



10 Gardere Avenue Curl Curl NSW

<div>APPROVED BY</div> <div>CLIENT NAME(S):</div> <div>DATE:</div>		<div>BUILDER</div> <div><div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div><div>millbrook homes</div><div>LUXURY LIVING</div></div></div><div>LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153 T: (02) 8015 7766 F: 02 8883 0139 PO Box 7390 BAULKHAM HILLS BC NSW 2153 ENQUIRIES@MILLBROOKHOMES.SYDNEY</div></div> <div><div>DESIGN / DRAWN</div><div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div><div>Luxury Residential Design Urban Rural Coastal Alpine M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div></div> <table><tr><td>S4.55</td><td>JM</td><td>s4.55 application, Front Sun shading device added , minor revisions</td><td>14.07.21</td></tr><tr><td>CC.1</td><td>JM</td><td>Lift model revised, minor revisions</td><td>24.06.21</td></tr><tr><td>CC</td><td>JM</td><td>CC Issue. Relevant DA Conditions added, minor revisions</td><td>10.06.21</td></tr><tr><td>DA5</td><td>JM</td><td>Balcony post behind front setback, front roof amended</td><td>19.03.21</td></tr><tr><td>DA4</td><td>JM</td><td>Steps removed, minor adjustments</td><td>09.03.21</td></tr><tr><td>DA3</td><td>JM</td><td>3d Views & levels added</td><td>02.03.21</td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr></table> <div><div>PROJECT:</div><div>Torrington Residence</div><div>SITE:</div><div>10 Gardere Avenue Curl Curl NSW</div><div>CLIENT:</div><div>P & A Torrington</div></div> <table><tr><td>DRAWING TITLE:</td><td>Site and Location Drawings Cover</td></tr><tr><td>DRAWN / DESIGNED:</td><td>Jeremy McCulla</td></tr><tr><td>SCALE:</td><td>As Ind @ A3</td></tr></table> <table><tr><td>DATE</td><td>DRAWN</td><td>PRINT DATE</td></tr><tr><td>14/7/21</td><td>JMC</td><td>14/7/21</td></tr><tr><td>PROJECT NUMBER</td><td>DRAWING NUMBER</td><td>PROJECT STATUS</td></tr><tr><td>580</td><td>580.A00</td><td>S4.55</td></tr><tr><td colspan="3"><div>© Copyright UrbanHarmony</div><div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div></td></tr></table>		S4.55	JM	s4.55 application, Front Sun shading device added , minor revisions	14.07.21	CC.1	JM	Lift model revised, minor revisions	24.06.21	CC	JM	CC Issue. Relevant DA Conditions added, minor revisions	10.06.21	DA5	JM	Balcony post behind front setback, front roof amended	19.03.21	DA4	JM	Steps removed, minor adjustments	09.03.21	DA3	JM	3d Views & levels added	02.03.21	DA2	JM	DA Submission #2	24.12.20	ISSUE	CHANGE	CHANGE NAME	DATE	DRAWING TITLE:	Site and Location Drawings Cover	DRAWN / DESIGNED:	Jeremy McCulla	SCALE:	As Ind @ A3	DATE	DRAWN	PRINT DATE	14/7/21	JMC	14/7/21	PROJECT NUMBER	DRAWING NUMBER	PROJECT STATUS	580	580.A00	S4.55	<div>© Copyright UrbanHarmony</div> <div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div>		
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A02	Site Survey		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
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A600	Window Schedule		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
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General List of Abbreviations:

AL	Aluminium	GL	Ground Level
AC	Air Conditioning	GFP	Gas Fireplace
ALC	Aluminium Cladding	G	Glazing
		GR	Glazed Roofing
B	Brick	HWU	Hot Water Unit
BAL	Balustrade		
BALC	Balcony	LOH	Lift Off Hinge
BDY	Boundary	LIN	Linen
BLWK	Blockwork	LV	Louvre Window
BBQ	Barbecue	LWF	Lightweight Foam
BFD	Bifold Doors	LWC	Lightweight Cladding
BV	Brick Veneer		
BW	Brickwork	MDR	Metal Deck Roofing
BFW	Brick Face Work	MH	Manhole
BWRP	Rendered & Painted Brickwork	MW	Microwave
CONC	Concrete	NGL	Natural Ground Level
CSD	Cavity Sliding Door		
CST	Concrete Steel Trowel Finish	OG	Opaque Glazing
CPT	Carpet	OBS	Obscure Glazing
CT	Ceramic Tile	PB	Plasterboard
CBD	Cupboard	PBB	Plasterboard on Brick
CPS	Concrete, Polished & Sealed	PF	Paint Finished
CFC	Compressed Fibre Cement	PLD	Panel Lift Door
CJ	Control Joint		
C/L	Centre Line	RWH	Rainwater Head
CTS	Centres	REF	Refrigerator
C/C	Centre to Centre	RP	Rendered & Painted
CL	Ceiling Level		
		SC	Stone Cladding
D	Door	SD	Smoke Detector
DRY	Clothes Dryer	SHR	Shower
DG	Double Glazing	SLD	Sliding Glazed Door
DP	Downpipe	SP	Solar Panel
DW	Dishwasher	ST	Stonework
DPC	Damp Proof Course	SS	Stainless Steel
DBW	Dumb Waiter		
DAR	Dressed All Round		
		T	Timber
EJ	Expansion Joint	TF	Timber Flooring
EXG	Existing	TL	Timber Louvres
EDB	Electrical Distribution Board	TR	Tiled Roof
		TS	Timber Screen
		TOW	Top of Wall
F	Fixed		
FG	Fixed Glazing	UHD	UrbanHarmonyDesign
FML	Fixed Metal Louvre	U/S	Underside
FB	Face Brickwork		
FC	Fibrous Cement	WB	Weatherboard
FW	Floor Waste	WC	Water Closet
FSS	Frameless Shower Screen	WR	Wardrobe
FCL	Finished Ceiling Level	W	Window
FFL	Finished Floor Level	WS	Waste Stack
FL	Floor Level	WM	Washing Machine
FGL	Finished Ground Level		



Location Plan/Satellite Imagery

LEP Requirements.

Lot 5 DP DP6000

Site Area: 455.3m2

Warringah (Map Map 10)

Land Zoning Map - R2 Low Density Residential
Height of Buildings - 8.5m (LEP) - COMPLIES
Floor Space Ratio: N/A

Minimum Lot size: 450m2
Heritage: N/A
Acid Sulphate Soils: N/A

Warringah LEP 2011 - Land slip risk map - Area B

DCP Requirements.

Site Area: 455.3m2

Warringah LEP 2011

Side boundary envelope: 5m high / 45 degrees
Wall Height: 7.2 maximum wall height - COMPLIES
Setbacks:

Front: 6.5m - Dwelling Complies, front balcony to predominant street setback
Side: 900mm - COMPLIES
Rear: 6m - COMPLIES

Landscaped open space: 40% of site 173.4m2 required (NOTE NARROW LOT)



Proposed Floor Areas

Area	Floor Level	Measured Area (m2)
First Floor	First Floor	178.23
Front Balcony	First Floor	34.16
Garage	Ground Floor	47.69
Ground Floor	Ground Floor	129.28
Porch	Ground Floor	5.35
		394.71 m ²

FSR Calculation

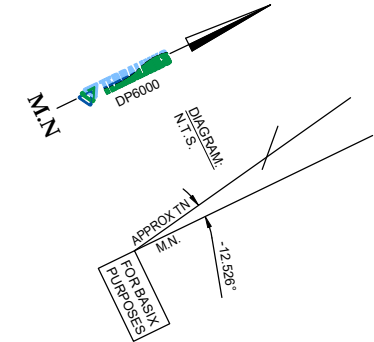
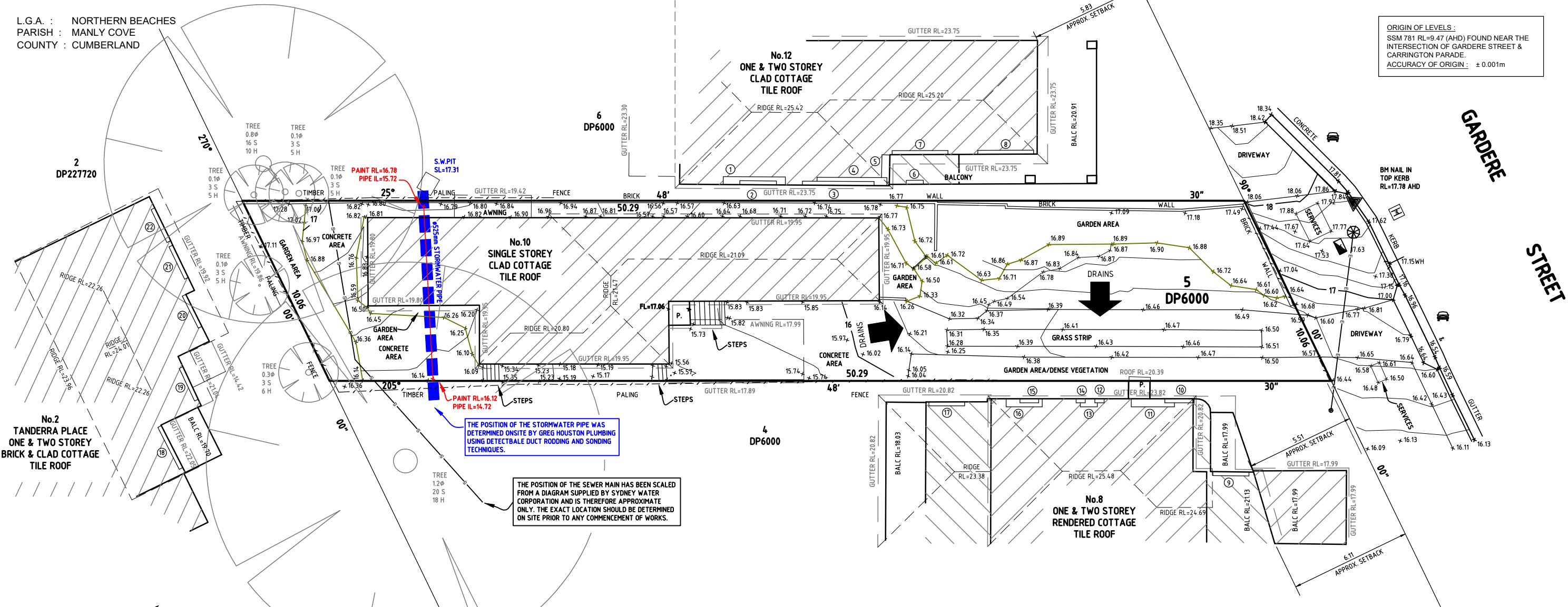
Location	Measured Area
First Floor GFA	157.36
Ground Floor GFA	112.39
	269.75 m ²

CERTIFIER NOTE:
Development within 1km breaking surf, extreme environment

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CLIENT NAME(s):						Torrington Residence		Site and Location Drawings		14/7/21		JMC		14/7/21	
DATE:		LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153		Luxury Residential Design		DA5 JM Balcony post behind front setback, front roof amended		Drawing List Site Location		PROJECT NUMBER		DRAWING NUMBER		PROJECT STATUS	
		T: (02) 8015 7766 F: 02 8883 0139		Urban, Rural, Coastal, Alpine		DA4 JM Steps removed, minor adjustments		10 Gardere Avenue		580		580.A01		S4.55	
		PO Box 7390 BAULKHAM HILLS BC NSW 2153		M 0402 200 700 T 02 9973 4697		DA3 JM 3d Views & levels added		Curl Curl NSW		DRAWN / DESIGNED:		Jeremy McCulla		© Copyright UrbanHarmony	
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L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

ORIGIN OF LEVELS :
SSM 781 RL=9.47 (AHD) FOUND NEAR THE
INTERSECTION OF GARDERE STREET &
CARRINGTON PARADE.
ACCURACY OF ORIGIN : ± 0.001m



