

**STANDARD CONSTRUCTION NOTES**

**WALL FRAMING**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH:  
**AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.**
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH **N.C.C. 3.8.3.3**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S-TYP-DOOR-01**

**ROOF FRAMING**

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

**EXTERNAL WALLS**

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

**SLAB AND FOOTINGS**

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH **N.C.C. 3.4.1.** TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

**PLUMBING AND DRAINAGE**

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH **THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 - PLUMBING AND DRAINAGE.**

**TERMITE PROTECTION**

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; **AS 3660.1:2014 - TERMITE MANAGEMENT**

**GLAZING**

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM **SLIDING** (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;  
**AS 1288:2006 GLASS IN BUILDINGS**  
**AS 4055:2012 WIND LOADS FOR HOUSING**
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH **N.C.C. 3.9.2.5**

**STEPS, STAIRS & BALUSTRADES**

- ALL STEPS & STAIRS TO HAVE;  
240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH **N.C.C. 3.9.1.**
- BALUSTRADE IN ACCORDANCE WITH **N.C.C. 3.9.2.** TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH **N.C.C. 3.9.1.4** AND **AS 4586:2013 SLIP RESISTANCE.**

**WATERPROOFING**

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH; **AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1**

**INTERNAL ELEVATIONS**

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

**BASIX COMMITMENTS**

Certificate No.: **1051540S\_03**  
Date of Issue: **13.12.2019**

**WATER COMMITMENTS**

**FIXTURES**

- **3 STAR** RATED SHOWERHEADS >6 BUT <7.5L/MIN.
- **4 STAR** RATED TOILET FLUSHING SYSTEMS
- **3 STAR** RATED KITCHEN TAPS
- **3 STAR** RATED BASIN TAPS

**ALTERNATIVE WATER**

- PROVIDE A RAINWATER TANK OF AT LEAST **3000L**
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE **ENTIRE ROOF AREA.**
- TANK MUST BE CONNECTED TO;
  - ALL TOILETS
  - WASHING MACHINE COLD WATER TAP
  - AT LEAST ONE OUTDOOR TAP

**ENERGY COMMITMENTS**

**HOT WATER**

- **26 TO 30 STCs** RATED ELECTRIC HEAT PUMP

**COOLING SYSTEM**

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**HEATING SYSTEM**

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 3.0-3.5**
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 2.5-3.0**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**VENTILATION**

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
  - AT LEAST 1 BATHROOM
  - THE KITCHEN

**NATURAL LIGHTING**

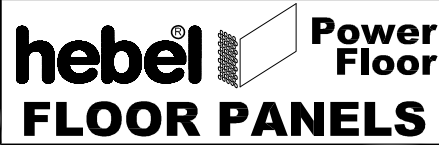
- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 7 BATHROOMS/TOILET AND KITCHEN FOR NATURAL LIGHTING

**OTHER COMMITMENTS**

- INSTALL A **GAS** COOKTOP & **ELECTRIC** OVEN
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

— DESIGNER —  
**LIVING**

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS FOR AIR-CONDITIONING BY **METRICON**



**STEEL FLOOR JOISTS**

- **360MM DEEP FLOOR JOIST**
- **300MM DEEP FLOOR JOIST TO WET AREA**



NOTE:  
PROVIDE ELECTRIC SOLAR POWER SYSTEM

PROVIDE SQUARE SET CEILING CORNERS TO:

- ENSUITE 1
- ENSUITE 2
- ENSUITE 3
- ENSUITE 4
- ENSUITE 5
- POWDER 1
- POWDER 2

**TABLE OF REVISIONS**

REV.	DATE	REVISION DESCRIPTION	DRAWN	CHECKED
A	07.08.19	PRELIMINARY CONTRACT PLANS	CYO	--
B	30.09.19	CONTRACT VARIATIONS	P.T.	JGU
C	29.11.19	VARIATION 001 (CONTRACT SIGNING)	SZN	--
D	05.02.20	LODGEMENT PLANS	ALM	--
E	12.02.20	SITE HAS BEEN REGISTERED, DP NUMBER & ADDRESS AMENDED	ALM	--
F	DD.MM.YY	DESCRIPTION	XX	XX
G	DD.MM.YY	DESCRIPTION	XX	XX
H	DD.MM.YY	DESCRIPTION	XX	XX
I	DD.MM.YY	DESCRIPTION	XX	XX
J	DD.MM.YY	DESCRIPTION	XX	XX

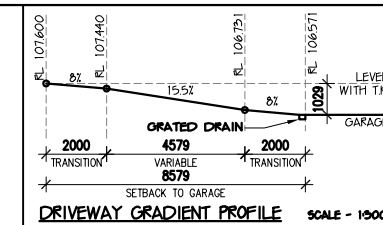
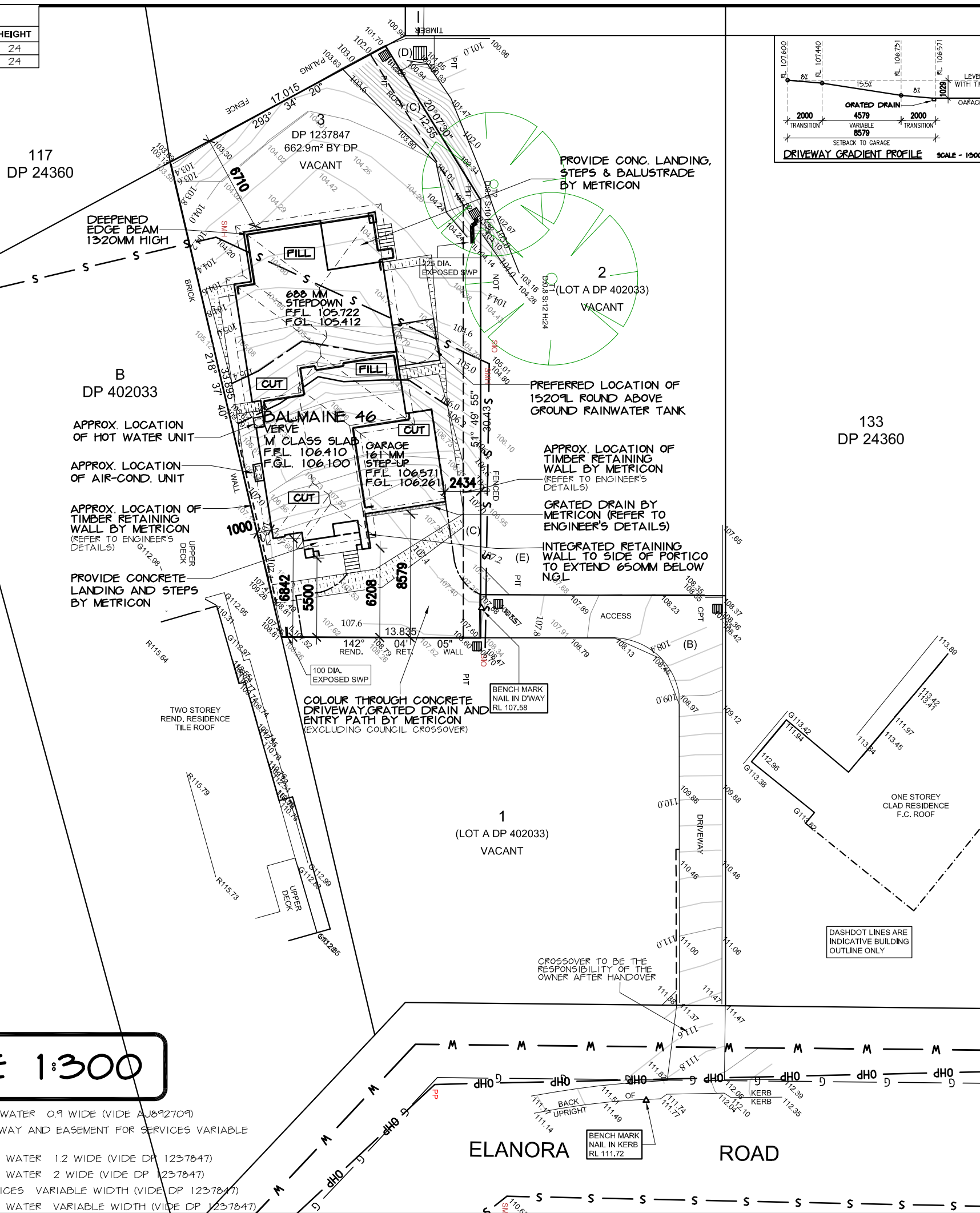
DESIGN: <b>BALMAINE 46</b>	<b>DESIGNER</b>	OWNER: <b>MR BELIKOFF &amp; MRS BELIKOFF</b>	
FACADE: <b>VERVE</b> CEILING: 27, R		LOT 3, NO.128B ELANORA ROAD	
GARAGE: <b>SINGLE</b> LOCATION: F		ELANORA HEIGHTS	
<b>COVER SHEET</b>	BY <b>METRICON</b>	JOB No: <b>702879</b>	DATE: <b>07.08.2019</b>
	METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.	Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000      Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	FC DATE: <b>DD.MM.YYYY</b>
		SCALE:	REVISION: <b>E</b>
		DRAWN: <b>CYO</b>	CHECK: <b>--</b> SHEET: <b>COVER</b>

<b>SITE AREA:</b>	662.9 SQM
<b>PROPOSED ROOF COVERAGE</b>	
DWELLING:	266.62 SQM
SECONDARY DWELLING:	0 SQM
TOTAL COVERAGE AREA:	266.62 SQM
<b>PRIVATE OPEN SPACE</b>	
PRIVATE OPEN SPACE:	264.89 SQM
MIN. REQUIRED BY COUNCIL:	80 SQM
MINIMUM DIMENSION OF 3M	
<b>PRINCIPAL PRIVATE OPEN SPACE</b>	
PRINCIPAL PRIVATE OPEN SPACE:	16 SQM
MIN. REQUIRED BY COUNCIL:	16 SQM
MINIMUM DIMENSIONS OF 4M X 4M	
<b>LANDSCAPED AREA</b>	
TOTAL LANDSCAPED AREA:	311.76 SQM
EXCL. ALL HARD SURFACES, MINIMUM DIMENSION OF 2M	47%
MIN. REQUIRED BY COUNCIL:	60%
<b>STORMWATER CALCULATION</b>	
HARD LANDSCAPE AREAS (INCL. ROOF/DRIVEWAY/PATHS ETC)	351.77 SQM
SITE COVERAGE RATIO:	47%
<b>BUILDING HEIGHT RESTRICTION</b>	
MAXIMUM 8.5M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	
<b>BUILDING ENVELOPE</b>	
PROVIDE 45 DEGREE PLANE PROJECTED AT 3.5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
<b>MAXIMUM 1000 MM CUT MAXIMUM 100MM FILL</b>	
<b>BUILDING OVER SEWER</b>	
SEWER PEGOUT DETAILS AND ENGINEER'S DETAILS REQUIRED	

TREE SCHEDULE			
No.	DIAMETER	SPREAD	HEIGHT
T1	08	12	24
T7	06	10	24

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	111.94	112.96
W2	113.45	N/A
W3	113.41	111.97
W4	113.42	N/A
W5	112.55	110.76
W6	109.73	N/A
W7	112.54	110.76
W8	112.55	110.78
W9	109.74	N/A
W10	109.74	N/A
W11	112.55	110.77



LOT NO:	3
DEPOSITED PLAN:	1237847
COUNCIL / LGA:	PITTWATER
SLAB CLASS:	M
WIND SPEED:	N2

**EXCAVATION NOTES:**  
 50MM (+/-) TOLERANCE TO NOMINATED RL'S  
 UPPER LEVEL  
 EXCAVATE APPROX. 1300MM ON RL. 106.100  
 AND FILL APPROX. 700MM  
 LOWER LEVEL  
 EXCAVATE APPROX. 700MM ON RL. 105.412  
 AND FILL APPROX. 110MM WITH D.E.B.  
 GARAGE LEVEL  
 EXCAVATE APPROX. 1140MM ON RL. 106.261  
 AND FILL APPROX. 0MM  
 EXCAVATIONS ARE TO START A MINIMUM OF 1000MM  
 FROM THE EDGE OF THE BUILDING AND ARE TO BE  
 BATTERED BACK TO SUIT.  
 IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A  
 GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED)  
 DUE TO CONSTRUCTION OF DRIVEWAY

**IMPORTANT NOTES:**  
 SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL  
 & NOT TO BE USED BY ANY OTHER CONTRACTORS  
 OTHER THAN METRICON HOMES PTY LTD

**STORMWATER TO DRAIN TO  
 EASEMENT VIA ON-SITE DETENTION  
 AND RAINWATER TANK(S)**  
 REFER TO HYDRAULIC ENGINEER'S DETAILS

**TEMPORARY SITE FENCING:**  
 METRICON TO PROVIDE FENCING TO  
 ANY UNFENCED BOUNDARIES  
 (AS REQUIRED)

**ALL WEATHER ACCESS:**  
 METRICON TO SUPPLY UP TO 5M SUITABLE  
 ALL WEATHER ACCESS TO BUILDING  
 PLATFORM DURING CONSTRUCTION

