



ACTION PLANS

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DEVELOPMENT APPLICATION

THESE PLANS ARE FOR DEVELOPMENT APPROVAL ONLY.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	9 STEINTON STREET, MANLY, NSW, 2095			
LOT & DP/SP	LOT 102 DP 586416			
COUNCIL	NORTHERN BEACHES COUNCIL (MANLY)			
SITE AREA	152.30m²			
FRONTAGE	4.97m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R3 – MEDIUM DENSITY RESIDENTIAL	R3	R3	YES
MINIMUM LOT SIZE	250m²	152.30m²	UNCHANGED	NO
FLOOR SPACE RATIO	0.75 : 1 (114.225m²)	0.53: 1 (80.19m²)	1.01 : 1 (154.42m²)	NO
MAXIMUM BUILDING HEIGHT	11m	6.36m	8.307m	YES
HAZARDS				
ACID SULFATE SOILS	IDENTIFIED - CLASS 4	N/A	N/A	N/A
FLOOD PLANNING	IDENTIFIED - MEDIUM RISK	N/A	N/A	N/A
HERITAGE CONSERVATION	IDENTIFIED	N/A	N/A	N/A
FORESHORE SCENIC PRO. AREA	IDENTIFIED	N/A	N/A	N/A
DCP				
RESIDENTIAL OPEN SPACE	AREA OS2			
TOTAL OPEN SPACE (TOS)	50% (76.15m²)	63.66m² (42%)	UNCHANGED	NO
LANDSCAPE AREA	30% OF TOS (50%) : 22.85m²	5.63m²	30.07 m²	YES
OPEN SPACE ABOVE GROUND	MAX. 40% OF TOS (50%) : 30.46m²	0.0m²	2.53m²	YES
PRINCIPAL PRIVATE OPEN SPACE	18m²	37.76m²	UNCHANGED	YES
FRONT SETBACK	PREVALING BULDING LINE: 1.39m	1.39m	UNCHANGED	YES
REAR SETBACK	8.0m	7.8m	UNCHANGED	NO
SIDE SETBACKS	1/3 WALL HEIGHT	E:0m W:0m	E: UNCHANGED W: UNCHANGED	NO NO
CAR PARKING SPACES	Required: 1	1	UNCHANGED	YES

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	05-May-20
DA01	NOTATION	05-May-20
DA02	SITE ANALYSIS	05-May-20
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	05-May-20
DA04	EXISTING GROUND FLOOR PLAN	05-May-20
DA05	PROPOSED GROUND FLOOR PLAN	05-May-20
DA06	PROPOSED FIRST FLOOR PLAN	05-May-20
DA07	NORTH / EAST ELEVATION	05-May-20
DA08	SOUTH / WEST ELEVATION	05-May-20
DA09	LONG / CROSS SECTION	05-May-20
DA10	AREA CALCULATIONS	05-May-20
DA11	SAMPLE BOARD	05-May-20
DA12	WINTER SOLSTICE 9 AM	05-May-20
DA13	WINTER SOLSTICE 12 PM	05-May-20
DA14	WINTER SOLSTICE 3 PM	05-May-20
DA15	3D WINTER SOLSTICE 9AM - 7 STEINTON STREET SUN SHADOW STUDY	05-May-20
DA16	3D WINTER SOLSTICE 12PM - 7 STEINTON STREET SUN SHADOW STUDY	05-May-20
DA17	3D WINTER SOLSTICE 3PM - 7 STEINTON STREET SUN SHADOW STUDY	05-May-20
DA18	3D WINTER SOLSTICE 9AM - 45 WHISTLER STREET SUN SHADOW STUDY	05-May-20
DA19	3D WINTER SOLSTICE 12PM - 45 WHISTLER STREET SUN SHADOW STUDY	05-May-20
DA20	3D WINTER SOLSTICE 3PM - 45 WHISTLER STREET SUN SHADOW STUDY	05-May-20
DA21	BASIX COMMITMENTS	05-May-20

9 STEINTON STREET, MANLY NSW 2095

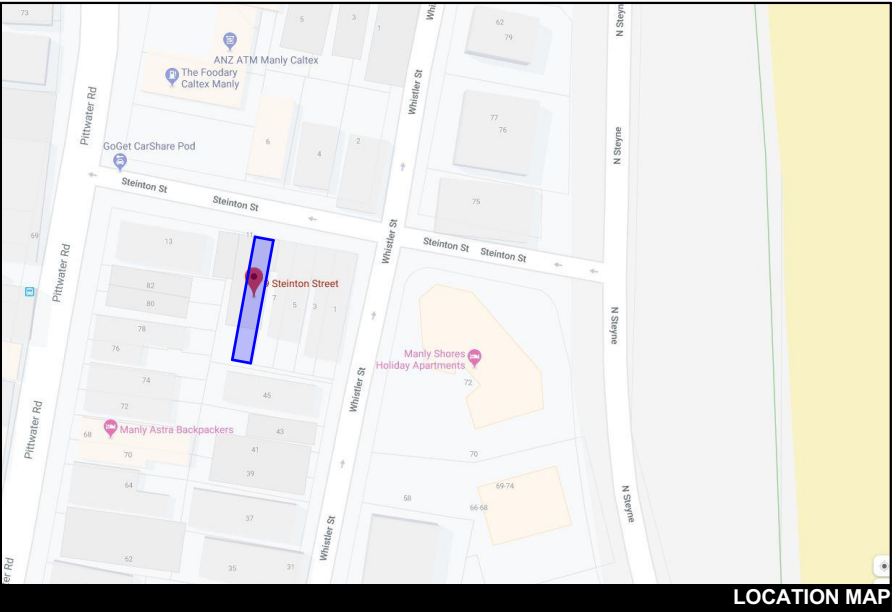
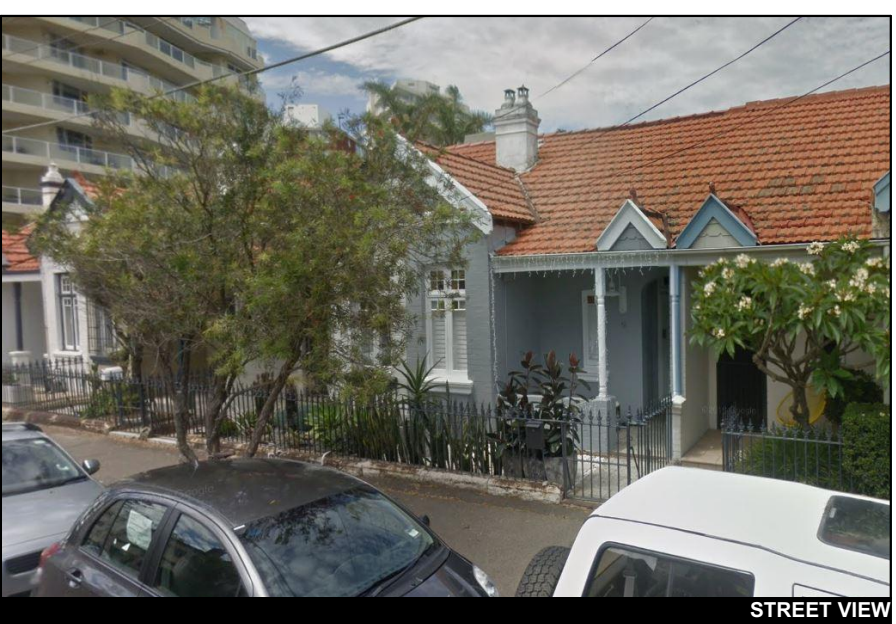
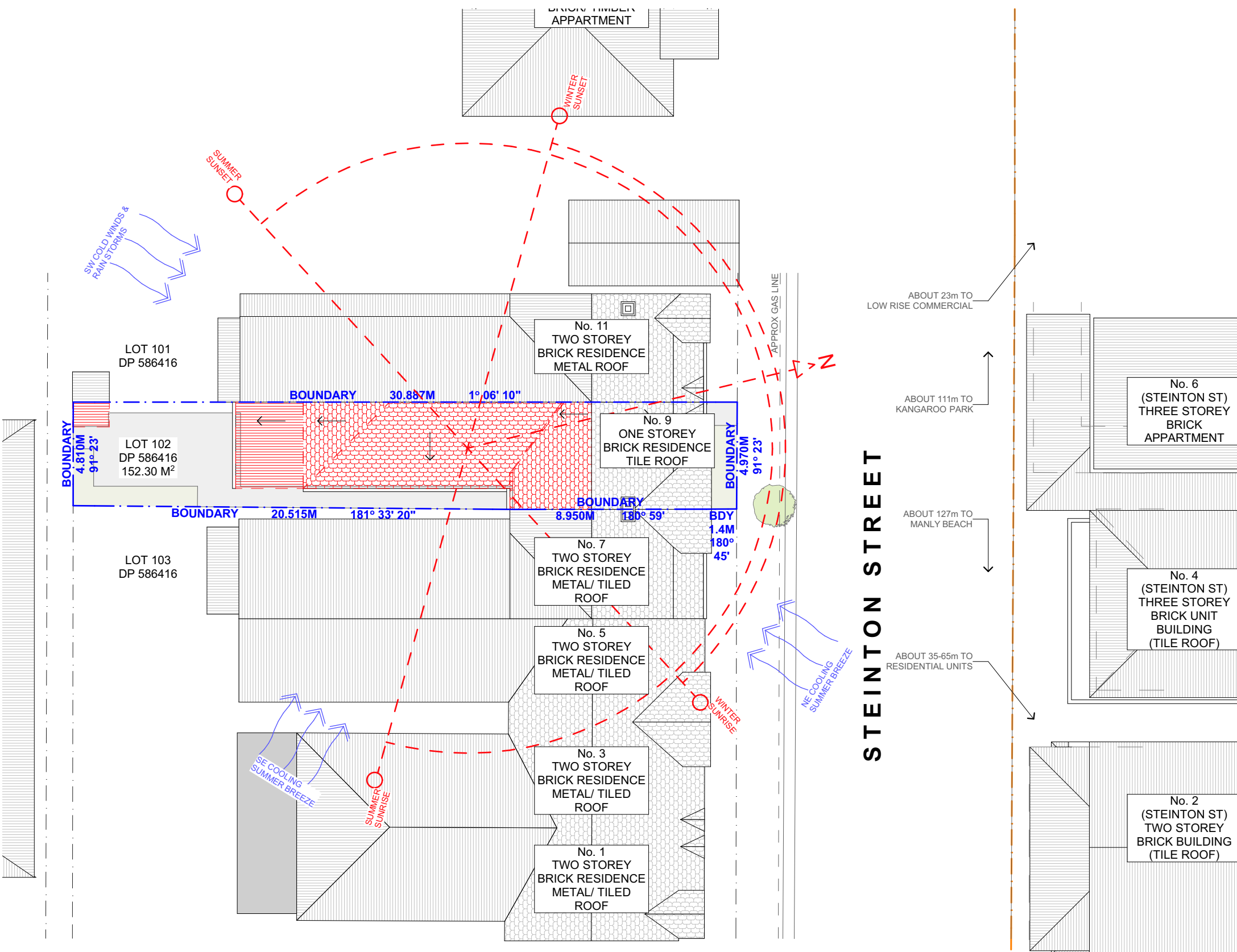


NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
 - SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
 - TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
 - SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
 - FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
 - GLAZING - PART 3.6 OF NCC INCLUDING AS1288
 - FIRE SEPARATION - PART 3.7.1 OF NCC
 - SMOKE ALARMS - PART 3.7.2 OF NCC
 - HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
 - MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
 - LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
 - VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
 - SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
 - BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
 - FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
 - ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
 - SITE CLASSIFICATION AS TO AS 2870
 - ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
 - ALL CONCRETE WORK TO COMPLY WITH AS 3600
 - ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
 - ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
 - ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
 - ALL CONSTRUCTION TO COMPLY TO AS3959- 1991

NOTES

- APPROVED MEANS BY THE 'RELEVANT LOCAL AUTHORITY' OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ON SITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNER'S APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 "TIMBER FRAMING CODE"
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNER'S APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LANDSCAPE