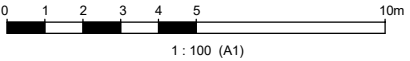
Site Survey - Existing Conditions

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	21.77	1.52	3.12	CLEAR
2	BELOW FCE	RL=20.60	1.84	CLEAR
3	19.05	1.45	3.6	CLEAR
4	21.54	1.61	3.5	CLEAR
5	APPROX 20.95	RL=23.12	1.37	CLEAR
6	19.05	1.42	0.86	OPAQUE
7	APPROX 20.95	RL=23.17	2.8	CLEAR
8	APPROX 20.95	RL=23.17	2.8	CLEAR
9	APPROX 18.40	RL=20.01	1.81	CLEAR
10	18.68	1.51	1.48	CLEAR
11	22.11	1.21	2.17	OPAQUE
12	19.04	1.09	0.47	CLEAR
13	22.38	0.94	0.85	OPAQUE
14	19.04	1.09	0.46	CLEAR
15	19.12	1.19	0.94	CLEAR
16	22.11	1.21	1.81	CLEAR
17	BELOW FCE	RL=20.19	1.79	CLEAR
18	APPROX 19.75	RL=21.73	2.37	CLEAR
19	BELOW FCE	RL=19.12	1.81	CLEAR
20	BELOW FCE	BELOW FCE	1.8	CLEAR
21	BELOW FCE	BELOW FCE	1.8	CLEAR
22	BELOW FCE	BELOW FCE	1.83	CLEAR

AREA LOT 5
VIDE DP 6000: 455.3 m²
BY CALC: 455.3 m²

WARNING:

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- THE CONTOUR INTERVAL IS 0.2 m.
- THE ACCURACY OF THIS DATA MAY NOT BE SUITABLE FOR BUILDING PURPOSES AND THEREFORE SURVEY MARKS SHOULD BE PLACED PRIOR TO ANY CONSTRUCTION COMMENCING.
- THE CONTOURS HAVE BEEN DERIVED FROM INTERPOLATION METHODS USING COMPUTER SOFTWARE PROGRAM AND WHEREVER POSSIBLE SPOT LEVELS SHOULD BE USED IN PREFERENCE TO CONTOURS.
- THE RIDGE HEIGHTS, ROOF LINE, GUTTER AND WINDOW SILL LEVELS FOR BOTH THE SUBJECT AND ADJOINING BUILDINGS HAVE BEEN DETERMINED USING INDIRECT SURVEY METHODS AND ARE THEREFORE APPROXIMATE ONLY.
- THE MEASUREMENT OF ALL TREE TRUNK DIAMETERS WAS IN ACCORDANCE WITH AS 4970-2009-"PROTECTION OF TREES ON DEVELOPMENT SITES".
- THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN.



LEGEND	
	WATER MAIN
	TELSTRA PILLAR
	TELSTRA MARKER POST
	TELSTRA PIT
	TELEGRAPH POLE
	POWER POLE
	ELECTRICAL PILLAR
	POWER LIGHT POLE
	LIGHT POLE
	HYDRANT
	RECYCLED WATER
	WATER METER
	STOP VALVE
	WATER TAP
	GAS METER
	GAS DIRECTION MARKER
	GAS INSPECTION POINT
	SEWER MANHOLE
	STREET SIGN
	PRISM CROSSING
	VEHICLE CROSSING
	SEWER VENT
	SEWER LAMPHOLE
	SEWER INSPECTION POINT
	SUBSOIL DRAIN
	STORMWATER PIT
	STORMWATER GRATE
	SURFACE INLET PIT
	LINTEL-KERB INLET PIT
	LINTEL-KERB INLET PIT WITH GRATE
	STORMWATER PIPE INCLUDING PIPE SIZE
	HEADWALL
	CLOTHES LINE
	TREE: Ø DIAMETER S SPREAD H HEIGHT
	OVERHEAD ELECTRICITY LINE
	OVERHEAD TELECOM LINE
	SEWER LINE

APPROVED BY

CLIENT NAME(s):

DATE:

BUILDER

millbrook homes
LUXURY LIVING

LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153
T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design
Urban, Rural, Coastal, Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

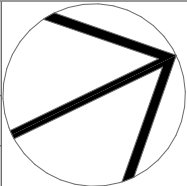
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SITE:
**10 Gardere Avenue
Curl Curl NSW**
CLIENT:
P & A Torrington

DRAWING TITLE:
**Site and Location Drawings
Site Survey**

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE
14/7/21

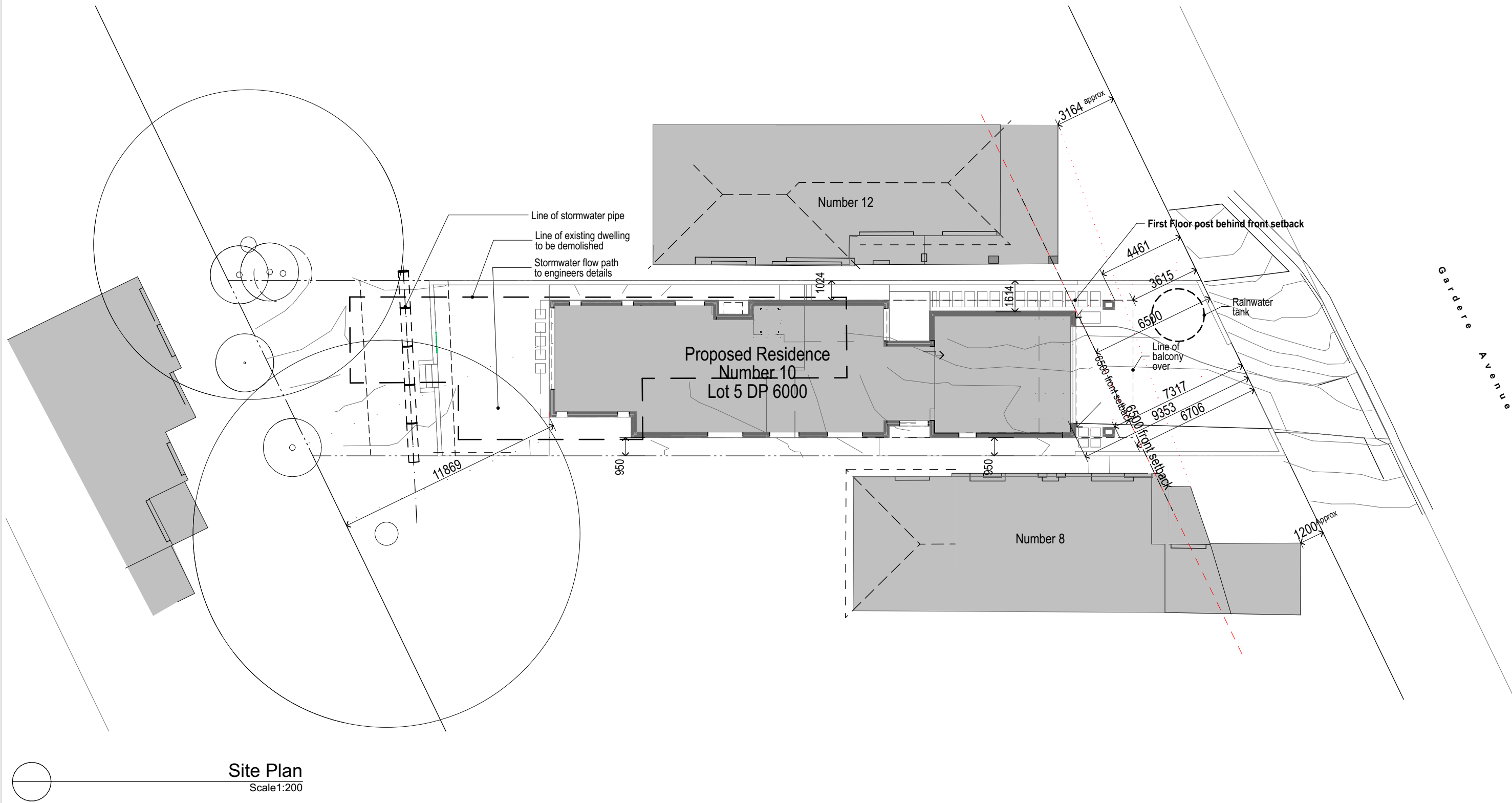
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JMC

PROJECT NUMBER
580

DRAWING NUMBER
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PROJECT STATUS
S4.55

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millbrook homes
LUXURY LIVING

LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153
T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

UrbanHarmony
Luxury Residential Design
Urban, Rural, Coastal, Alpine

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CLIENT:
P & A Torrington

DRAWING TITLE:
Site and Location Drawings
Site Plan

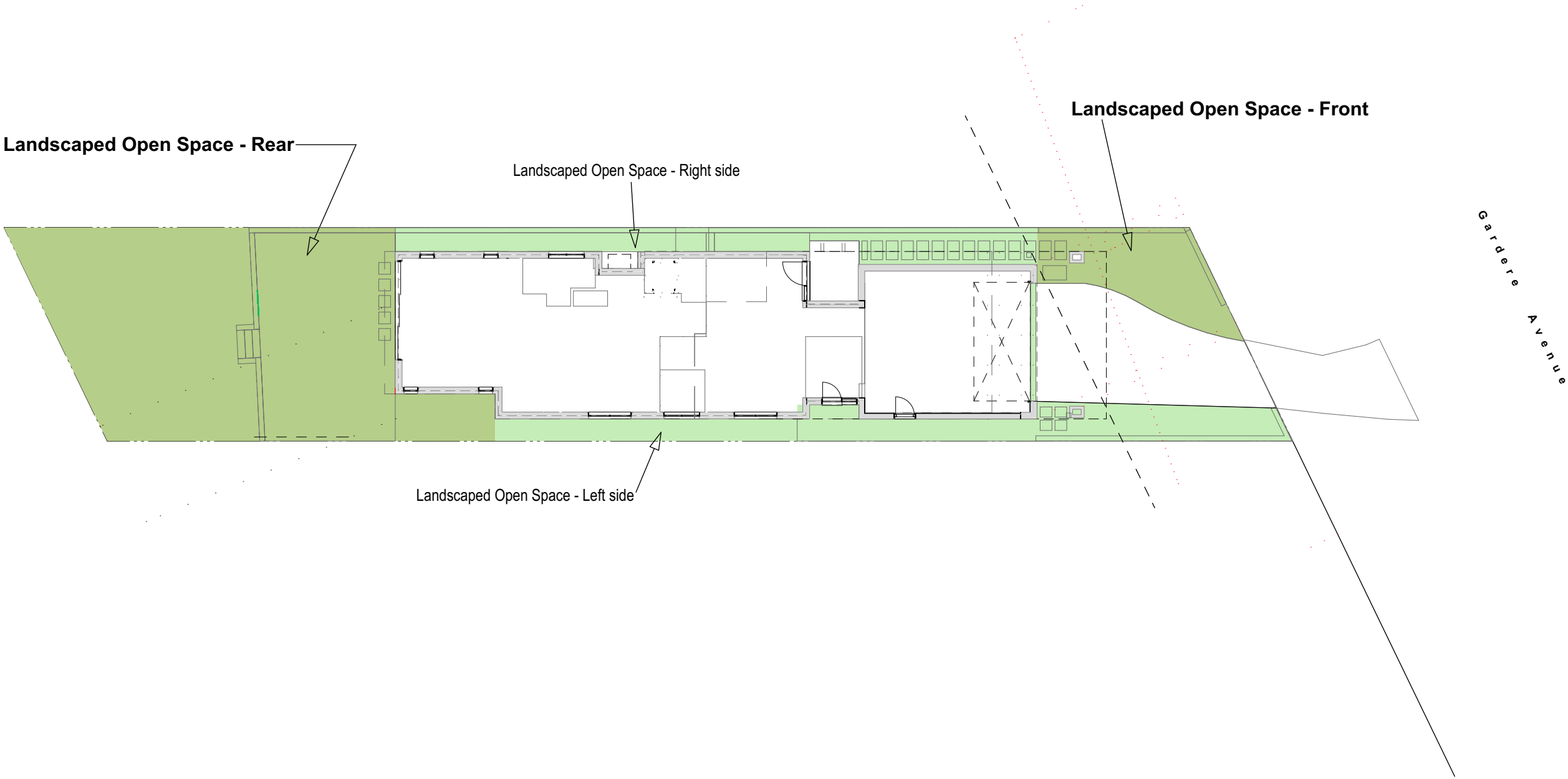
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
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Location	Measured Area (m2)	Location	Measured Area (m2)
Landscaped Open Space - Front	23.80	Landscaped Open Space - Front	23.80
Landscaped Open Space - Rear	138.95	Landscaped Open Space - Left side	39.37
	162.75 m²	Landscaped Open Space - Rear	138.95
		Landscaped Open Space - Right side	30.82
			232.94 m²





