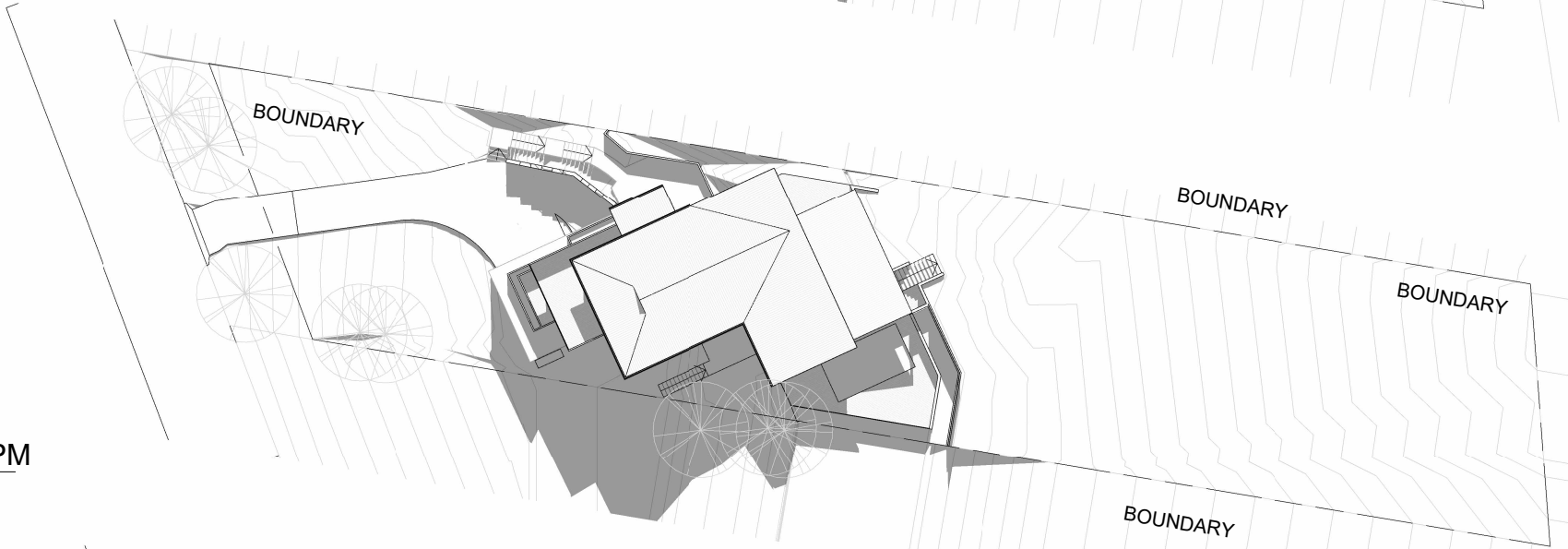
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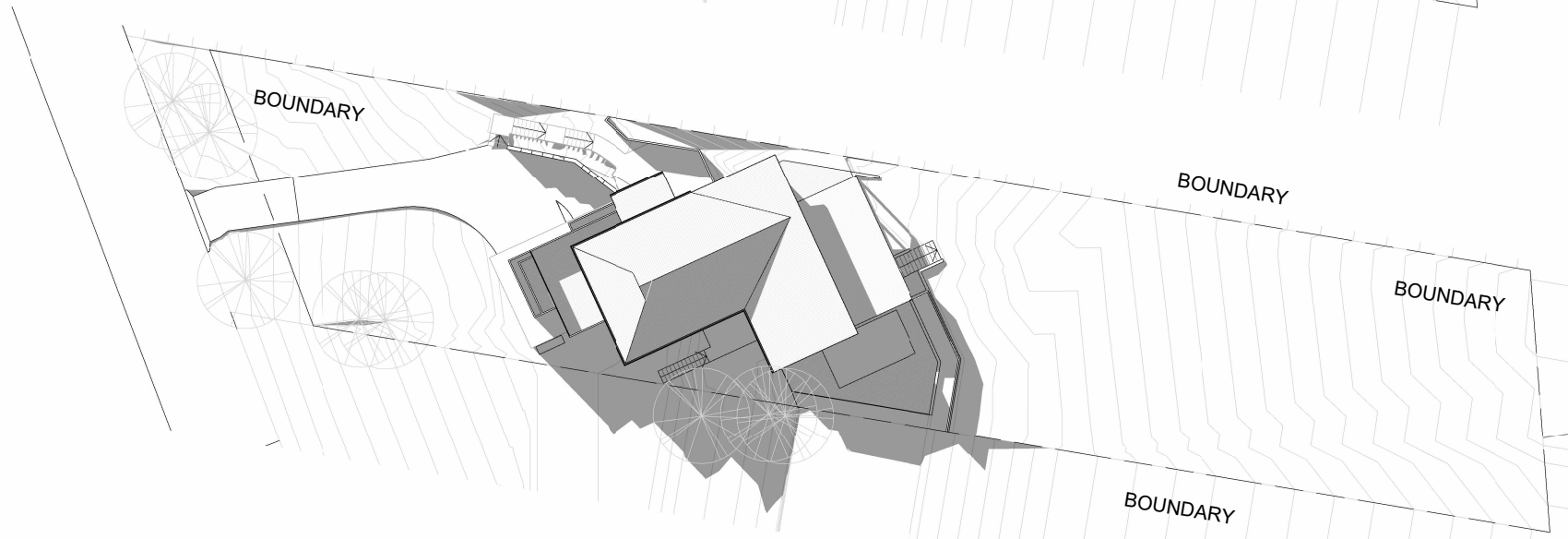
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2 APPROVED DWELLING - 22 JUNE 12 PM  
1 : 500