**SURVEY LEGEND**

	GULLY PIT		SEWER LINE
	HYDRANT		VEHICLE CROSSING
	SURFACE INLET PIT		STOP VALVE
	SEWER INSPECTION COVER		DEEP EDGE BEAM
	SEWER MANHOLE		GAS METER
	WATER METER		LIGHT POLE
	ELECTRICITY BOX		INVERT
	STORMWATER MANHOLE		TOP OF KERB
	TELSTRA PIT		KERB OUTLET

INTRAX SURVEY DATE: 31.05.2019  
 CONTOUR INTERVALS: 200MM  
 LEVELS TO AHD

**SITE PLAN**

Build E, Level 4, 32 Lexington Dr, Bankham Hills NSW 2153  
 P.O. Box 7510, Norwest Business Park NSW 2153  
 Tel: 02 8887 9000 Fax: 02 8079 5901  
 Contractor Licence No: 174 699  
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**MR BELIKOFF & MRS BELIKOFF**  
 LOT 3 NO.128B ELANORA ROAD  
 ELANORA HEIGHTS

JOB No: 702879

DATE: 12.08.19	DRAWN: CYO
SCALE: 1:300	SHEET: 1 OF 12
UBD REF: SYD XX XX	

**SURVEYORS NOTES**

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

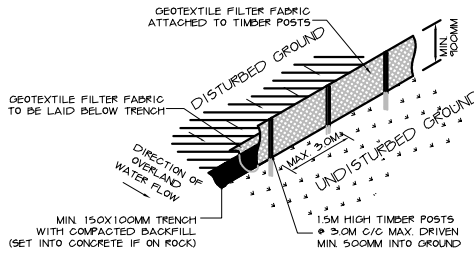
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES

**SCALE 1:300**

- (A) - EASEMENT TO DRAIN WATER 0.9 WIDE (VIDE AUB892709)
- (B) - RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES VARIABLE WIDTH (VIDE DP 1237847)
- (C) - EASEMENT TO DRAIN WATER 1.2 WIDE (VIDE DP 1237847)
- (D) - EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP 1237847)
- (E) - EASEMENT FOR SERVICES VARIABLE WIDTH (VIDE DP 1237847)
- (F) - EASEMENT TO DRAIN WATER VARIABLE WIDTH (VIDE DP 1237847)

**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



**SEDIMENT FENCE DETAIL**  
NOT TO SCALE

**TEMPORARY SECURITY FENCING**

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

**CUT & FILL BATTERS**

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

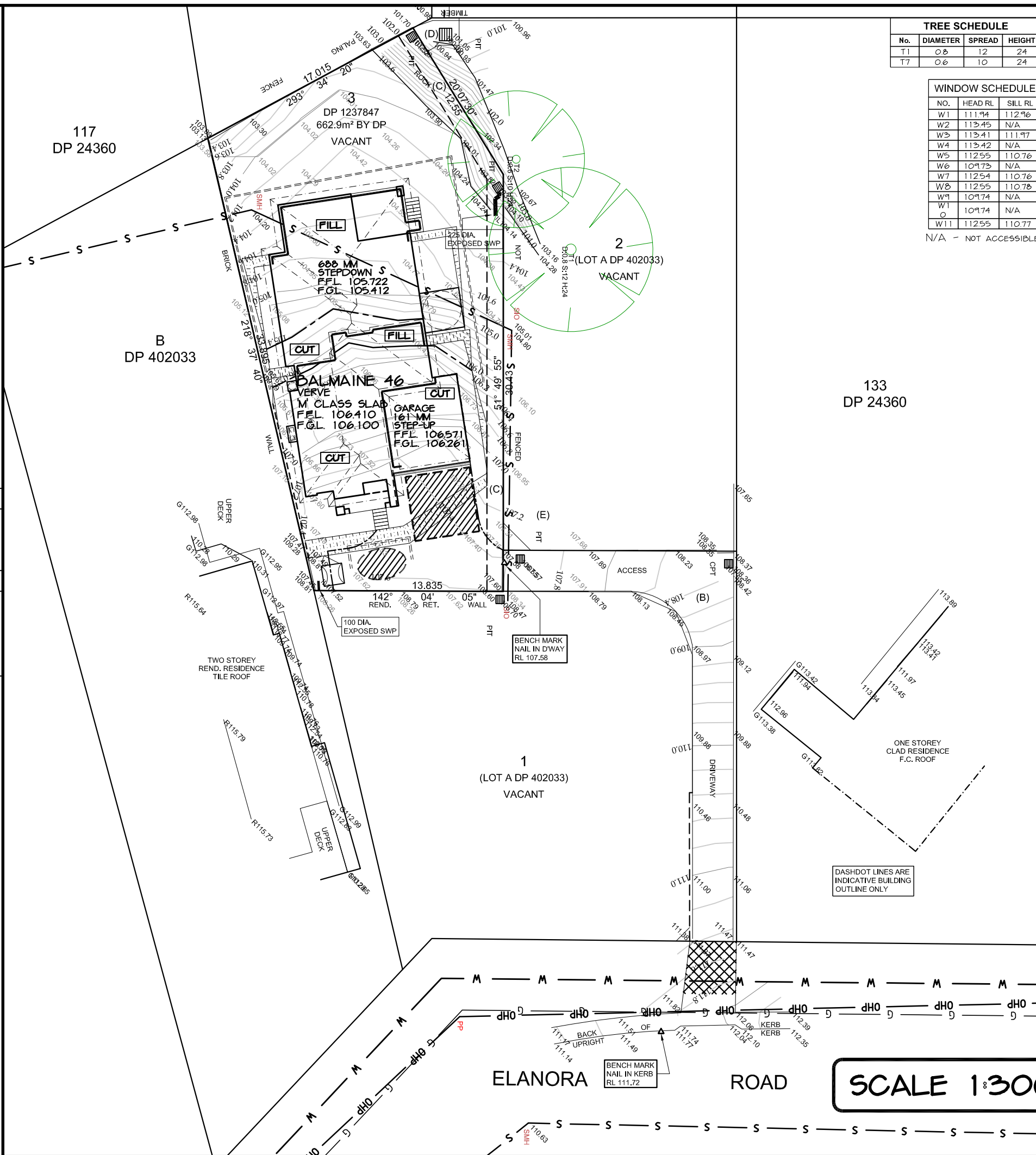
SEDIMENT FENCE

WASTE STORAGE AREA

MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION



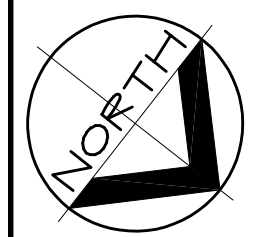
**TREE SCHEDULE**

No.	DIAMETER	SPREAD	HEIGHT
T1	0.8	12	24
T7	0.6	10	24

**WINDOW SCHEDULE**

NO.	HEAD RL	SILL RL
W1	111.94	112.96
W2	113.45	N/A
W3	113.41	111.97
W4	113.42	N/A
W5	112.55	110.76
W6	109.73	N/A
W7	112.54	110.76
W8	112.55	110.76
W9	109.74	N/A
W10	109.74	N/A
W11	112.55	110.77

N/A - NOT ACCESSIBLE



LOT NO:  
3

DEPOSITED PLAN:  
1237847

COUNCIL / LGA:  
PITTSWATER

SLAB CLASS: M

WIND SPEED: N2

**EROSION & SEDIMENT CONTROL PLAN**

**CONSTRUCTION PLAN**

**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 31.05.2019

CONTOUR INTERVALS: 200MM

LEVELS TO AHD

**metricon**  
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
P.O. Box 7510, Norwest Business Park NSW 2153  
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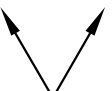




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MR BELIKOFF & MRS BELIKOFF  
LOT 3 NO.128B ELANORA ROAD  
ELANORA HEIGHTS

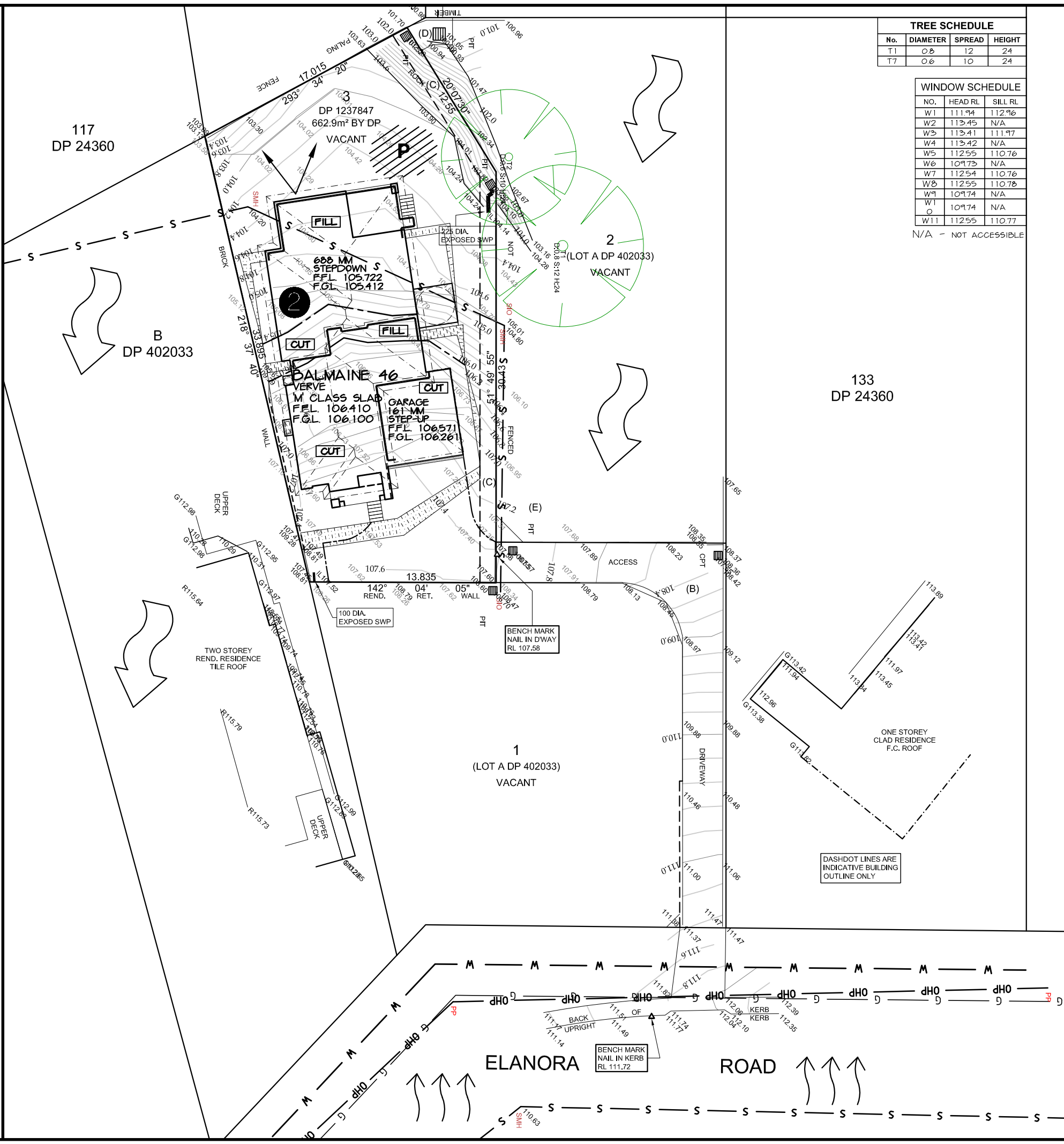
JOB No: 702879

DATE: 14.01.20	DRAWN: ALM/CYO
SCALE: 1:300	SHEET: 1A OF 12
UBD REF: SYD XX XX	

**LEGEND**

-  MAIN VIEWS
-  PRIVATE OPEN SPACE
-  NUMBER OF STOREYS
-  NOISE SOURCE
-  PREVAILING WINDS FROM SOUTH-WEST

**SCALE 1:300**



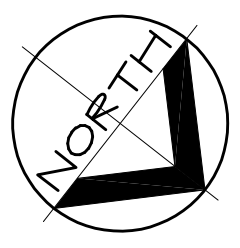
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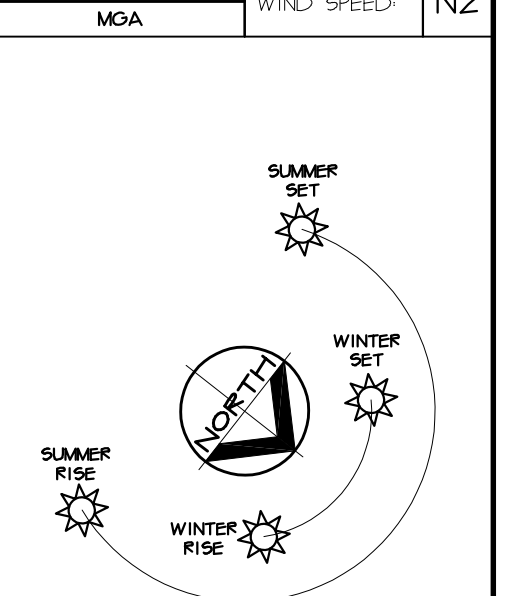
LOT NO:  
**3**