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
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
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Ceiling mounted smoke detector
- 

00.000 Floor level
- 

Manhole
- 

Waste stack
- 

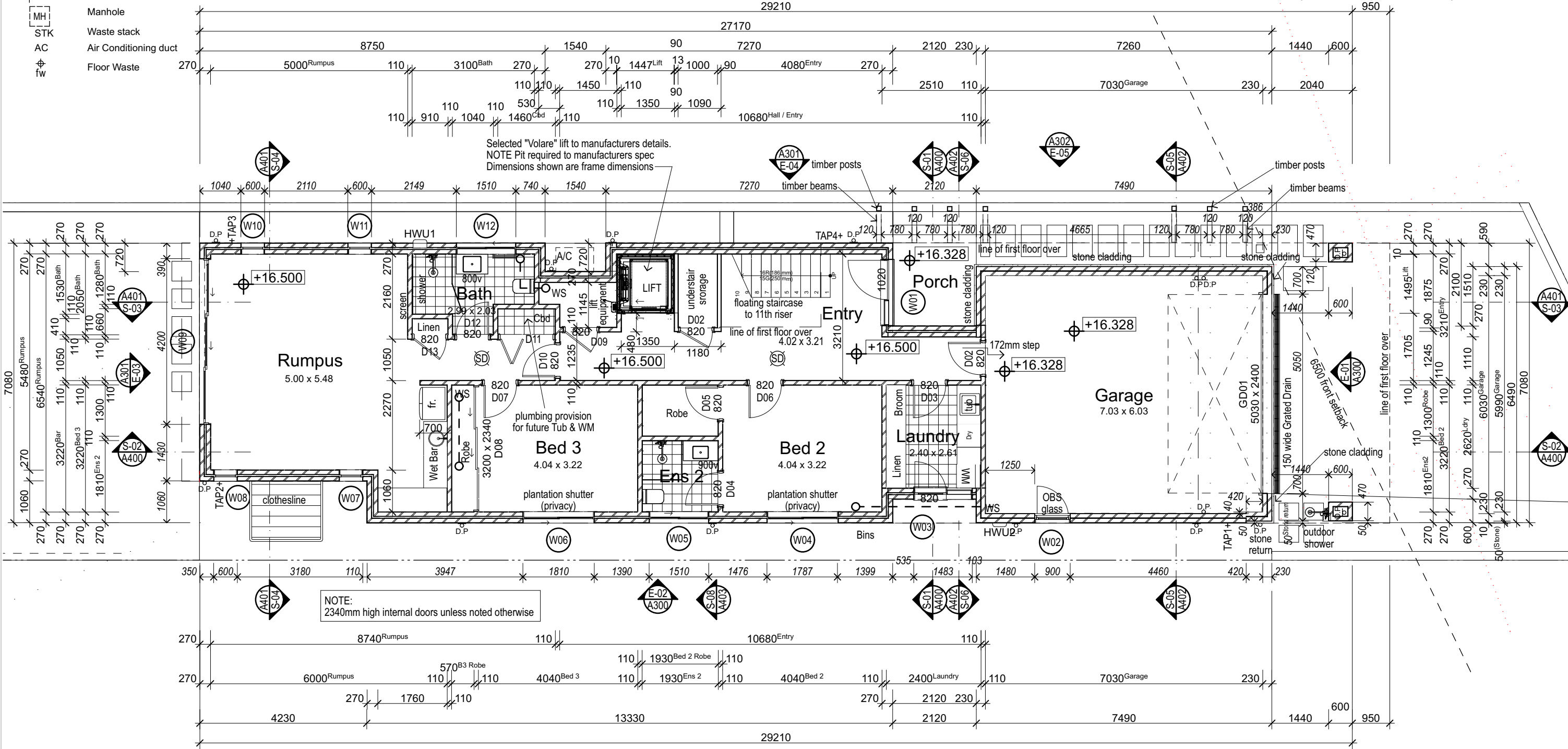
Air Conditioning duct
- 

Floor Waste

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1

Ground Floor Plan
Scale 1:100

APPROVED BY

CLIENT NAME(s):

DATE:

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ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN



Urban Harmony

Luxury Residential Design
Urban, Rural, Coastal, Alpine

M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

S4.55	JM	s4.55 application, Front Sun shading device added, minor revisions	14.07.21
CC.1	JM	Lift model revised, minor revisions	24.06.21
CC	JM	CC Issue. Relevant DA Conditions added, minor revisions	10.06.21
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DA3	JM	3d Views & levels added	02.03.21
DA2	JM	DA Submission #2	24.12.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

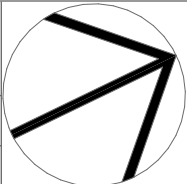
SITE:
**10 Gardere Avenue
Curl Curl NSW**

CLIENT:
P & A Torrington

DRAWING TITLE:
**Plans
Ground Floor**

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE
14/7/21

PROJECT NUMBER
580

DRAWN
JMC







DRAWING NUMBER
580.A100

PRINT DATE
14/7/21

PROJECT STATUS
S4.55

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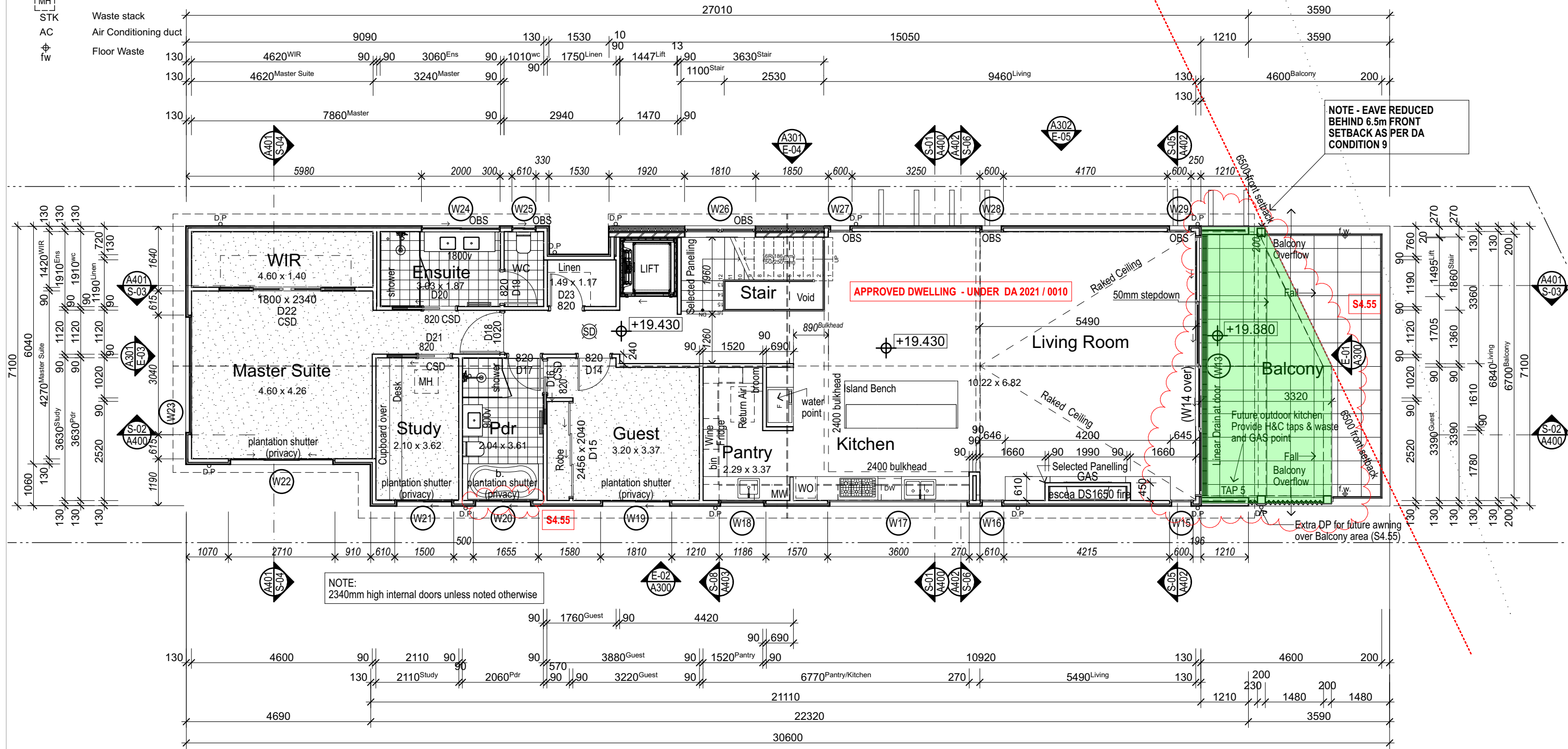
Key to symbols:

-  Ceiling mounted smoke detector
-  Floor level
-  Manhole
-  Waste stack
-  Air Conditioning duct
-  Floor Waste

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First Floor Plan
Scale 1:100

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CLIENT NAME(s):

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DESIGN / DRAWN

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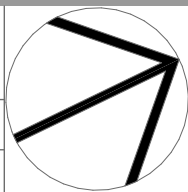
S4.55	JM	s4.55 application, Front Sun shading device added, minor revisions	14.07.21
CC.1	JM	Lift model revised, minor revisions	24.06.21
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DA2	JM	DA Submission #2	24.12.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence
SITE:
10 Gardere Avenue
Curl Curl NSW
CLIENT:
P & A Torrington

