

S4.55 MODIFICATION

Drawing No.	Title
C0000	COVER SHEET
C0001	BUILDING SPECIFICATIONS
C0002	BASIX REQUIREMENTS
C0003	SITE PLAN
C1000	DEMOLITION PLAN
C2100	CELLAR FLOOR PLAN
C2101	GROUND FLOOR PLAN
C2102	FIRST FLOOR PLAN
C2103	ROOF PLAN
C3000	NORTH & EAST ELEVATIONS
C3001	SOUTH & WEST ELEVATIONS
C3002	COURTYARD ELEVATIONS
C3100	SECTION AA
C3101	SECTION BB
C3102	SECTION CC/DD
C5000	AREA SCHEDULE

s4.55 MODIFICATIONS	
ID	Modification
Ch-10	Cellar footprint increased
Ch-11	Windows 24 & 28 width increased
Ch-12	Ensuite relocated to northern wall
Ch-13	Window-23 removed
Ch-14	Battens in facade to be mirror reversed

DEVELOPMENT SCHEDULE

SITE AREA	385.70m ²
BUILDING FOOTPRINT	
ALLOWABLE:	128.40m ² (33.3% x SITE AREA)
EXISTING:	125.38m ² (32%)
PROPOSED:	184.35 m ² (48%)

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



No. 1130 PITTWATER ROAD COLLAROY - EXISTING REAR ELEVATION



No. 1130 PITTWATER ROAD COLLAROY - FRONT ELEVATION



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6875
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	COLLAROY
drawing	COVER SHEET	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:1 @ A3
project no	2_23_10	drawing no C0000
		issue H

SPECIFICATION

PROJECT ADDRESS:
1130 PITTWATER RD COLLAROY

2.0 STATUTORY REQUIREMENTS

- 2.1 The Works
All works shall be carried out and completed to comply with the appropriate construction standards and the Local Government Act (as amended)
- 2.2 Regulations, Notices and Fees
The Contractor is to comply with Local Government (Approvals) Regulations 1993 and Local Government (Orders) Regulation 1993 under the Local Government Act 1993 (as amended) or the Building Code of Australia; the requirements of legally constituted authorities for local government and/or for services: and the provisions of the Building Services Corporation Act (as amended). The Contractor is to give all Notices, obtain all Permits and pay all Fees required by such authorities.
- 2.3 Insurance
Insurance cover the works against risk for Fire, Theft, Malicious Damage and Materials on site are to be effected by the Contractor at the Contractor’s expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker’s Compensation cover in respect of any liability under the Worker’s Compensation Act or New South Wales.
- 2.4 Labour and Materials
The Contractor is to provide all labour and materials to construct the complete the building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by tradespeople of that particular trade and in conformity with adequate building practice. Building materials surplus to requirements of the works shall be and remain the property of the Contractor.
- 2.5 Electricity
Available on site
- 2.6 Sanitary Accommodation
Toilet facilities exist on Site.

3.0 OWNERS OBLIGATIONS

- 3.1 Surveyor’s Certificate
The Owner’s shall obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.
- 3.2 Engineer’s Recommendations
The Owner shall provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requires for the works prepared by an Engineer.
- 3.4 Items Supplied by the owner
For all items referred to in the specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.
Delivery is to be made when requested by the Builder to the site. If not available when required the Owner shall be obliged to make an alternative selection.
- 3.5 Water Supply
The Owner shall, at the Owner’s expense, supply adequate water to the Site for construction purposes.
- 3.6 Sanitation
Unless otherwise specified, the Owner shall, at the Owner’s expense.

4.0 PLANS, PERMITS AND APPLICATION FEES

- 4.1 Permits and Fees
The Owner shall pay all necessary application notices and lodge plans and details with the Local Authority for approval prior to commencement of construction
- 4.2 Setting Out
The Contractor shall accurately set out the works in accordance with the site plan and within the boundaries of the site.

8.0 EFFLUENT DISPOSAL/DRAINAGE

- 8.2 Storm Water Drainage
Existing

9.0 TIMBER FRAMING GENERALLY

- 9.1 Timber Framing
All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or the NSW Timber Framing Manual as amended or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer’s details and certification.
The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.
- 9.2 Floor Framing
All floors not specified to be concrete are to be framed at level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown, are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684 or NSW Timber Framing Material.
- 9.3 Wall Framing
Plates are to be tranches to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face if brick veneer walls to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.
Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab with or in accordance with AS 4055.
- 9.4 Heads Over Opening (Lintels)
All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 17mm in depth shall be seasoned or low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328 or if approved by the Lending Authority. Laminated Veneer Lumber beams to manufacturers specification and data sheets may be used.
- 9.6 Bracing
Timber frames must be braces in accordance with Clause 3.4.3.8 BCA Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building Type “A” and/or “B” units are to be evenly distributed throughout the building.
- 9.7 Flooring
Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer’s recommendations or Part 3.4.3 BCA 96 Housing Provisions.
Fixing shall be in accordance with the applicable flooring Code.
When specified, floors shall be sanded to provide an even surface and shall be left clean throughout.

- 9.10 Corrosion Protection
All metal brackets, facing plats and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

10.0 STEEL FRAMING GENERALLY

- 10.1 Steel Framing
Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer’s recommendations as AS 3623 or Part 3.4.2. BCA 96 Housing Provisions

12.0 MASONRY

- 12.1 Bricks
All clay bricks and brickwork shall comply with AS 1225, AS 1226 and AS 3700.

13.0 CLADDING AND LININGS

- 13.1 External Claddings and Linings
Sheet materials or other external cladding shall be fixed in accordance with the manufacturer’s recommendations and any applicable special details.
- 13.2 Internal Wall and Ceilings Linings.
Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Fixings is to be strictly in accordance with the manufacturer’s recommendations. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls in brick veneer and timber frame buildings shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Lining to be fixed in accordance with the manufacturer’s recommendations.
Where required in open verandas, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds, where required, shall be fixed at the junction of the walls and ceilings.
- 13.3 Waterproofing
All internal wet areas and balconies over internal habitable rooms to be water proofed as AS 3740 or Part 3.8.1 BCA 96 Housing Provisions

14.0 JOINERY

- 14.1 General
All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.
- 14.2 Door frames
Timber used in external door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal timber jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed in accordance with the Manufacturer’s Recommendations.
- 14.3 Door and Doorsets
All internal and external timber door and door sets shall be installed in accordance with AS 1909 timber Door and Door sets and shall be manufactured in accordance with AS 2588 and AS 2689.
- 14.4 Window and Sliding Doors
Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2047 and installed in accordance with AS 2048.All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions. Glazier to provide safety glass compliance certificates.
- 14.5 Architraves and Skirting
Provide architraves and skirting as nominated on the drawings.
- 14.6 Stairs and Barriers
Provide handrails and balustrades to any change in level and to at least one side of ramps and stairs as per Part 3.9.1 & 3.9.2 of BCA Housing Provisions.

15.0 SERVICES

- 15.1 Plumbing
All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber. Fittings shall be supplied and installed as specified.
- 15.2 Electrical
Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with As 3000, AS 3006 and the requirements of the local Supply Authority. Unless otherwise specified, the electrical service shall be 240 vlot, single phase supply.
- 15.3 Gas
An installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.
- 15.4 Smoke Detectors
Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

- 16.1 Materials
Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.
- 16.2 Installation
Installation of tiles shall be in accordance with AS 3958.
All vertical and horizontal joints between walls and fixtures e.g. Bench-top, bath, etc to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products, a slight variation in colour is to be anticipated.
- 16.3 Walls
Cover specified wall faces with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.
- 16.4 Floors
Lay selected floor tiles in sand and cement mortar or approved adhesive to specified areas. If required fit approved edge strips to exposed edges in doorways or hobless showers. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

- 17.1 General
All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer’s recommendations. The colours used shall be specified. All surfaces to be painted shall be properly sanded and prepared.

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

NOTES


ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS ; EQUIPMENT.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION			
project	1130 PITTWATER RD		
	COLLAROY		
drawing			
BUILDING SPECIFICATIONS			
drawn	SM / PC	checked	MA
date	09.02.24	scale	@ A3
project no	drawing no	issues	
2_23_10	C0001	H	

Single Dwelling

Certificate number: 1412073S_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1412073S lodged with the consent authority or certifier on 04 October 2023 with application DA2023/1438.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Wednesday, 11 December 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	
Project name	1130 Pittwater Rd HEC1482_04
Street address	1130 PITTWATER ROAD COLLAROY 2097
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 121939
Lot no.	1
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	386
Roof area (m²)	126
Conditioned floor area (m²)	287.0
Unconditioned floor area (m²)	23.0
Total area of garden and lawn (m²)	132
Roof area of the existing dwelling (m²)	0

Water Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures				
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.			✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.			✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.			✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.			✓	
Alternative water				
Rainwater tank				
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).			✓	✓
The applicant must connect the rainwater tank to:				
• all toilets in the development			✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)			✓	✓
Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method				
Assessor details and thermal loads				
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.				
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.				
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.				
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	✓	✓
Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction				
Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor.		✓	✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓

Floor and wall construction		Area
floor - concrete slab on ground		117.0 square metres
floor - suspended floor/enclosed subfloor		6.0 square metres

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	\$4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	\$4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS, IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.		✓	✓	✓
Cooling system				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 2.5 Star (old label)			✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2.5 Star (old label)			✓	✓
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: electric floor heating: Energy rating: n/a			✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 2.5 Star (old label)			✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Artificial lighting				
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study; dedicated			✓	✓
Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 1 of the living / dining rooms; dedicated			✓	✓
• the kitchen; dedicated			✓	✓
• all bathrooms/toilets; dedicated			✓	✓
• the laundry; dedicated			✓	✓
• all hallways; dedicated			✓	✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
Alternative energy				
The applicant must install a photovoltaic system with the capacity to generate at least 1.7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.		✓	✓	✓
Other				
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.			✓	

Assessor Construction Summary

Issued for information only - refer to the NatHERS Certificate(s).