DEPOSITED PLAN:  
**1237847**

COUNCIL / LGA:  
**PITTWATER**

SLAB CLASS: **M**

WIND SPEED: **N2**



**SITE ANALYSIS PLAN**

**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: **31.05.2019**

CONTOUR INTERVALS: **200MM**

LEVELS TO: **AHD**

**m**  
**metricon**

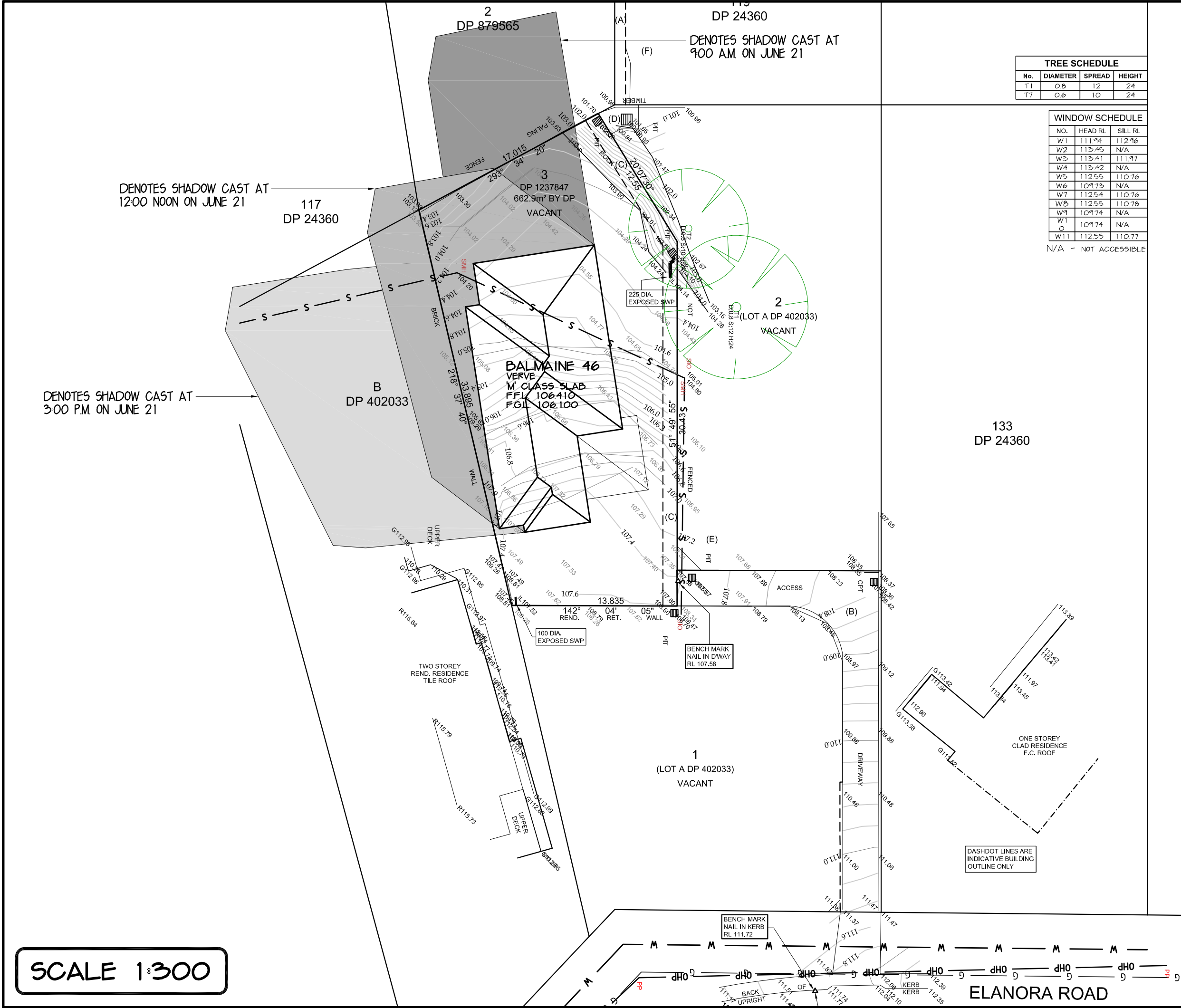
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**MR BELIKOFF & MRS BELIKOFF**  
**LOT 3 NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

JOB No: **702879**

DATE: <b>14.01.20</b>	DRAWN: <b>ALM/CYO</b>
SCALE: <b>1:300</b>	SHEET: <b>1B OF 12</b>
UBD REF: <b>SYD XX XX</b>	



**SCALE 1:300**

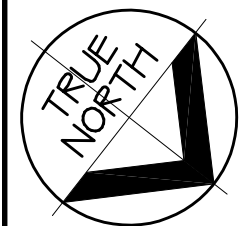
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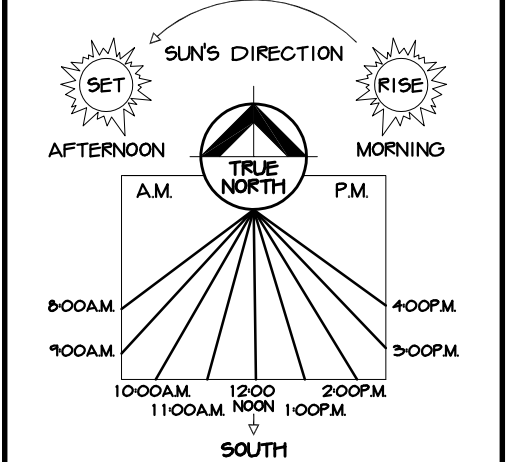
LOT NO:  
**3**

DEPOSITED PLAN:  
**1237847**

COUNCIL / LGA:  
**PITTWATER**

SLAB CLASS: **M**

WIND SPEED: **N2**



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

**SHADOW LOCATION TIME OF DAY**

- 9:00 A.M. JUNE 21
- 12:00 NOON JUNE 21
- 3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	35.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

INTRAX SURVEY DATE: 31.05.2019

CONTOUR INTERVALS: 200MM

LEVELS TO AHD

**SHADOW DIAGRAM @ JUNE 21**

**m**  
**metricon**

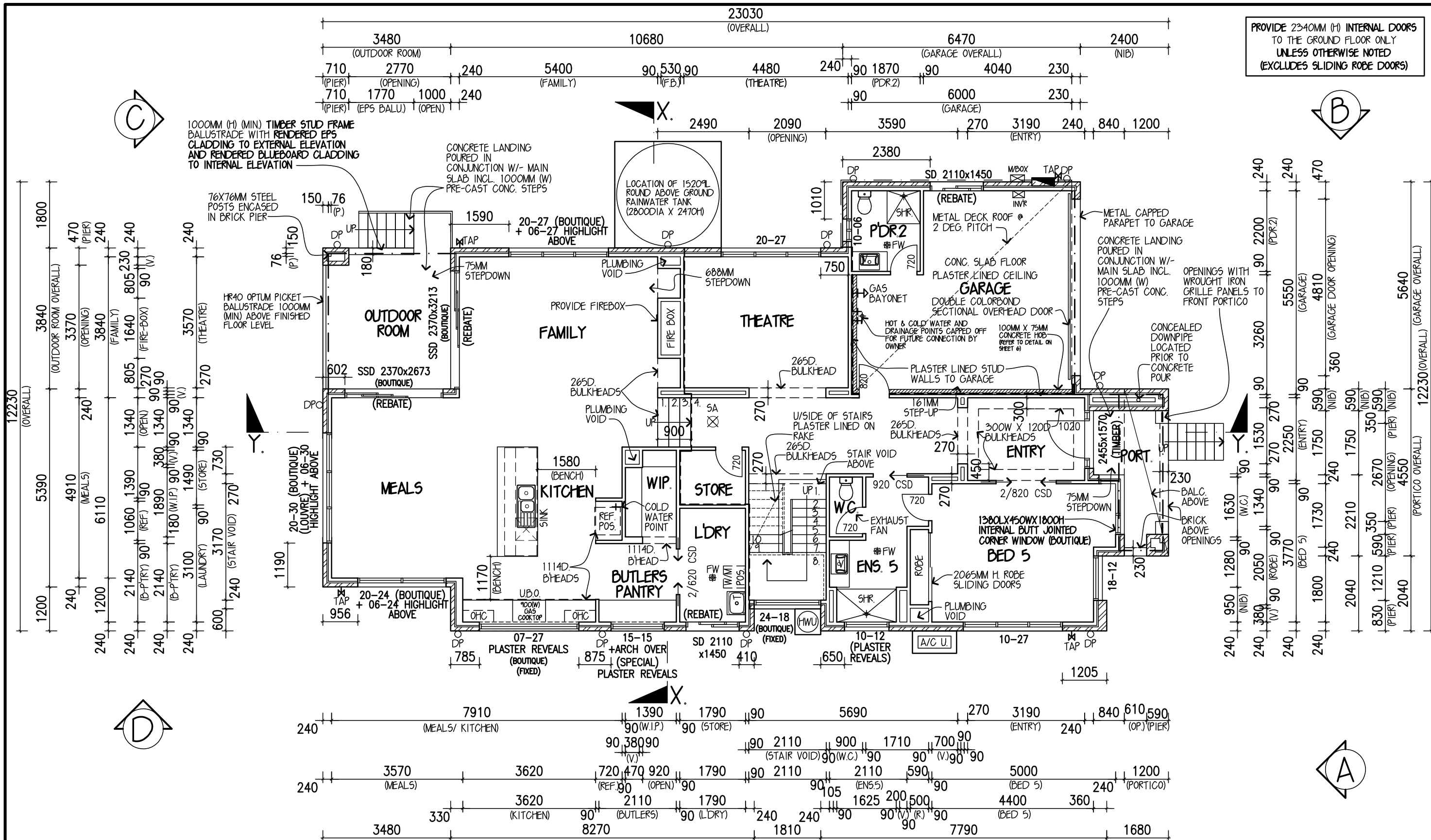
Build E, Level 4, 32 Lexington Dr, Bankham Hills NSW 2153  
 P.O. Box 7510, Norwest Business Park NSW 2153  
 Tel: 02 8887 9000 Fax: 02 8079 5901  
 Contractor Licence No: 174 699  
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**MR BELIKOFF & MRS BELIKOFF**  
**LOT 3 NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

JOB No: 702879

DATE: 14.01.20	DRAWN: ALM/CYO
SCALE: 1:300	SHEET: 1C OF 12
UBD REF: SYD XX XX	



PROVIDE 2340MM (H) INTERNAL DOORS TO THE GROUND FLOOR ONLY UNLESS OTHERWISE NOTED (EXCLUDES SLIDING ROBE DOORS)

**SYMBOL LEGEND**

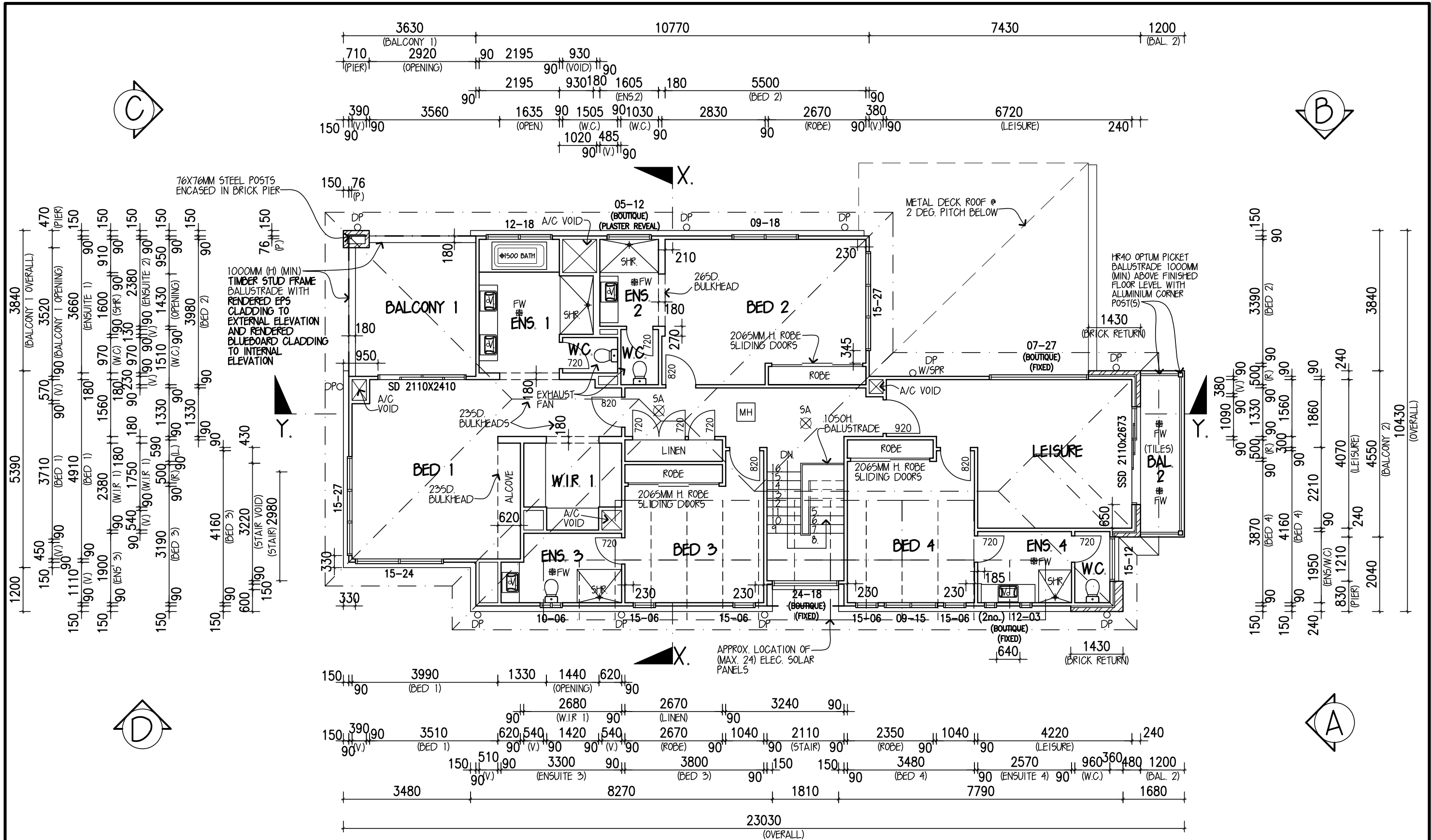
- DOWNPIPE 90mm ROUND PVC
- DOWNPIPE 100x50mm RECT. C/BOND
- DOWNPIPE WITH SPREADER
- DOWNPIPE WITH RAINWATER HEAD
- EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.
- GARDEN TAP
- GAS BAYONET
- COLD WATER POINT
- FLOOR WASTE
- ELEC. METERBOX 600x600 RECESSED
- AIR COND. UNIT
- MANHOLE FOR CEILING ACCESS
- SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
- ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
- LOAD BEARING WALL
- 70mm STUD WALL
- 120mm STUD WALL