DRAWING TITLE:
Plans
First Floor

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3



DATE
14/7/21

PROJECT NUMBER
580

DRAWN
JMC

DRAWING NUMBER
580.A101

PRINT DATE
14/7/21

PROJECT STATUS
S4.55

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PROJECT NUMBER 580	DRAWING NUMBER 580.A102	PROJECT STATUS \$4.55

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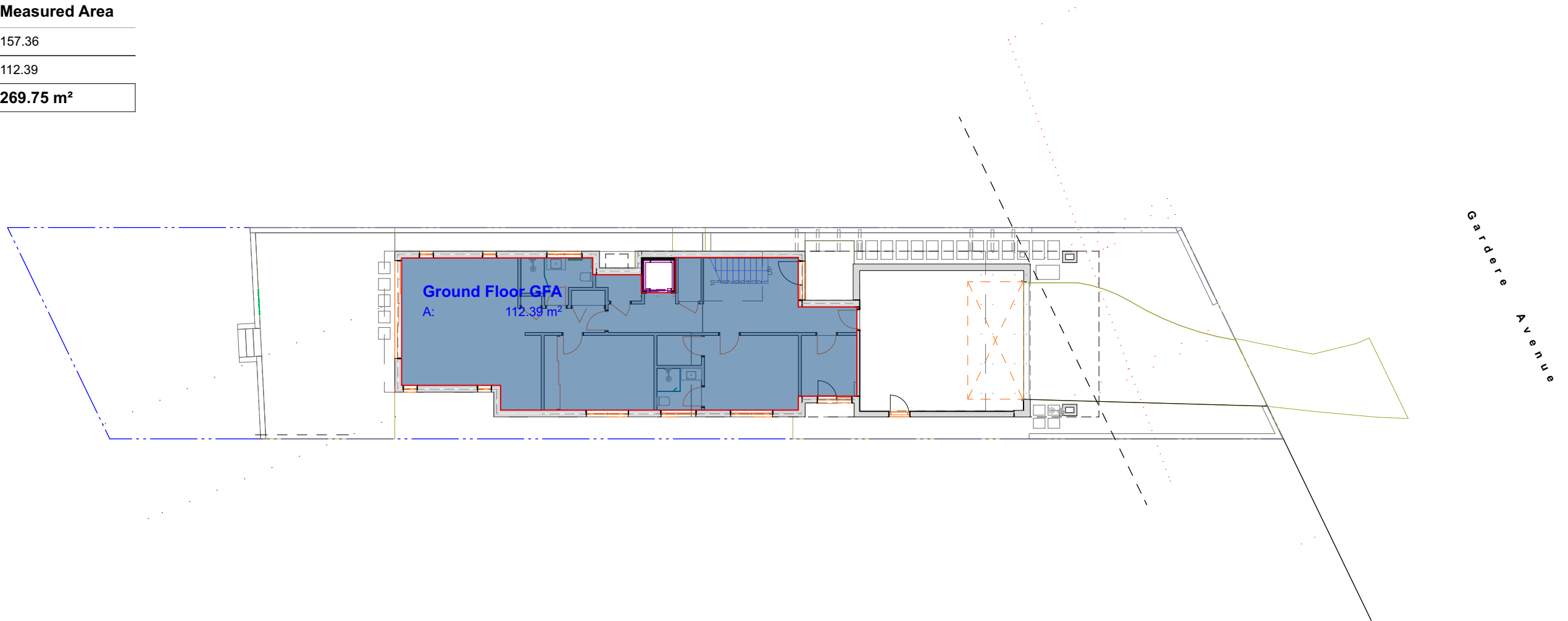
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The ground floor plan shows a building with a blue-shaded ground floor area of 129.28 m², a red-shaded porch area of 5.35 m², and an orange-shaded garage area of 47.69 m². The plan includes a staircase labeled 'UP' and 'DOWN', a kitchen area, a bathroom, and a living area. The building is situated on a plot with a blue dashed line indicating the boundary. A green line indicates the location of Gardere Avenue.

The image shows a detailed architectural floor plan. The main part of the plan is the 'First Floor', which is a long, narrow structure with a central corridor and several rooms. It is outlined in blue and has a total area of 178.23 m². To the right of the main floor is a 'Front Balcony', which is a rectangular area outlined in red and has an area of 34.16 m². The plan includes various fixtures such as sinks, toilets, and a bathtub. There are also some annotations like 'NO ST' and 'ST' near the balcony area. The entire plan is set against a white background with a blue dashed line indicating the overall footprint.

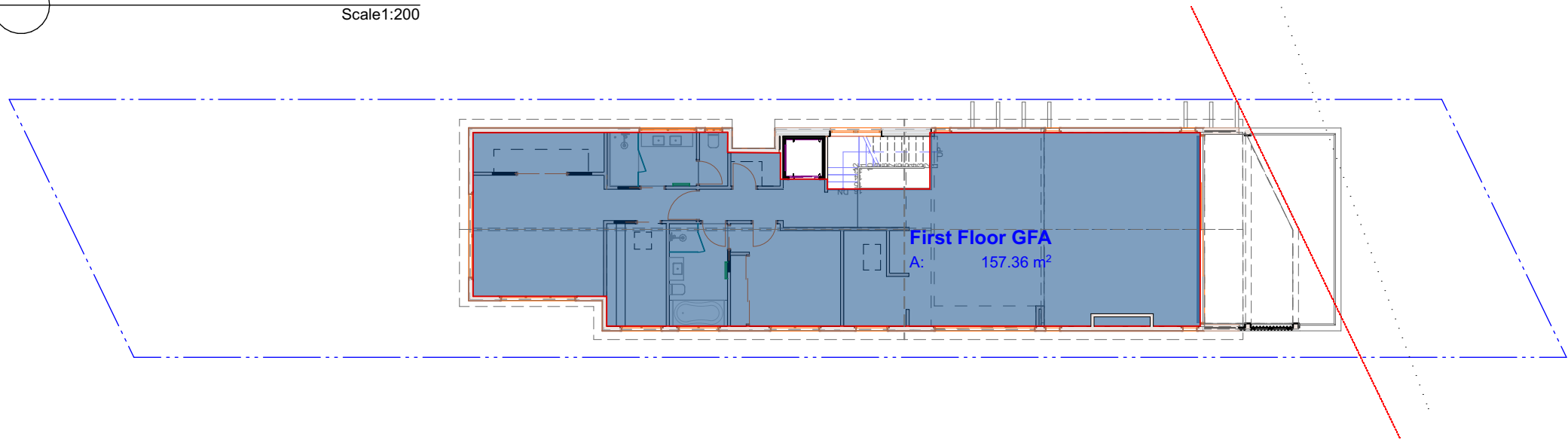
<div>APPROVED BY</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div><div>BUILDER</div><div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div>millbrook homes</div><div>LUXURY LIVING</div></div></div><div>LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153 T: (02) 8015 7766 F: 02 8883 0139 PO Box 7390 BAULKHAM HILLS BC NSW 2153 ENQUIRIES@MILLBROOKHOMES.SYDNEY</div></div></div>		<div><div>DESIGN / DRAWN</div><div><div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div><div>Luxury Residential Design Urban . Rural . Coastal . Alpine</div></div><div>M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div></div>		<table><tr><td>\$4.55</td><td>JM</td><td>\$4.55 application, Front Sun shading device added , minor revisions</td><td>14.07.21</td></tr><tr><td>CC.1</td><td>JM</td><td>Lift model revised, minor revisions</td><td>24.06.21</td></tr><tr><td>CC</td><td>JM</td><td>CC Issue: Relevant DA Conditions added, minor revisions</td><td>10.06.21</td></tr><tr><td>DA5</td><td>JM</td><td>Balcony post behind front setback, front roof amended</td><td>19.03.21</td></tr><tr><td>DA4</td><td>JM</td><td>Steps removed, minor adjustments</td><td>09.03.21</td></tr><tr><td>DA3</td><td>JM</td><td>3rd Views & levels added</td><td>02.03.21</td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr></table>		\$4.55	JM	\$4.55 application, Front Sun shading device added , minor revisions	14.07.21	CC.1	JM	Lift model revised, minor revisions	24.06.21	CC	JM	CC Issue: Relevant DA Conditions added, minor revisions	10.06.21	DA5	JM	Balcony post behind front setback, front roof amended	19.03.21	DA4	JM	Steps removed, minor adjustments	09.03.21	DA3	JM	3rd Views & levels added	02.03.21	DA2	JM	DA Submission #2	24.12.20	ISSUE	CHANGE	CHANGE NAME	DATE	<div><div>PROJECT:</div><div>Torrington Residence</div><div>SITE:</div><div>10 Gardere Avenue Curl Curl NSW</div><div>CLIENT:</div><div>P & A Torrington</div></div>		<div><div>DRAWING TITLE:</div><div>Plans Floor Areas</div><div><div>DRAWN / DESIGNED:</div><div>Jeremy McCulla</div></div><div><div>SCALE:</div><div>As Ind @ A3</div></div></div>		<div><div><div></div></div></div>		<table><tr><td>DATE 14/7/21</td><td>DRAWN JMC</td><td>PRINT DATE 14/7/21</td></tr><tr><td>PROJECT NUMBER 580</td><td>DRAWING NUMBER 580.A103</td><td>PROJECT STATUS \$4.55</td></tr><tr><td colspan="3"><div>© Copyright UrbanHarmony</div><div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div></td></tr></table>		DATE 14/7/21	DRAWN JMC	PRINT DATE 14/7/21	PROJECT NUMBER 580	DRAWING NUMBER 580.A103	PROJECT STATUS \$4.55	<div>© Copyright UrbanHarmony</div> <div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div>		
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Location	Measured Area
First Floor GFA	157.36
Ground Floor GFA	112.39
	269.75 m²



Ground Floor Gross Floor Area

Scale 1:200



First Floor Gross Floor Area
Scale 1:200

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<div>CLIENT NAME(S)</div>					
DATE:					

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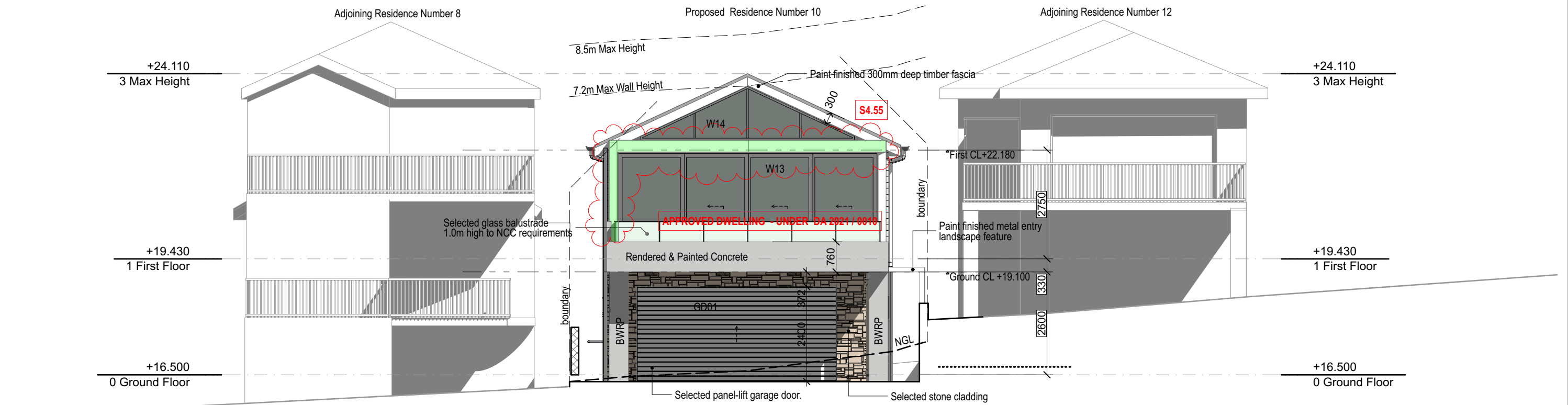
DESIGN / DRAWN
<div><div><div></div><div></div><div></div></div>UrbanHarmony</div> <div>Luxury Residential Design Urban - Rural - Coastal - Alpine <div>M 0402 200 700 I T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div>

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DA4 JM Steps removed, minor adjustments	09.03.21
DA3 JM 3d Views & levels added	02.03.21
DA2 JM DA Submission #2	24.12.20
ISSUE CHANGE CHANGE NAME DATE	

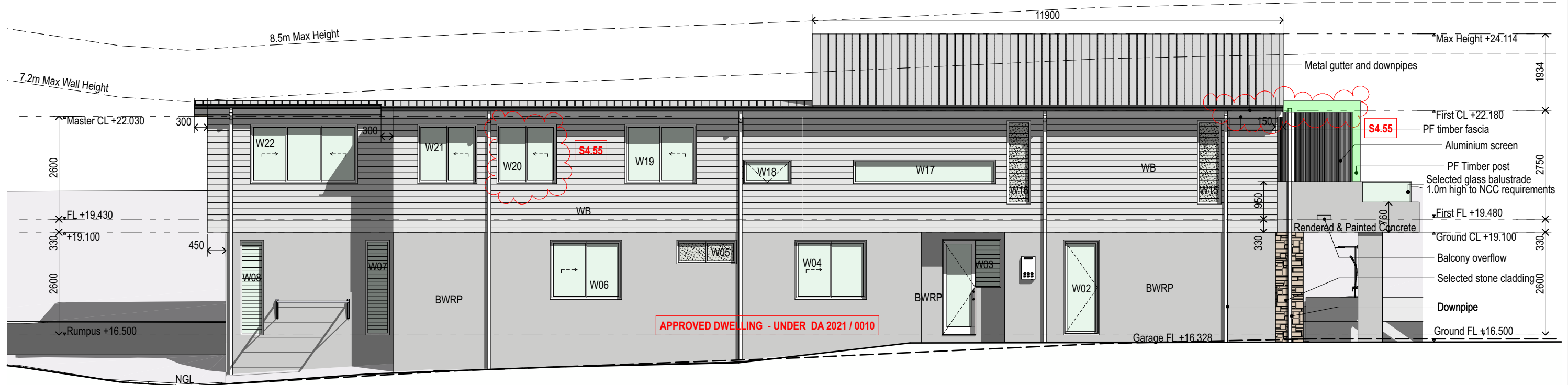
PROJECT:	Torrington Residence
SITE:	10 Gardere Avenue Curl Curl NSW
CLIENT:	P & A Torrington