Project:	Address:	1130 Pittwater Road Collaroy NSW 2097		File Ref:	HEC1482aa
Applicant:	Name:	Azzwic Holdings Pty Ltd		Designer:	Map Architects Pty Ltd
Assessor:	Name:	Paul Gradwell		Company:	House Energy Certified
	Address:	PO BOX 3136 Tamarama NSW 2026		Number:	DMN/18/1851
	Contact:	02 9130 2068		Email:	paul@houseenergycertified.com
Ext. Walls:	Construction	Insulation	Colour	Details	
	Cavity Brick	25mm Kooltherm K8 or equiv (R1.1)	Light	As per plans	
	Metal Clad	R2.5 added	Dark	As per plans	
Int. Walls:	Construction	Insulation		Details	
	Plasterboard on Stud	None		First floor	
	Single Brick	None		Ground floor	
Floors:	Construction	Insulation		Details	
	Concrete	R0.75 added		To slab edge where underfloor heating	
	Concrete	R1.1 added		Where open below/Above cellar	
	Concrete	R4.0 added		Above garage	
Ceilings:	Construction	Insulation		Details	
	Plasterboard	R4.0 added		Where flat	
	Plasterboard	R2.5 added		Where raked	
Roof:	Construction	Insulation	Colour	Details	
	Concrete	90mm PIR or equiv (R4.1)	Medium	Ground floor roof	
	Metal Deck	60mm Anticon (R1.3)	Dark	First floor roof	
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
Group A	ALM-005-03 A	Double Clear	Aluminium	4.1/0.47	Casement, Entry Door
Group B	ALM-006-03 A	Double Clear	Aluminium	4.1/0.52	Fixed, Sliding
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70	Louvre
Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details
	VEL-011-01 W	Double Fixed	Roof Light		As per plans
Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version
	0	Exposed	Ducted	Sealed LED - 1 per 2.5m²	HERO19

Notes

R2.5 added to the walls to roof space

Add 1 x 1200 mm ceiling fan to Living room

Nationwide House Energy Rating Scheme
NatHERS Certificate No. #HR-A9EO3G-05

Generated on 11 Dec 2024 using Hero 4.1 (Chenath v3.21)

Property

Address	1130 Pittwater Road, Collaroy, NSW, 2097
Lot/DP	1/121939
NCC Class*	1a
Type	New

Plans

Main Plan	2-23-10
Prepared by	MA/JG

Construction and environment

Assessed floor area (m²)*	Exposure Type
Conditioned*	286.5
Unconditioned*	22.5
Total	346.7
Garage	37.8
NatHERS climate zone	
56 - Mascot AMO	



Accredited assessor

Name	Paul Gradwell
Business name	House Energy Certified
Email	paul@houseenergycertified.com
Phone	+61 410315381
Accreditation No.	DMN/18/1851
Assessor Accrediting Organisation	DMN
Declaration of interest	No Conflict of Interest

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

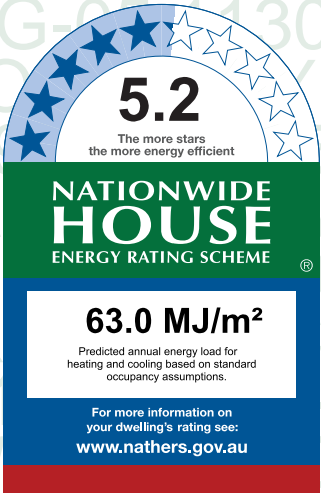
In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.

State and territory variations and additions to the NCC may also apply.

* Refer to glossary.

Generated on 11 Dec 2024 using Hero 4.1 for 1130 Pittwater Road, Collaroy, NSW, 2097

Page 1 of 11



Thermal Performance

Heating	Cooling
39.2	23.8
MJ/m²	MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-A9EO3G-05>. When using either link, ensure you are visiting <http://www.hero-software.com.au>



SUBMISSION

\$4.55 MODIFICATION

project 1130 PITTWATER RD
drawing COLLAROY

BASIX REQUIREMENTS
drawn SM / PC checked MA

date 09.02.24 scale @ A3

project no 2_23_10 drawing no C0002 issue H

Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6875
e: mark@maparch.com.au
www.maparch.com.au

AS1926.1-2012, SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS.
AS1926.2-2007, SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
AS/NZS 2416.1:2010, WATER SAFETY SIGNS AND BEACH SAFETY FLAGS



- EARTHWORK IS TO COMPLY WITH BCA 2016 TABLE 3.1.1.1 AS REFERENCED IN FIG 3.1.2.1 & CLAUSE 3.1.1.0(B) FOR DETERMINATION OF A NORMAL SITE AS REFERENCED BY CLAUSE 3.2.1.
- DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3-2015 OR SECTION 5 OF AS/NZS 3500.5 2012.
- TERMITE MANAGEMENT IS TO COMPLY WITH BCA 2016 PART 3.1.3 AND AS 3660.1-2014. A DURABLE NOTICE IS TO BE INSTALLED IN ACCORDANCE WITH BCA 2016 PART 3.1.3(b). WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER. A.

SITE ACCESS
PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT. SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED FROM THE ROAD BY SWEEPING, SHOVELLING OR SPONGING; NOT WASHING.

DIVERSION OF WATER
DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND STOCKPILES USING BANKS AND CHANNELS. RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR THE LIKE) BEFORE LEAVING THE SITE.

ROOF WATER DRAINAGE
CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORM WATER SYSTEM AS SOON AS THE ROOF IS COMPLETE, TO REDUCE SITE WETNESS.

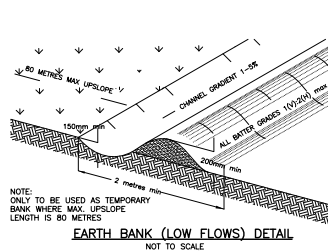
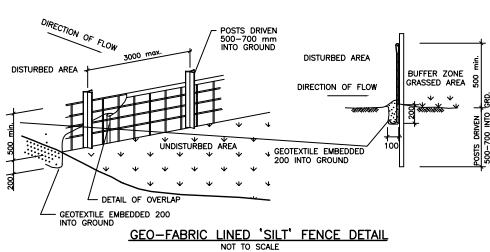
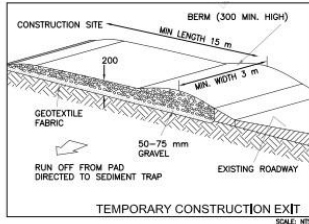
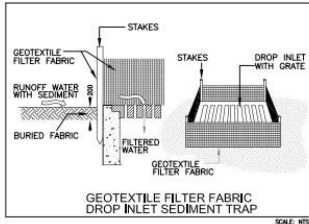
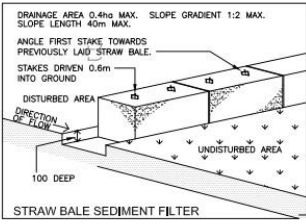
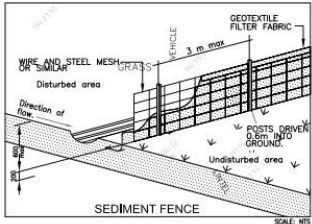
DUST CONTROLS
MINIMISE DISTURBANCES.
COVER STOCKPILES.
USE WATER WHEN NECESSARY, BUT CONTROL RUN OFF.

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA). ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS/EQUIPMENT.

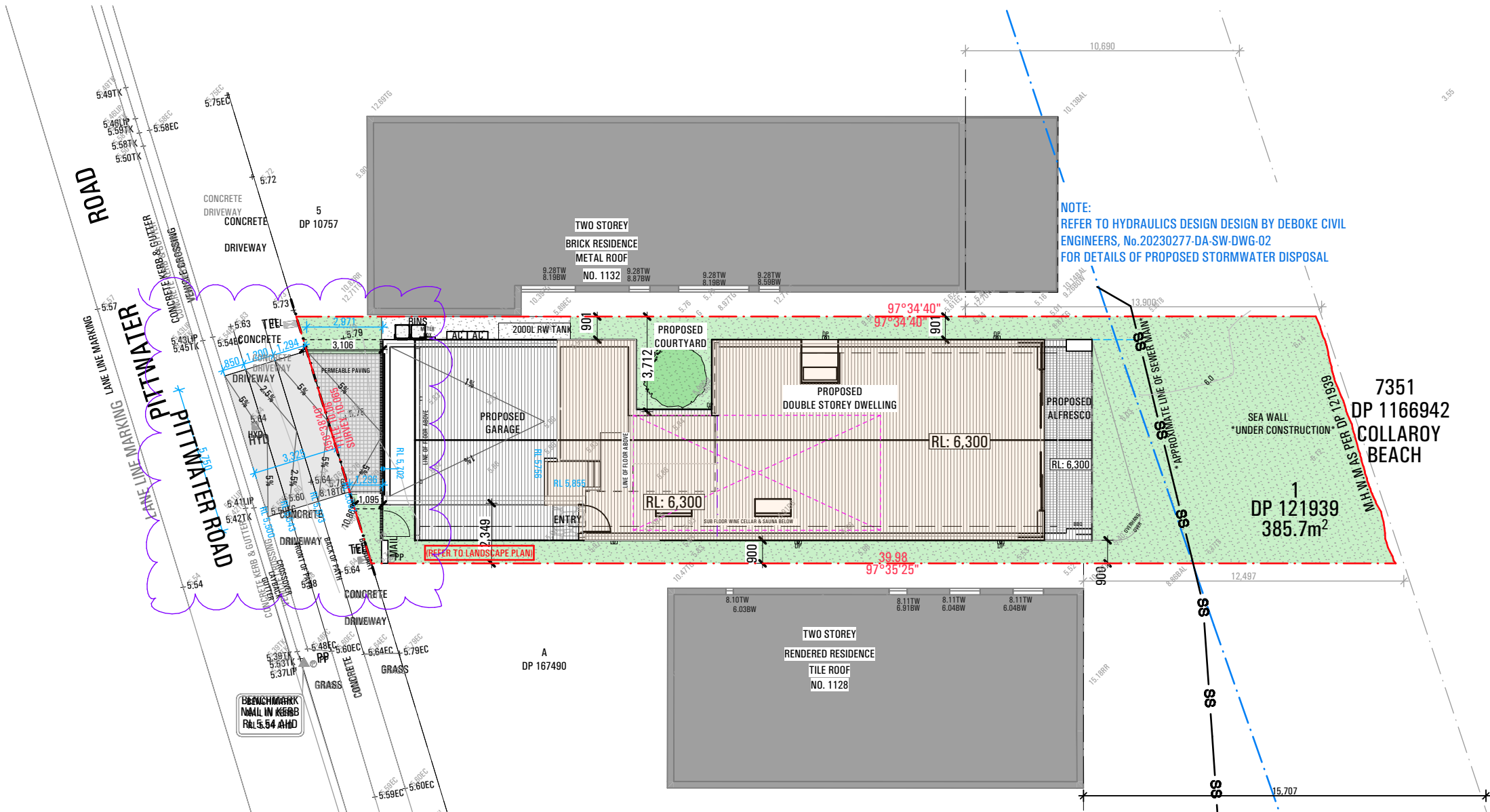
DETAIL 1
SEDIMENTATION FENCES
FENCES SHOULD BE INSTALLED DOWN SLOPE TO TREAT SITE RUN-OFF. TO BE EFFECTIVE, THEY NEED TO BE INSTALLED PROPERLY AND MAINTAINED REGULARLY.

DETAIL 2
GUTTER PROTECTION
GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORM WATER INLETS TO REDUCE THE RISK OF UNTREATED RUN OFF ENTERING THE WATERWAYS.

DETAIL 3
STOCKPILES
STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES. RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE. PROTECT STOCKPILES WITH WATERPROOF COVERING. INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE. STOCKPILES MUST NOT BE STORED ON FOOTPATHS.