HARD SURFACE

PROPOSED

EXISTING

DEMOLISHED

DP. DOWNPIPE

EARTH

SETBACKS

BOUNDARY LINE

CLIENT

ELLISA BENNETT & GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA02

DATE

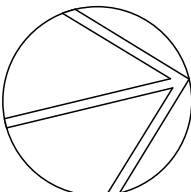
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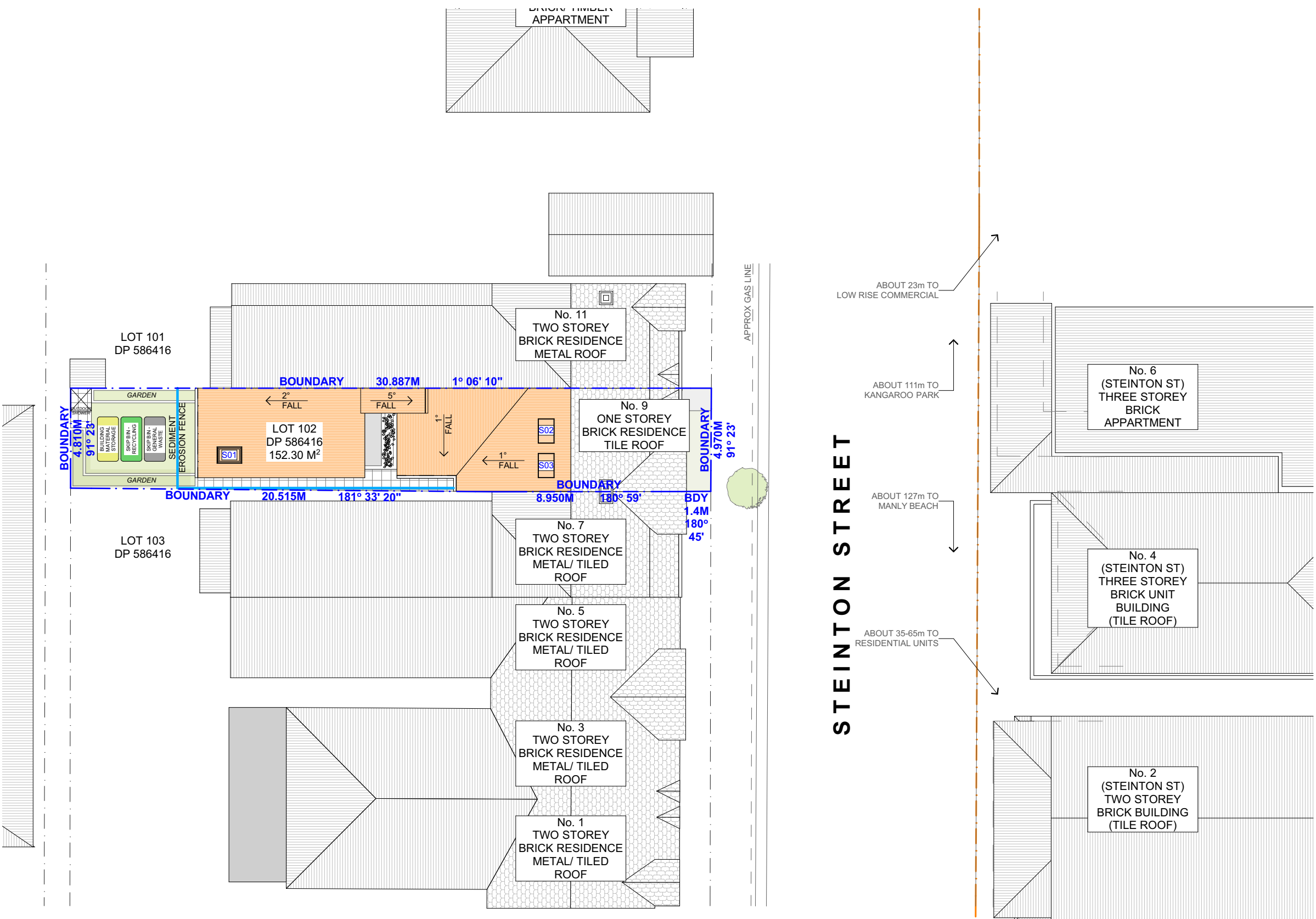
DRAWING NAME

SITE ANALYSIS

SCALE

1:200 @A3





SEDIMENT FENCE

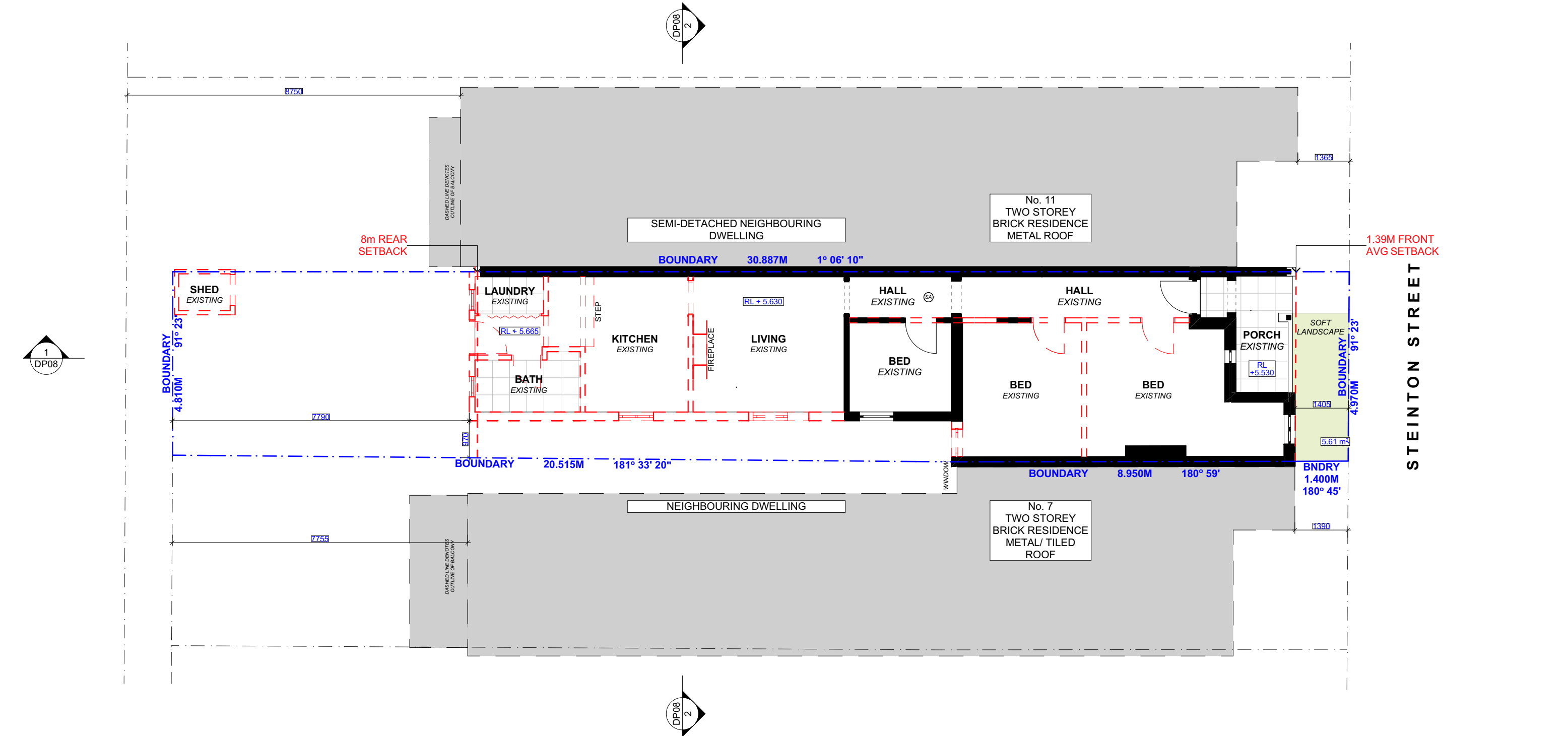
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.


STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION. ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES. IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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C	24/10/19	PRE DA AMENDMENT	LRP	
D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED
- SMOKE ALARM
- MECHANICAL VENT

CLIENT

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PROJECT ADDRESS

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MANLY, NSW, 2095

DRAWING NO.

DA04

DATE

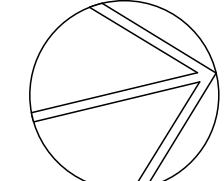
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EXISTING GROUND FLOOR PLAN

SCALE

1:100 @A3





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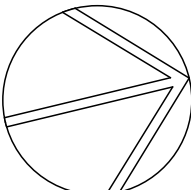
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- PROJECT ADDRESS**
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DRAWING NAME

PROPOSED GROUND FLOOR
PLAN

SCALE

1:100 @A3





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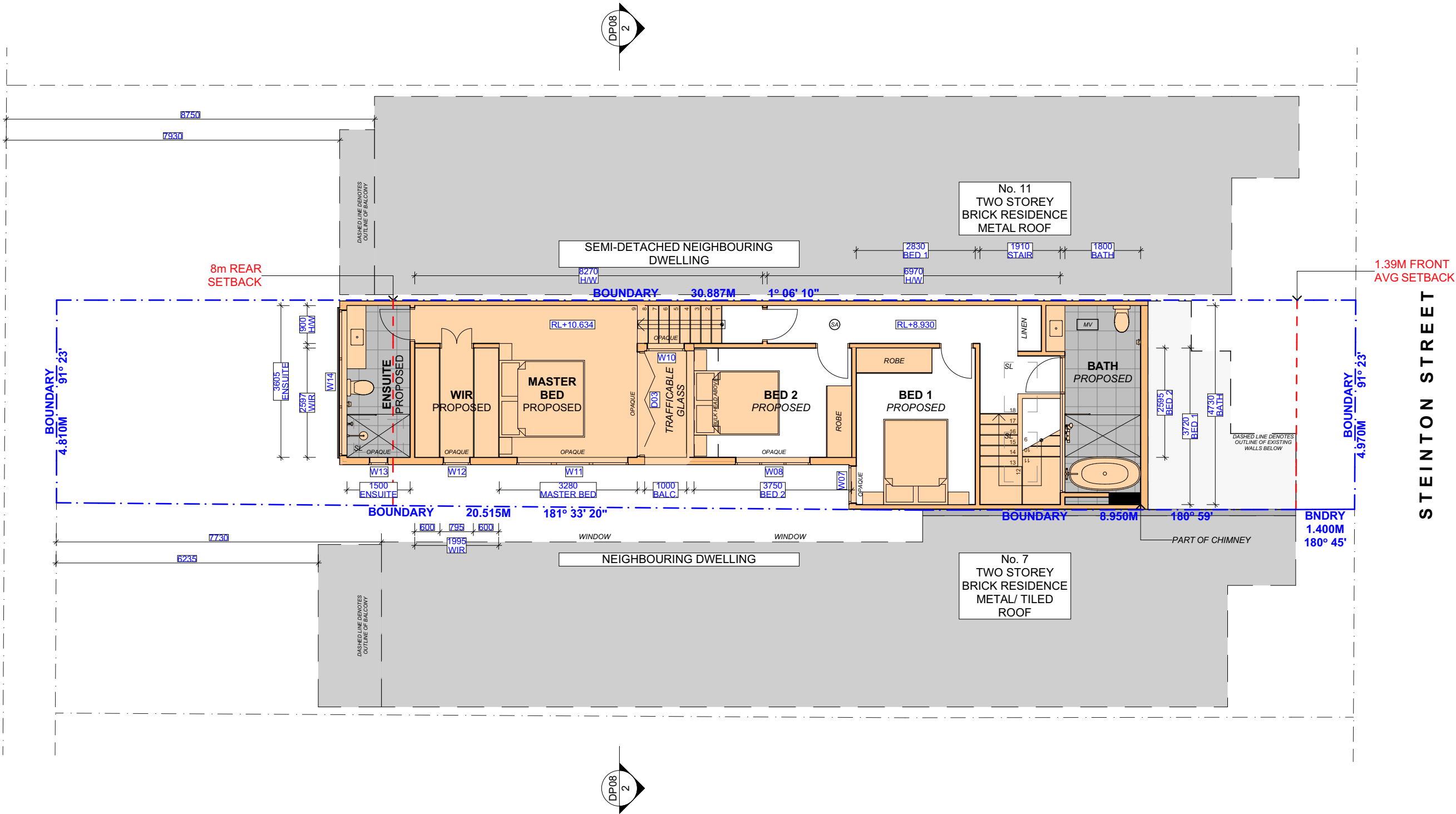
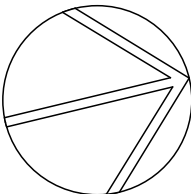
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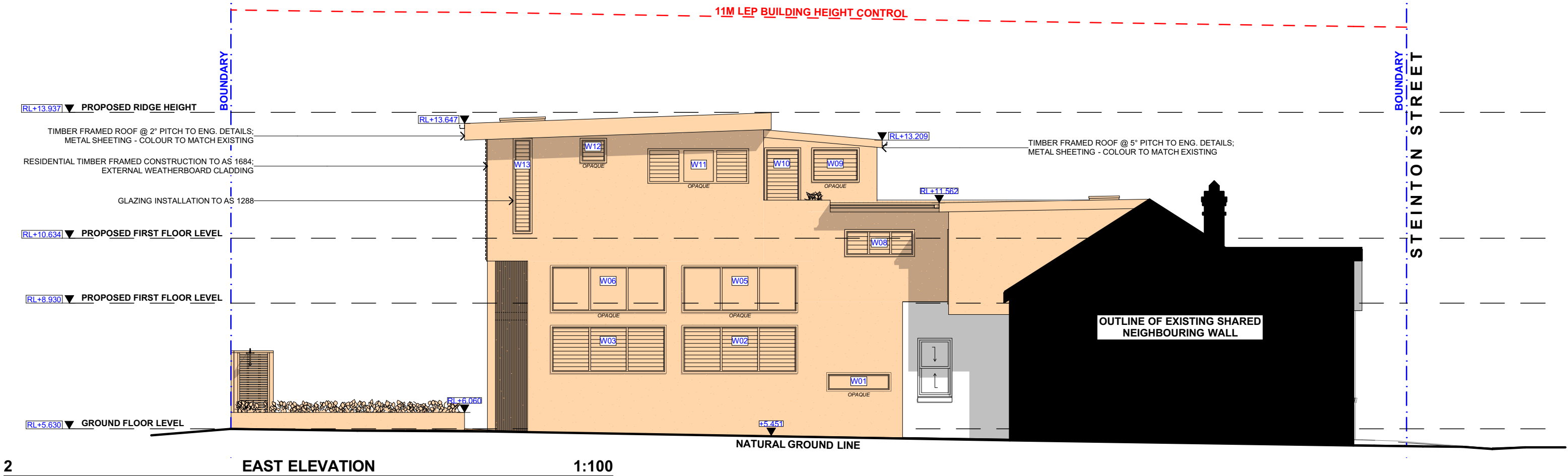
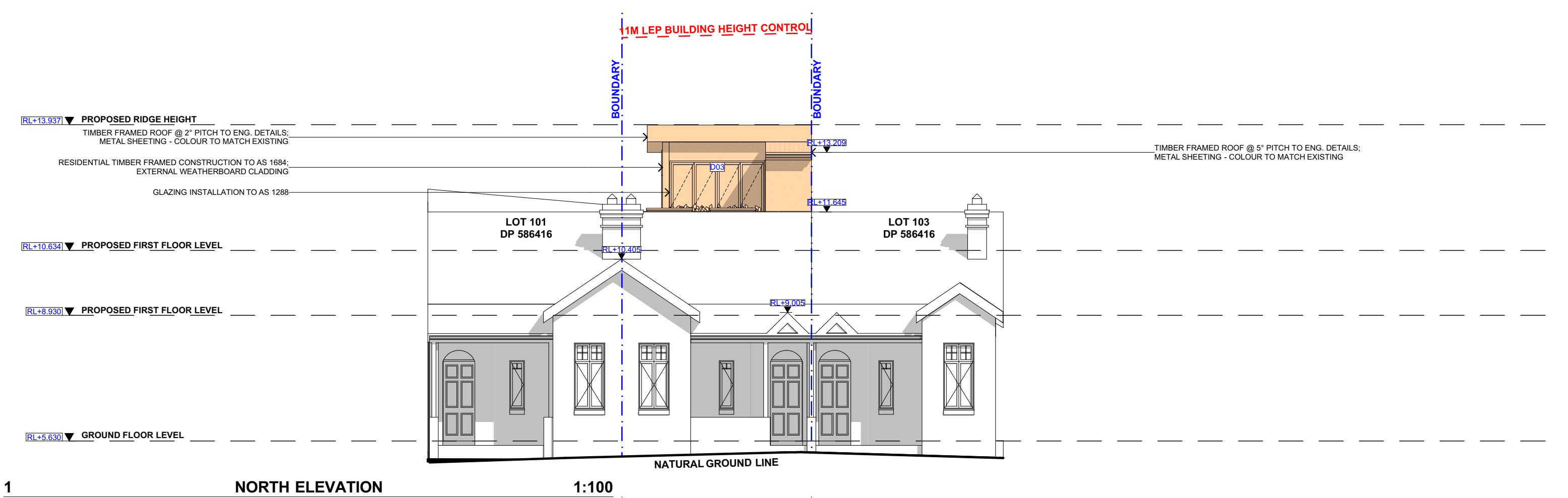
LEGEND
EXISTING
PROPOSED
DEMOLISHED
SMOKE ALARM
MECHANICAL VENT