DRAWING TITLE: Plans	Gross Floor Areas
DRAWN / DESIGNED:	Jeremy McCulla
SCALE:	As Ind @ A3

DATE 14/7/21	DRAWN JMC	PRINT DATE 14/7/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A104	PROJECT STATUS \$4.55
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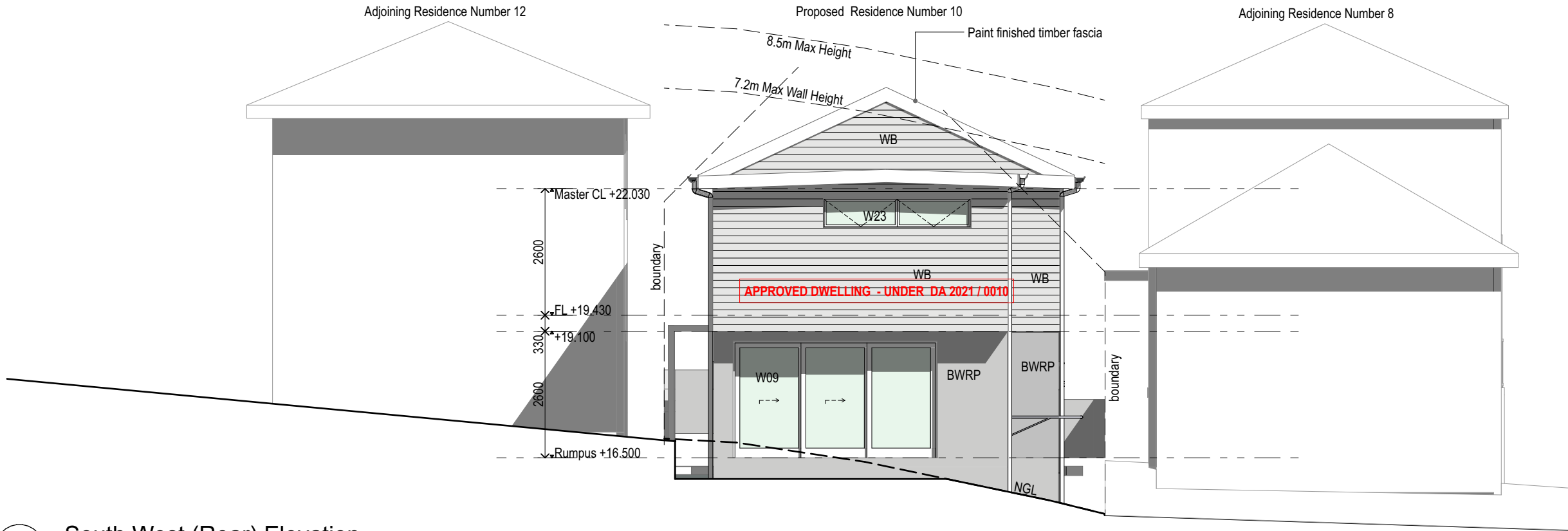


E-01 North East (Front) Elevation
Scale 1:100

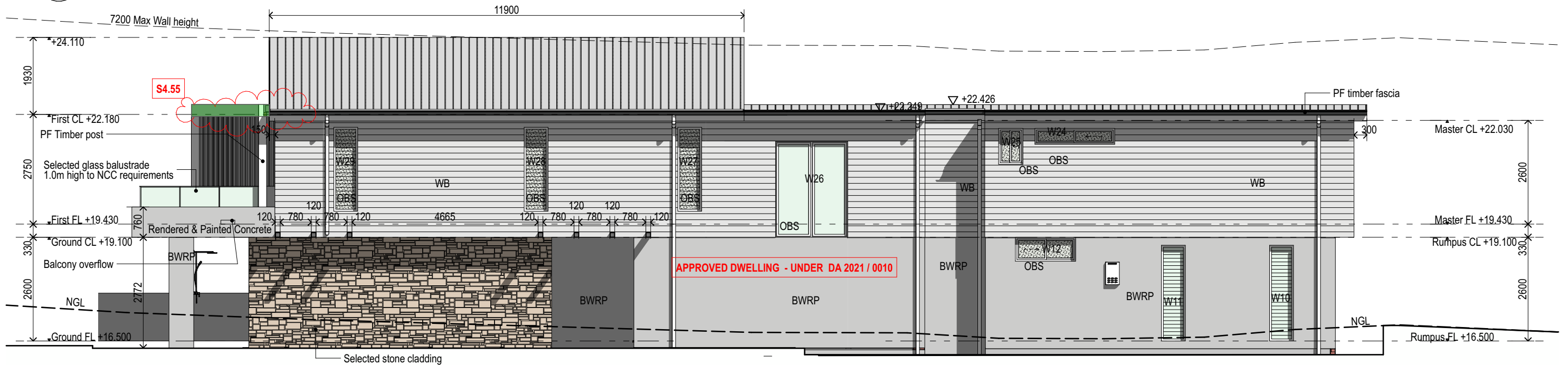


E-02 South East (Left) Elevation
Scale 1:100

<div>APPROVED BY</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div>BUILDER</div> <div><div><div><div></div><div></div><div></div></div><div><div>millbrook homes</div><div>LUXURY LIVING</div></div></div><div>LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153 T: (02) 8015 7766 F: 02 8883 0139 PO Box 7390 BAULKHAM HILLS BC NSW 2153 ENQUIRIES@MILLBROOKHOMES.SYDNEY</div></div>		<div>DESIGN / DRAWN</div> <div><div><div><div></div><div></div><div></div></div><div><div>UrbanHarmony</div><div>Luxury Residential Design Urban, Rural, Coastal, Alpine M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div></div><div><table><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr><tr><td>S4.55</td><td>JM</td><td>s4.55 application, Front Sun shading device added, minor revisions</td><td>14.07.21</td></tr><tr><td>CC.1</td><td>JM</td><td>Lift model revised, minor revisions</td><td>24.06.21</td></tr><tr><td>CC</td><td>JM</td><td>CC issue. Relevant DA Conditions added, minor revisions</td><td>10.06.21</td></tr><tr><td>DA5</td><td>JM</td><td>Balcony post behind front setback, front roof amended</td><td>19.03.21</td></tr><tr><td>DA4</td><td>JM</td><td>Steps removed, minor adjustments</td><td>09.03.21</td></tr><tr><td>DA3</td><td>JM</td><td>3d Views & levels added</td><td>02.03.21</td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr></table></div></div>		ISSUE	CHANGE	CHANGE NAME	DATE	S4.55	JM	s4.55 application, Front Sun shading device added, minor revisions	14.07.21	CC.1	JM	Lift model revised, minor revisions	24.06.21	CC	JM	CC issue. Relevant DA Conditions added, minor revisions	10.06.21	DA5	JM	Balcony post behind front setback, front roof amended	19.03.21	DA4	JM	Steps removed, minor adjustments	09.03.21	DA3	JM	3d Views & levels added	02.03.21	DA2	JM	DA Submission #2	24.12.20	<div>PROJECT:</div> <div>Torrington Residence</div> <div>SITE:</div> <div>10 Gardere Avenue Curl Curl NSW</div> <div>CLIENT:</div> <div>P & A Torrington</div>		<div>DRAWING TITLE:</div> <div>Elevations Elevations 1</div> <div>DRAWN / DESIGNED:</div> <div>Jeremy McCulla</div> <div>SCALE:</div> <div>As Ind @ A3</div>		<div><table><tr><td>DATE 14/7/21</td><td>DRAWN JMC</td><td>PRINT DATE 14/7/21</td></tr><tr><td>PROJECT NUMBER 580</td><td>DRAWING NUMBER 580.A300</td><td>PROJECT STATUS S4.55</td></tr></table><div><div>© Copyright UrbanHarmony</div><div>Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968. No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</div></div></div>			DATE 14/7/21	DRAWN JMC	PRINT DATE 14/7/21	PROJECT NUMBER 580	DRAWING NUMBER 580.A300	PROJECT STATUS S4.55
ISSUE	CHANGE	CHANGE NAME	DATE																																															
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PROJECT NUMBER 580	DRAWING NUMBER 580.A300	PROJECT STATUS S4.55																																																



E-03 South West (Rear) Elevation
Scale 1:100



E-04 North West (Right) Elevation
Scale 1:100

APPROVED BY

CLIENT NAME(s):

DATE:

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ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

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M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
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DA2	JM	DA Submission #2	24.12.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence
SITE:
**10 Gardere Avenue
Curl Curl NSW**
CLIENT:
P & A Torrington

DRAWING TITLE:
**Elevations
Elevations 2**

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3

DATE
14/7/21

PROJECT NUMBER
580

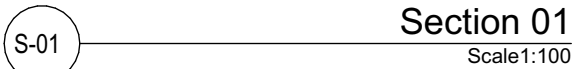
DRAWN
JMC

DRAWING NUMBER
580.A301

PROJECT STATUS
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M 0402 200 700 . T 02 9973 4697
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Jeremy@urbanharmony.com.au
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SA 55	JM	s45 application, Front Sun shading device added , minor revisions	14.07.21
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