NOTE:
REFER TO GEOTECHNICAL REPORT PREPARED BY 'NEPEAN GEOTECHNICS', DATED 18th DECEMBER 2023, FOR RECOMMENDATIONS OF THE PREPARATIONS AND DEPTH OF THE PROPOSED PIERING OF THE GROUND FLOOR SLAB

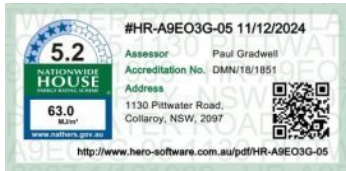


BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA		15.09.23
B	FOR DA - RFI		09.02.24
C	ISSUE FOR ENGINEERING		09.04.24
D	S4.55 MODIFICATION		24.05.24
E	PLANS FOR TENDERING		11.06.24
F	RFI - Council email		31.07.24
H	s4.55 Modification		28.11.24

NOTES
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION

project **1130 PITTWATER RD**

COLLAROY

drawing

SITE PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:200 @ A3

project no 2_23_10 drawing no C0003 issue H

DEMOLITION

STANDARD
DEMOLITION: To Australian Standard AS 2601:2001, The demolition of structures. Any essential service must be disconnected from the structure being demolished or removed in accordance with the requirements of the relevant authority
DEMOLISHED MATERIALS
EXCEPT FOR MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER OR RE-USED,
DEMOLISH MATERIALS AND REMOVE FROM THE SITE.
DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.
SUPPORT
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.
ASBESTOS REMOVAL
METHOD: USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR THE REMOVAL OF ASBESTOS (HOHSC: 2002), INCLUDING PART 4 FOR INSULATION AND LAGGING, AND PART 9 FOR ASBESTOS CEMENT.
MONITORING: HAVE DUST MONITORING PERFORMED BY AN INDEPENDENT TESTING AUTHORITY.

RUNOFF and EROSION CONTROLS:
TO PREVENT SOIL EROSION, WATER POLLUTION OR THE DISCHARGE OF LOOSE SEDIMENT ON THE LAND SURROUNDING THE DEVELOPMENT, RUNOFF AND EROSION CONTROLS MUST BE IMPLEMENTED AND MAINTAINED ON THE SUBJECT SITE BY -
(i) diverting uncontaminated run-off around cleared or disturbed areas, and
(ii) erecting a silt fence to prevent debris escaping into drainage systems and waterways, and
(iii) preventing tracking of sediment by vehicles onto roads, and
(iv) stockpiling top soil, excavated materials, construction and landscaping supplies and debris within the lot.

ELEMENTS TO BE REMOVED

NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEMOLITION SPECIFICATION, SCHEDULES, ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT CONDITIONS THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORK IN A SAFE CONDITION. LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED WARNING SIGNS SHALL BE PROVIDED FOR THE PROTECTION OF THE WORKS & THE SAFETY & CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE MAINTAINED AT ALL TIMES DURING THE WORKS

CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL & SEDIMENT CONTROL MEASURES AT ALL TIMES. THE MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED & THE SITE FULLY STABILISED, REFER TO HYDRAULIC ENGINEER'S SEDIMENT CONTROL PLAN DRAWING 0708 SCP-01 REVISION B ISSUED 25/07/07. TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION & CONSTRUCTION, AT A RATE OF 1 TOILET TO 20 PERSONS OR PART PERSONS ON SITE. DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE WITH PROVISIONS OF AS2601- DEMOLITION OF STRUCTURES. ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL & VEGETATION TO EXISTING PLANTERS TO BE REMOVED & ANY SERVICE CAPPED WHERE WALLS ARE TO BE REMOVED & NOT REPLACED,
THE EXISTING WALLS TO BE MADE GOOD WORK MUST SATISFY APPLICABLE OCCUPATIONAL HEALTH & SAFETY, & CONSTRUCTION SAFETY REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY REQUIREMENTS. SITE FENCE TO BE INSTALLED TO EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE ERECTED TO WARN PUBLIC TO KEEP OFF SITE AND PROVIDE A TELEPHONE CONTACT NUMBER FOR ENQUIRIES. WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY IF ANY PART OF THE BUILDING BEING DEMOLISHED OR REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED BY THE AUTHORITY, ITS CONSULTANTS OR CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT TO UNDERTAKE ASBESTOS & LEAD PAINT CONTAMINATION SURVEY DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24 HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE & LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE WITH EPA GUIDELINES & COMPLY WITH THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997. ALL PLANT & EQUIPMENT USED DURING DEMOLITION SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE SITE AND PLACED SO THAT ALL SLURRY, WATER AND DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE. ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)
ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23	
B	FOR DA - RFI	09.02.24	
C	ISSUE FOR ENGINEERING	09.04.24	
D	S4.55 MODIFICATION	24.05.24	
E	PLANS FOR TENDERING	11.06.24	
F	RFI - Council email	31.07.24	
H	s4.55 Modification	28.11.24	

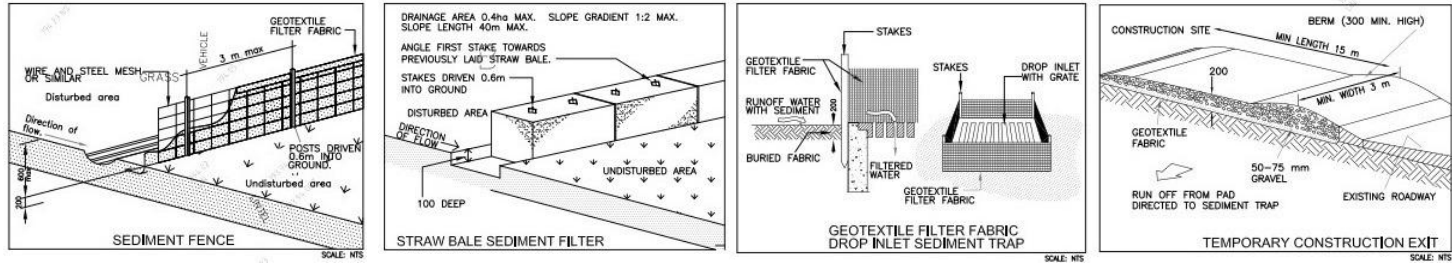
NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

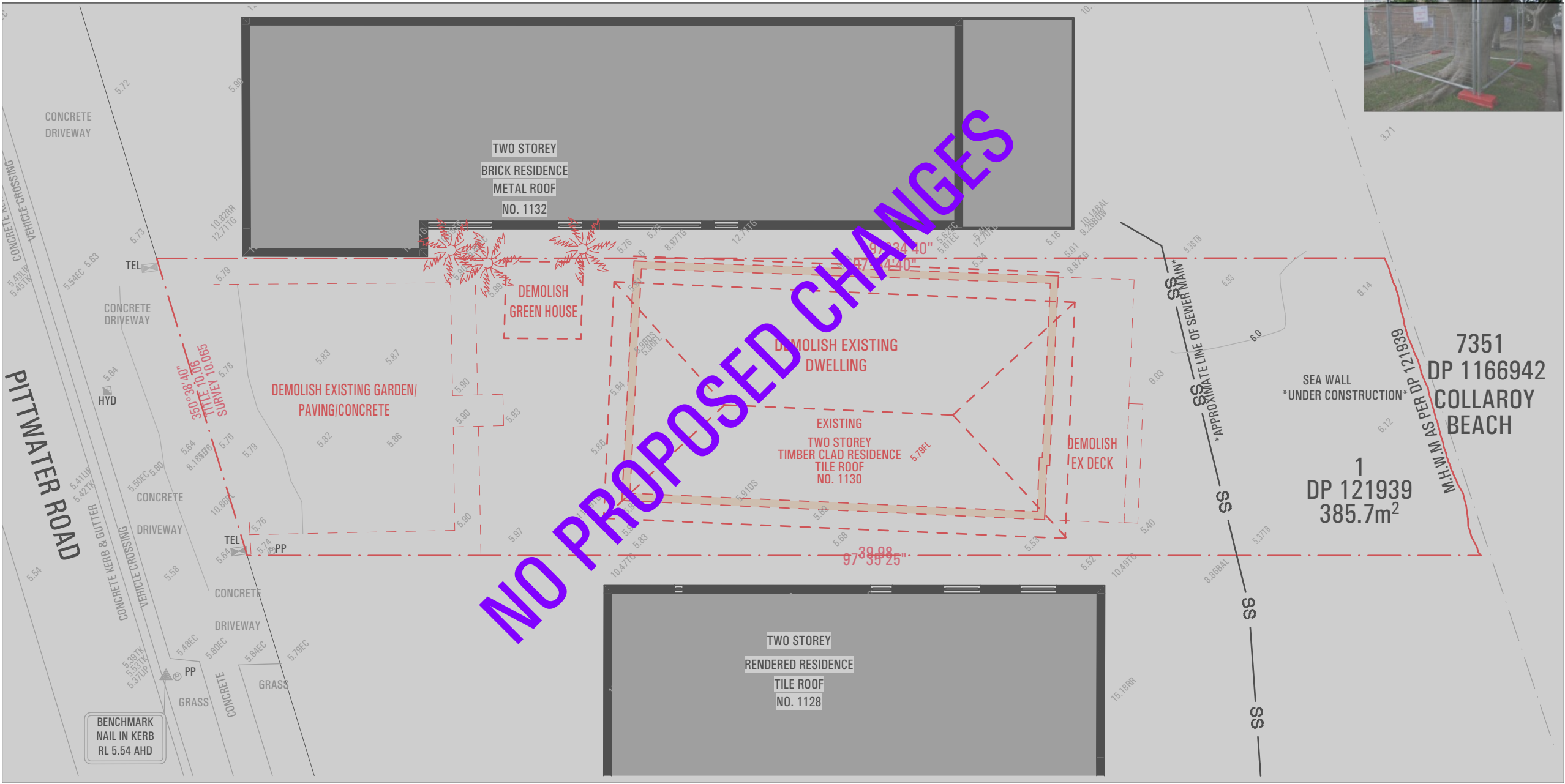
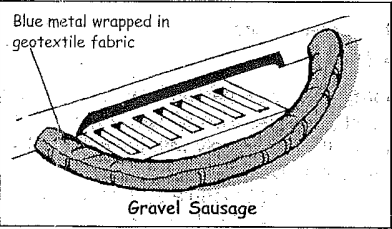
© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCING WORK



Gutter Protection

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES	ISSUE	AMENDMENT	DATE
--	-------	-----------	------

A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6875
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

