

**BASIX COMMITMENTS**

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.
- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.
- A NEW GAS INSTANTANEOUS HOT WATER SYSTEM TO BE INSTALLED (POSITION T.B.C)
- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.
- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.
- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE
- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

**LEGEND**

- EXISTING HOUSE WALLS:** HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS** EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:** HOUSE EXTENSION EXTRA GFA
- DEMOLITION,** EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES** AS PER SITE SURVEY PLAN
- CONCRETE** REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:** SELECTED HARDWOOD FLOOR
- WET AREA TILING** SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING** COLOURBOND METAL ROOFING TO FALLS

**SYMBOLS**

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- DC/PLEP WALL HEIGHT LINE
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS

**DRAWING LIST**

**ARCHITECTURAL DRAWING SET - DA**

DRAWING NO.	ISSUE NO.	ISSUE	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	DA	C	Cover Sheet + Site Plan	1/200	05/11/2018
DA.02	DA	C	Roof Plan	1/100	05/11/2018
DA.03	DA	C	Existing Lower Ground Floor Plan	1/100	05/11/2018
DA.04	DA	C	Existing Ground Floor Plan	1/100	05/11/2018
DA.05	DA	C	Demolition Lower Ground Floor Plan	1/100	05/11/2018
DA.06	DA	C	Demolition Ground Floor Plan	1/100	05/11/2018
DA.07	DA	C	Lower Ground Floor Plan	1/100	05/11/2018
DA.08	DA	C	Ground Floor Plan	1/100	05/11/2018
DA.09	DA	C	First Floor Plan	1/100	05/11/2018
DA.10	DA	C	Elevations North/South	1/100	05/11/2018
DA.11	DA	C	Elevations East/West	1/100	05/11/2018
DA.12	DA	C	Sections	1/100	05/11/2018
DA.13	DA	C	Perspectives	-	05/11/2018
DA.14	DA	C	Glazing Schedule	-	05/11/2018

**PROJECT TEAM**

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**COUNCIL**  
 NORTHERN BEACHES COUNCIL  
 MANLY CIVIC CENTRE  
 1 BELGRAVE STREET  
 MANLY NSW 2095

**GENERAL**

+ DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT: THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA OR CDC.  
 THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC OR CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT.

+ DRAWING INFORMATION: THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION.

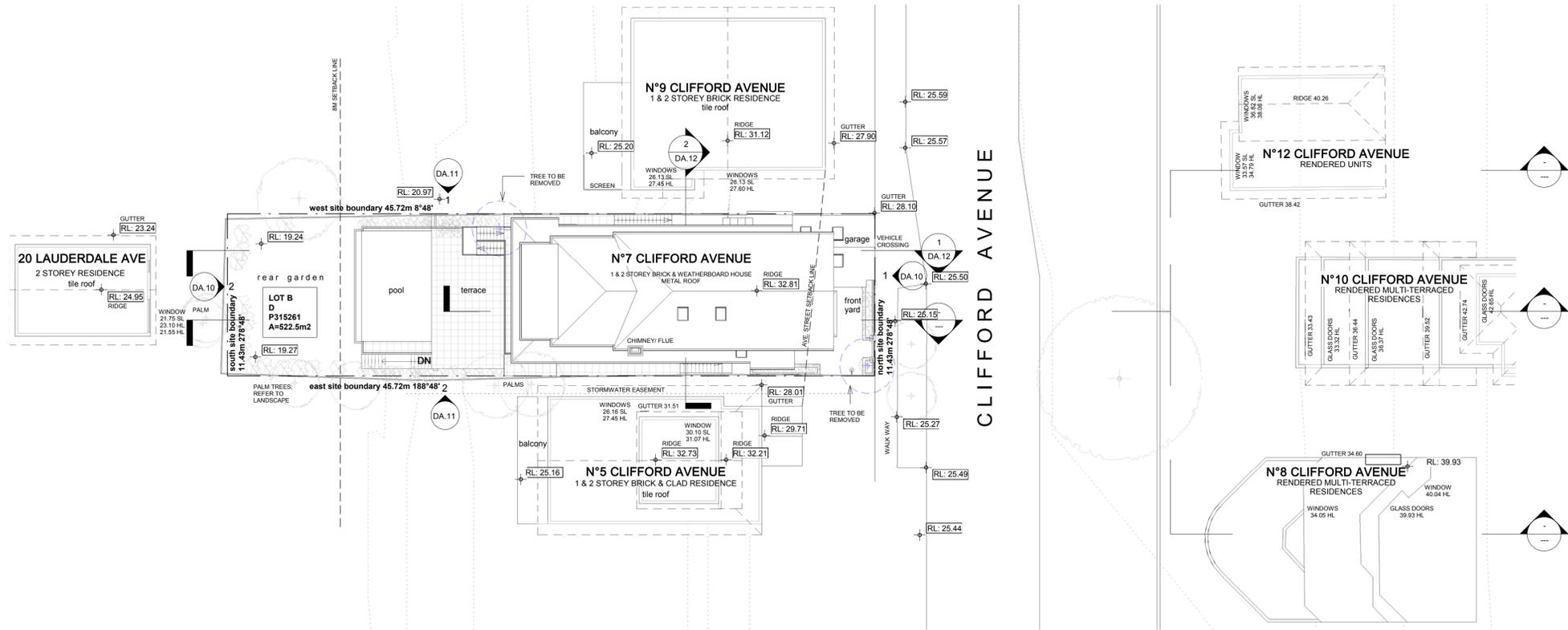
+ SITE SURVEY INFORMATION: THE SITE INFORMATION HEREIN HAS BEEN TRANSPROSED FROM THE TRUE NORTH SURVEY PLAN #B732DU. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BODY WALL TO BE DETERMINED ACCURATELY.

+ COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

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+ EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE NCC NATIONAL CONSTRUCTION CODE, CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

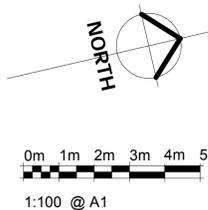
**1 Site Plan**  
 1 : 200



**ABBREVIATIONS**

AC AIR CONDITIONED	FIG FIGURE	PW PLASTERBOARD WALL
AHD AUSTRALIAN HEIGHT DATUM	FFL FINISHED FLOOR LEVEL	QTY QUANTITY
ADH ADHESIVE	FE FIRE EXTINGUISHER	REF REFERENCE
AG AGGREGATE	FR FIRE RESISTANT	RW RENDERED & PAINTED WALL
AL ALUMINIUM	FW FLOOR WASTE	RWH RAIN WATER HEAD
AW AWNING	G GLASS	RWP RAIN WATER PIPE
B BALUSTRADE	GALV GALVANIZED	RL REDUCED LEVEL
BK BRICK WALL	GP GAS POINT	RC REINFORCED CONCRETE
BIT BITUMEN	H HYDRANT	SB MAIN ELECTRICAL SWITCH BOARD
BHD BULKHEAD	HWS HOT WATER SYSTEM	SC STEEL COLUMN
BOW BOTTOM OF WALL	HYD HYDRAULIC	SHD SHOWER
BM BENCHMARK	LS LANDSCAPING	SLD SLIDING DOOR
BW BLOCKWORK WALL	LV LOUVRE	SPEC SPECIFICATION
C CONCRETE	MECH MECHANICAL	SS STAINLESS STEEL
CANT CANTILEVER	MDF MEDIUM DENSITY FIBRO BOARD	SSL STRUCTURAL SLAB LEVEL
CJ CONSTRUCTION JOINT	MOD MODIFICATION	SW STONE WALL
CL CENTRE LINE	MR METAL ROOFING	STD STANDARD
CW CONCRETE WALL	MS MILD STEEL	SWP STORM WATER PIT
CLIN COLUMN	MV MECHANICAL VENTILATION	T TILE
CPT CARPET	NGL NATURAL GROUND LEVEL	TD TIMBER DECKING
DIM DIMENSION	NTS NOT TO SCALE	TOW TOP OF WALL
DP DOWNPIPE	OFC OFF FORM CONCRETE	TYP TYPICAL
DRAIN	OG OBSCURE GLAZING	UB UNIVERSAL BEAM
EJ EXPANSION JOINT	OH OVER HEAD	US UNDERSIDE
ENG ENGINEER	P SELECTED PAVING	V VENTILATION
EWS EXTERNAL WALL SYSTEM	PB PLASTERBOARD	W WINDOW
EX EXISTING	PFC PARALLEL FLANGE CHANNEL	WC WATER CLOSET
EXH EXHAUST	PL PLANTER	WM WATER MAIN
F FALL TO SCREED	PP POWER POLE	WT WASH TROUGH
FG FIXED GLAZING	PS PRIVACY SCREEN	WPM WATER PROOFING MEMBRANE