PROJECT: **Torrington Residence**

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Sections

Sections 1

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
14/7/21

PROJECT NUMBER
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14/7/21

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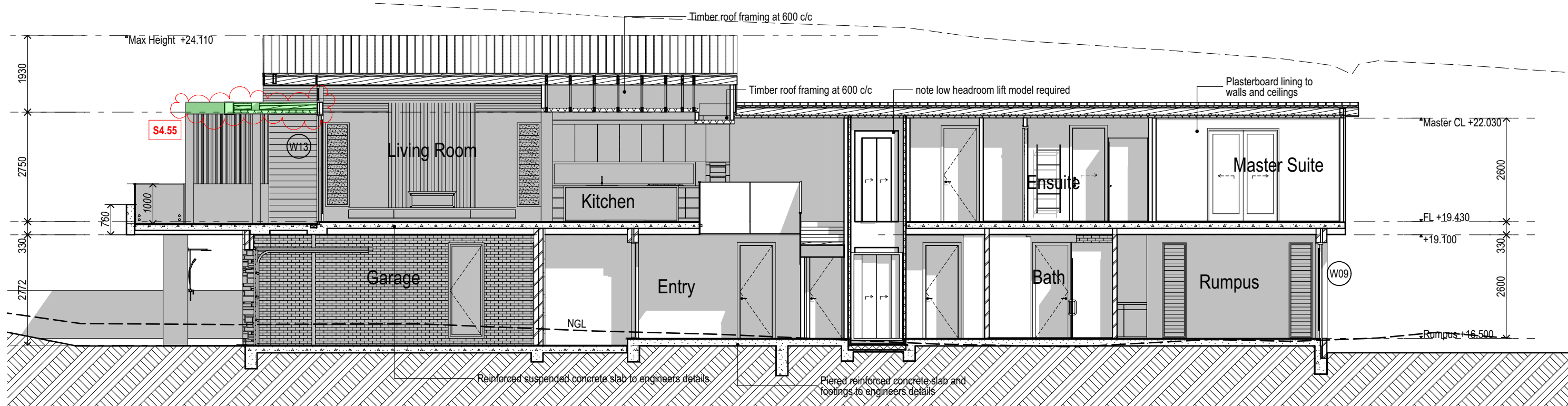
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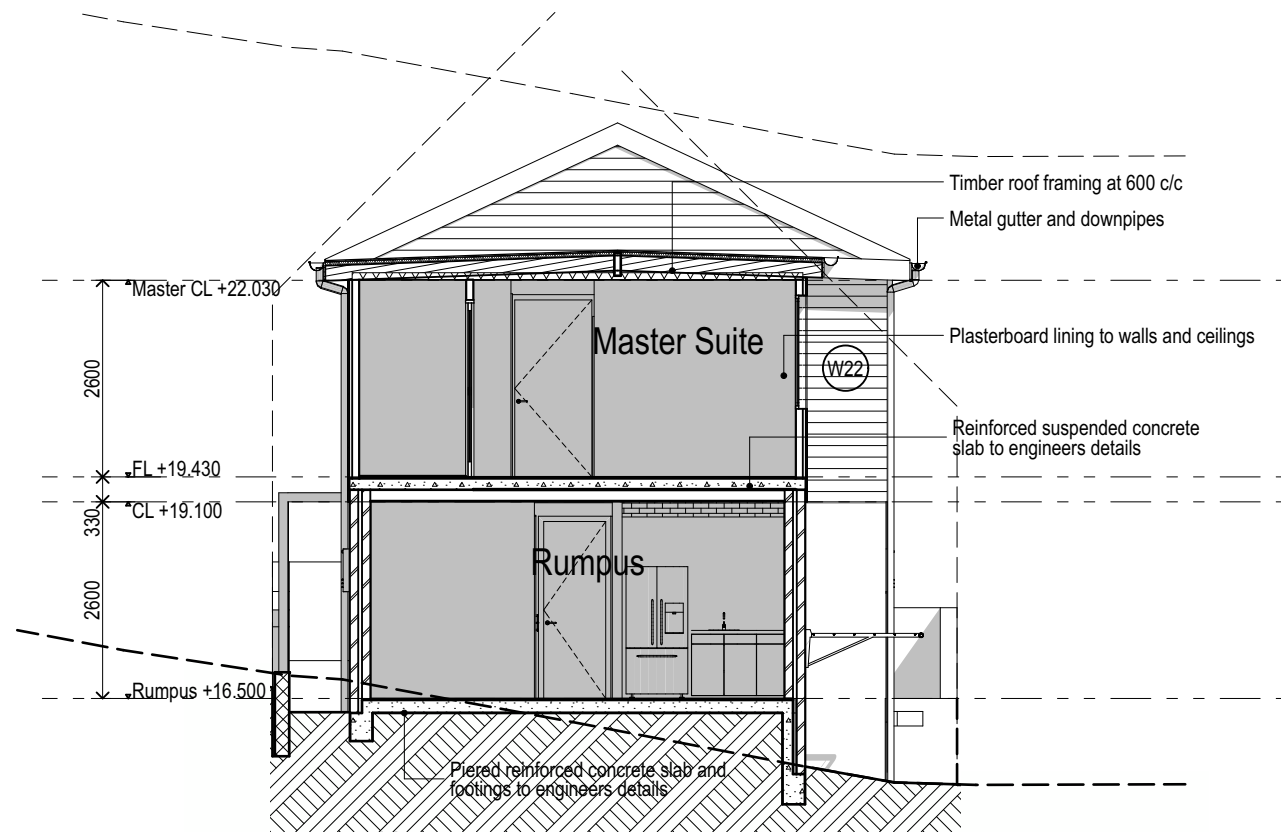
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S-03

Section 03

Scale 1:100



S-04

Section 04

Scale 1:100

APPROVED BY

CLIENT NAME(s):

DATE:

BUILDER

millbrook homes
LUXURY LIVING
LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153
T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

UrbanHarmony
Luxury Residential Design
Urban, Rural, Coastal, Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
www.urbanharmony.com.au

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DA2	JM	DA Submission #2	24.12.20
ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

**Sections
Sections 2**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
14/7/21

DRAWN
JMC

PRINT DATE
14/7/21

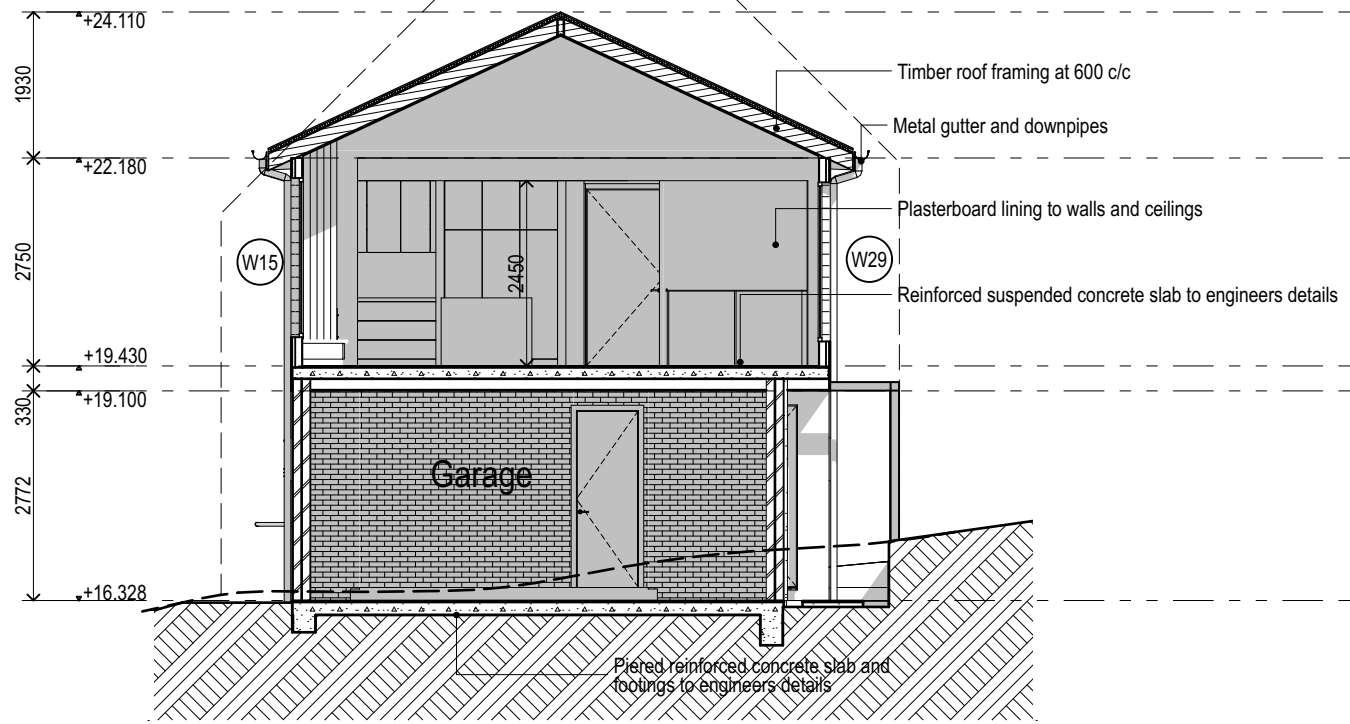
PROJECT NUMBER
580

DRAWING NUMBER
580.A401

PROJECT STATUS
S4.55

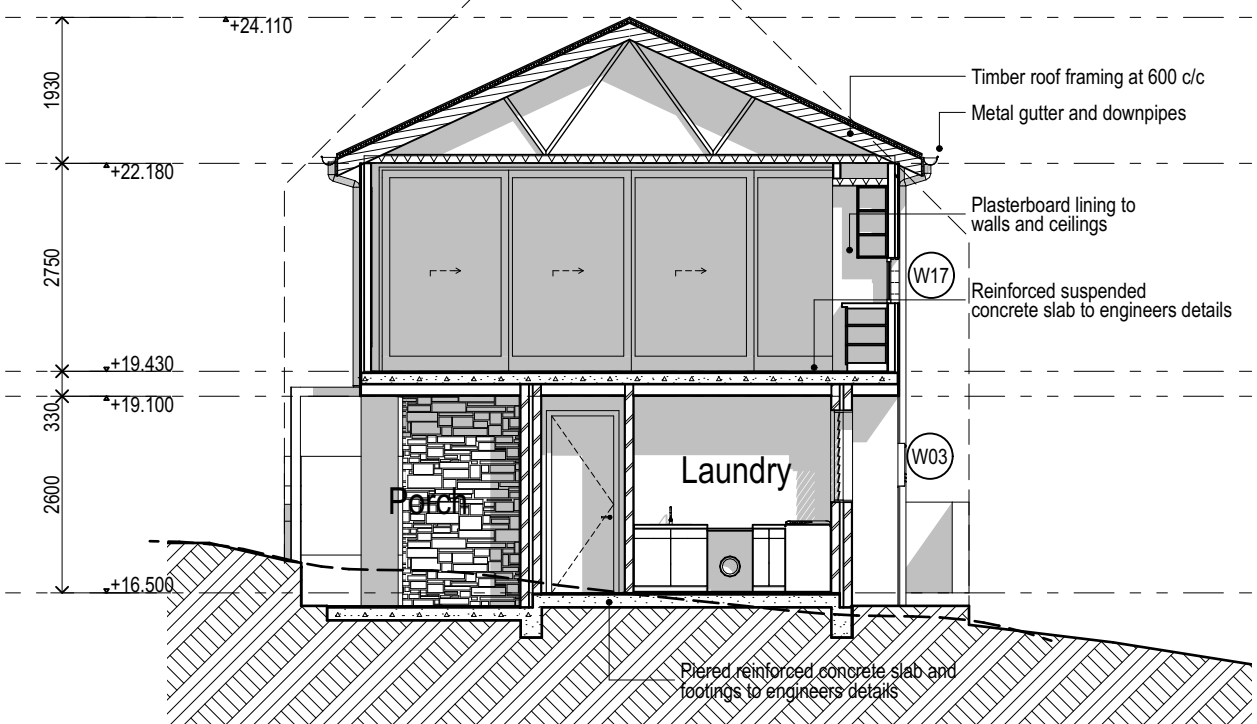
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Section 05
Scale 1:100

S-05



Section 06
Scale 1:100

S-06

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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:
Torrington Residence