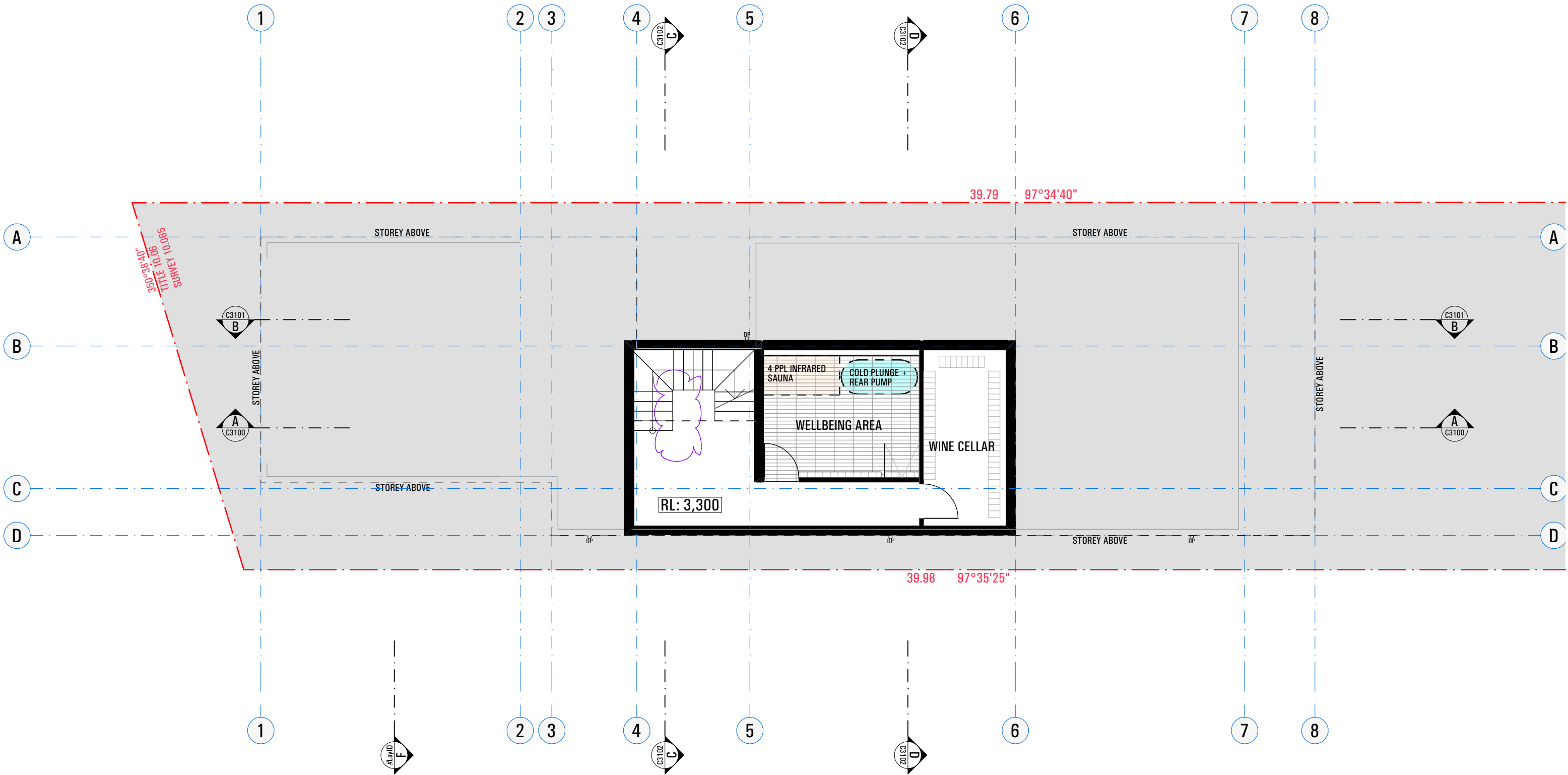
drawing COLLAROY

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2_23_10 drawing no C1000 issue H

DEMOLITION PLAN



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

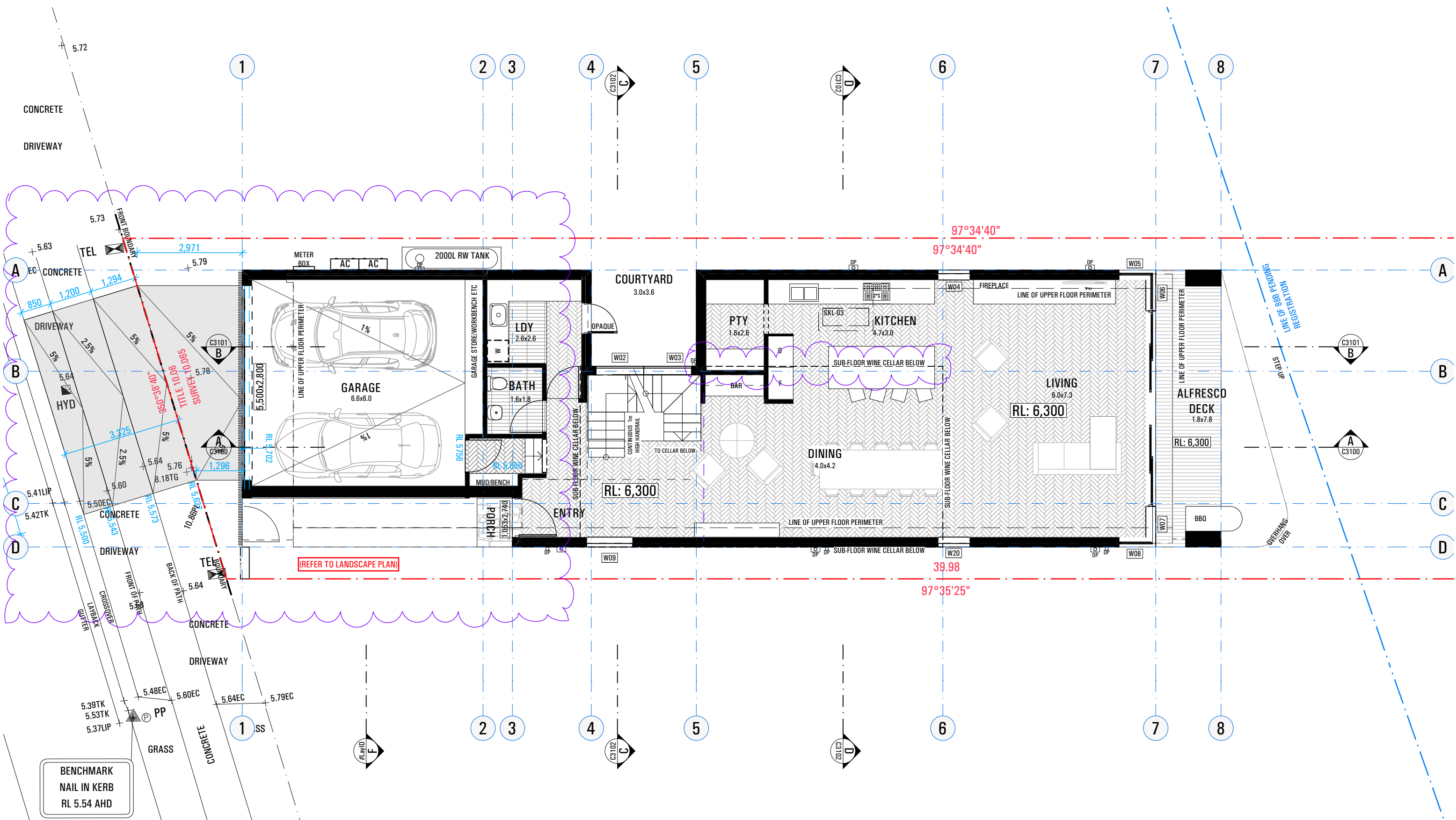


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	CELLAR FLOOR PLAN	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C2100
		issue H



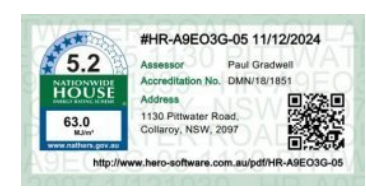
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

project

1130 PITTWATER RD

COLLARROY

drawing

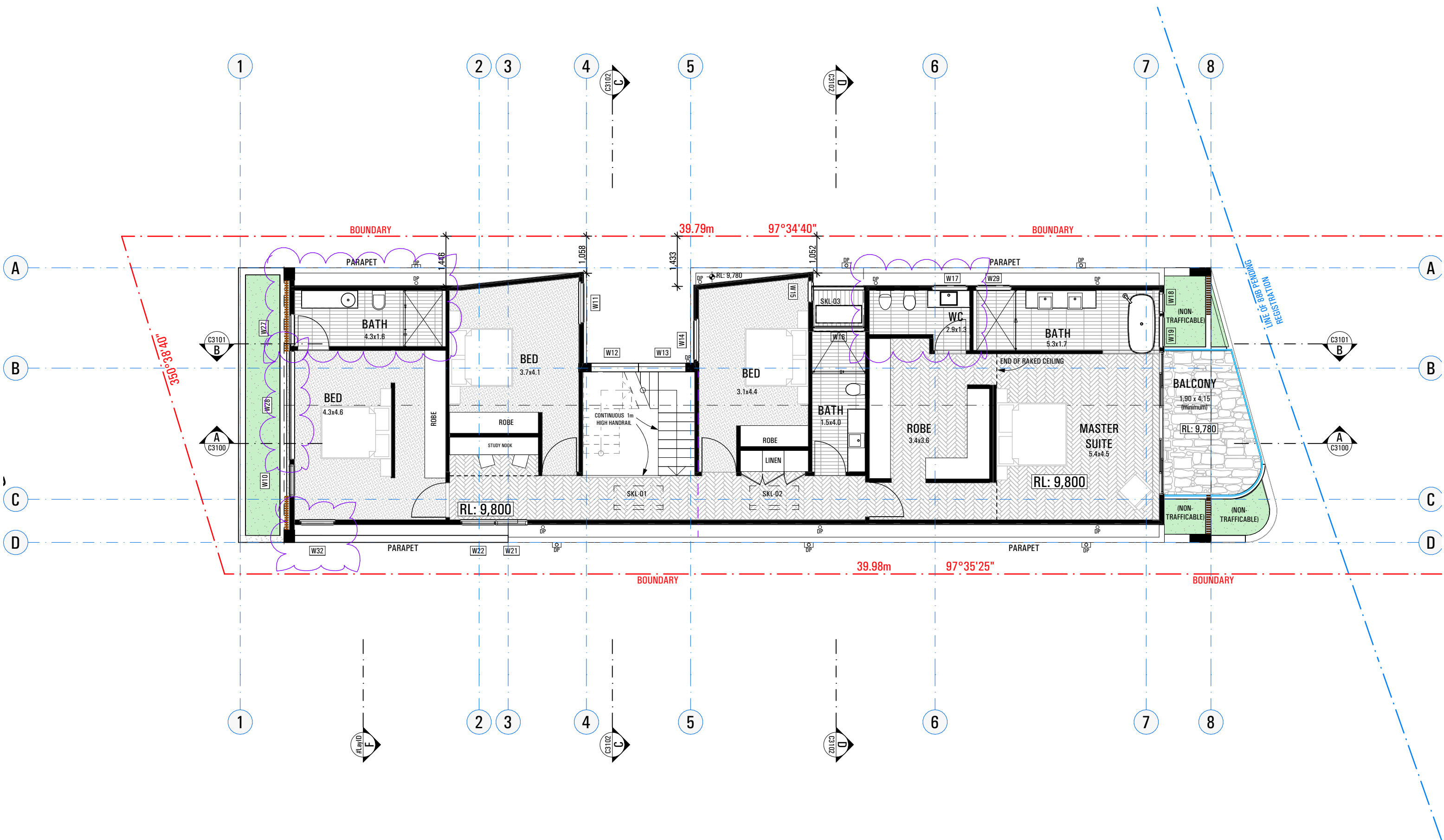
1

GROUND FLOOR PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2_23_10 drawing no C2101 issue H