CLIENT
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9 STEINTON STREET MANLY, NSW, 2095

DRAWING NO.
DA06
DATE
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DRAWING NAME
PROPOSED FIRST FLOOR PLAN
SCALE
1:100 @A3







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LEGEND

EXISTING

PROPOSED

METAL ROOFING

TILED ROOFING

DEMOLISHED

WEATHERBOARDS

MASONARY

EARTH

SETBACKS

BOUNDARY LINE

CLIENT

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DRAWING NO.

DA07

DATE

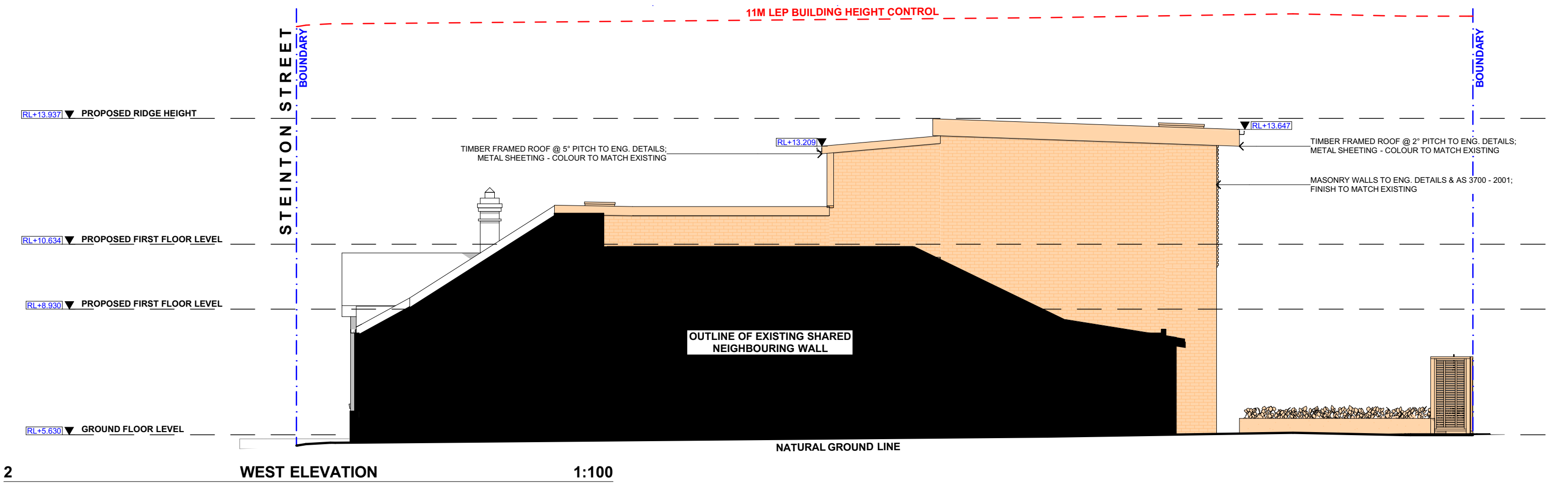
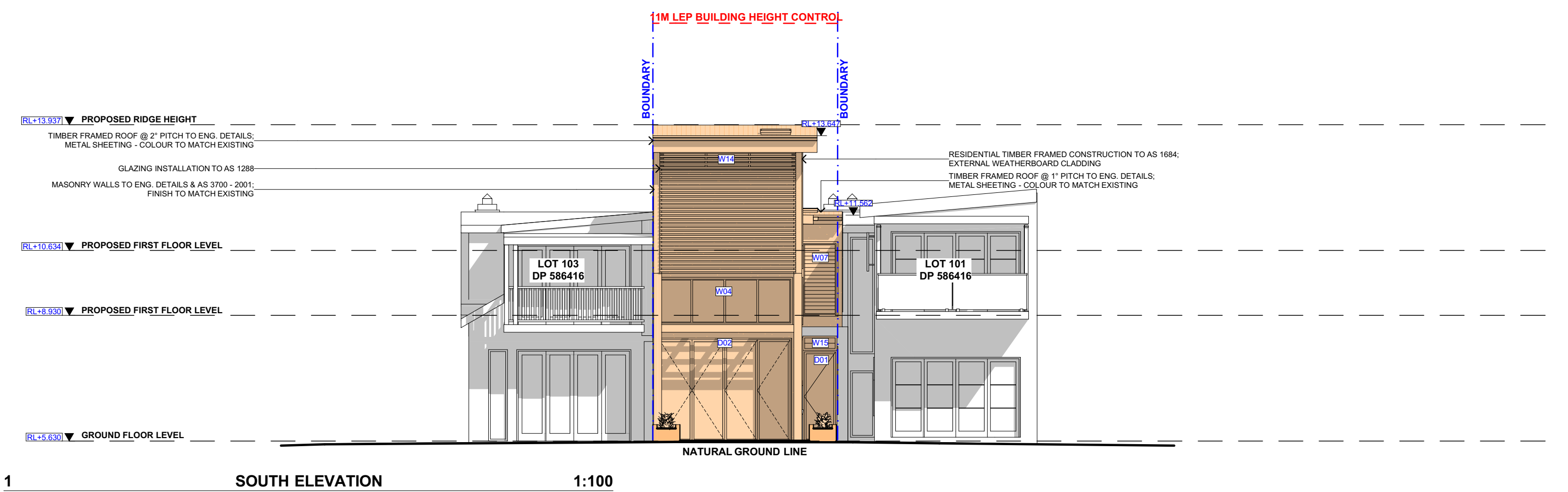
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DRAWING NAME

NORTH / EAST ELEVATION

SCALE

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D	21/02/2020	DESIGN PLAN	LRP	
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LEGEND

	EXISTING		WEATHERBOARDS
	PROPOSED		MASONARY
	METAL ROOFING		EARTH
	TILED ROOFING		SETBACKS
	DEMOLISHED		BOUNDARY LINE

CLIENT

ELLISA BENNETT &
GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA08

DATE

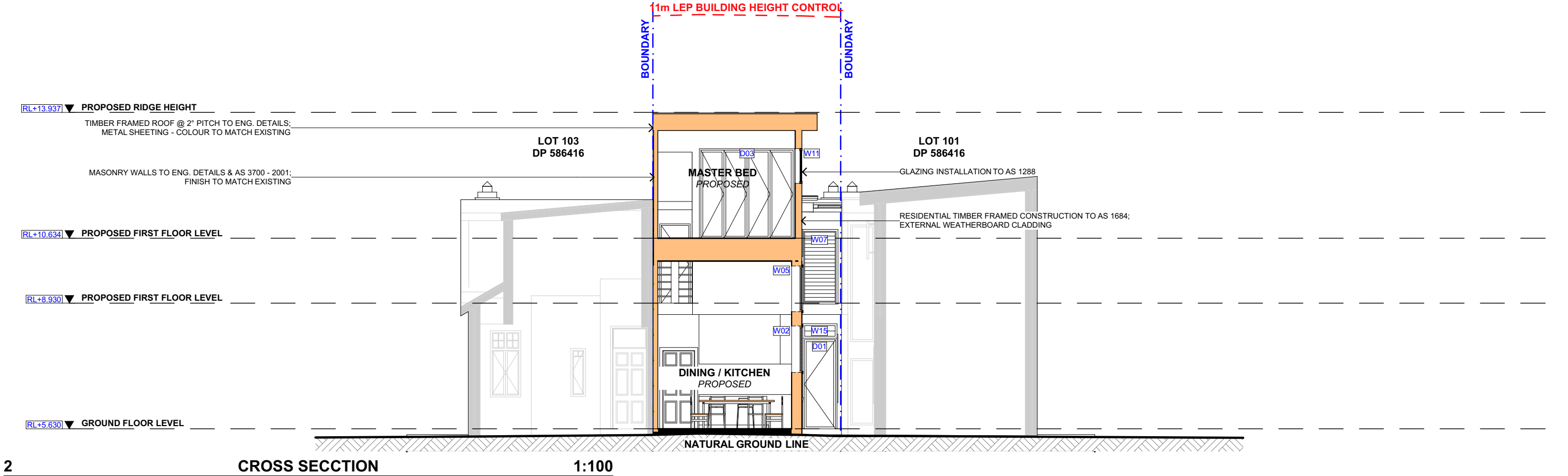
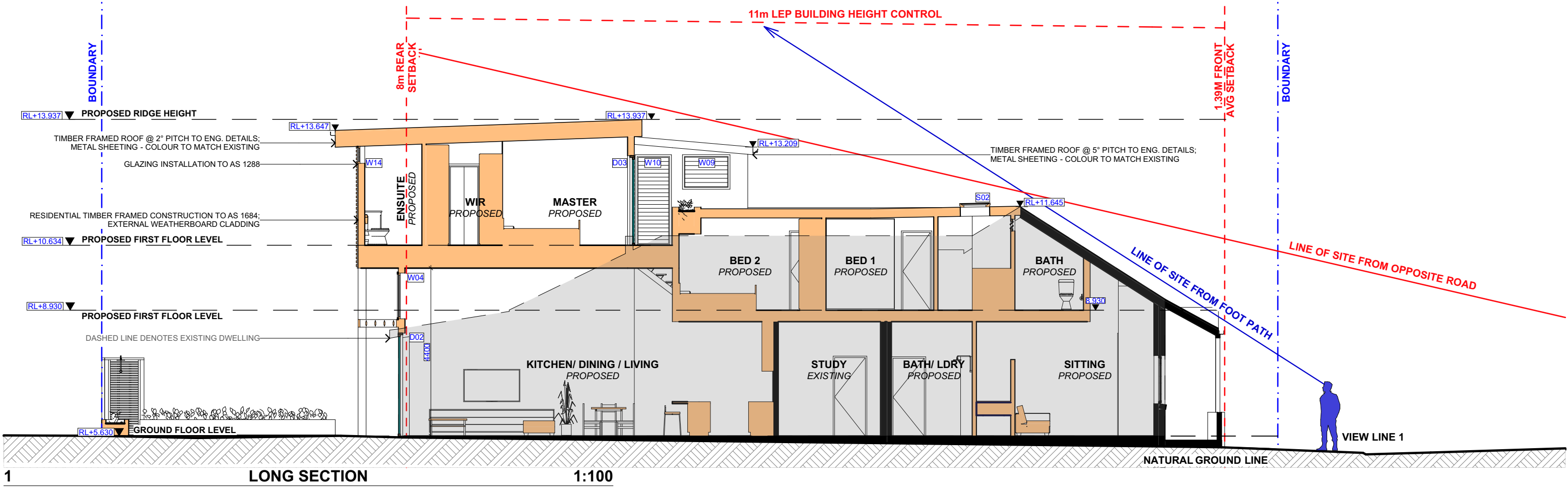
Tuesday, May 5, 2020


DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A3





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B	19/07/19	PRE DA	LRP	
C	24/10/19	PRE DA AMENDMENT	LRP	
D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND

	EXISTING		WEATHERBOARDS
	PROPOSED		MASONARY
	METAL ROOFING		EARTH
	TILED ROOFING		SETBACKS
	DEMOLISHED		BOUNDARY LINE

CLIENT
ELLISA BENNETT &
GRANT BRITS

PROJECT ADDRESS
9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.
DA09

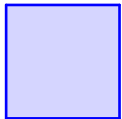
DATE
Tuesday, May 5, 2020

DRAWING NAME
LONG / CROSS SECTION

SCALE
1:100 @A3



SITE AREA:
152.30m²



FLOOR SPACE RATIO (FSR)
PERMISSIBLE 0.75 : 1 (114.23 m²)
EXISTING 0.55 : 1 (80.19m²)
PROPOSED 1.01 : 1 (154.42m²)



OPEN SPACE AREA:
REQUIRED 50.00% (76.15 m²)
EXISTING 42% (63.66m²)
PROPOSED *UNCHANGED*



LANDSCAPE AREA: % OF OPEN SPACE
REQUIRED 30.00% (22.85m²)
EXISTING 5.63m²
PROPOSED 30.07m²

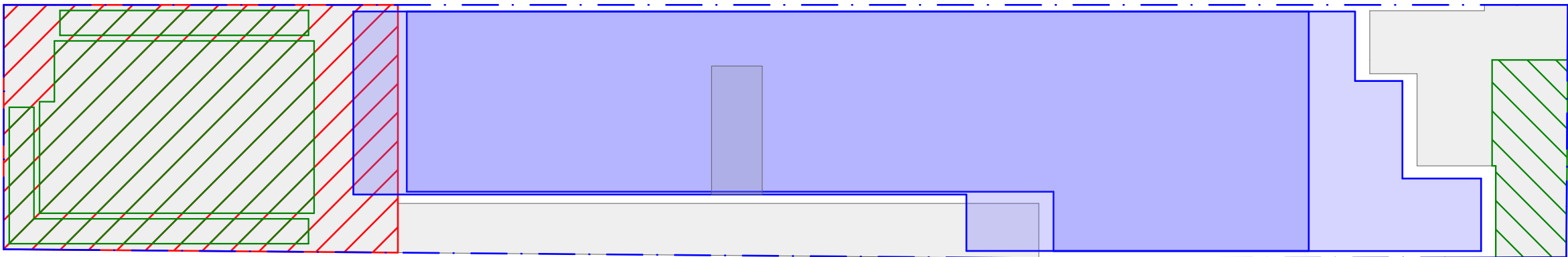


PRIVATE OPEN SPACE
REQUIRED 18.00m²
EXISTING 37.76m²
PROPOSED *UNCHANGED*



EXISTING AREA CALCULATIONS

1:100



PROPOSED AREA CALCULATIONS

1:100







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E	26/02/2020	DESIGN AMENDMENT	LRP

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LEGEND
 **EXISTING**
 **PROPOSED**
 **METAL ROOFING**
 **TILED ROOFING**

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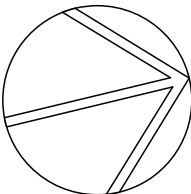
PROJECT ADDRESS
9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.
DA10

DATE
Tuesday, May 5, 2020

DRAWING NAME
AREA CALCULATIONS

SCALE
1:100 @A3



MT-01
COLOURBOND METAL ROOF SHEETING
POWDERCOAT FINISH 'IRONSTONE' OR SIMILAR
WHERE MARKED ON ELEVATION.

BWK-01
AUSTRAL FACE BRICK
'BLACKBUTT' OR SIMILAR
WHERE MARKED ON ELEVATION.

OUTDOOR SHOWER
WITH PRIVACY SCREEN
POWDERCOAT FINISH 'BLACK' OR SIMILAR
WHERE MARKED ON ELEVATION.

HPS-01
HORIZONTAL PRIVACY SCREEN
POWDERCOAT FINISH 'BLACK' OR SIMILAR
WHERE MARKED ON ELEVATION.

AWF
ALUMINIUM WINDOW FRAME
POWDERCOAT FINISH 'BLACK' OR SIMILAR
WHERE MARKED ON ELEVATION.

RBWK-01
RENDERED BRICKWORK
PAINTED 'SURFMIST' OR SIMILAR
WHERE MARKED ON ELEVATION.

ASD
ALUMINIUM BIFOLD DOOR FRAME
POWDERCOAT FINISH 'BLACK' OR SIMILAR
WHERE MARKED ON ELEVATION.



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C	24/10/19	PRE DA AMENDMENT	LRP	
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E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND

CLIENT

ELLISA BENNETT &
GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA11

DATE

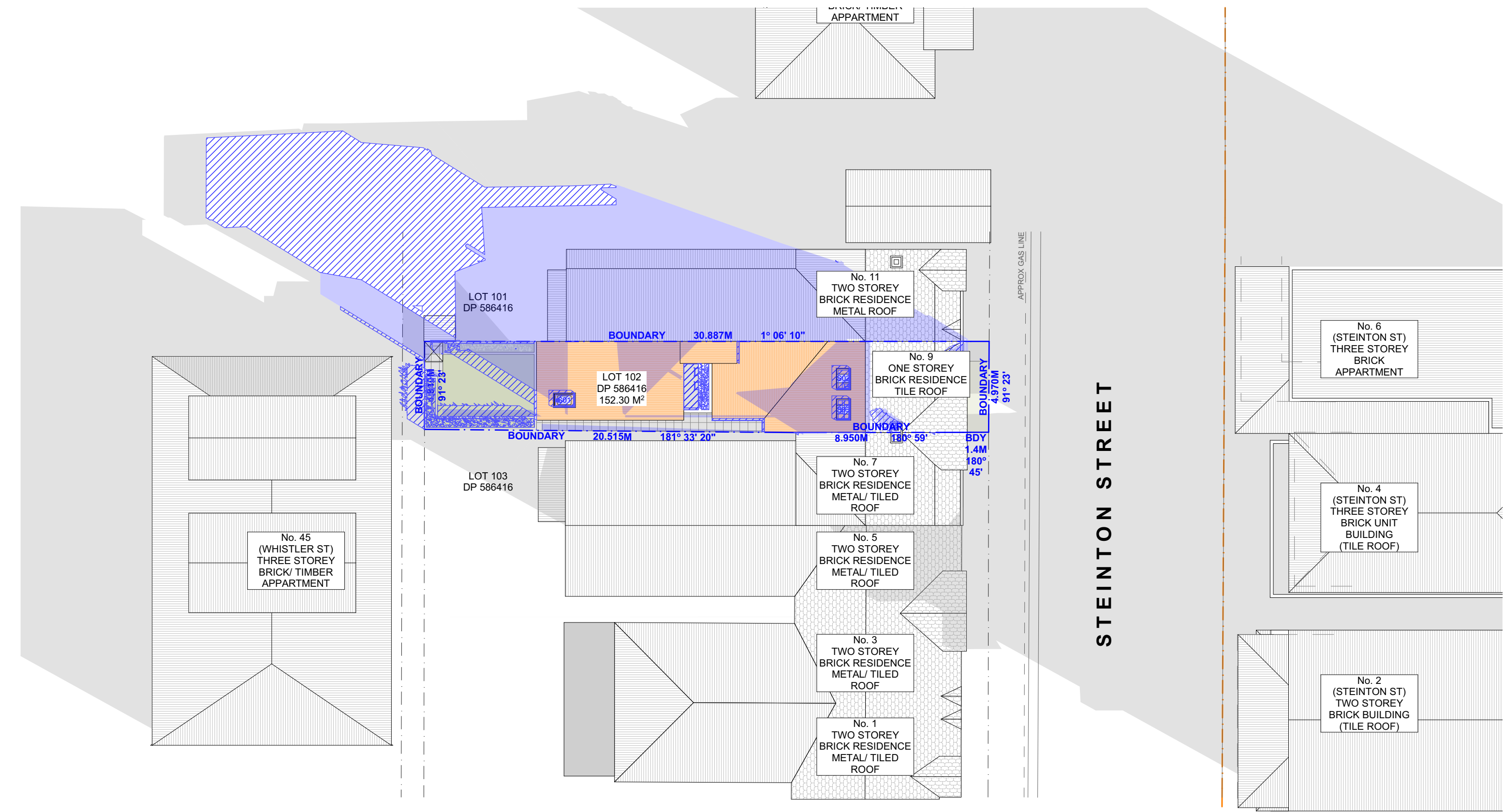
Tuesday, May 5, 2020

DRAWING NAME




SAMPLE BOARD

SCALE

@A3



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C	24/10/19	PRE DA AMENDMENT	LRP	
D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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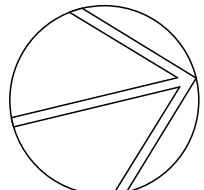
PROJECT ADDRESS
9 STEINTON STREET
MANLY, NSW, 2095