SITE:
10 Gardere Avenue
Curl Curl NSW

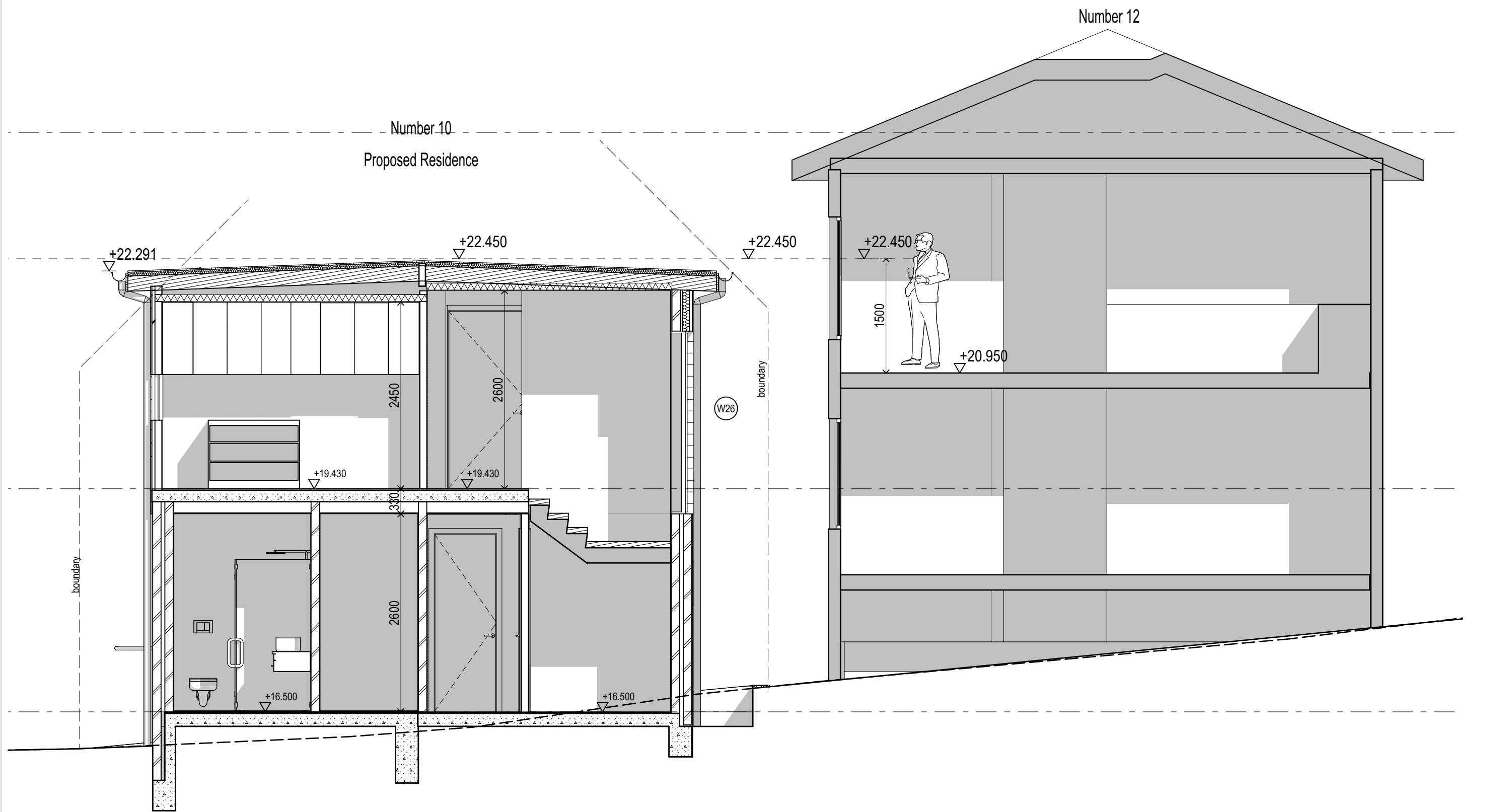
CLIENT:
P & A Torrington

DRAWING TITLE:
Sections
Sections 3

DRAWN / DESIGNED:
Jeremy McCulla

SCALE:
As Ind @ A3

DATE 14/7/21	DRAWN JMC	PRINT DATE 14/7/21
PROJECT NUMBER 580	DRAWING NUMBER 580.A402	PROJECT STATUS S4.55
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S-08

Section Through Number 12 Kitchen / Living
Scale:1:50

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T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

UrbanHarmony

Luxury Residential Design
Urban - Rural - Coastal - Alpine
M 0402 200 700 T 02 9973 4697
PO Box 858 Avalon Beach NSW 2107
Jeremy@urbanharmony.com.au
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

**10 Gardere Avenue
Curl Curl NSW**

CLIENT:

P & A Torrington

DRAWING TITLE:

**Sections
Sections 4**

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE
14/7/21

PROJECT NUMBER
580

DRAWN

JMC

DRAWING NUMBER
580.A403

PROJECT STATUS
S4.55

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Number	Height	Width	Sill Height	Head Height	Comments	Story	Location	Elevation	Glazing	Frame
W01	2400	1020	0	2400	Entry Combination	Ground Floor	Entry	S-01	Clear Sidelight	Timber
W02	2400	900	0	2400	Single Glazed Door	Ground Floor	Garage	Left / South East	Obscure Glass	Aluminium
W03	2400	820	0	2400	Glazed Laundry door & Louvres	Ground Floor	Laundry	Left / South East	Clear	Aluminium
W04	1500	1810	900	2400	Sliding	Ground Floor	Bed 2	Left / South East	Clear	Aluminium
W05	600	1510	1800	2400	Sliding	Ground Floor	Ens 2	Left / South East	Obscure Glass	Aluminium
W06	1500	1810	900	2400	Sliding	Ground Floor	Bed 3	Left / South East	Clear	Aluminium
W07	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Left / South East	Clear	Aluminium
W08	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Left / South East	Clear	Aluminium
W09	2400	4200	0	2400	Sliding Door	Ground Floor	Rumpus	Rear / South West	Clear	Aluminium
W10	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Right / North West	Clear	Aluminium
W11	2400	600	0	2400	Louvre	Ground Floor	Rumpus	Right / North West	Clear	Aluminium
W12	600	1510	2000	2600	Sliding	Ground Floor	Bath	Right / North West	Obscure Glass	Aluminium
W13	2700	6620	0	2700	Stack Sliding Door	First Floor	Living Room	Front / North East	Clear	Aluminium
W14	1359	5400	3000	4359	Angled Highlight - SITE MEASURE	First Floor Highlight	Living Room	Front / North East	Clear	Aluminium
W15	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / South East	Obscure Glass	Aluminium
W16	2105	600	380	2485	Louvre	First Floor	Living Room.	Left / South East	Obscure Glass	Aluminium
W17	600	3600	900	1500	Fixed	First Floor	Kitchen	Left / South East	Clear	Aluminium
W18	600	1210	900	1500	Awning	First Floor	Pantry	Left / South East	Clear	Aluminium
W19	1500	1810	900	2400	Sliding	First Floor	Guest	Left / South East	Clear	Aluminium
W20	1500	1510	900	2400	Sliding	First Floor	Pdr	Left / South East	Clear Glazing (...)	Aluminium
W21	1500	1500	900	2400	Sliding	First Floor	Study	Left / South East	Clear	Aluminium
W22	1500	2710	900	2400	Sliding	First Floor	Master Suite	Left / South East	Clear	Aluminium
W23	600	3040	1800	2400	Awning	First Floor	Master Suite	Rear / South West	Clear	Aluminium
W24	400	2000	2000	2400	Sliding	First Floor	Ensuite	Right / North West	Obscure Glass	Aluminium
W25	900	610	1500	2400	Sliding	First Floor	Ens WC	Right / North West	Obscure Glass	Aluminium
W26	2400	1810	-330	2070	Fixed	First Floor	Stair	Right / North West	Obscure Glass	Aluminium
W27	2105	600	323	2428	Louvre	First Floor	Meals	Right / North West	Obscure Glass	Aluminium
W28	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / North West	Obscure Glass	Aluminium
W29	2105	600	323	2428	Louvre	First Floor	Living Room.	Right / North West	Obscure Glass	Aluminium

<div>APPROVED BY:</div> <div>CLIENT NAME(s):</div> <div>DATE:</div>		<div><div>BUILDER</div><div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div>millbrook homes</div><div>LUXURY LIVING</div></div></div><div>LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153 T: (02) 8015 7766 F: 02 8883 0139 PO Box 7390 BAULKHAM HILLS BC NSW 2153 ENQUIRIES@MILLBROOKHOMES.SYDNEY</div></div><div><div>DESIGN / DRAWN</div><div><div><div><div></div><div></div><div></div></div><div>UrbanHarmony</div></div><div><div>Luxury Residential Design Urban · Rural · Coastal · Alpine</div><div>M 0402 200 700 T 02 9973 4697 PO Box 858 Avalon Beach NSW 2107 Jeremy@urbanharmony.com.au www.urbanharmony.com.au</div></div></div></div></div>		<table><tr><td>\$4.55</td><td>JM</td><td>\$4.55 application, Front Sun shading device added , minor revisions</td><td>14.07.21</td></tr><tr><td>CC.1</td><td>JM</td><td>Lift model revised, minor revisions</td><td>24.06.21</td></tr><tr><td>CC</td><td>JM</td><td>CC Issue: Relevant DA Conditions added, minor revisions</td><td>10.06.21</td></tr><tr><td>DA5</td><td>JM</td><td>Balcony post behind front setback, front roof amended</td><td>19.03.21</td></tr><tr><td>DA4</td><td>JM</td><td>Steps removed, minor adjustments</td><td>09.03.21</td></tr><tr><td>DA3</td><td>JM</td><td>3rd Views & levels added</td><td>02.03.21</td></tr><tr><td>DA2</td><td>JM</td><td>DA Submission #2</td><td>24.12.20</td></tr><tr><td>ISSUE</td><td>CHANGE</td><td>CHANGE NAME</td><td>DATE</td></tr></table>		\$4.55	JM	\$4.55 application, Front Sun shading device added , minor revisions	14.07.21	CC.1	JM	Lift model revised, minor revisions	24.06.21	CC	JM	CC Issue: Relevant DA Conditions added, minor revisions	10.06.21	DA5	JM	Balcony post behind front setback, front roof amended	19.03.21	DA4	JM	Steps removed, minor adjustments	09.03.21	DA3	JM	3rd Views & levels added	02.03.21	DA2	JM	DA Submission #2	24.12.20	ISSUE	CHANGE	CHANGE NAME	DATE	<div><div>PROJECT:</div><div>Torrington Residence</div><div>SITE:</div><div>10 Gardere Avenue Curl Curl NSW</div><div>CLIENT:</div><div>P & A Torrington</div></div>		<div><div>DRAWING TITLE:</div><div>Schedules Window Schedule</div><div><div>DRAWN / DESIGNED:</div><div>Jeremy McCulla</div></div><div><div>SCALE:</div><div>As Ind @ A3</div></div></div>		<table><tr><td>DATE 14/7/21</td><td>DRAWN JMC</td><td>PRINT DATE 14/7/21</td></tr><tr><td>PROJECT NUMBER 580</td><td>DRAWING NUMBER 580.A600</td><td>PROJECT STATUS \$4.55</td></tr><tr><td colspan="3">© Copyright UrbanHarmony Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968 No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.</td></tr></table>			DATE 14/7/21	DRAWN JMC	PRINT DATE 14/7/21	PROJECT NUMBER 580	DRAWING NUMBER 580.A600	PROJECT STATUS \$4.55	© Copyright UrbanHarmony Copyright in this design and document is owned by Urban Harmony. All rights are reserved. Copyright is protected under the provisions of the Copyright act 1968 No part of this drawing or design may be reproduced in any form or by any means without the prior written consent of Urban Harmony. Any unauthorised use is strictly prohibited.		
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The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

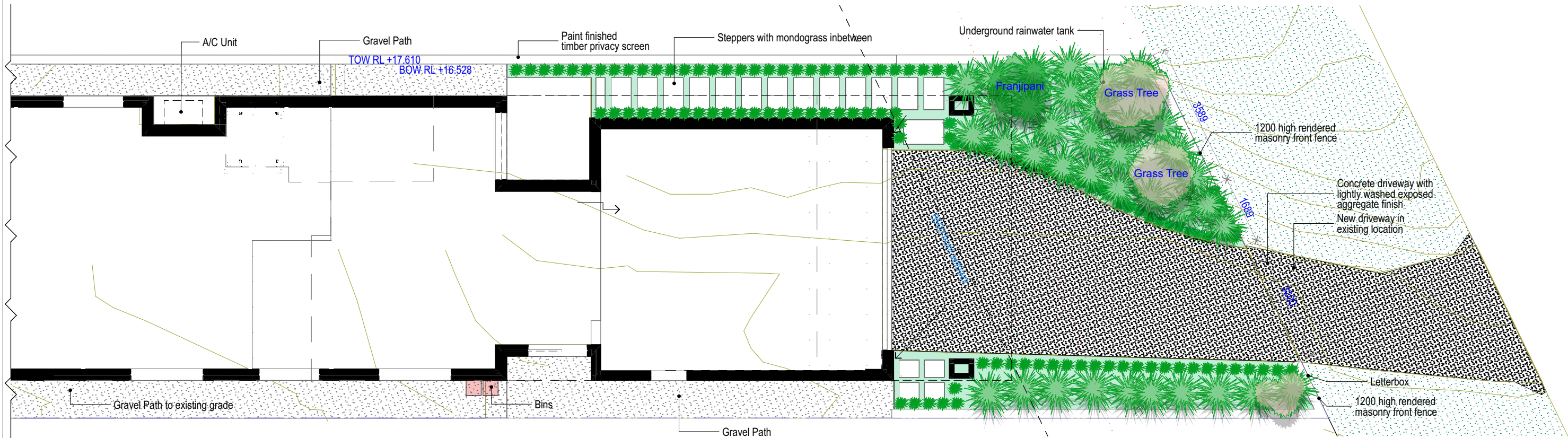
Water

- 1,800 Rain water tank, approx. 60% of roof draining to it, connect to WC, garden tap & washing machine
- 3 star showerhead 7.5-9 litres/min
- 4 star wc
- 4 star taps
-

- Medium colour walls
- Medium colour roof
- Wafflepod slab
- 15mm foil faced foam cavity insulation (incl. Garage external wall)
- R2.5 wall insulation to first floor
- R4.0 ceiling insulation (excl. Garage)
- R2.5 to exposed 1st floors and between garage & rooms above
- Anticon to roof
- Self sealing exhaust fans to wet areas with shower
- Weather stripping

- Gas instantaneous HWS 6 stars
- Three phase reverse cycle a/c
- Exhaust fan to wet areas, ducted to outside air
- Rangehood, ducted to outside air
- Gas cooktop, electric oven
- External clothesline

	ENQUIRIES@MILLBROOKHOMES.STONE1			www.urbanmammoth.com.au	ISSUE	CHANGE	CHANGE NAME	DATE			75 INO @ 75		The prior written consent of Urban Mammoth Pty Ltd must be obtained before any changes are made to the contract.
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Landscape Concept Plan

Scale 1:100

General Landscape Notes

Soil Preparation.