Residential Alterations & Additions CLASS 1a Building  
 7 CLIFFORD AVENUE, FAIRLIGHT  
 LOT B; SEC 1 - D.P. 315261  
 EXISTING SITE AREA 522.5m²



**NOTES**

- + SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPROSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN N6 07/2018. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL BY V-MARK SURVEYS AND ACCURACY T.B.C ON SITE).
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issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION

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**DU PLESSIS ARCHITECTS**

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 0433408368  
 www.droom.com.au

NSW REGISTERED ARCHITECT #7435  
 NOMINATED ARCHITECT: EUGENE DU PLESSIS

**PROJECT TITLE:**  
 OPADCHY  
 House Alterations & Additions

**CLIENT NAME:**  
 GEORGE + TATIANA OPADCHY

**ADDRESS:**  
 7 Clifford Avenue  
 Fairlight NSW 2094

**DRAWING TITLE:**  
 Cover Sheet + Site Plan

**DRAWN:** AH  
**CHECKED:** EDUP

**SCALE:**  
 1:200@A1

**DRAWING NO:**  
 DA.01

**ISSUE:** C  
**DATE:** 05/11/2018

**DEVELOPMENT APPLICATION**

**BASIX COMMITMENTS**

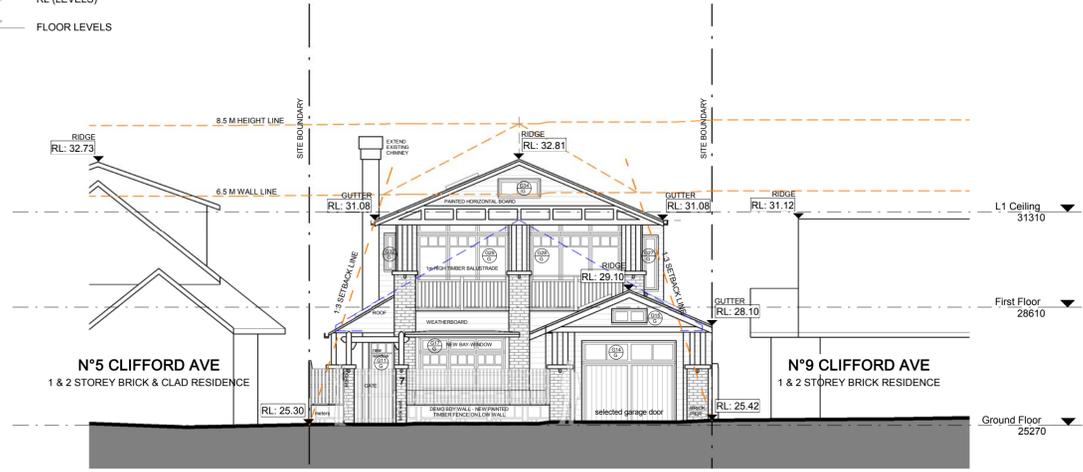
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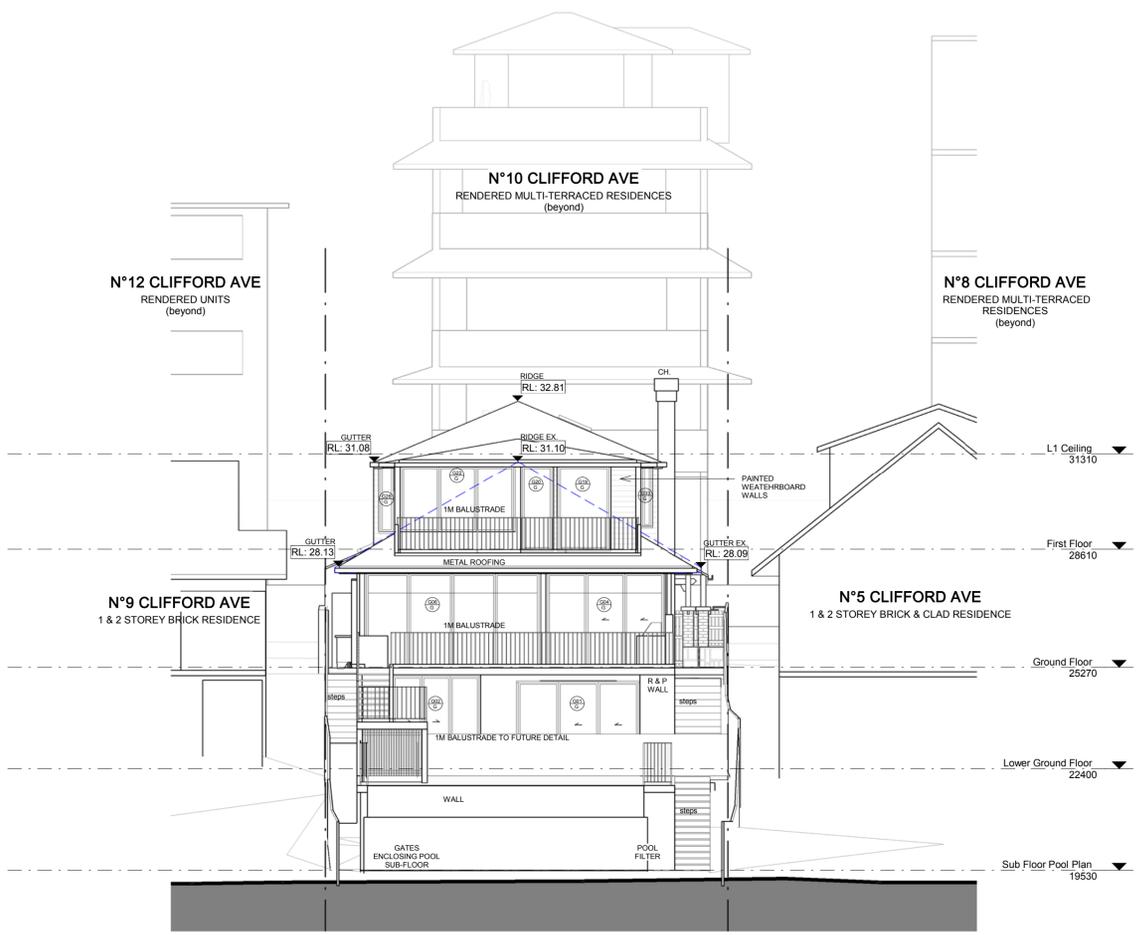
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- RL (LEVELS)
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**1** North Elevation  
1 : 100



**2** South Elevation  
1 : 100



**NOTES**

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NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

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**OPADCHY House Alterations & Additions**

CLIENT NAME:  
**GEORGE + TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue Fairlight NSW 2094**