AREAS:	GARAGE:	36.50 SQM
GRD FLR:	176.51 SQM	PORTICO: 7.43 SQM
FIRST FLR:	177.41 SQM	OUTDOOR: 13.36 SQM
		BALCONY: 5.46 SQM
		B'CONY 2: 13.52 SQM
SUBTOTAL:	353.92 SQM	TOTAL: 430.19 SQM
		38.10 SQM

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F  
**GROUND FLOOR PLAN**  
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**DESIGNER** **metricon**  
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OWNER: <b>MR BELIKOFF &amp; MRS BELIKOFF</b>	
LOT 3, NO.128B ELANORA ROAD ELANORA HEIGHTS	
JOB No: <b>702879</b>	DATE: <b>07.08.2019</b>
FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.07.2018</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>E</b>
DRAWN: <b>CYO</b>	CHECK: <b>--</b>
SHEET: <b>2</b> of <b>12</b>	



**SYMBOL LEGEND**

- DOWNPIPE  
90mm ROUND PVC
- DOWNPIPE  
WITH SPREADER
- DOWNPIPE  
WITH RAINWATER HEAD
- EXHAUST FAN.  
INSTALLED AS PER B.C.A. 3.8.5.  
& TO COMPLY WITH A.S.1668.2.
- GAS BAYONET
- COLD WATER POINT
- FLOOR WASTE
- ELEC. METERBOX  
600x600 RECESSED
- AIR COND. UNIT
- MANHOLE  
FOR CEILING ACCESS
- SMOKE ALARM  
APPROX. POSITION INSTALLED AS PER  
N.C.C. 3.7.2 & TO COMPLY WITH AS 3786.  
SMOKE ALARMS TO BE INTERCONNECTED
- ARTICULATION JOINT  
WHERE ARTICULATION JOINTS ARE NOT SHOWN  
REFER TO STRUCTURAL ENGINEER'S DETAILS
- LOAD BEARING WALL
- 70mm STUD WALL
- 120mm STUD WALL

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F

**FIRST FLOOR PLAN**

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**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

JOB No: **702879** DATE: **07.08.2019**  
 FC DATE: **DD.MM.YYYY** MST VER: **15.07.2018**

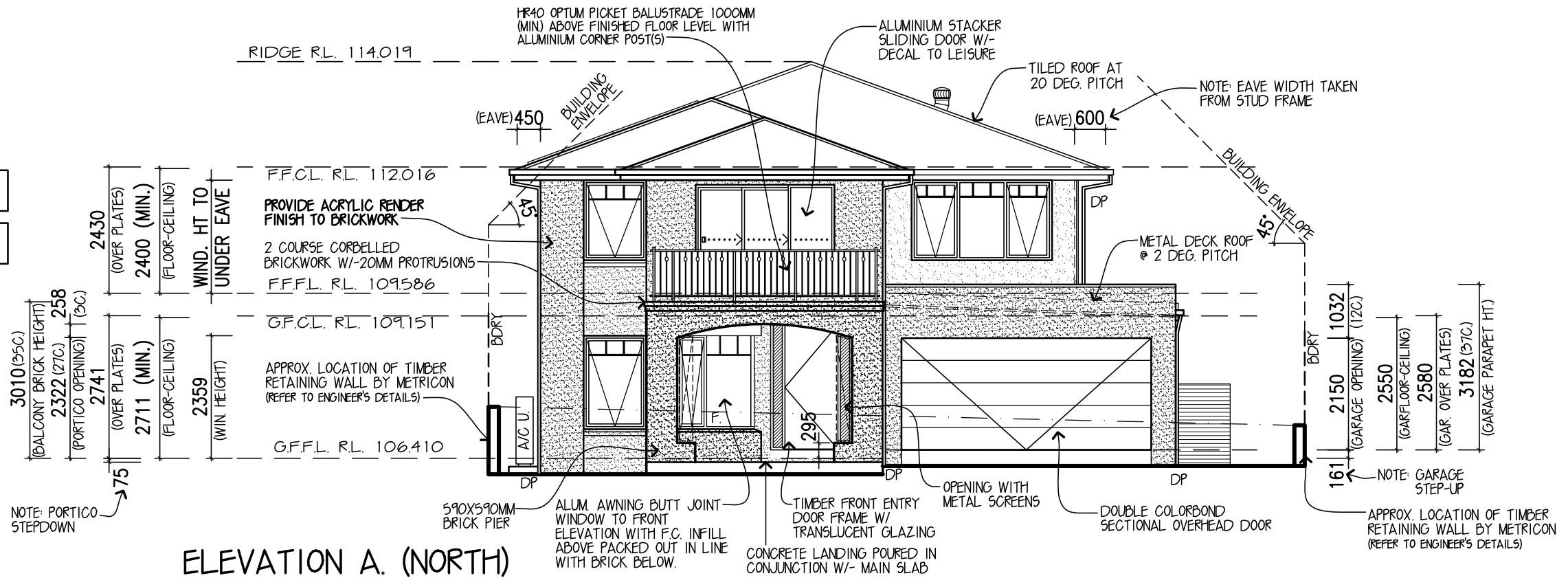
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 DRAWN: **CYO** CHECK: **--** SHEET: **3 of 12**

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. **S-TYP-VERV-01**

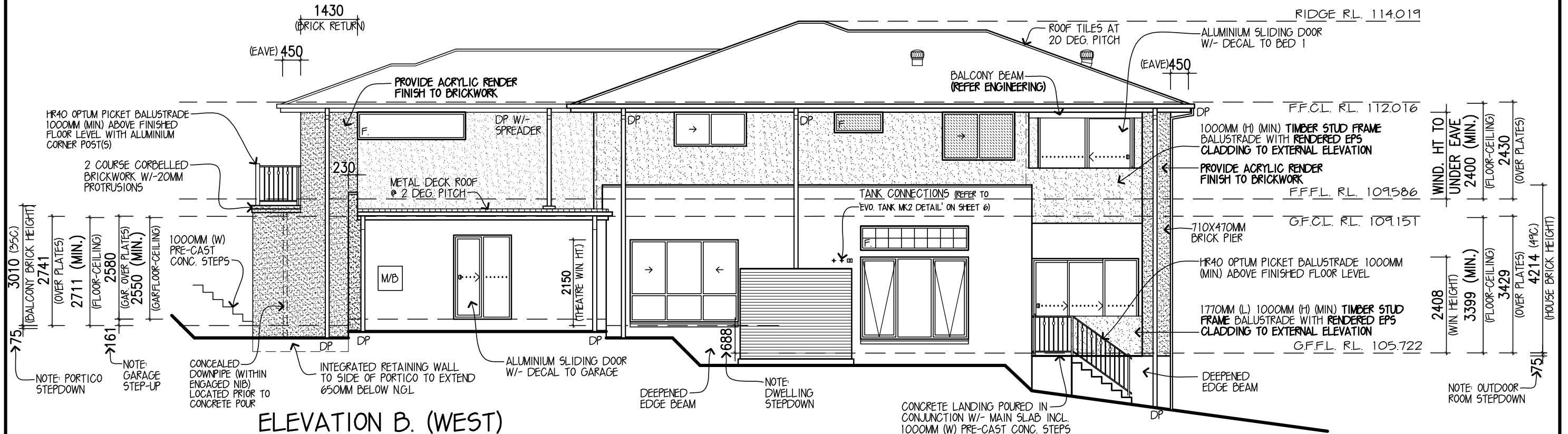
PROVIDE **RENDERED EPS CLADDING**  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: **S-TYP-CLAD-06**

 DENOTES WINDOWS/DOORS WITH 4MM  
OBSCURE DECOR SATIN GLAZING

 DENOTES WINDOWS/DOORS WITH  
TRANSLUCENT GLAZING







**ELEVATION A. (NORTH)**



**ELEVATION B. (WEST)**

**SYMBOL LEGEND**

-  RECESSED ELECTRICITY METER BOX
-  DOWNPIPE W/- RAINWATER HEAD
-  ROTATING ROOF VENTILATOR
-  ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **BALMAINE 46**  
FACADE: **VERVE** CEILING: 27, R  
GARAGE: **SINGLE** LOCATION: F

**DESIGNER**



OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

**ELEVATIONS**

BY METRICRON

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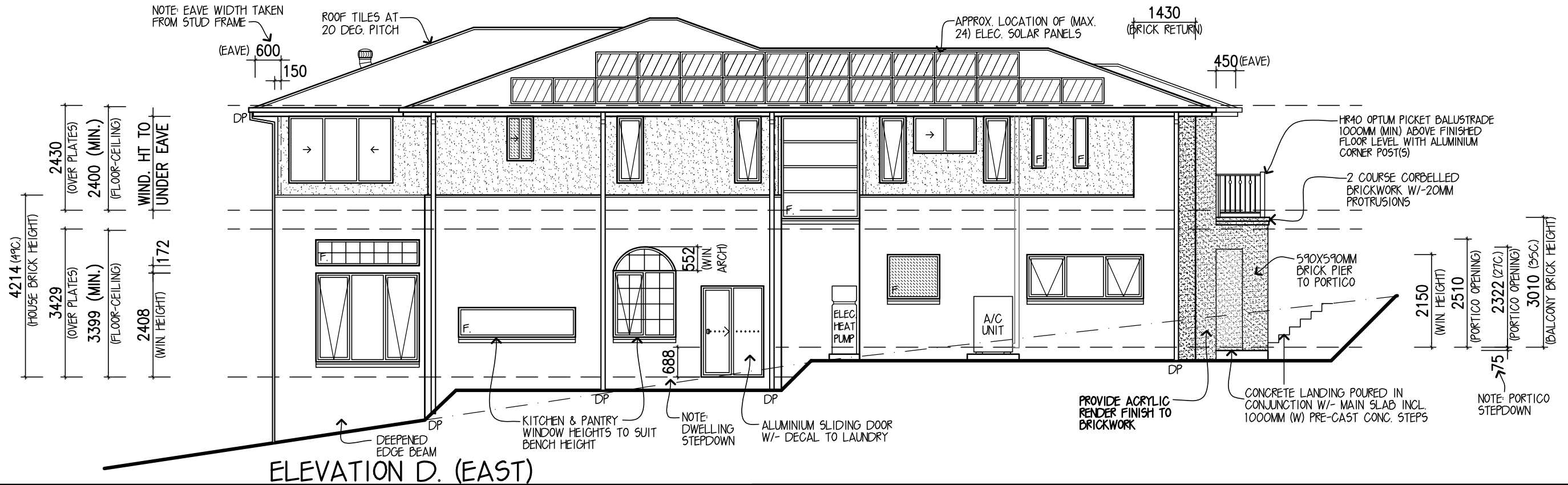
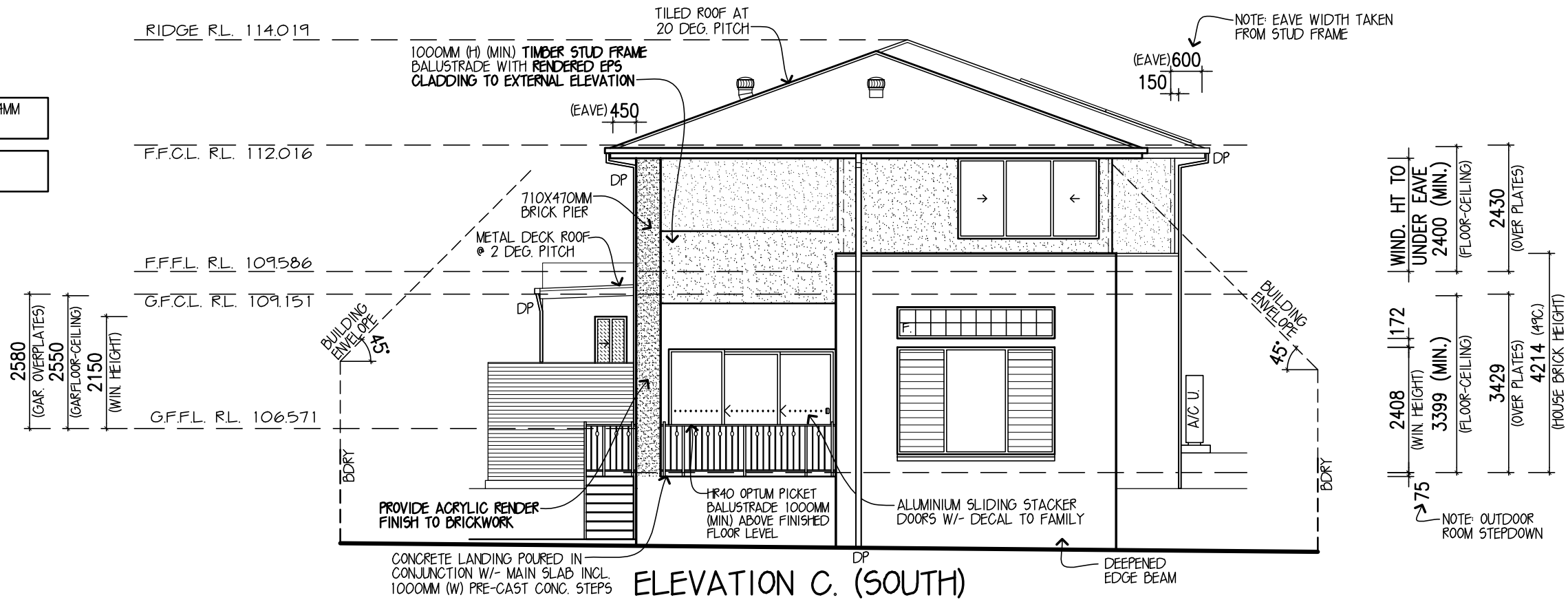
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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.07.2018</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>E</b>
DRAWN: <b>CYO</b>	CHECK: <b>--</b>
SHEET: <b>4</b> of 12	