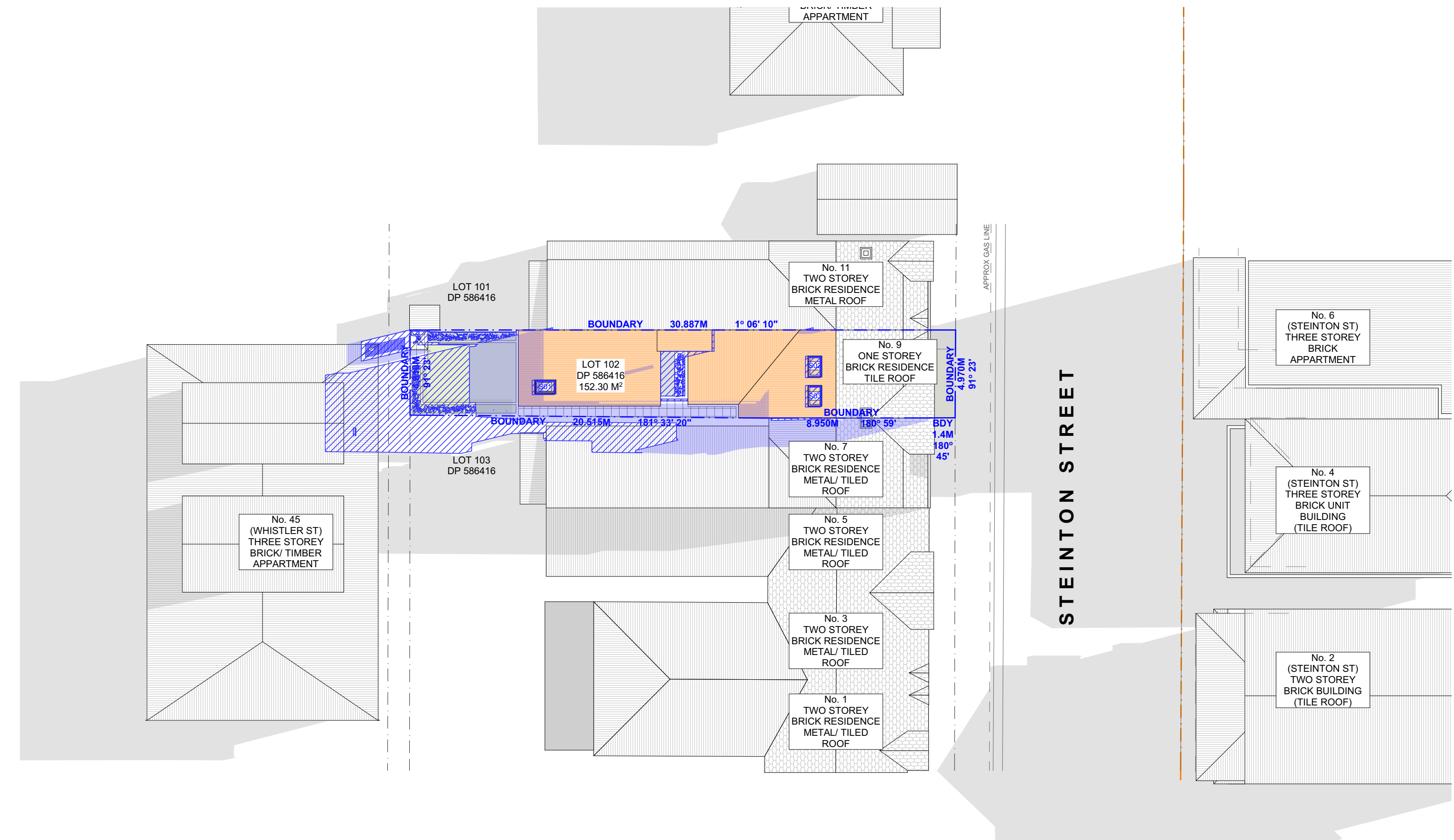
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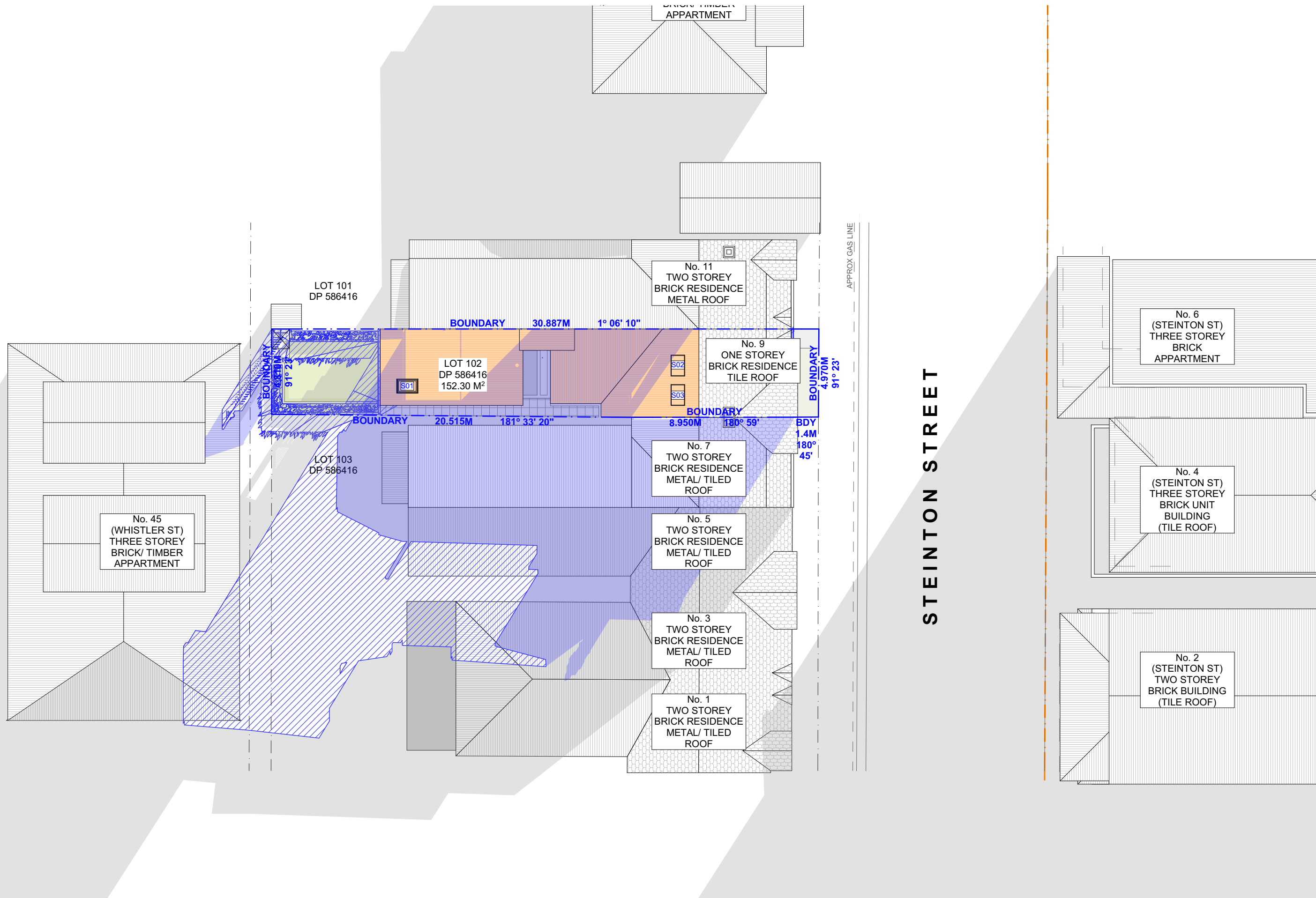
DATE
Tuesday, May 5, 2020

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3







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REV.	DATE	COMMENTS	DRWN
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E	26/02/2020	DESIGN AMENDMENT	LRP

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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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GRANT BRITS

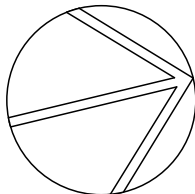
PROJECT ADDRESS
9 STEINTON STREET
MANLY, NSW, 2095

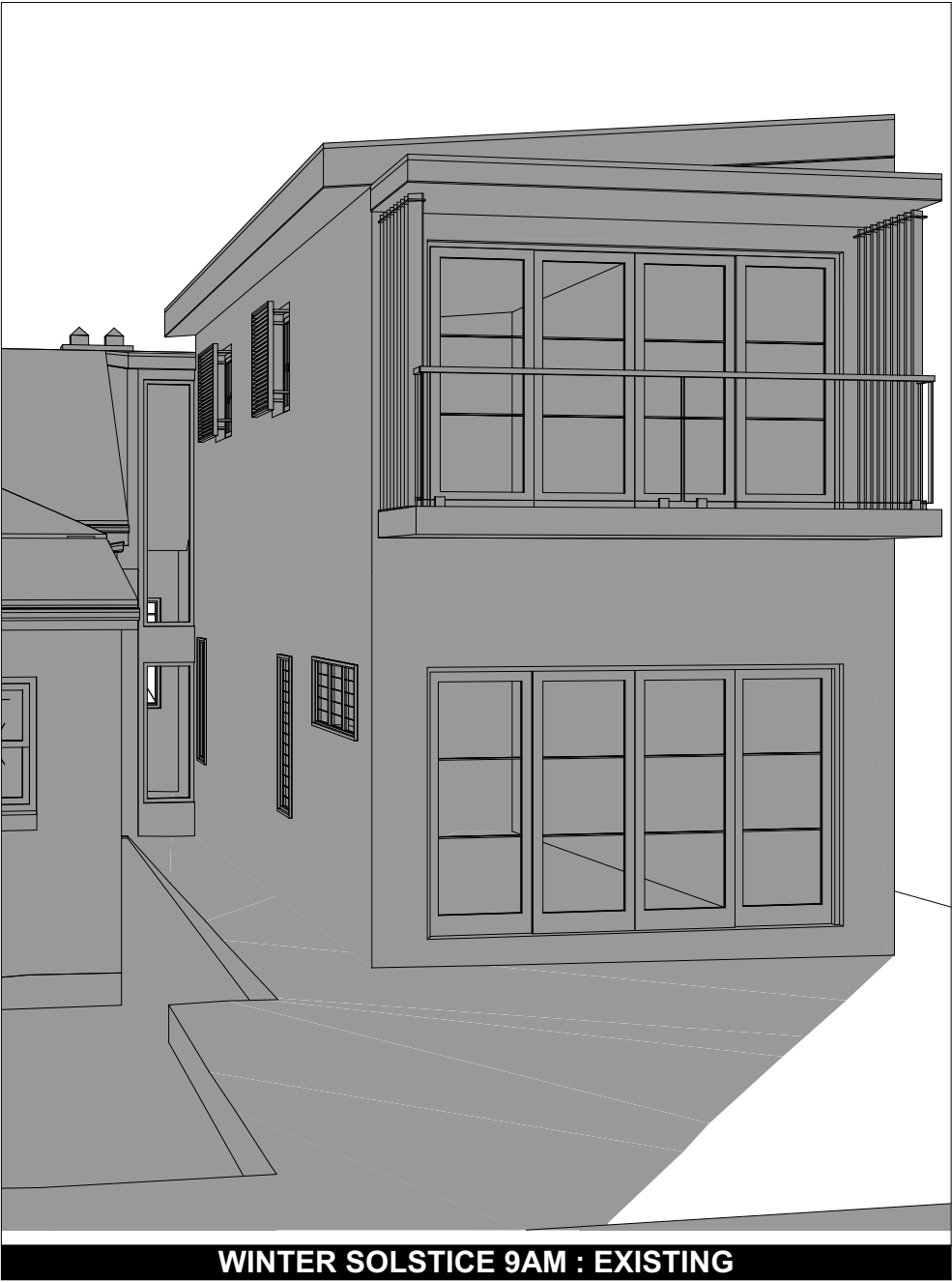
DRAWING NO.
DA14

DATE
Tuesday, May 5, 2020

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3





WINTER SOLSTICE 9AM : EXISTING



WINTER SOLSTICE 9AM : COMPLIANT FORM



WINTER SOLSTICE 9AM : PROPOSED

NO IMPACT CREATED ON 7 STEINTON STREET BY EXISTING OR PROPOSED DEVELOPMENT AT 9AM

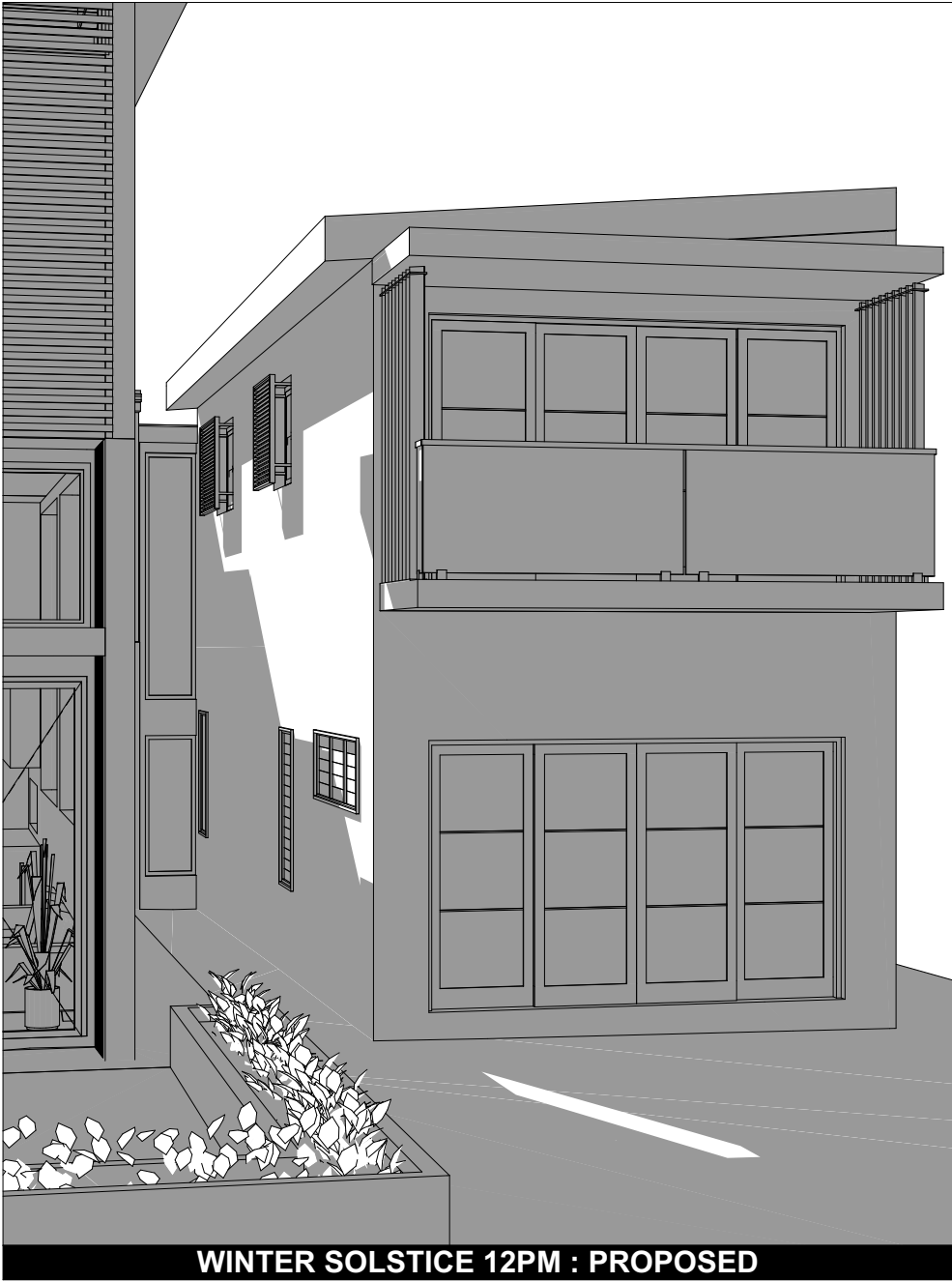
NOTE: SHADOW PERSPECTIVES NOT TO SCALE



WINTER SOLSTICE 12PM : EXISTING



WINTER SOLSTICE 12PM : COMPLIANT FORM



WINTER SOLSTICE 12PM : PROPOSED

NOTE: SHADOW PERSPECTIVES NOT TO SCALE



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B	19/07/19	PRE DA	LRP	
C	24/10/19	PRE DA AMENDMENT	LRP	
D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND

AREAS NOT IN SHADOW

AREAS IN SHADOW

NOTE: SHADOW PERSPECTIVES NOT TO SCALE

CLIENT

ELLISA BENNETT &
GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA16

DATE

Tuesday, May 5, 2020

DRAWING NAME

3D WINTER SOLSTICE 12PM - 7
STEINTON STREET SUN
SHADOW STUDY

SCALE

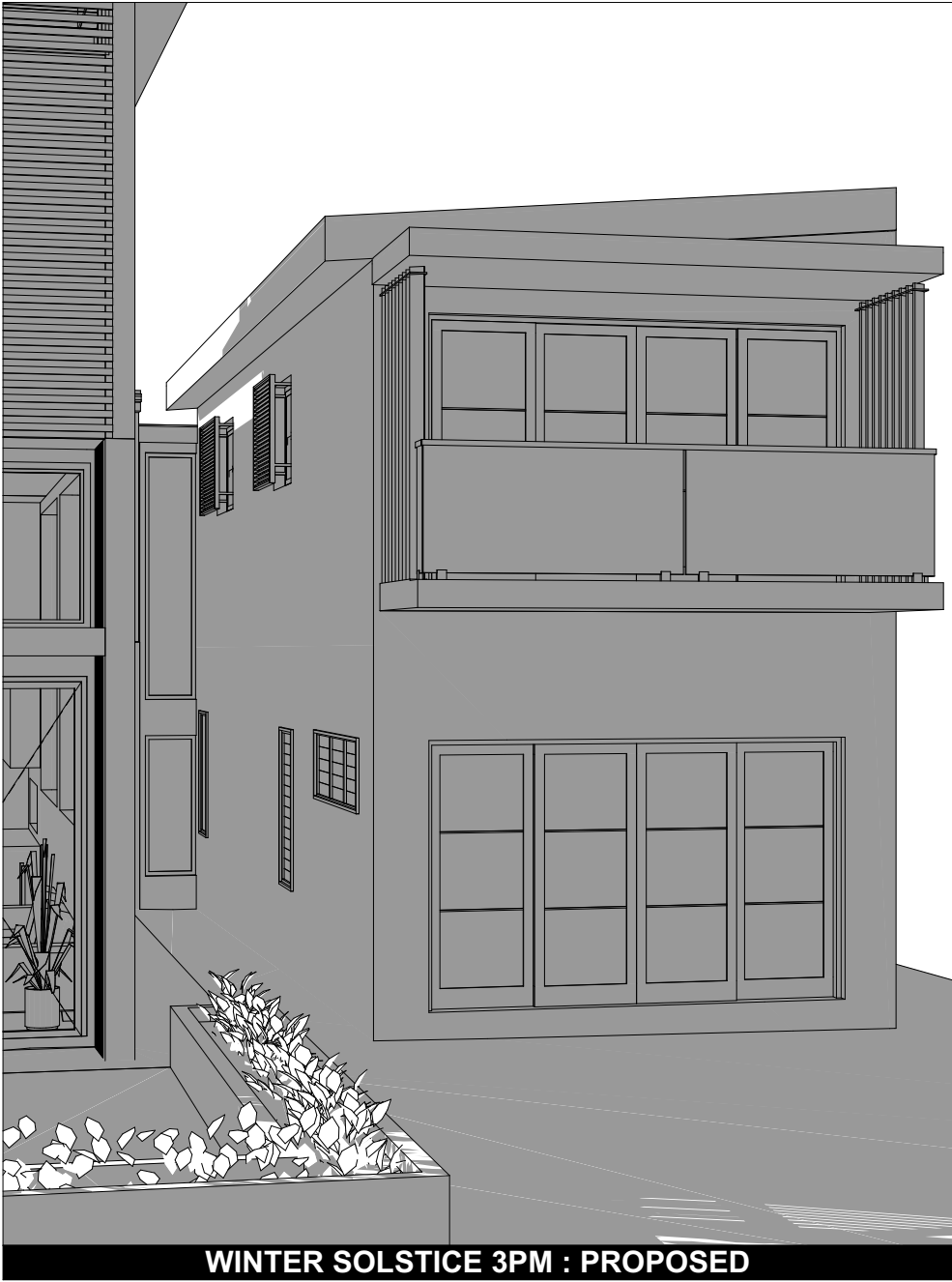
1:100 @A3



WINTER SOLSTICE 3PM : EXISTING



WINTER SOLSTICE 3PM : COMPLIANT FORM



WINTER SOLSTICE 3PM : PROPOSED

NOTE: SHADOW PERSPECTIVES NOT TO SCALE



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C	24/10/19	PRE DA AMENDMENT	LRP	
D	21/02/2020	DESIGN PLAN	LRP	
E	26/02/2020	DESIGN AMENDMENT	LRP	

LEGEND

AREAS NOT IN SHADOW

AREAS IN SHADOW

NOTE: SHADOW PERSPECTIVES NOT TO SCALE

CLIENT

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GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA17