DRAWING TITLE:  
**Elevations North/South**

DRAWN: **AH** CHECKED: **EDUP**

SCALE:  
**1:100@A1**

DRAWING NO:  
**DA.10**

ISSUE: **C** DATE: **05/11/2018**

DEVELOPMENT APPLICATION

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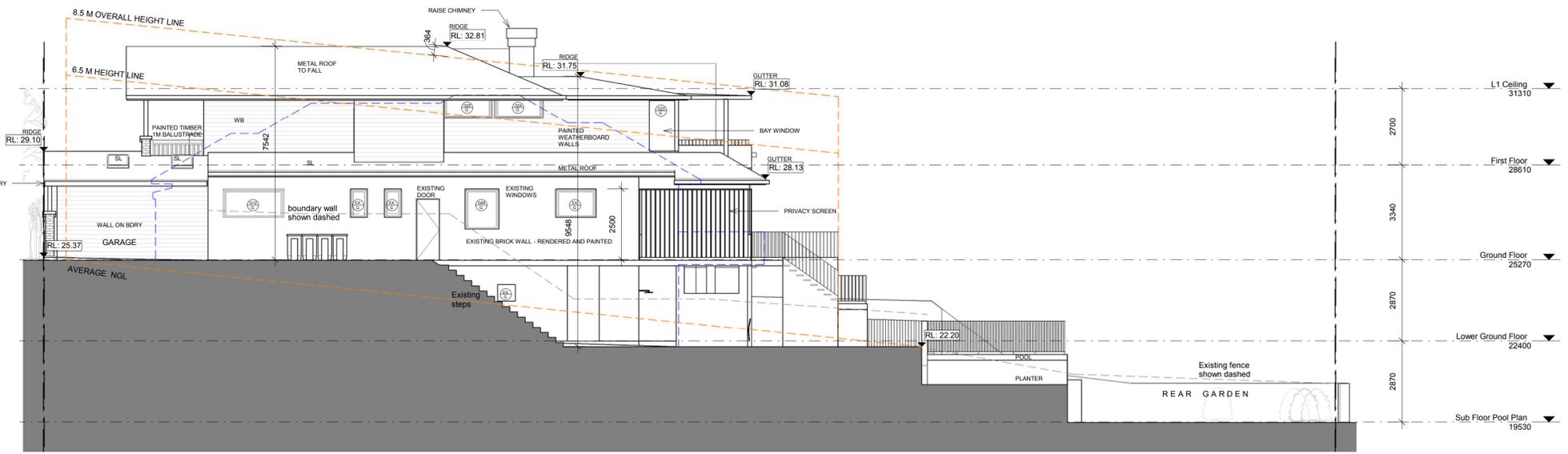
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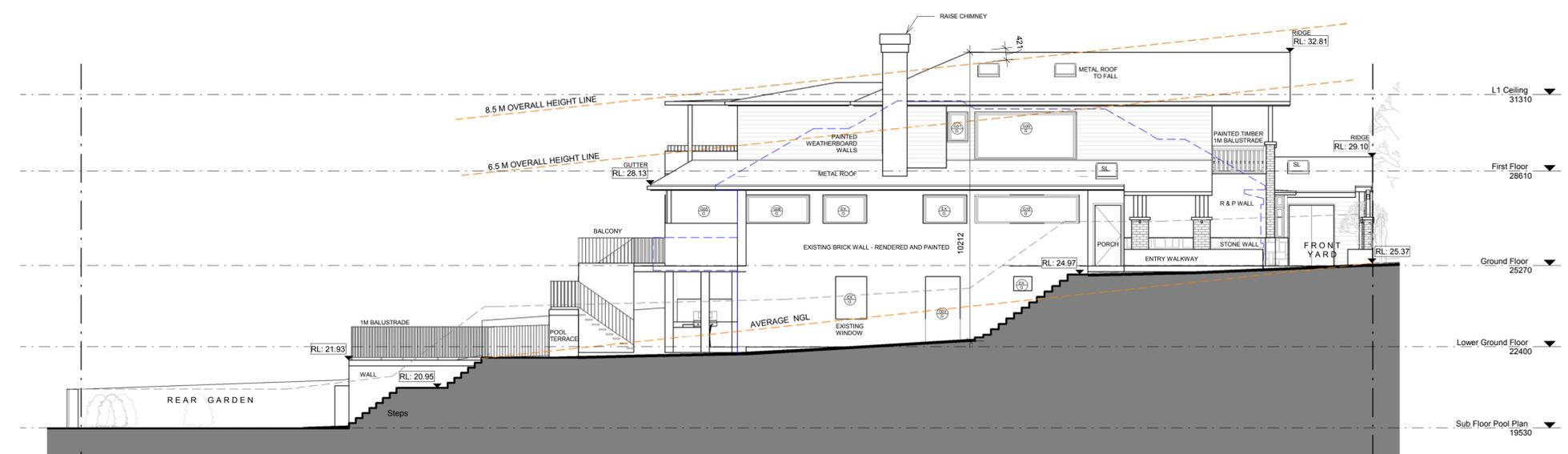
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**Elevations East/West**