PROVIDE RENDERED EPS CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: 5-TYP-CLAD-06

DENOTES WINDOWS/DOORS WITH 4MM OBSCURE DECOR SATIN GLAZING

DENOTES WINDOWS/DOORS WITH TRANSLUCENT GLAZING



**SYMBOL LEGEND**

- M/B RECESSED ELECTRICITY METER BOX
- RWH DOWNPIPE W/- RAINWATER HEAD
- DP ROTATING ROOF VENTILATOR
- AJ ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F

**DESIGNER**



OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

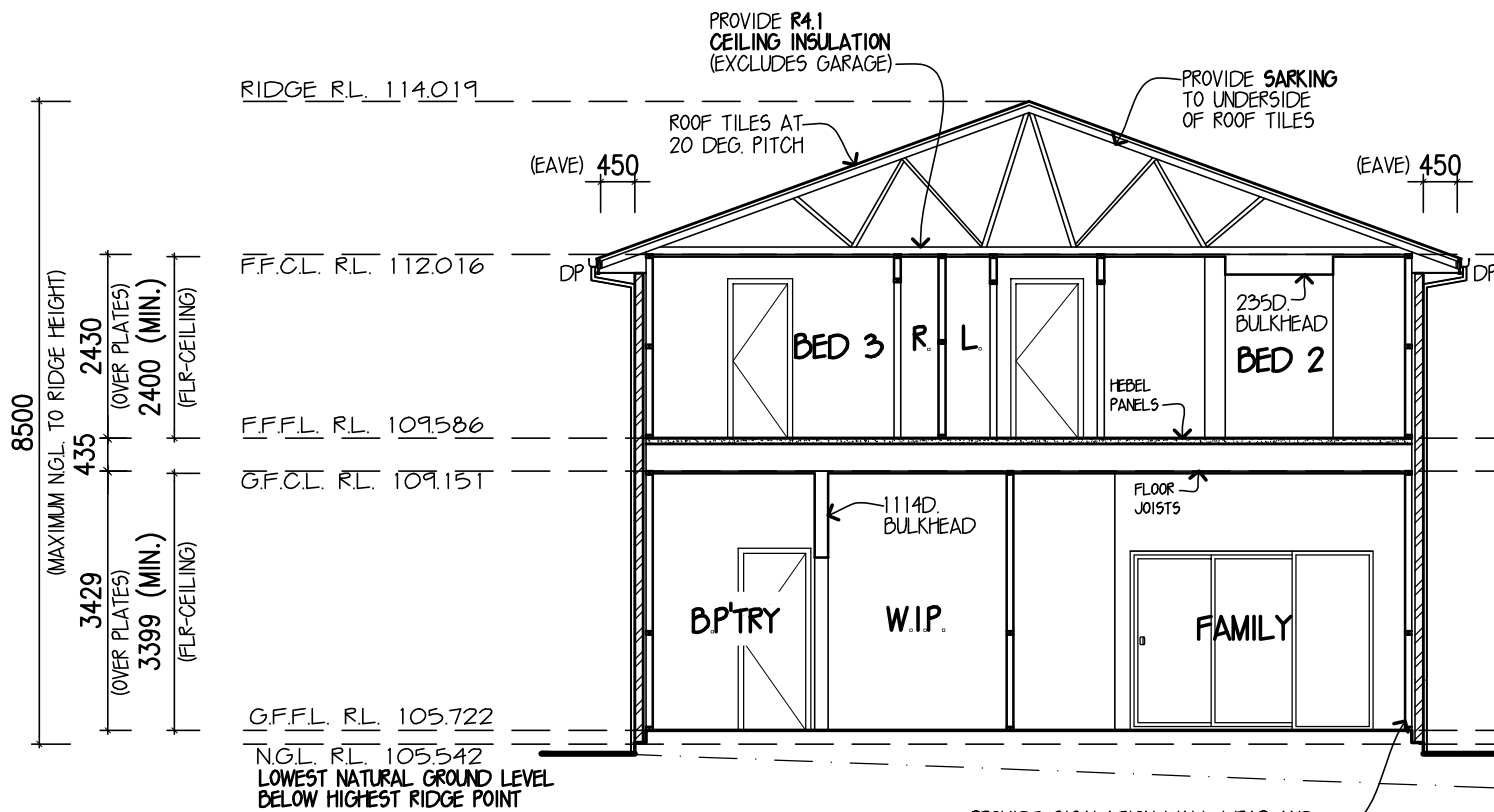
**ELEVATIONS**

BY METRICON

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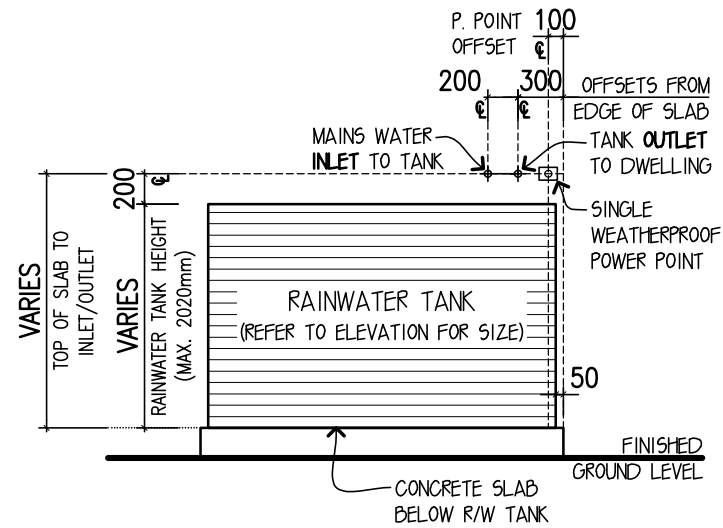
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JOB No: **702879** DATE: **07.08.2019**  
 FC DATE: **DD.MM.YYYY** MST VER: **15.07.2018**  
 SCALE: **1:100 ON A3 SHEET** REVISION: **E**  
 DRAWN: **CYO** CHECK: **--** SHEET: **5 of 12**



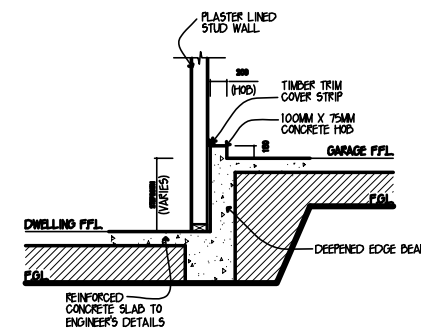
SECTION X-X

PROVIDE SISALATION WALL-WRAP AND R2.0 INSULATION BATTS TO EXTERNAL WALLS (INCL. R2.0 INSULATION BATTS TO GARAGE/HOUSE INTERNAL WALL EXC. GARAGE EXTERNAL WALL)

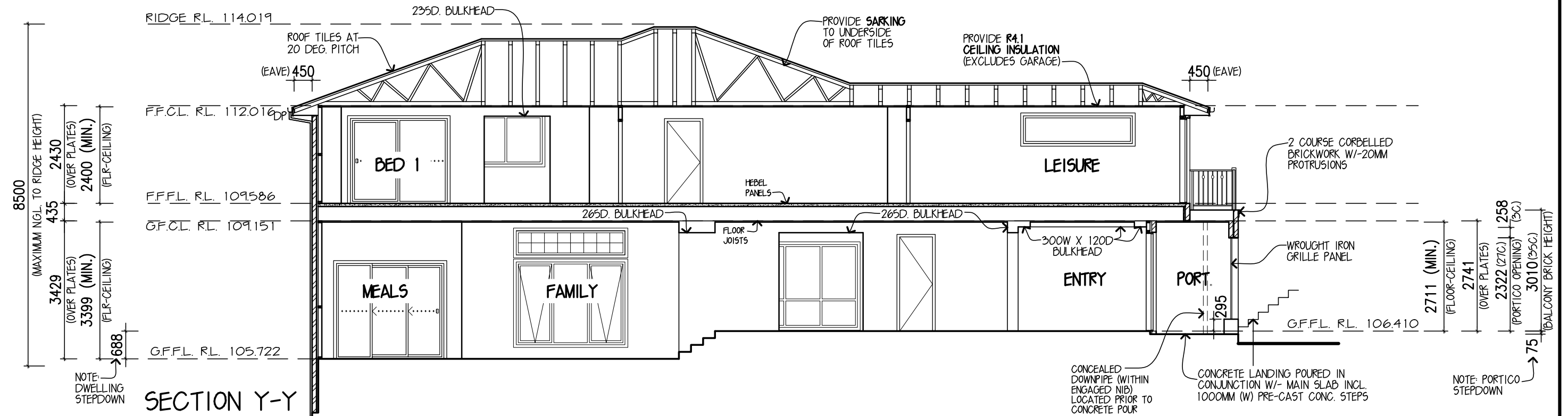


ROUGH-IN POSITIONING (NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL (NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)



CONCRETE HOB TO REAR OF GARAGE DWELLING FFL BELOW GARAGE FFL (TYPICAL DETAIL)



SECTION Y-Y

DESIGN: BALMAINE 46

FACADE: VERVE CEILING 27, R

GARAGE: SINGLE LOCATION: F

SECTION

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DESIGNER **m** metricon

BY METRICON

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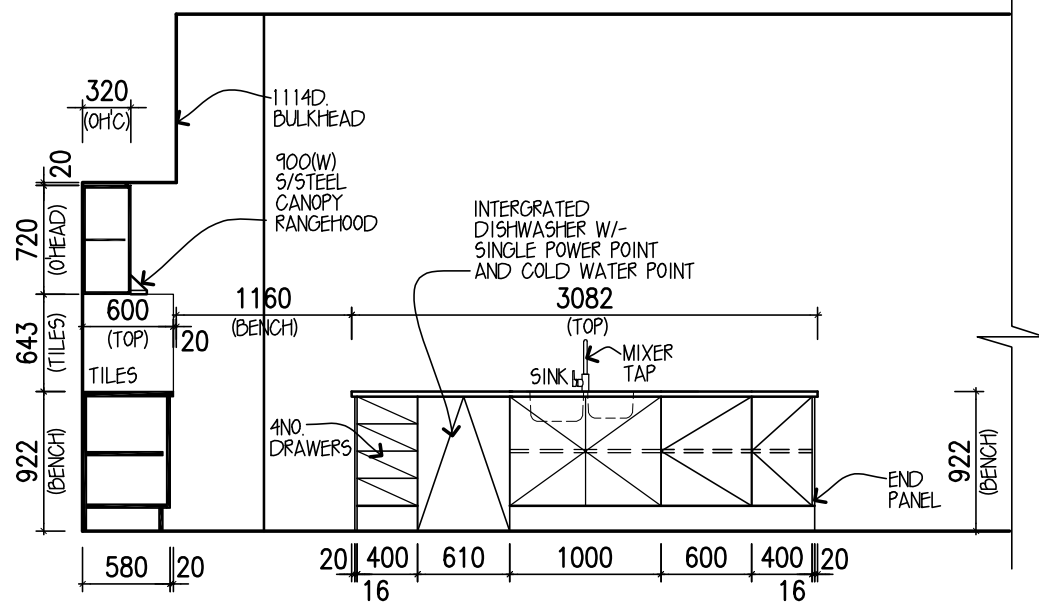
OWNER: MR BELIKOFF & MRS BELIKOFF  
LOT 3, NO.128B ELANORA ROAD  
ELANORA HEIGHTS