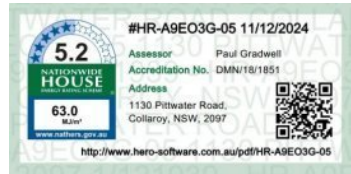
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

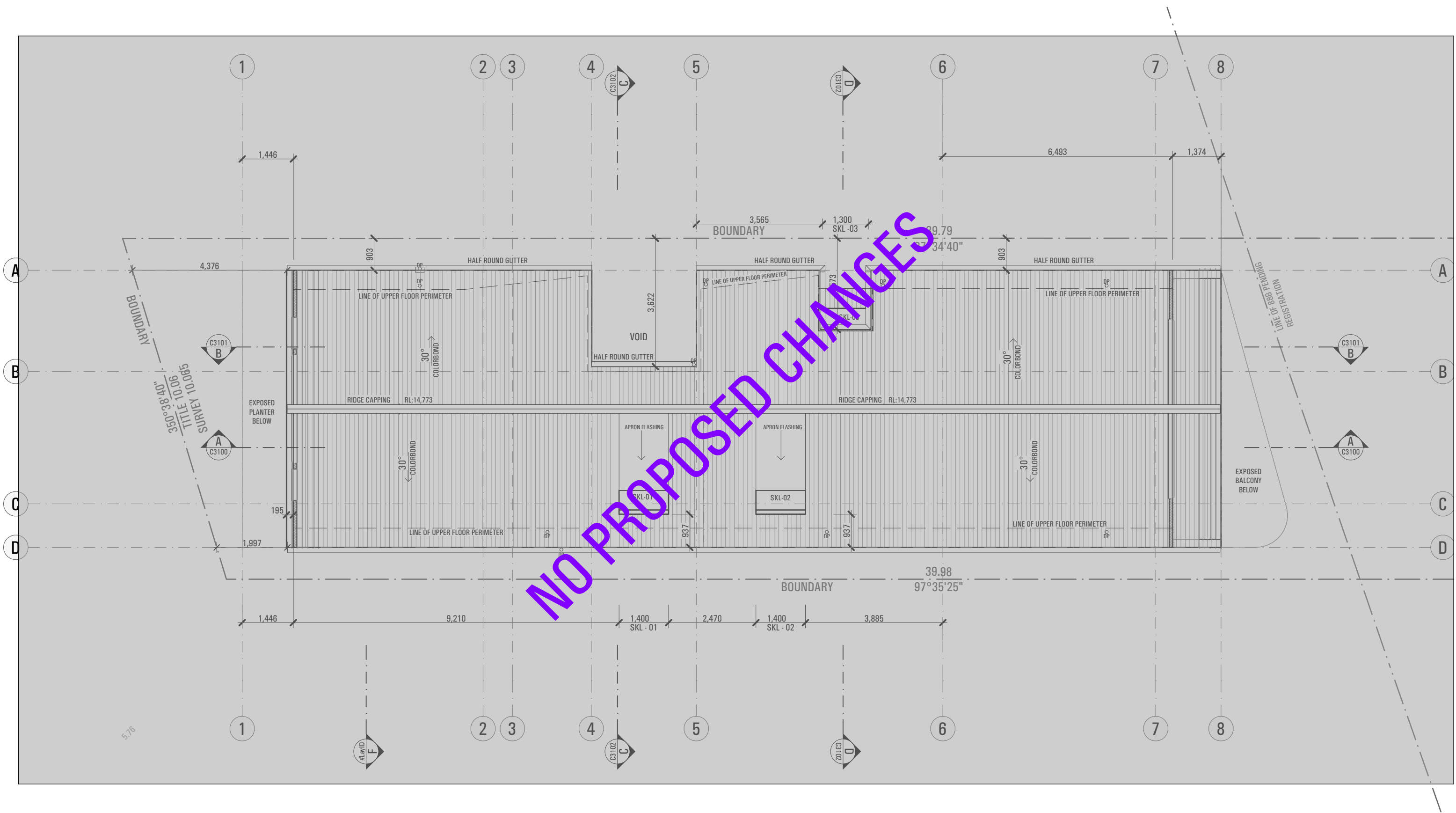


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	FIRST FLOOR PLAN	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C2102
		issue H



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

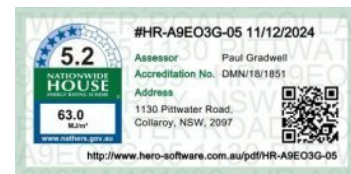
NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

NOTE:
NO PROPOSED CHANGES ON THIS PAGE

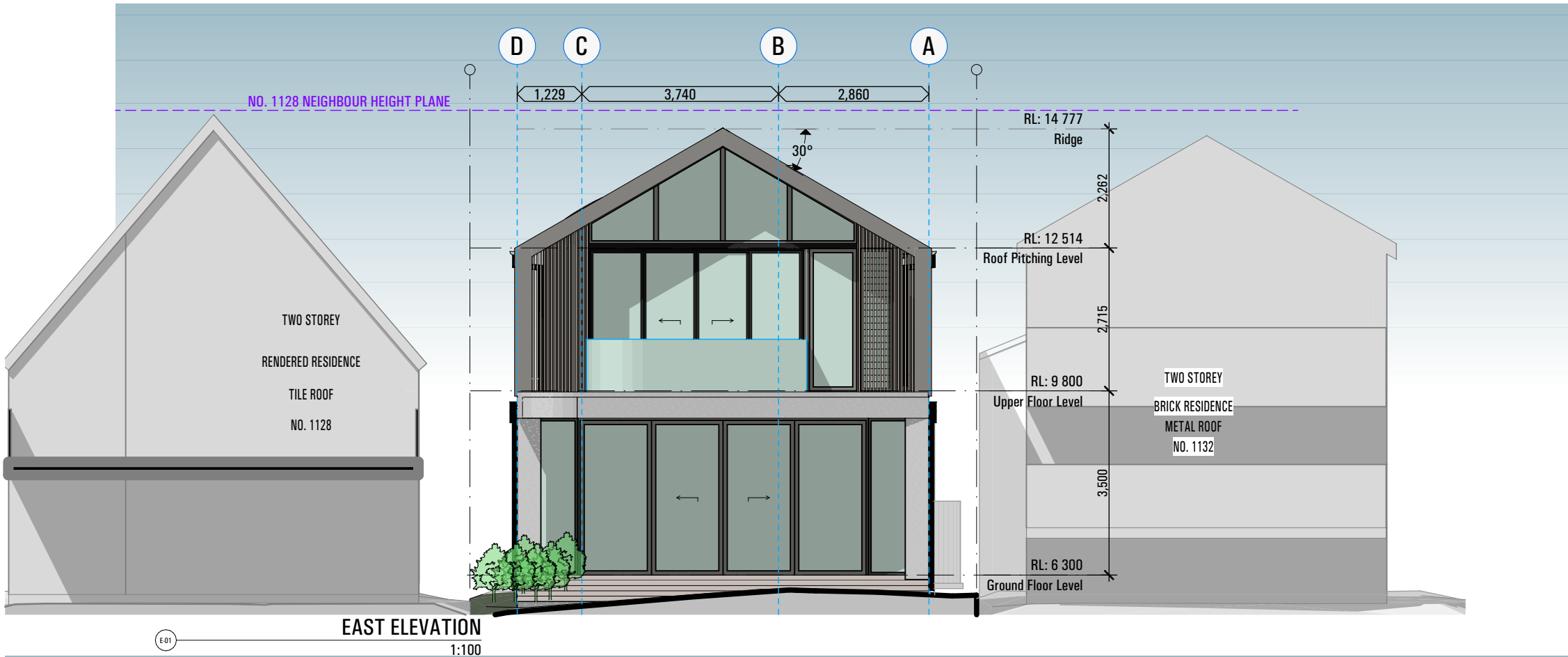


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

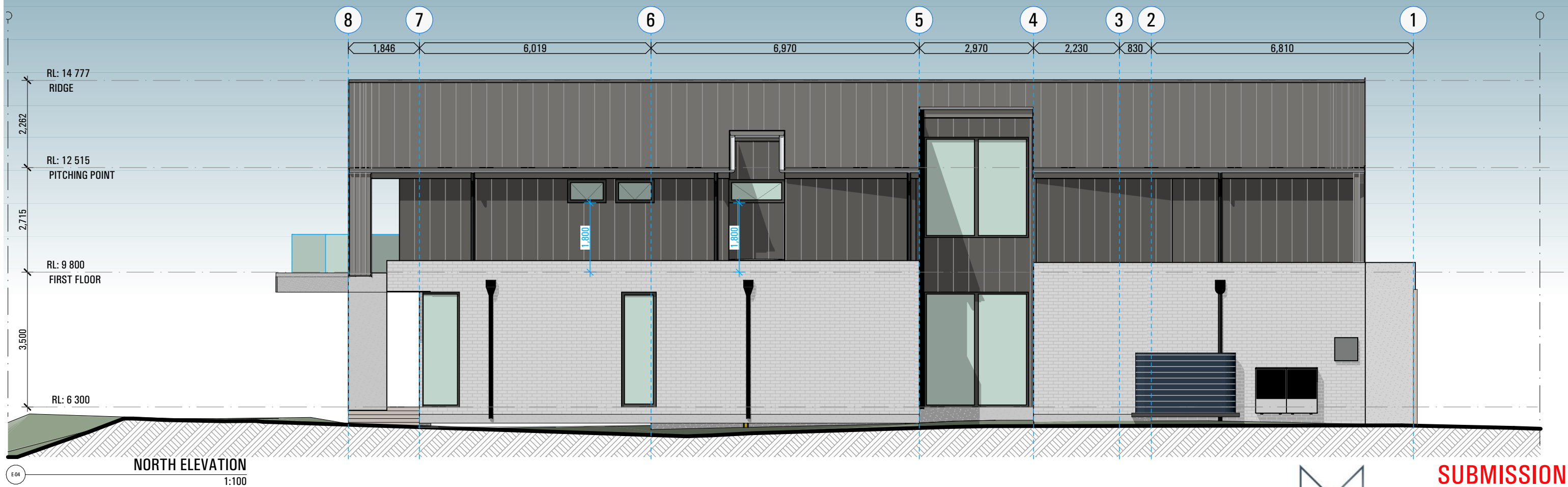
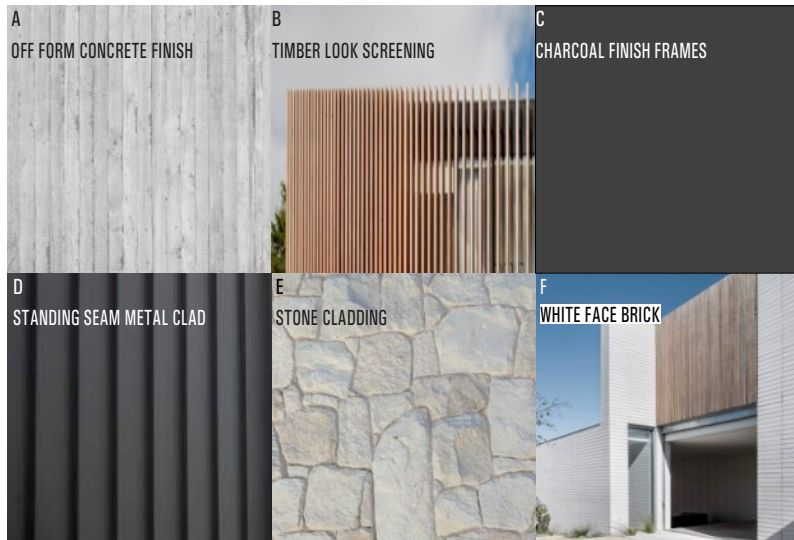
ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	ROOF PLAN	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C2103
		issue H



MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

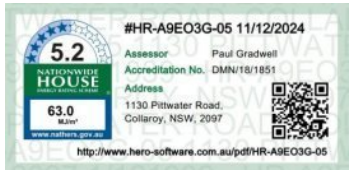
NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

NOTE:
NO PROPOSED CHANGES ON THIS PAGE

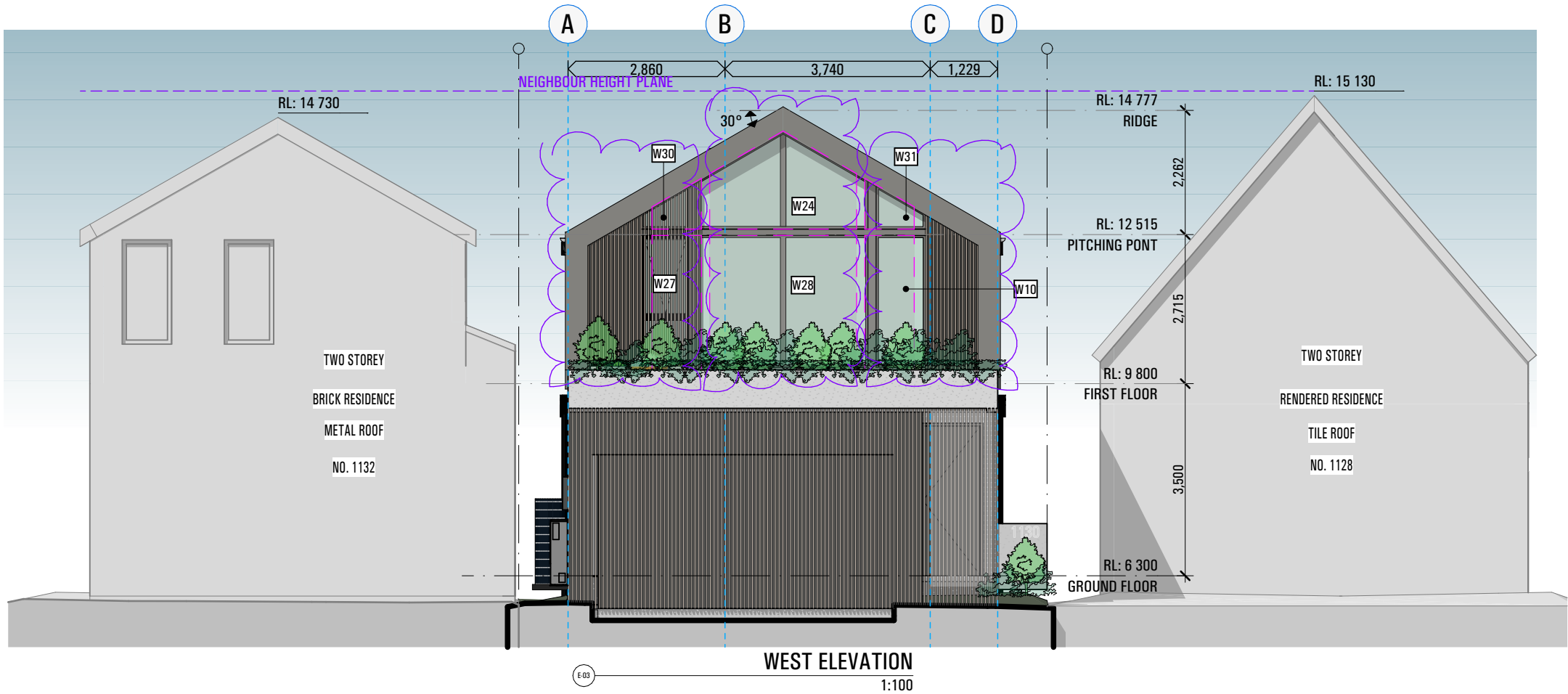


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

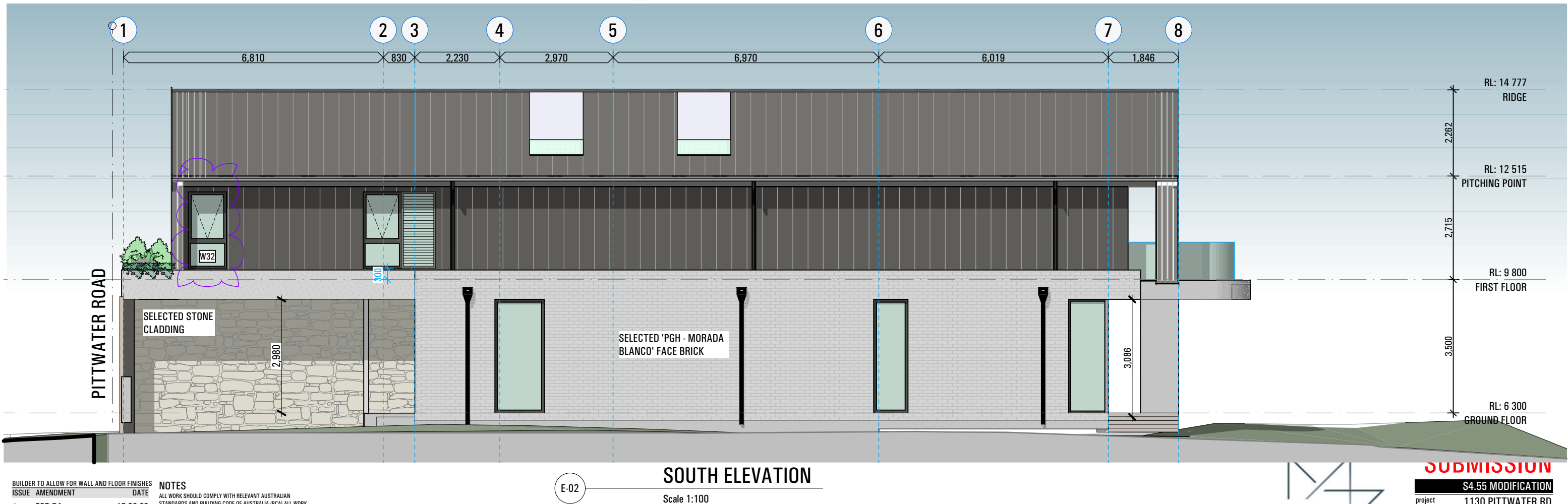
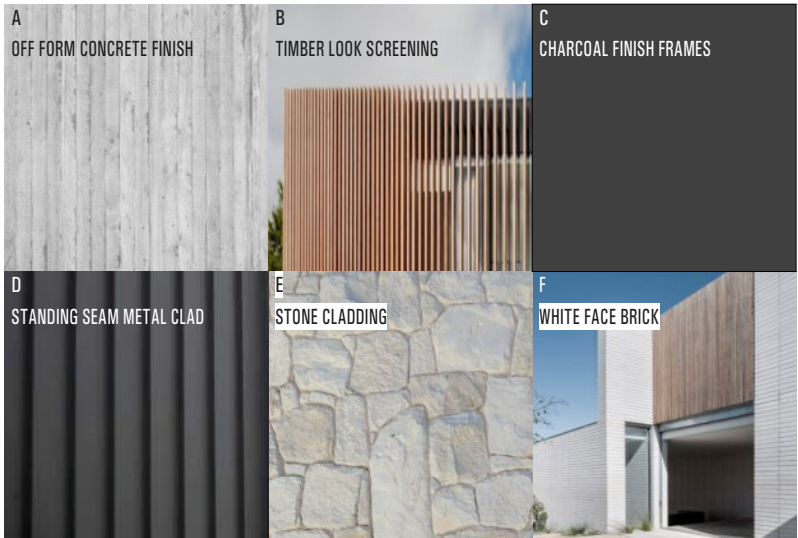
ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
	COLLARROY	
drawing	NORTH & EAST ELEVATIONS	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C3000
		issue H



MATERIALS AND FINISHES



ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

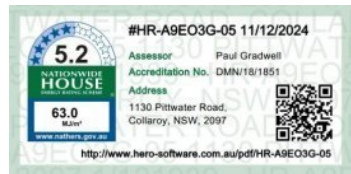
This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