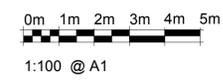
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SCALE:  
**1:100@A1**

DRAWING NO:  
**DA.11**

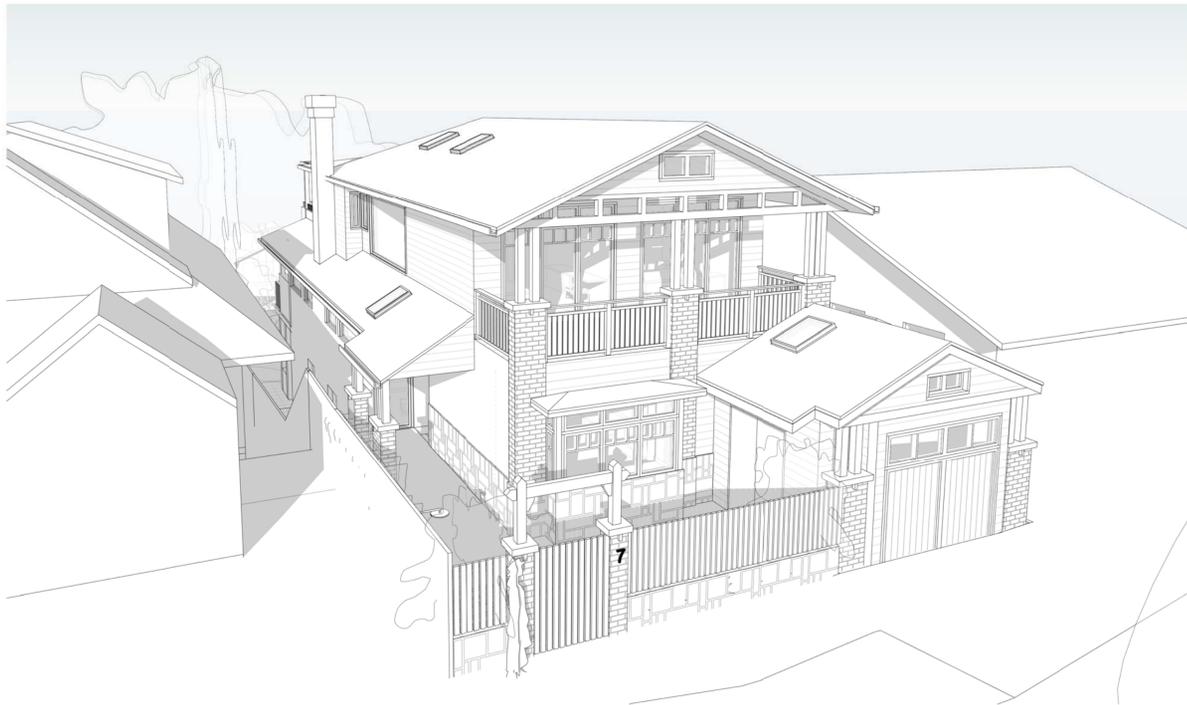
ISSUE: **C** DATE: **05/11/2018**

DEVELOPMENT APPLICATION





1 Perspective North



3 Perspective Northeast



2 Perspective - Southwest



4 Perspective Northwest

NOTES

\* SITE SURVEY INFORMATION:  
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN NO.6273A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C ON SITE.

\* COORDINATION:  
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

\* DETAIL DRAWINGS:  
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

\* EXECUTION OF THE WORKS:  
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION

\* CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.  
\* FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.  
\* ALL DIMENSIONS IN MILLIMETRES.  
\* PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.  
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\* ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

**DU PLESSIS ARCHITECTS**

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NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY House Alterations & Additions**

CLIENT NAME:  
**GEORGE + TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue  
Fairlight NSW 2094**

DRAWING TITLE:  
**Perspectives**

DRAWN:  
**AH**

CHECKED:  
**EDUP**

SCALE:

DRAWING NO.:

**DA.13**

ISSUE:  
**C**

DATE:  
**05/11/2018**

DEVELOPMENT APPLICATION