JOB No: 702879 DATE: 07.08.2019

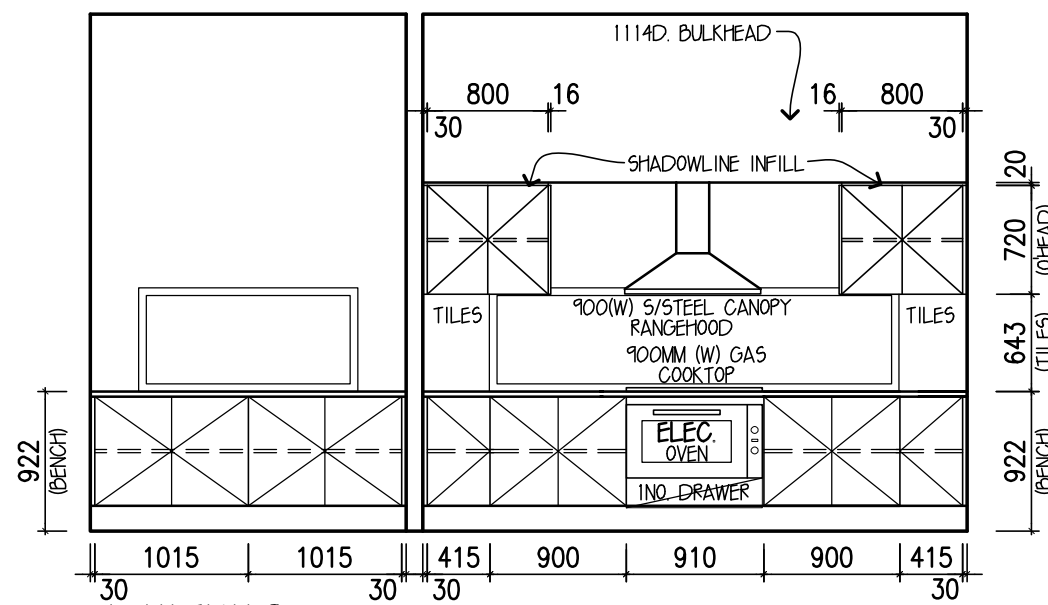
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SCALE: 1:100 ON A3 SHEET REVISION: E

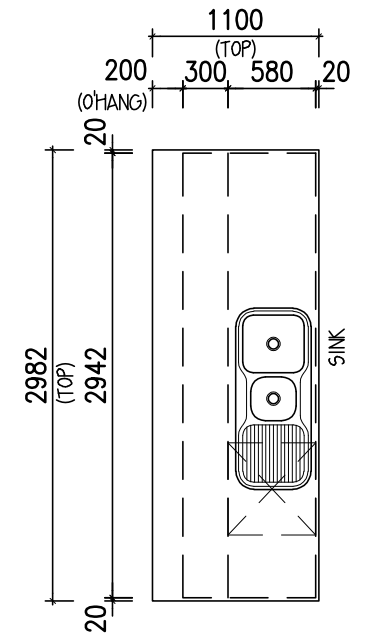
DRAWN: CYO CHECK: -- SHEET: 6 of 12



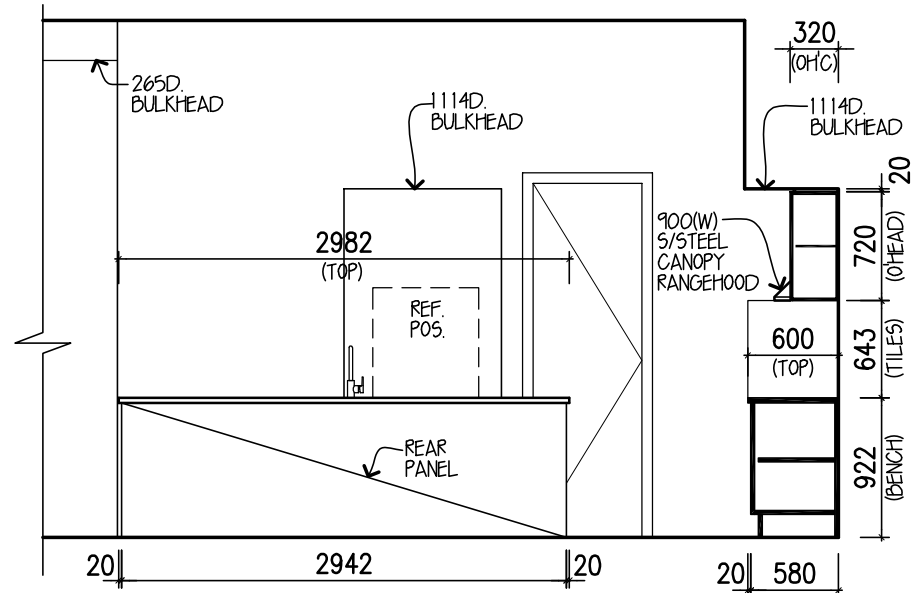
ELEVATION A  
KITCHEN



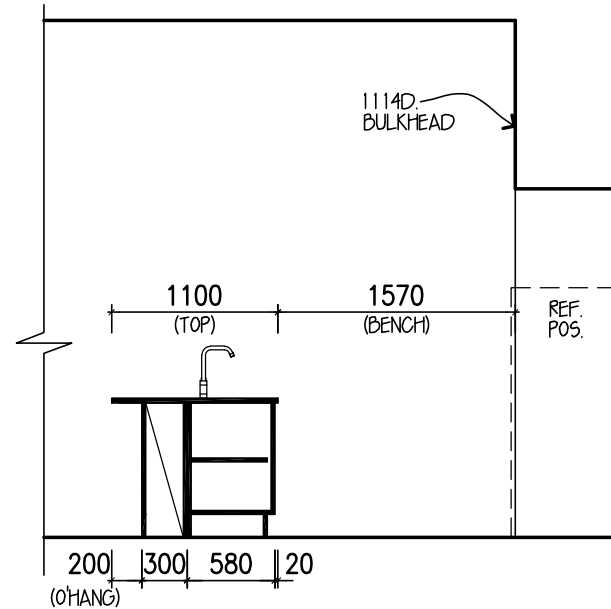
ELEVATION B  
KITCHEN/BUTLER'S PANTRY



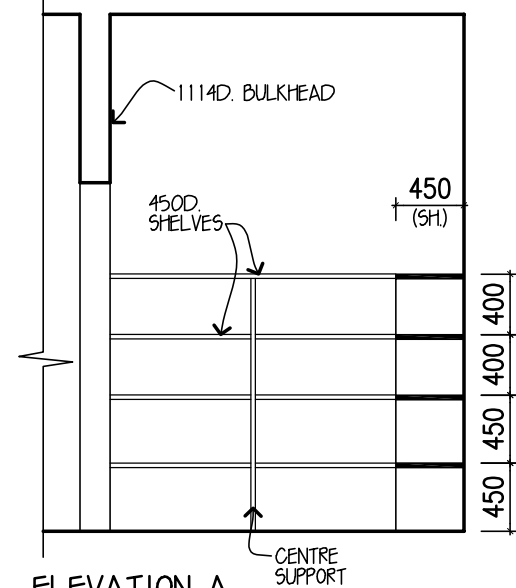
KITCHEN ISLAND  
BENCH DETAIL



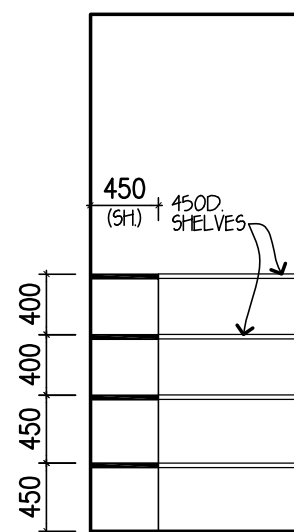
ELEVATION C  
KITCHEN



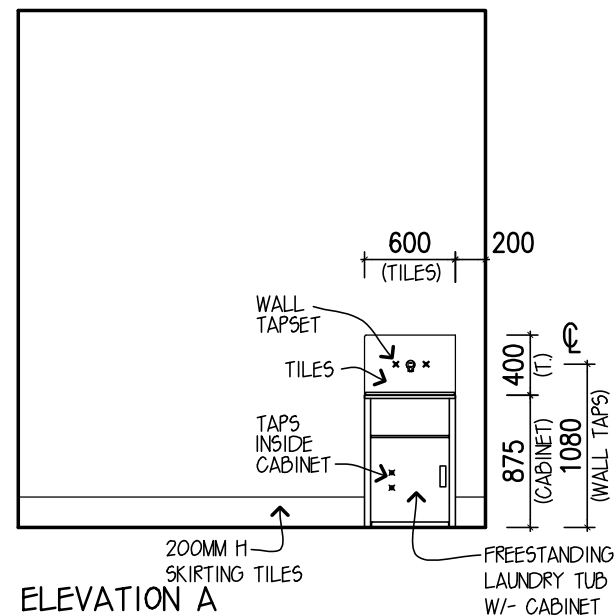
ELEVATION D



ELEVATION A  
W.I.P.



ELEVATION D



ELEVATION A  
LAUNDRY

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F

**INTERNALS**

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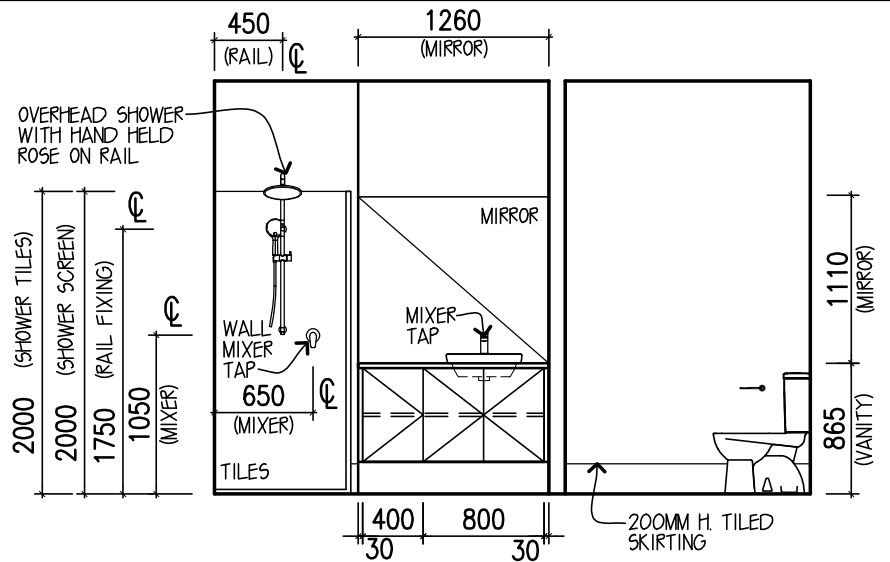
**DESIGNER** 

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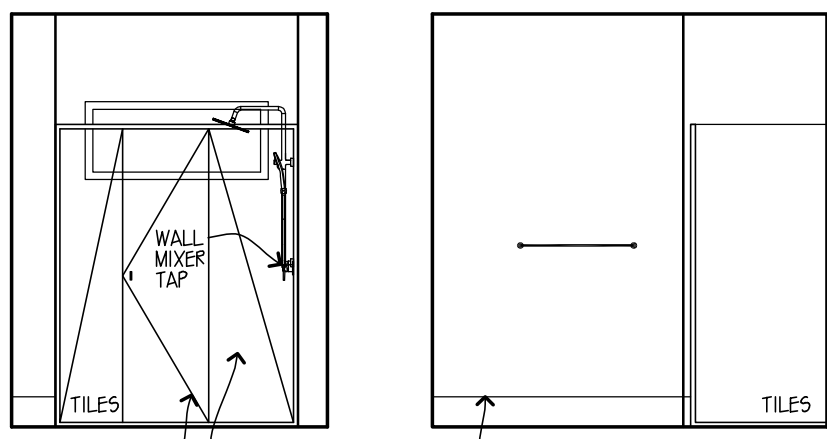
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**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

JOB No: <b>702879</b>	DATE: <b>07.08.2019</b>
FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.07.2018</b>
SCALE: <b>1:50 ON A3 SHEET</b>	REVISION: <b>E</b>
DRAWN: <b>CYO</b>	CHECK: <b>--</b>
SHEET: 7 of 12	