DATE

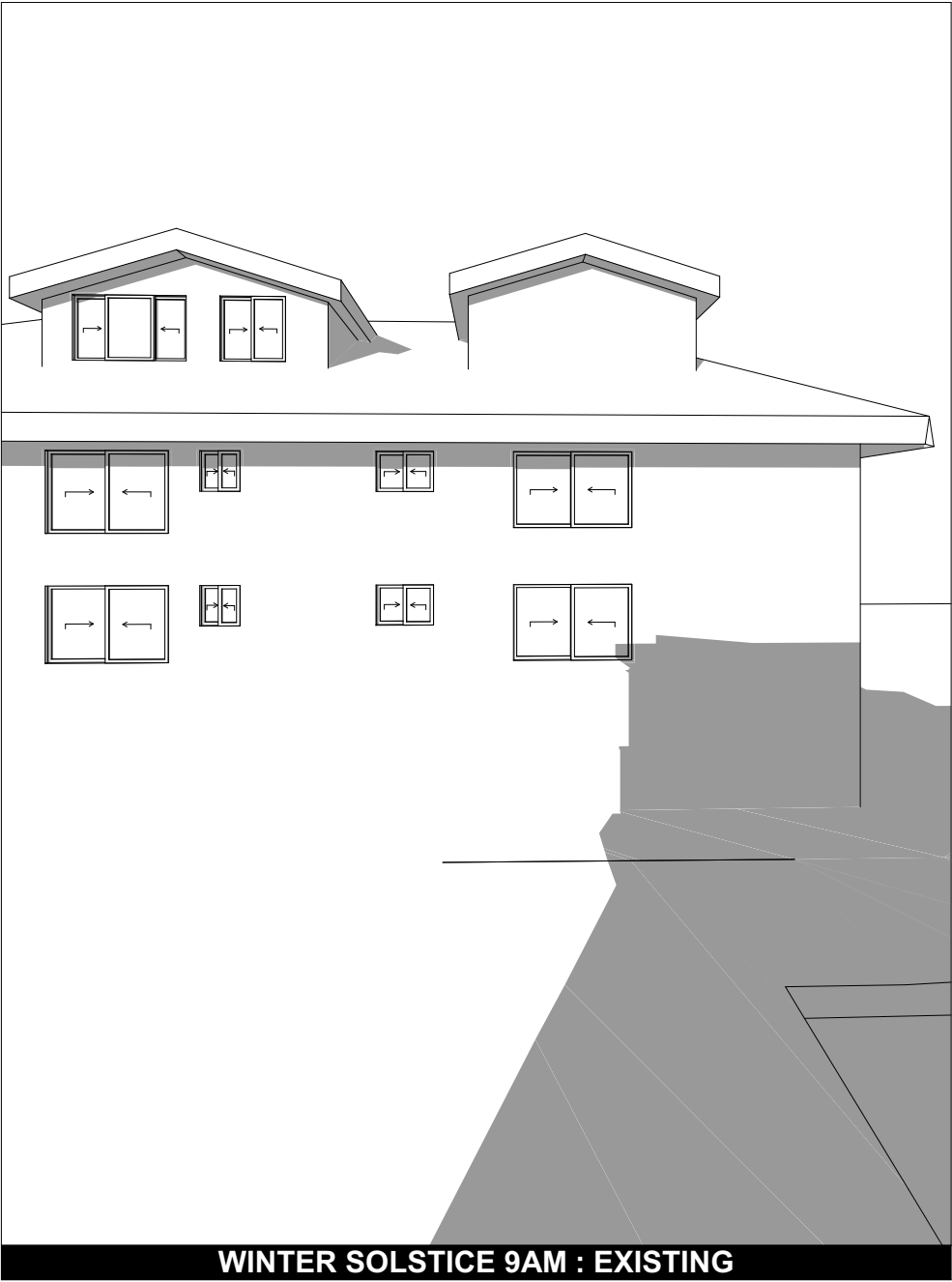
Tuesday, May 5, 2020

DRAWING NAME

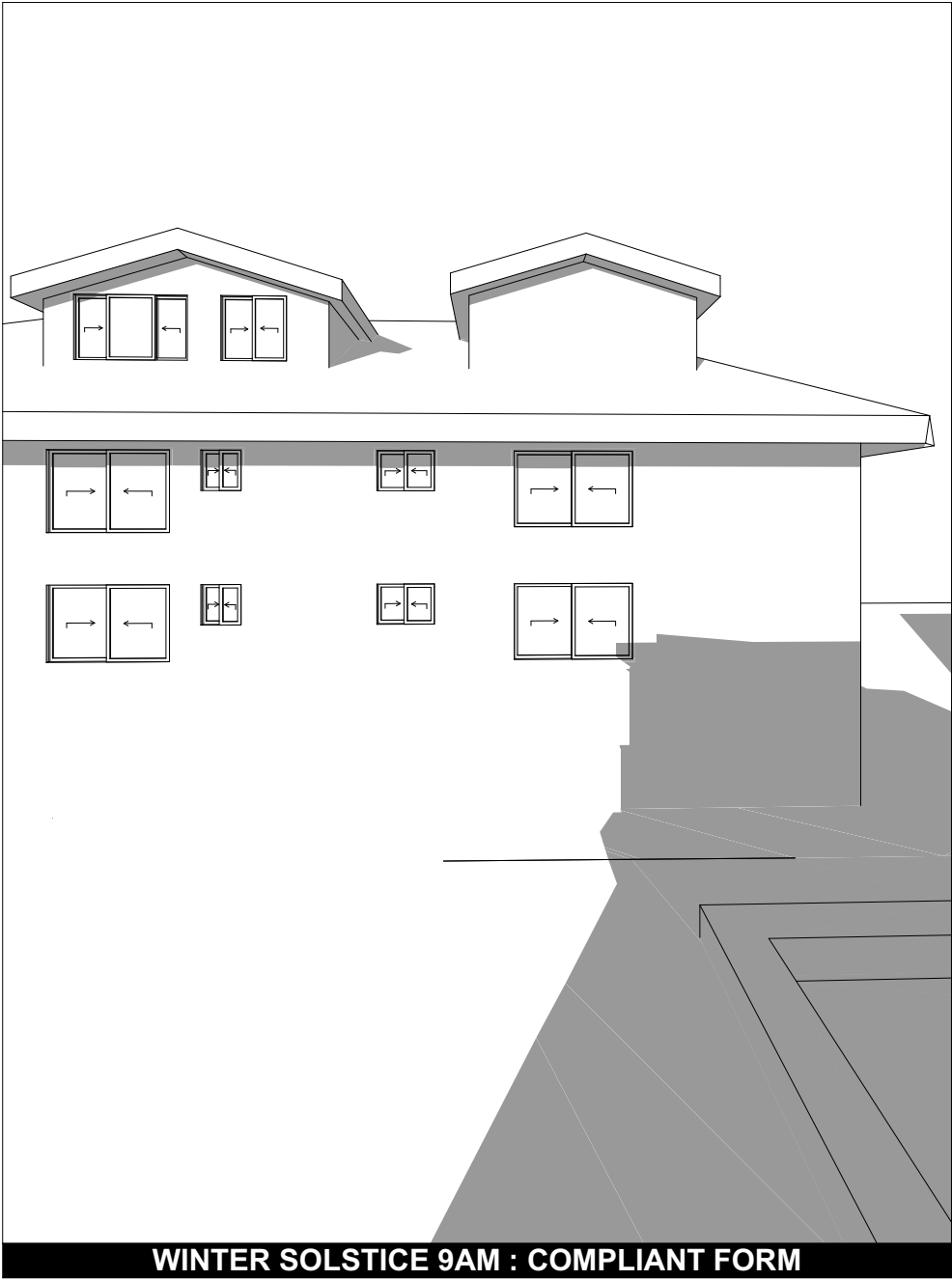
3D WINTER SOLSTICE 3PM - 7
STEINTON STREET SUN
SHADOW STUDY

SCALE

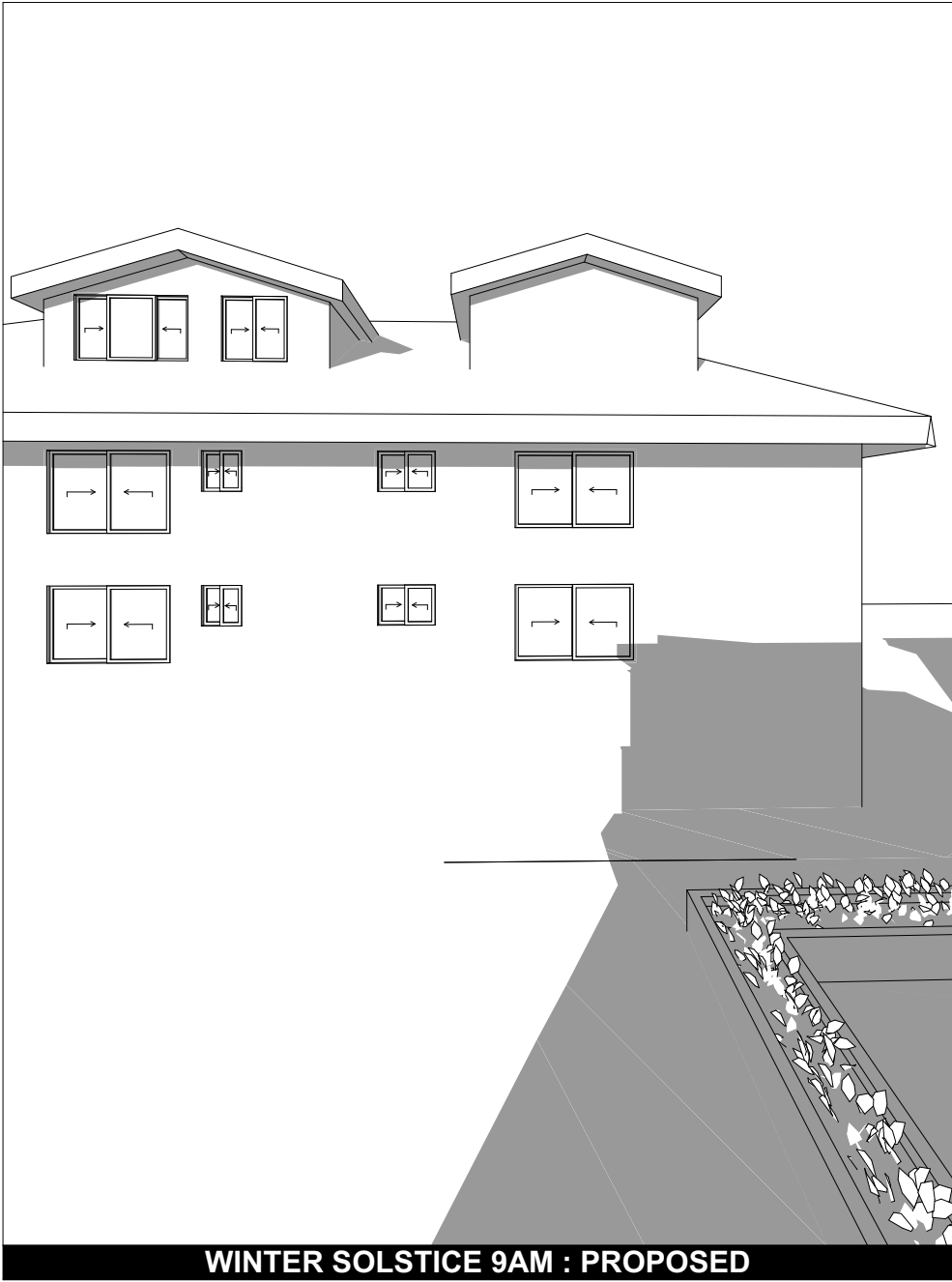
1:100 @A3



WINTER SOLSTICE 9AM : EXISTING

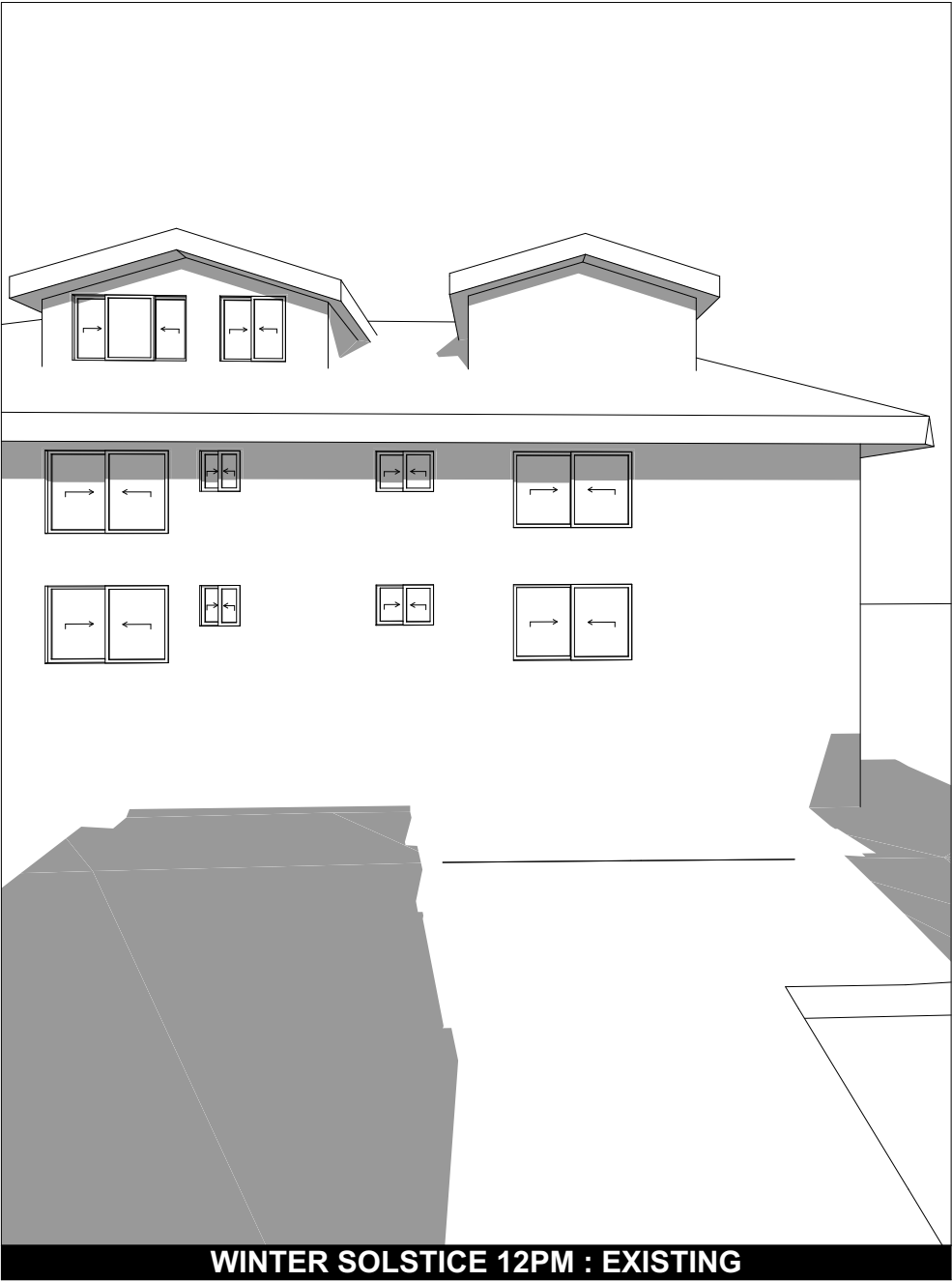


WINTER SOLSTICE 9AM : COMPLIANT FORM

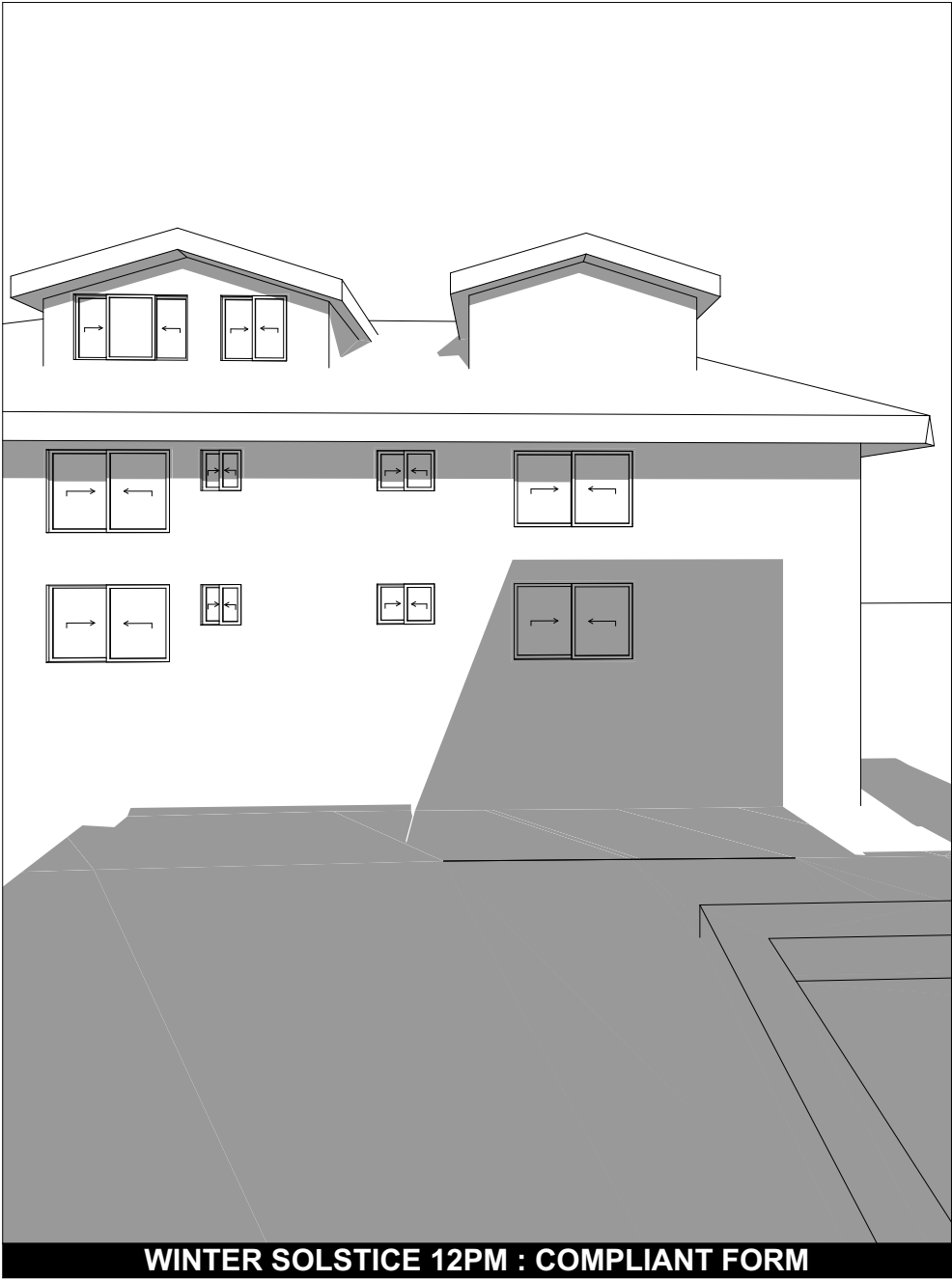


WINTER SOLSTICE 9AM : PROPOSED

NO IMPACT CREATED ON 45 WHISTLER STREET BY EXISTING OR PROPOSED DEVELOPMENT AT 9AM



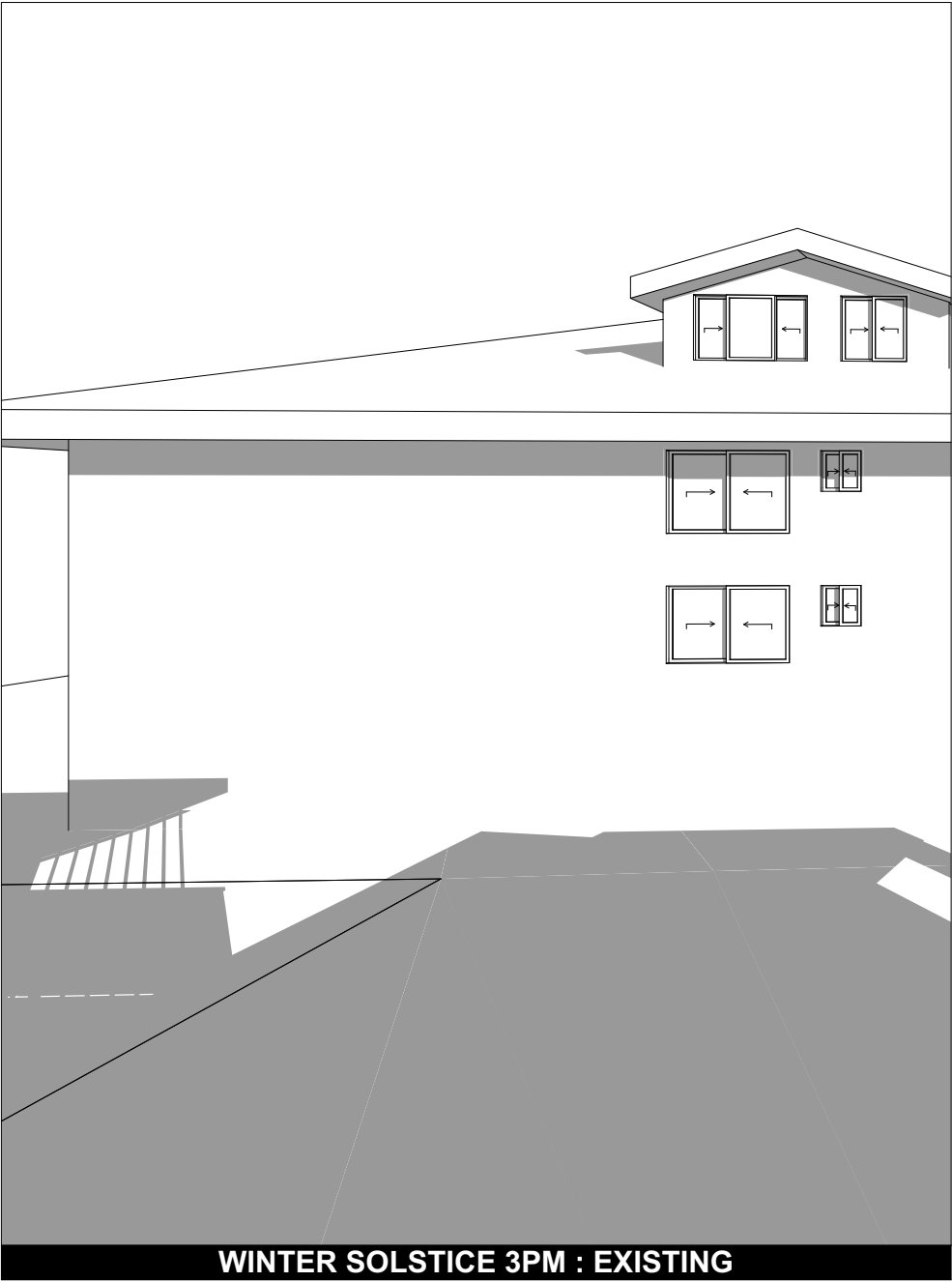
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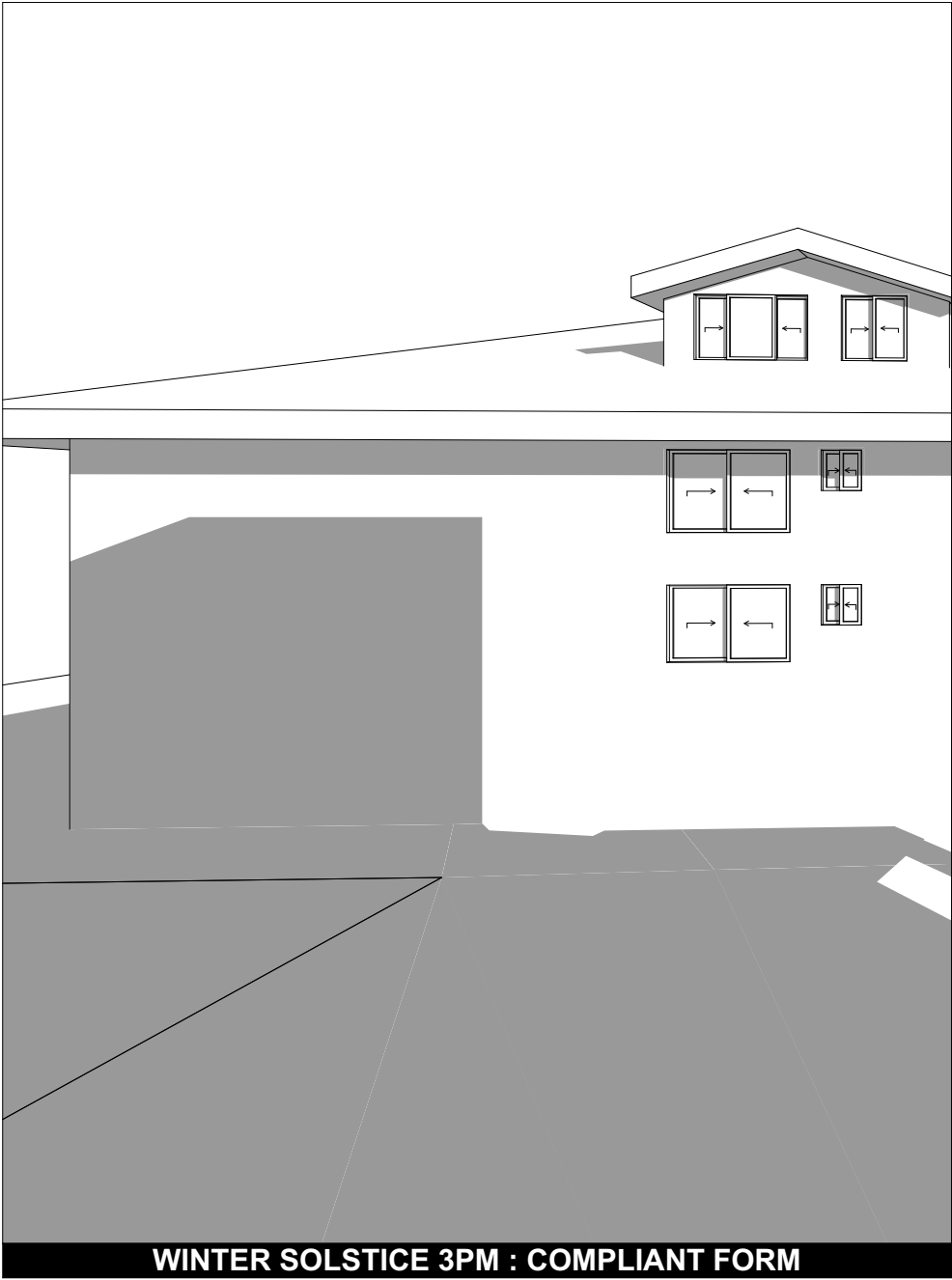
WINTER SOLSTICE 12PM : COMPLIANT FORM



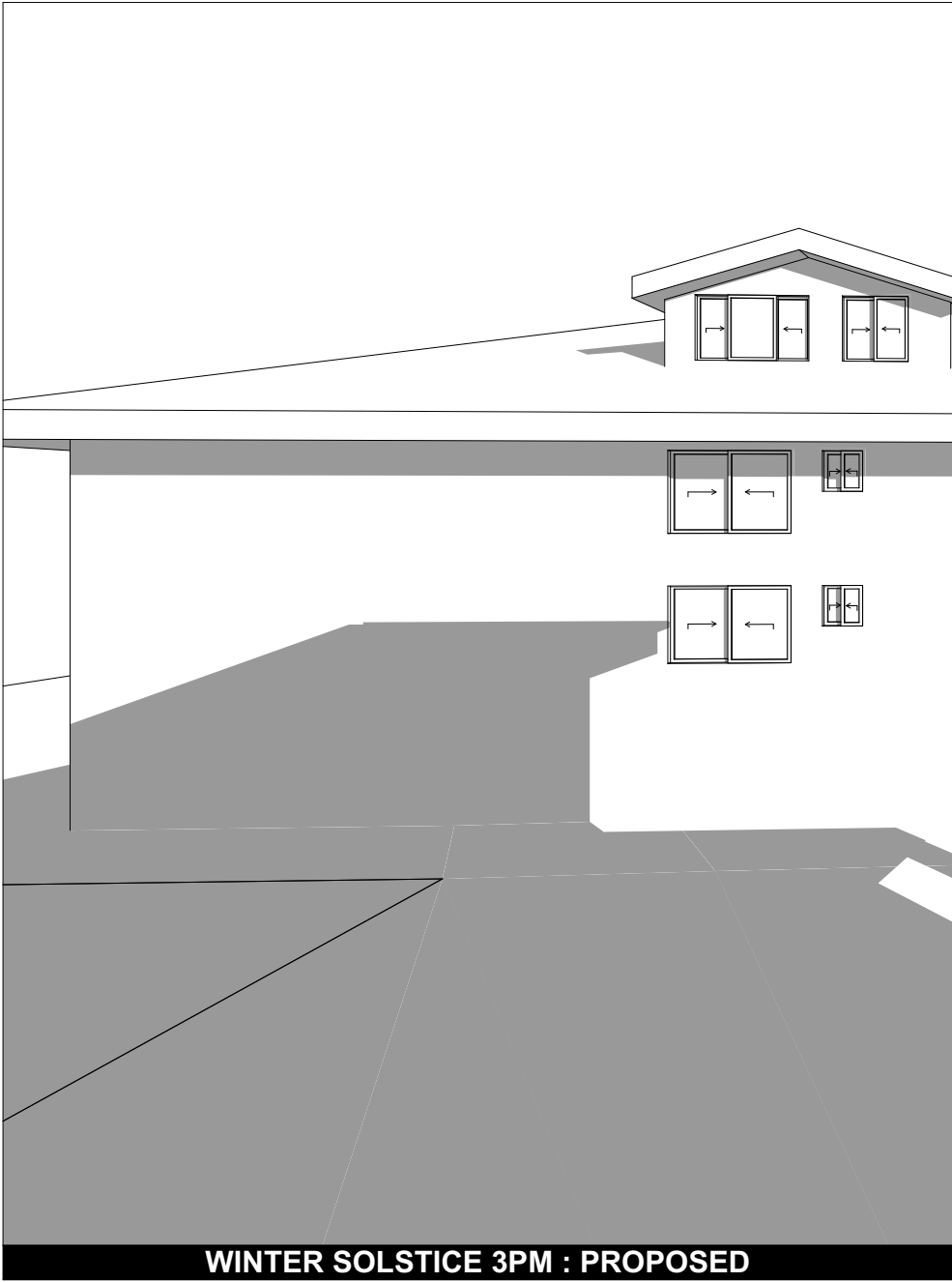
WINTER SOLSTICE 12PM : PROPOSED



WINTER SOLSTICE 3PM : EXISTING



WINTER SOLSTICE 3PM : COMPLIANT FORM



WINTER SOLSTICE 3PM : PROPOSED

Alterations and Additions

Certificate number: A374662

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 09, April 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	9 STEINTON STREET MANLY
Street address	9 STEINTON Street MANLY 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 586416
Lot number	102
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Action Plans
ABN (if applicable):	17118297587

BASIX Certificate number: A374662

page 2 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

BASIX Certificate number: A374662

page 3 / 7

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements	✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
floor above existing dwelling or building.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (up), roof: foil/sarking	light (solar absorptance < 0.475)	

BASIX Certificate number: A374662

page 7 / 7

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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E	26/02/2020	DESIGN AMENDMENT	LRP

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All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
all new glazing must meet the BASIX specified frame and glass type, *OR* meet the ecified U value and SHGC value.

CLIENT

ELLISA BENNETT &
GRANT BRITS

PROJECT ADDRESS

9 STEINTON STREET
MANLY, NSW, 2095

DRAWING NO.

DA21

DATE

Tuesday, May 5, 2020

DRAWING NAME

BASIX COMMITMENTS

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W01	E	0.85	5.2	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	E	3.66	5.2	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	E	3.66	3.14	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W04	S	4.21	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or

BASIX Certificate number: A374662

page 5 / 7

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
					>=600 mm	U-value: 7.63, SHGC: 0.75)		
W05	E	3.6	3.14	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W06	E	3.6	3.14	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W07	S	1.72	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W08	E	1.18	1.6	1.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W09	E	1.02	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W10	E	2.12	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W11	E	2.41	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W12	E	0.39	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W13	E	1.1	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W14	S	1.56	0	0	external louvre/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W15	S	0.34	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D01	S	2.14	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D02	S	9.48	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or		

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
					>=600 mm	U-value: 7.63, SHGC: 0.75)			
D03	N	5.88	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)	Shading device			Frame and glass type				
S01	0.92	no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)				
S02	0.92	no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)				
S03	0.92	no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)				