Where earthworks have occurred, the contractor is to ensure any stockpiled soil is free of unwanted matter such as clay lumps, rocks, tree roots, builder's rubbish and any other material toxic to plants.

Noxious Plants

Any council listed noxious plants for the locality are to be removed from site as required and approved.

Preparation of Garden beds

Garden beds are to be cultivated to a depth of 300mm incorporating organic soil conditioner with existing soil when planting. Soil beneath existing trees to be retained is not to be cultivated. Fine grade mulch such as forest fines to be installed to a depth of 60mm to garden beds, coving mulch downward around plant stems and finishing flush or just below adjoining surfaces. Plants are to be fertilised with a slow release fertiliser that is suitable to plant selection. Thoroughly water in plant and treatment.

Installation of Plants

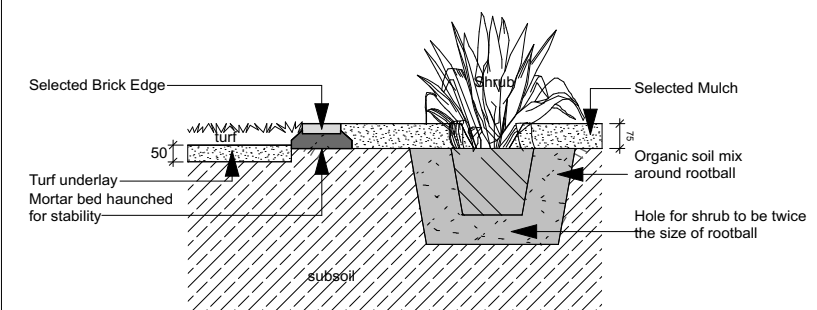
All plants to be true to name, size and variety, in a well developed healthy condition with well established roots, free from insects and disease.

Turf

Turf to owners selection.

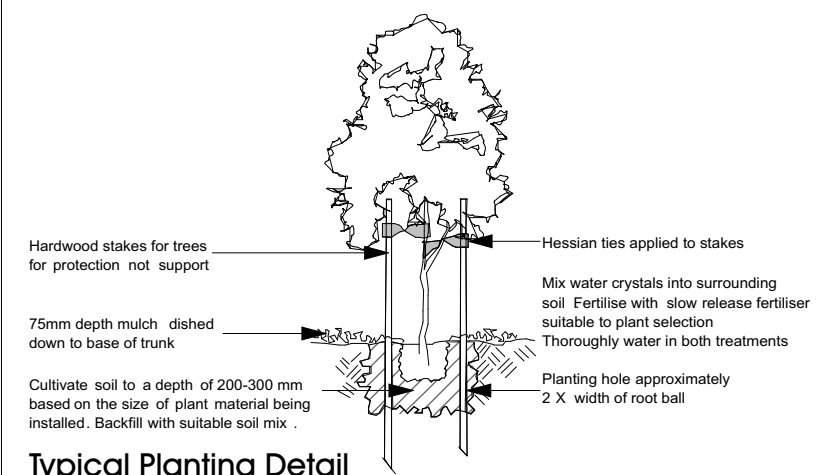
Drainage

Refer to engineers details for surface and subsoil drainage provisions



Typical Planting / Brick Edge Detail

NOT TO SCALE



Typical Planting Detail

NOT TO SCALE

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CLIENT NAME(s):

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LEVEL 5, 7-9 IRVINE PLACE, BELLA VISTA NSW 2153
T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
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ISSUE	CHANGE	CHANGE NAME	DATE

PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Landscape Plans
Landscape Concept Plan

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE

14/7/21

PROJECT NUMBER

580

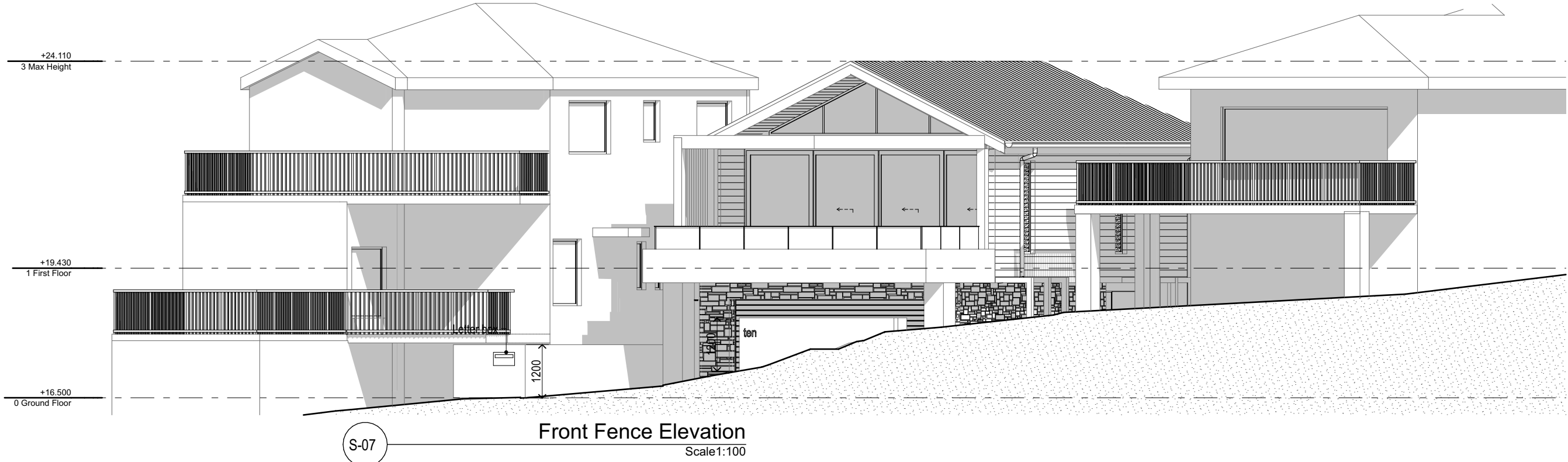
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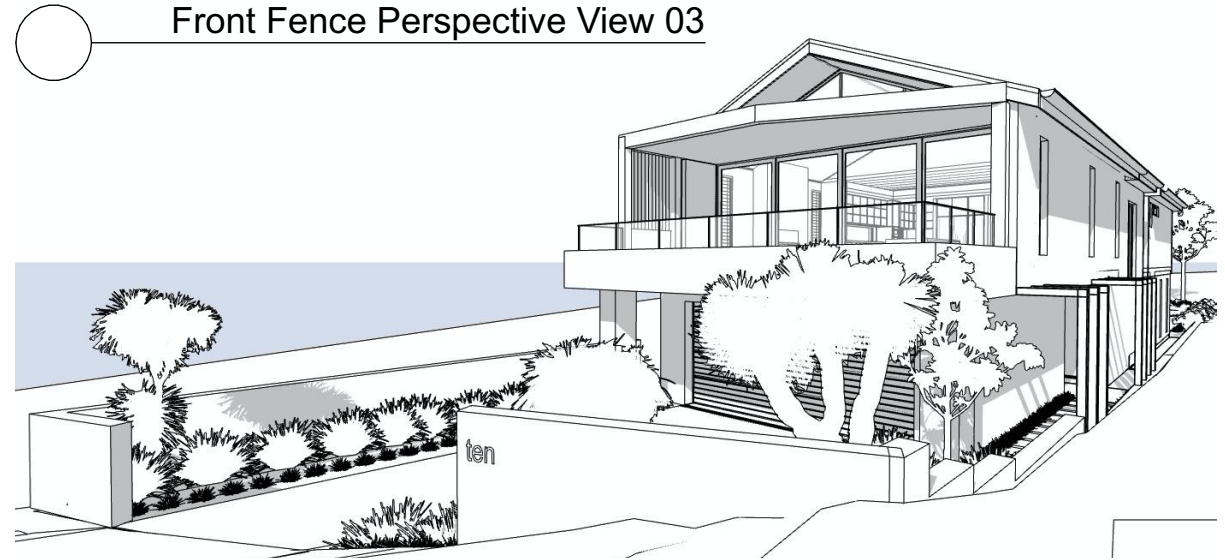
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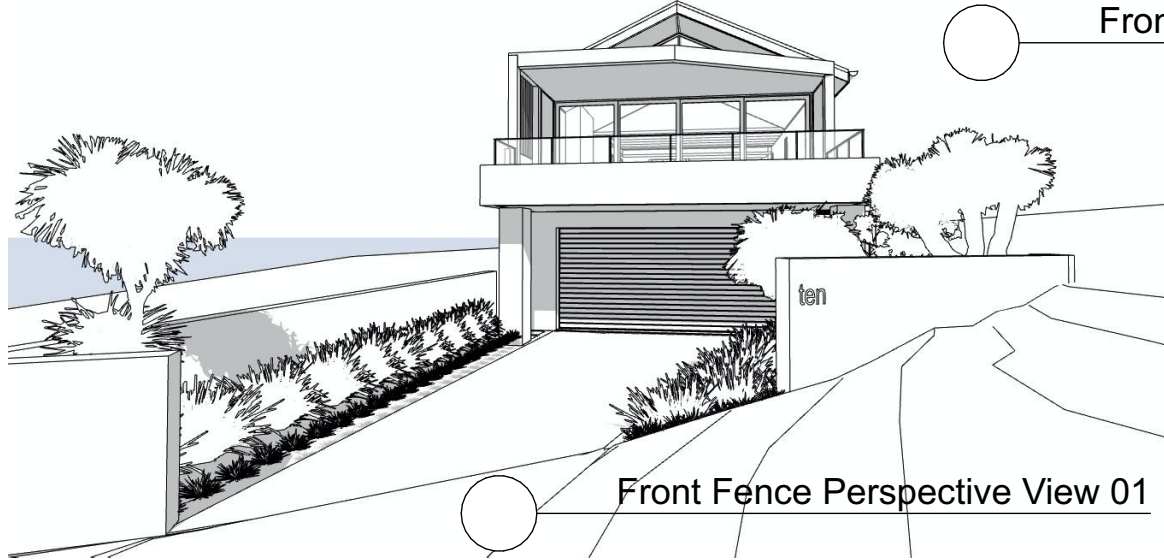
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Front Fence Perspective View 02



Front Fence Perspective View 03




Front Fence Perspective View 01

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CLIENT NAME(s):


DATE:

BUILDER

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T: (02) 8015 7766 F: 02 8883 0139
PO Box 7390 BAULKHAM HILLS BC NSW 2153
ENQUIRIES@MILLBROOKHOMES.SYDNEY

DESIGN / DRAWN

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Luxury Residential Design
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PROJECT:

Torrington Residence

SITE:

10 Gardere Avenue
Curl Curl NSW

CLIENT:

P & A Torrington

DRAWING TITLE:

Landscape Plans
Front Fence Elevation & 3D

DRAWN / DESIGNED:

Jeremy McCulla

SCALE:

As Ind @ A3

DATE	DRAWN	PRINT DATE
14/7/21	JMC	14/7/21
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Perspective 01



Perspective 02



Perspective 03



Perspective 04



Perspective 05



Perspective 06



Perspective 07



Perspective 08



Perspective 09



Perspective 10



Perspective 11



Perspective 12