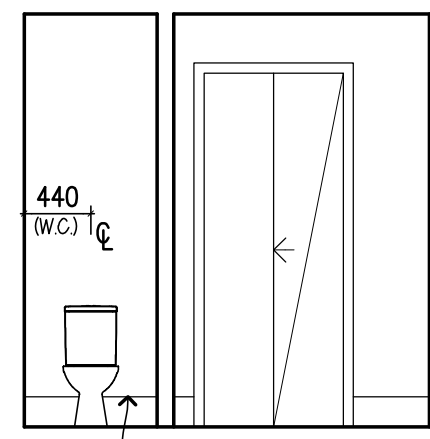


ELEVATION A  
ENSUITE 5

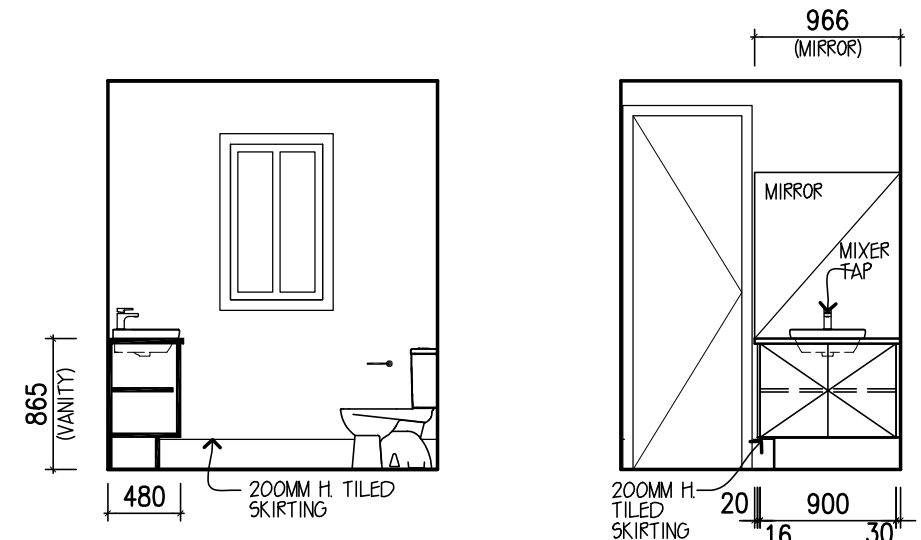


ELEVATION B

ELEVATION C

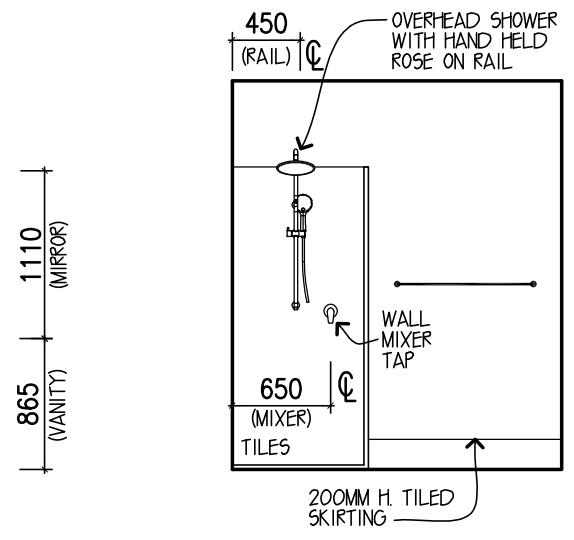


ELEVATION D

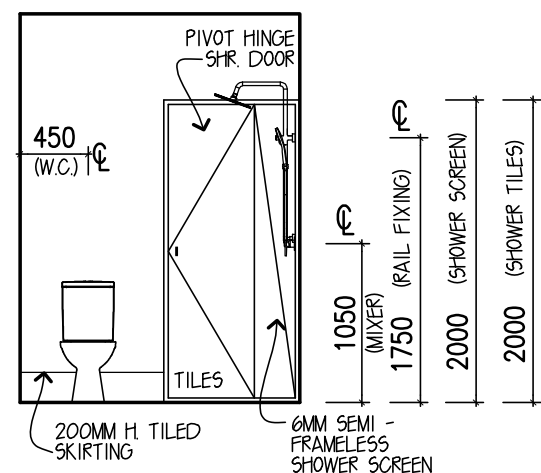


ELEVATION A  
POWDER 2

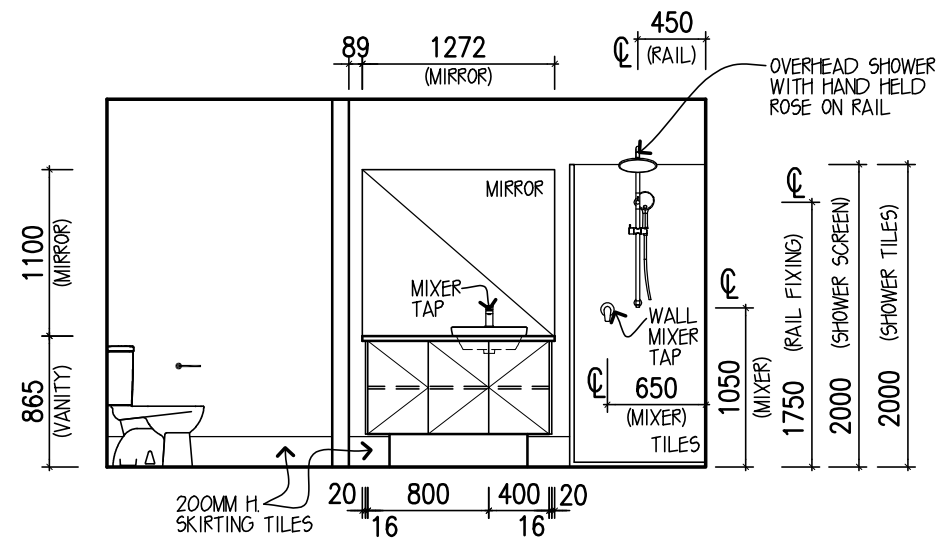
ELEVATION B



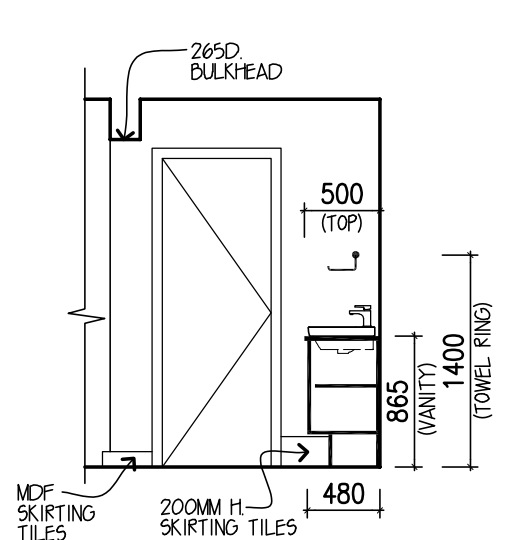
ELEVATION C



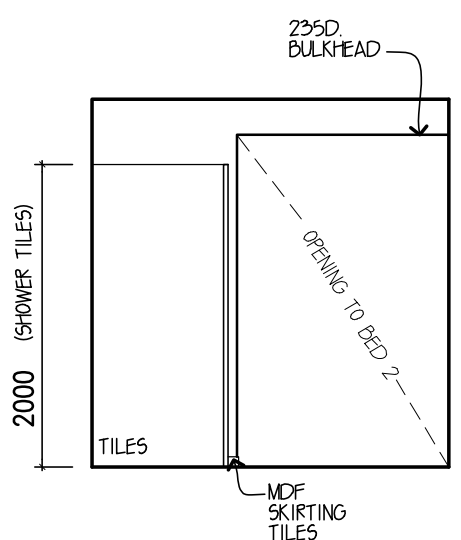
ELEVATION D



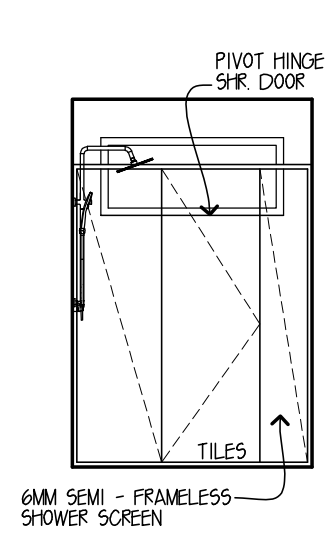
ELEVATION A  
ENSUITE 2



ELEVATION B



ELEVATION C



ELEVATION D

BATHROOM ACCESSORIES LEGEND			
TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (600)	—
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (760)	—
SOAP HOLDER (1200MM ABOVE FFL)	—	SGL TOWEL RAIL (900)	—
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)	—
		DBL TOWEL RAIL (900)	—
		ALL TOWEL RAILS (1200MM ABOVE FFL)	—

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

- BATHROOM ACCESSORIES NOTES:
- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
  - ALL SYMBOLS ARE GENERIC ONLY
  - ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
  - HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F

## INTERNALS

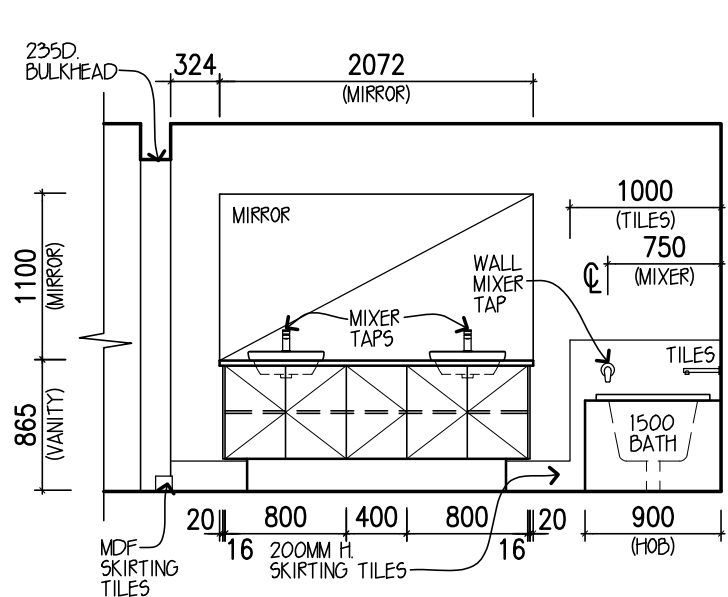
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**DESIGNER** 

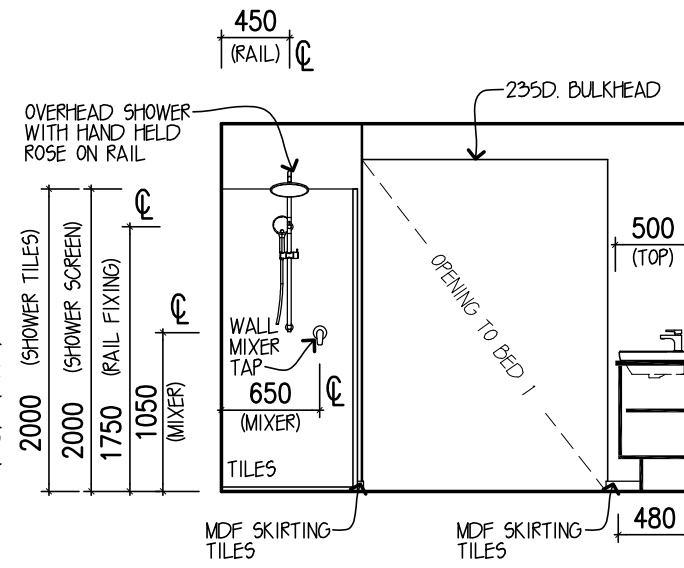
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**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

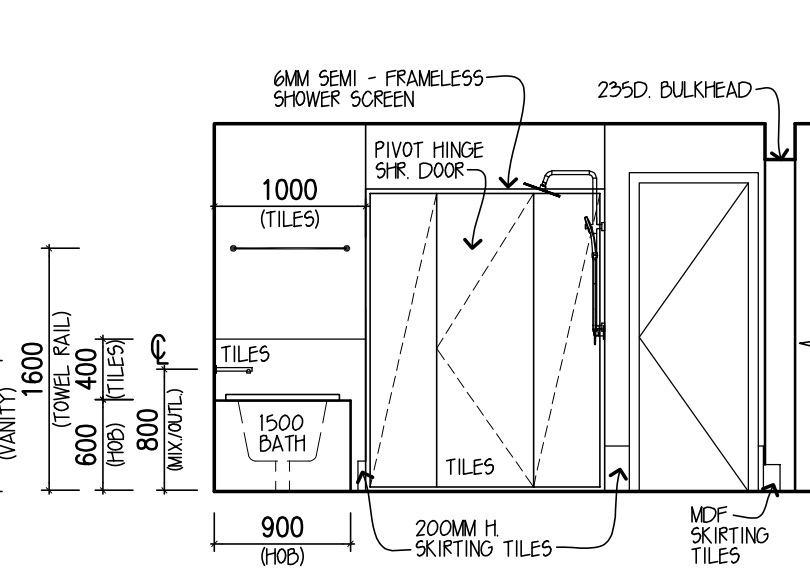
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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.07.2018</b>
SCALE: <b>1:50 ON A3 SHEET</b>	REVISION: <b>E</b>
DRAWN: <b>CYO</b>	CHECK: <b>--</b>
SHEET: <b>8</b> of 12	