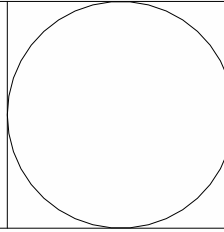
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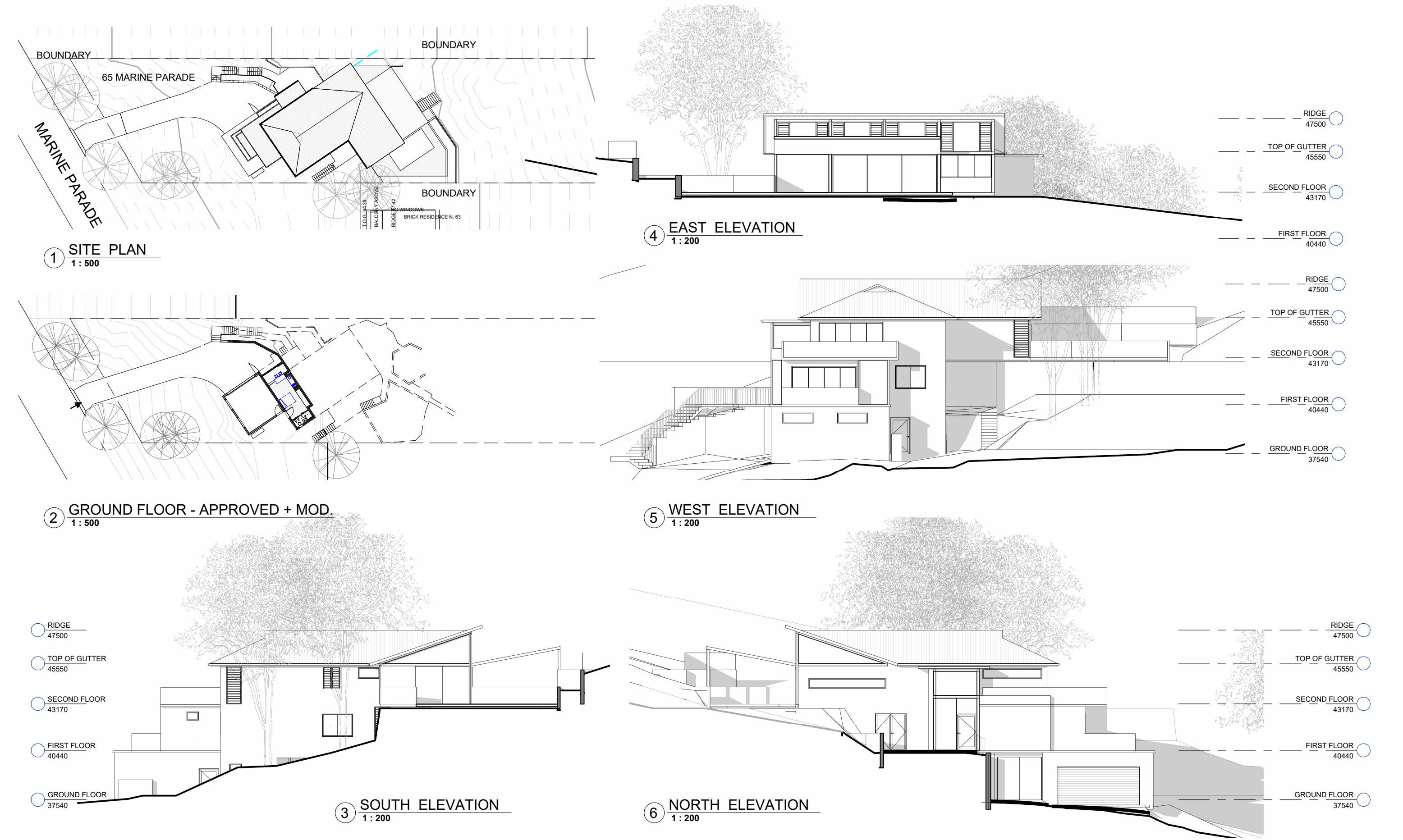



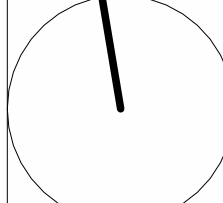
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