E-02

SOUTH ELEVATION

Scale 1:100

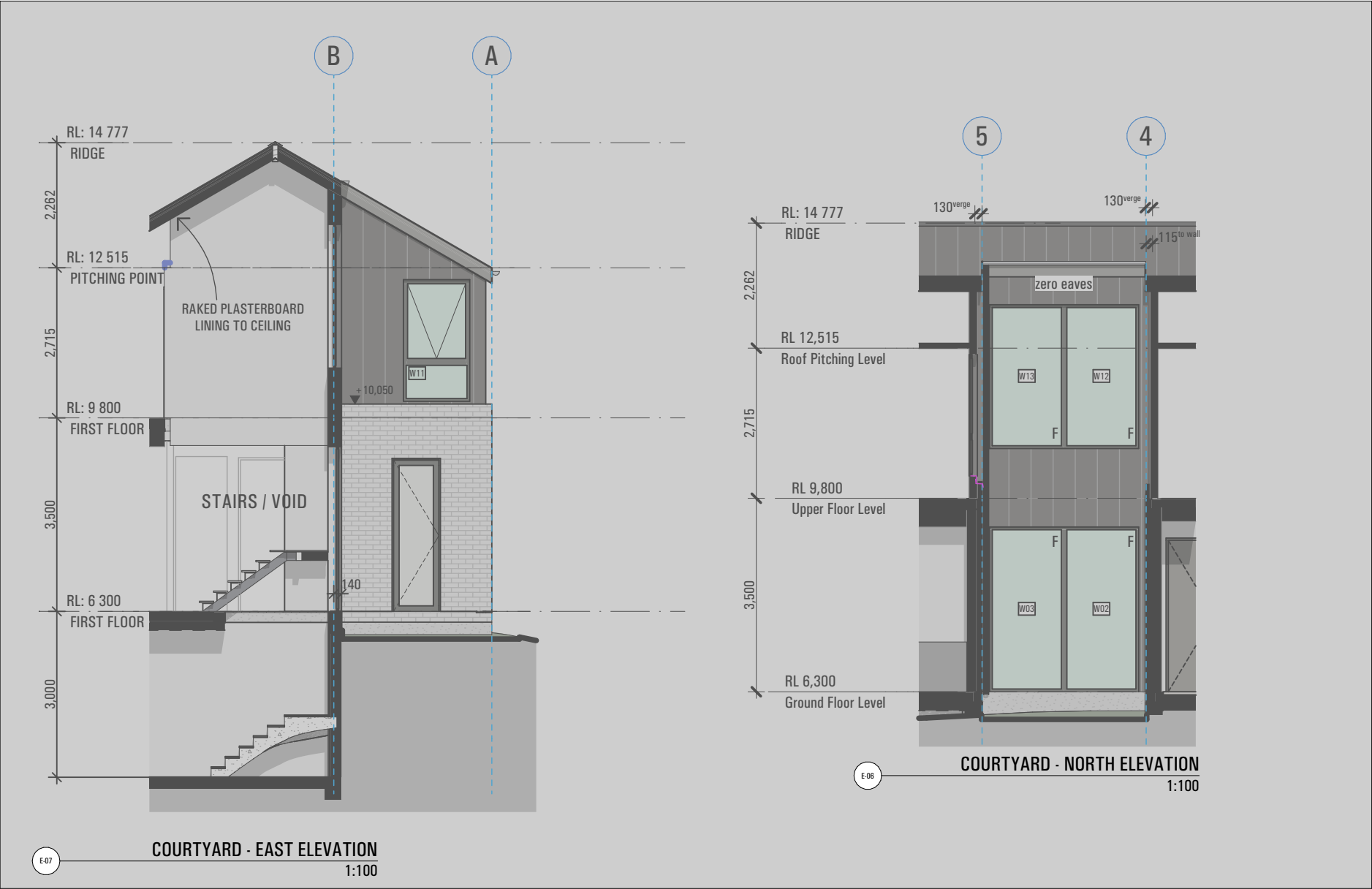


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

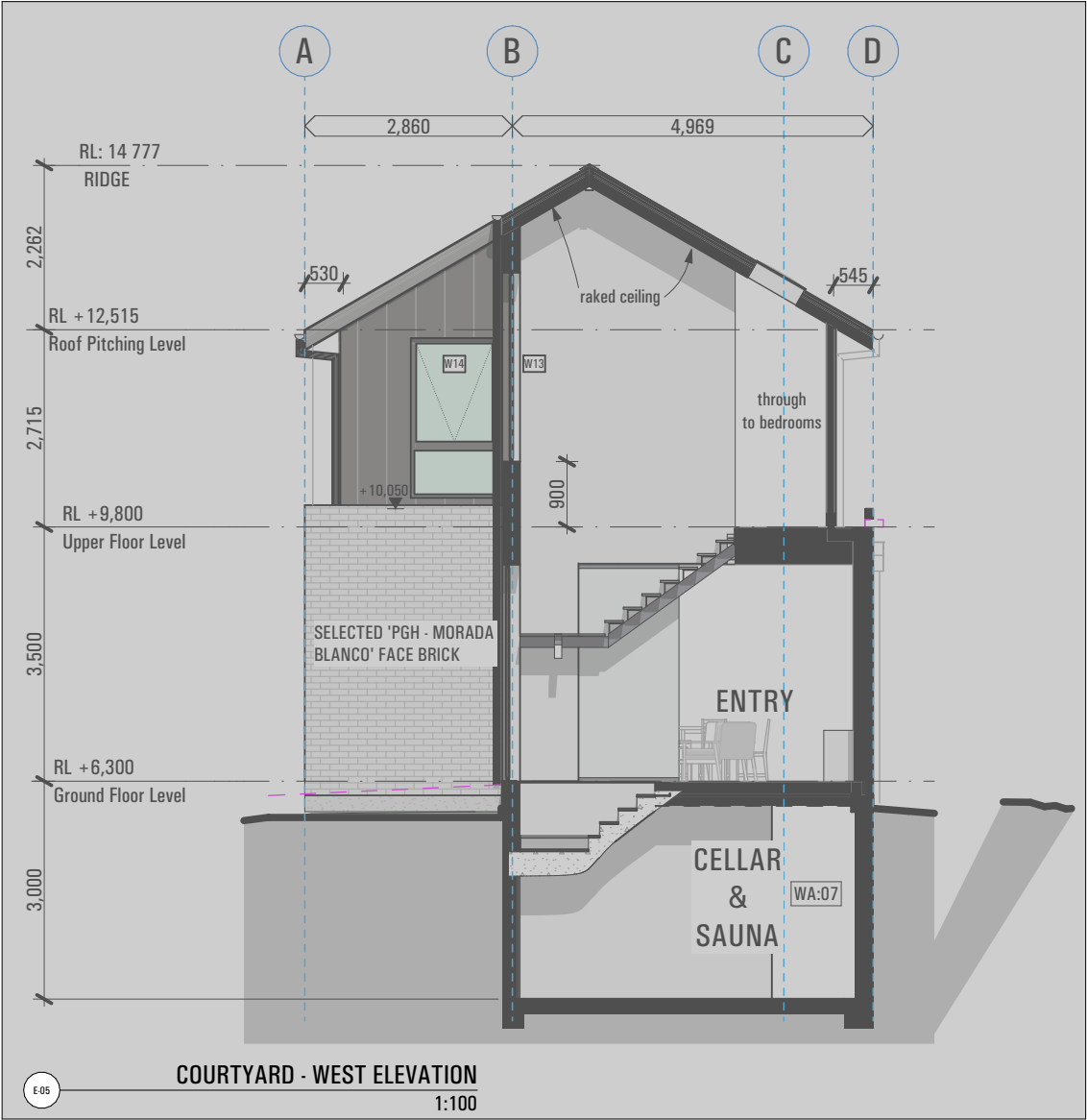
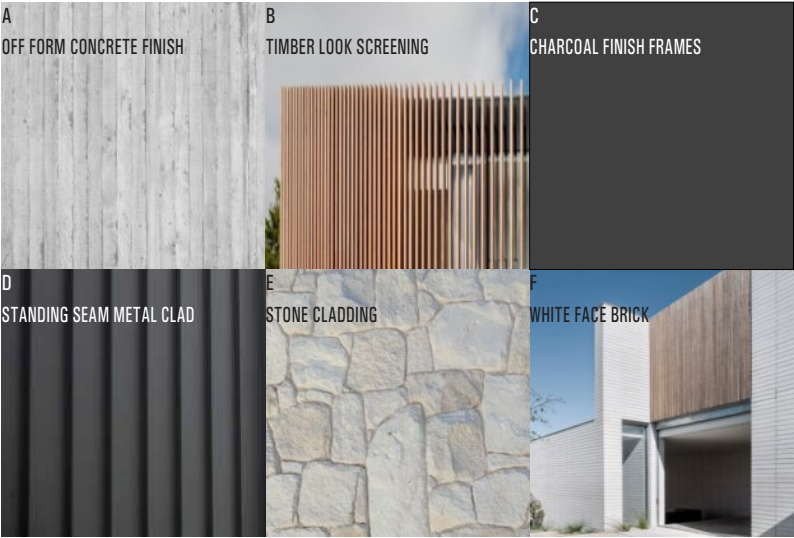
ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

project	S4.55 MODIFICATION
1130 PITTWATER RD	
COLLAROY	
drawing	SOUTH & WEST ELEVATIONS
drawn SM / PC	checked MA
date 09.02.24	scale 1:100 @ A3
project no 2_23_10	drawing no C3001
	issue H



MATERIALS AND FINISHES



NOTE:
NO PROPOSED CHANGES ON THIS PAGE

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	COURTYARD ELEVATIONS	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C3002
		issue H



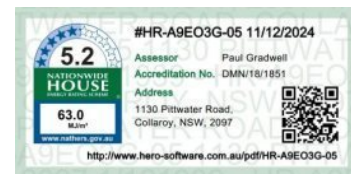
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

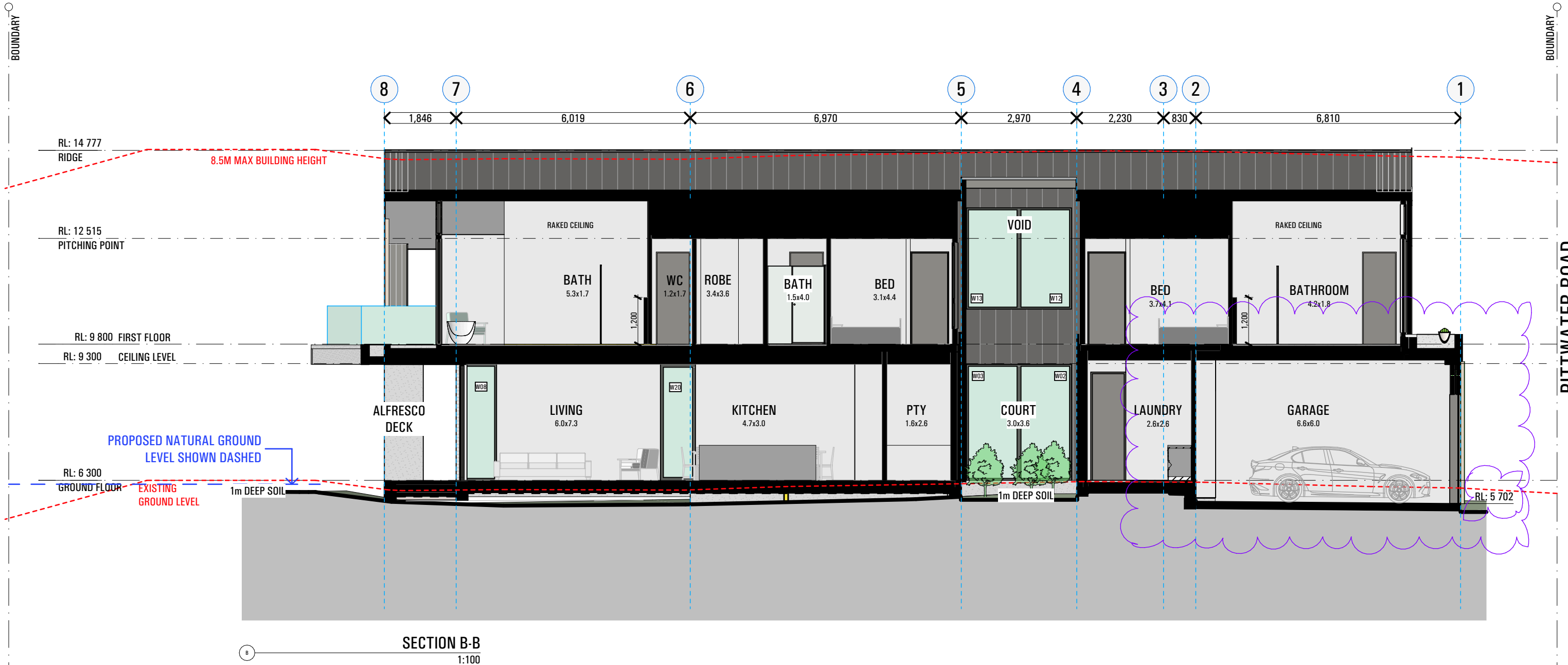


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	SECTION AA	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C3100
		issue H



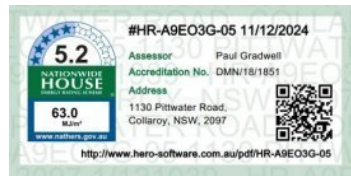
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

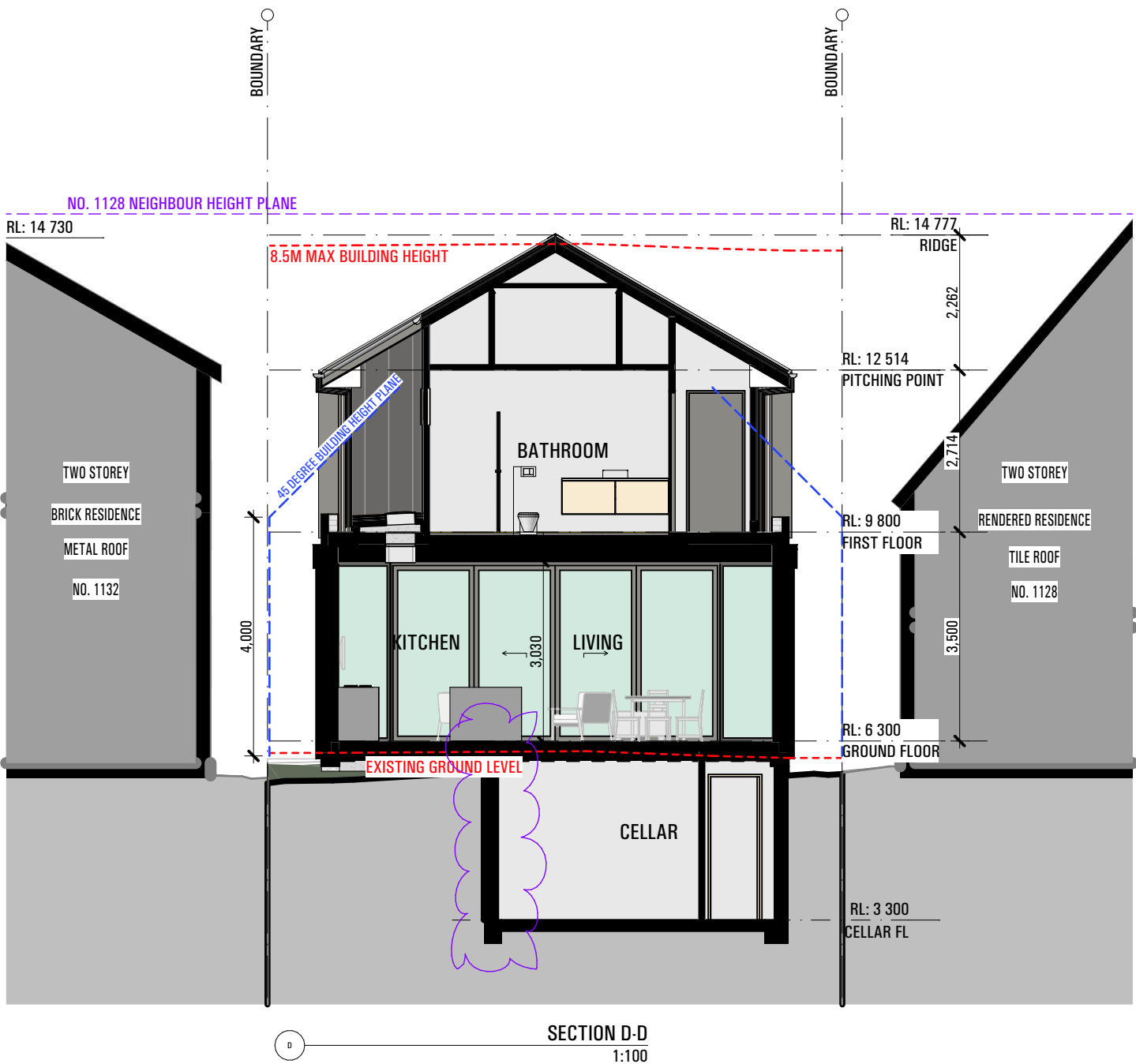
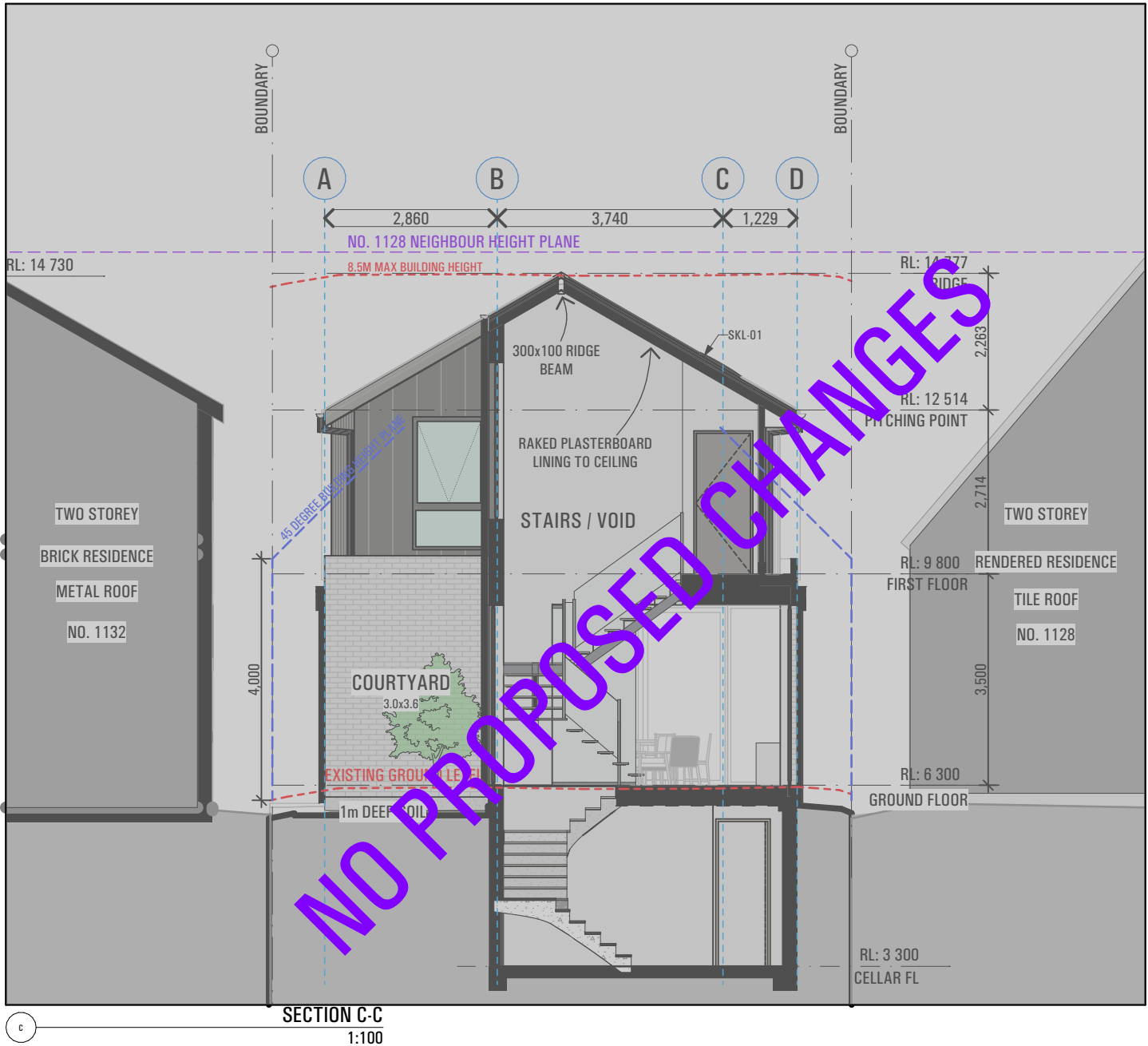


Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	SECTION BB	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C3101
		issue H



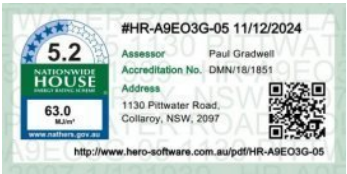
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6875
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD COLLAROY	
drawing	SECTION CC/DD	
drawn	SM / PC	checked MA
date	09.02.24	scale 1:100 @ A3
project no	2_23_10	drawing no C3102
issue	H	

DEVELOPMENT SCHEDULE

SITE AREA 385.70m²

BUILDING FOOTPRINT

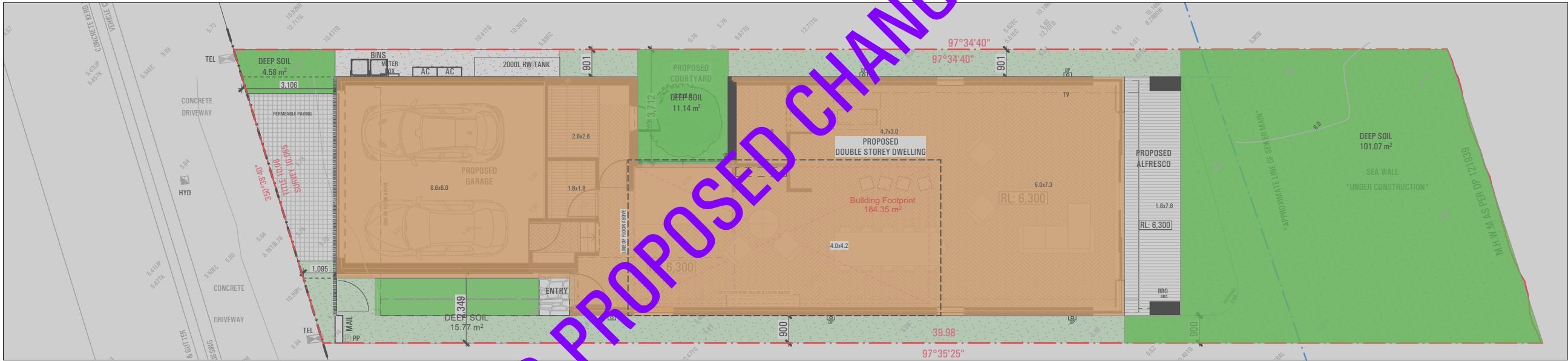
ALLOWABLE: 128.40m² (33.3% x SITE AREA)
EXISTING: 125.38m² (32%)
PROPOSED: 184.35 m² (48%)

DEEP SOIL LANDSCAPING

REQUIRED: 154.28m² (40% x SITE AREA)
PROPOSED: 132.01m² (34.2%)

LEGEND:

- BUILDING FOOTPRINT
- DEEP SOIL LANDSCAPE



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24
E	PLANS FOR TENDERING	11.06.24
F	RFI - Council email	31.07.24
H	s4.55 Modification	28.11.24

NOTES
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



Nominated NSW Architects Reg. 9401 - Mark P. Alves
ABN: 37 615 694 356
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975
e: mark@maparch.com.au
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION
project 1130 PITTWATER RD
drawing COLLAROY

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2_23_10 drawing no C5000 issue H