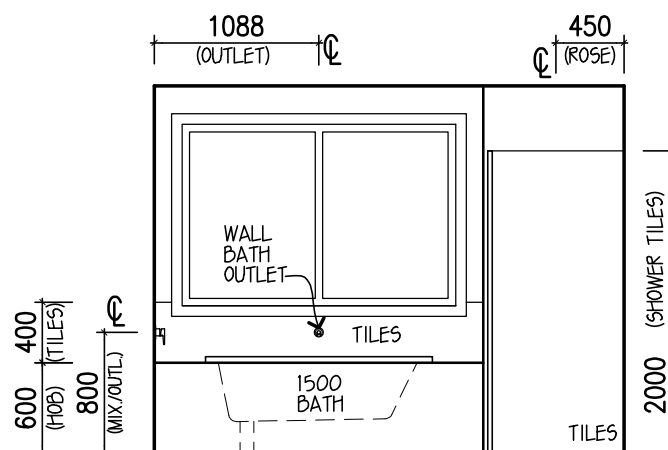
ELEVATION A  
ENSUITE 1



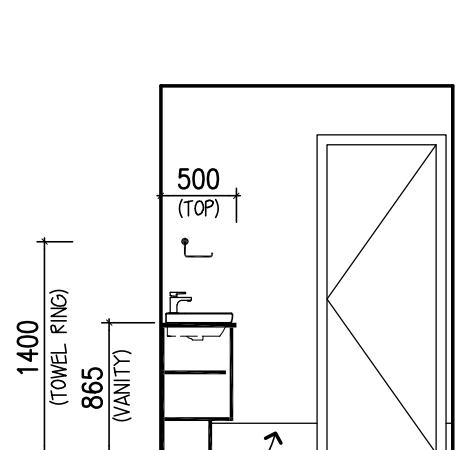
ELEVATION B



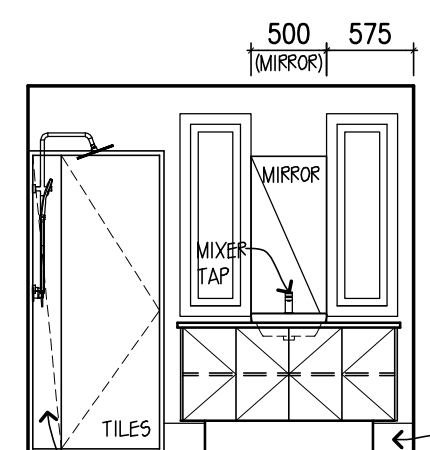
ELEVATION C



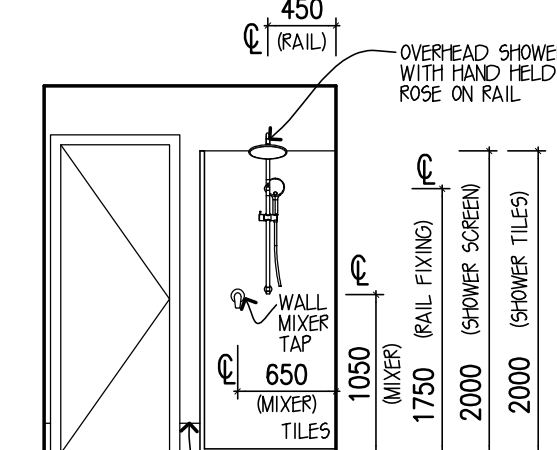
ELEVATION D  
ENSUITE 1



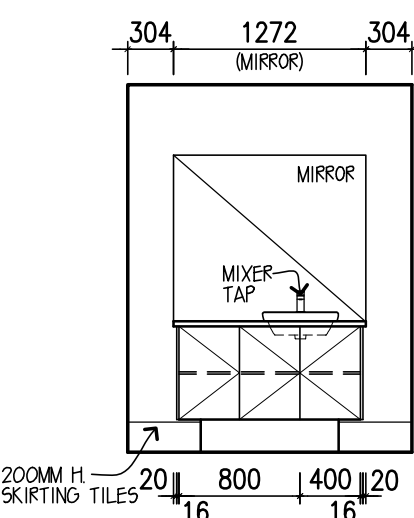
ELEVATION A  
ENSUITE 4



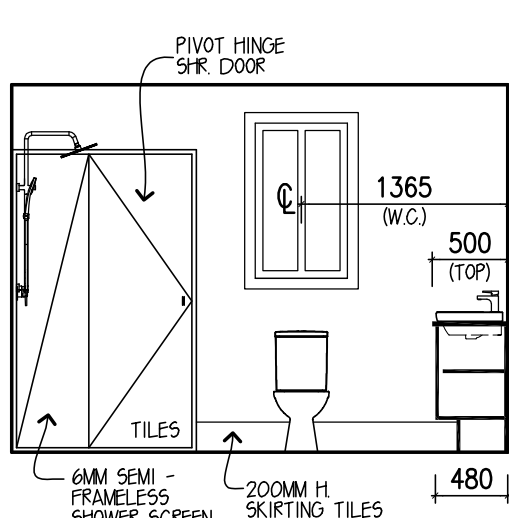
ELEVATION B



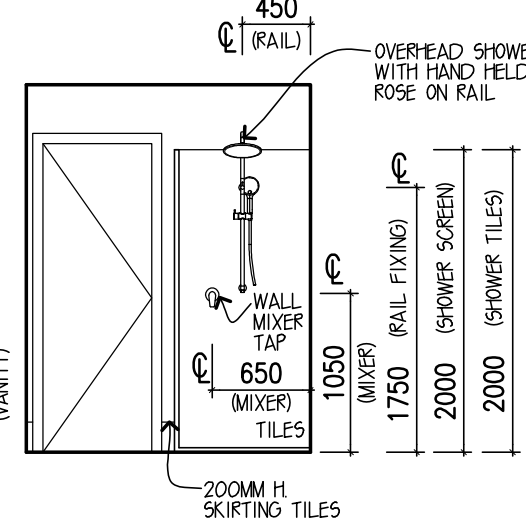
ELEVATION C



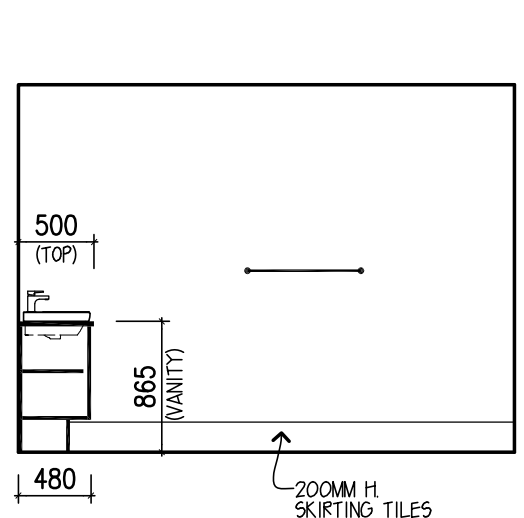
ELEVATION A  
ENSUITE 3



ELEVATION B



ELEVATION C



ELEVATION D

BATHROOM ACCESSORIES LEGEND	
TOILET RING (700MM ABOVE FFL)	SGL TOWEL RAIL (600)
SGL ROBE HOOK (1700MM ABOVE FFL)	SGL TOWEL RAIL (760)
SOAP HOLDER (1200MM ABOVE FFL)	SGL TOWEL RAIL (900)
TOWEL RING (1200MM ABOVE FFL)	DBL TOWEL RAIL (760)
	DBL TOWEL RAIL (900)
	ALL TOWEL RAILS (1200MM ABOVE FFL)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

- BATHROOM ACCESSORIES NOTES:
- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
  - ALL SYMBOLS ARE GENERIC ONLY
  - ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
  - HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

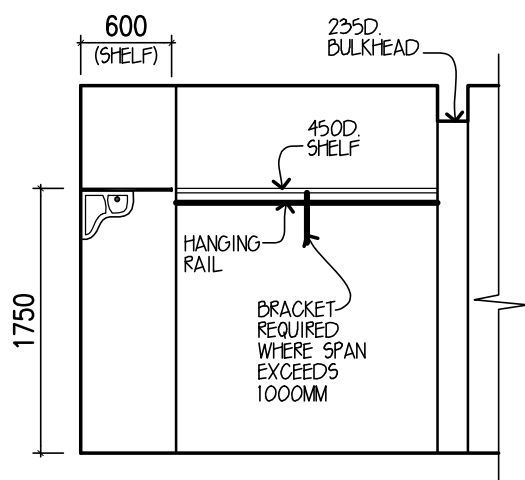
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DESIGNER **m**  
metricon

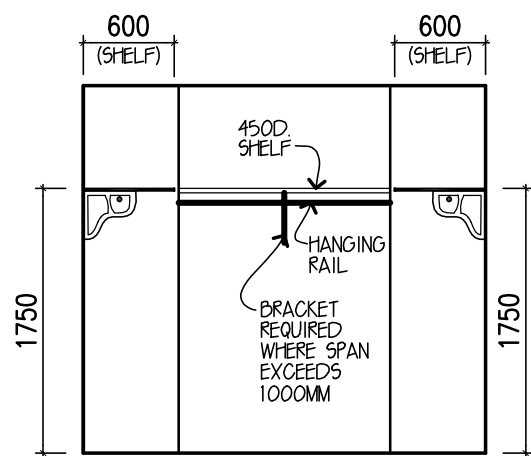
BY METRICON  
 Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
 P.O. Box 7510, Norwest Business Park NSW 2153  
 Tel: 02 8887 9000 Fax: 02 8079 5901  
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OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

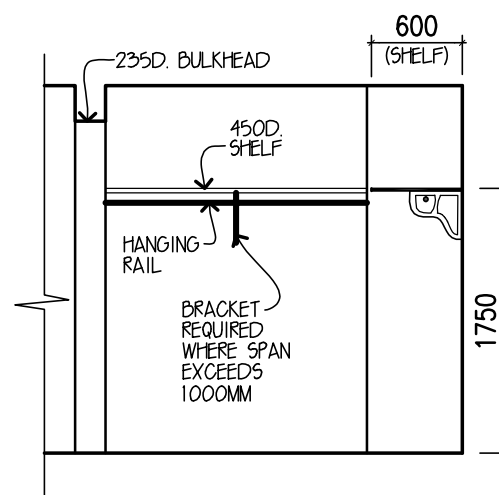
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FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>15.07.2018</b>
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DRAWN: <b>CYO</b>	CHECK: <b>--</b>
SHEET: <b>9</b> of <b>12</b>	



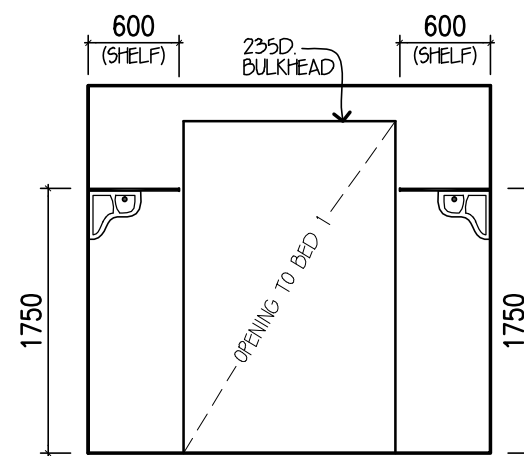
ELEVATION A  
W.I.R 1



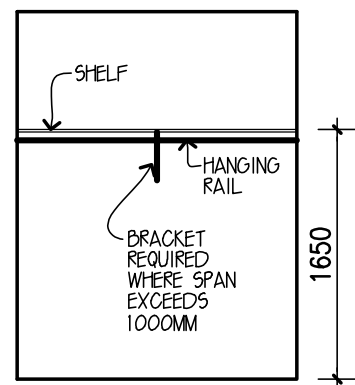
ELEVATION B



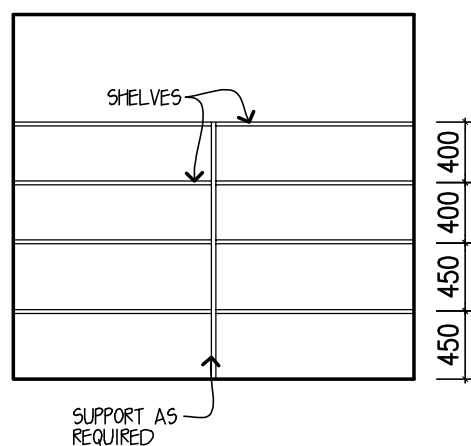
ELEVATION C



ELEVATION D



BED'S 2, 3, 4 & 5  
ROBE (TYPICAL)



ELEVATION B  
LINEN

DESIGN: **BALMAINE 46**  
 FACADE: **VERVE** CEILING: 27, R  
 GARAGE: **SINGLE** LOCATION: F

**INTERNALS**

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**DESIGNER** | **m**  
metricon

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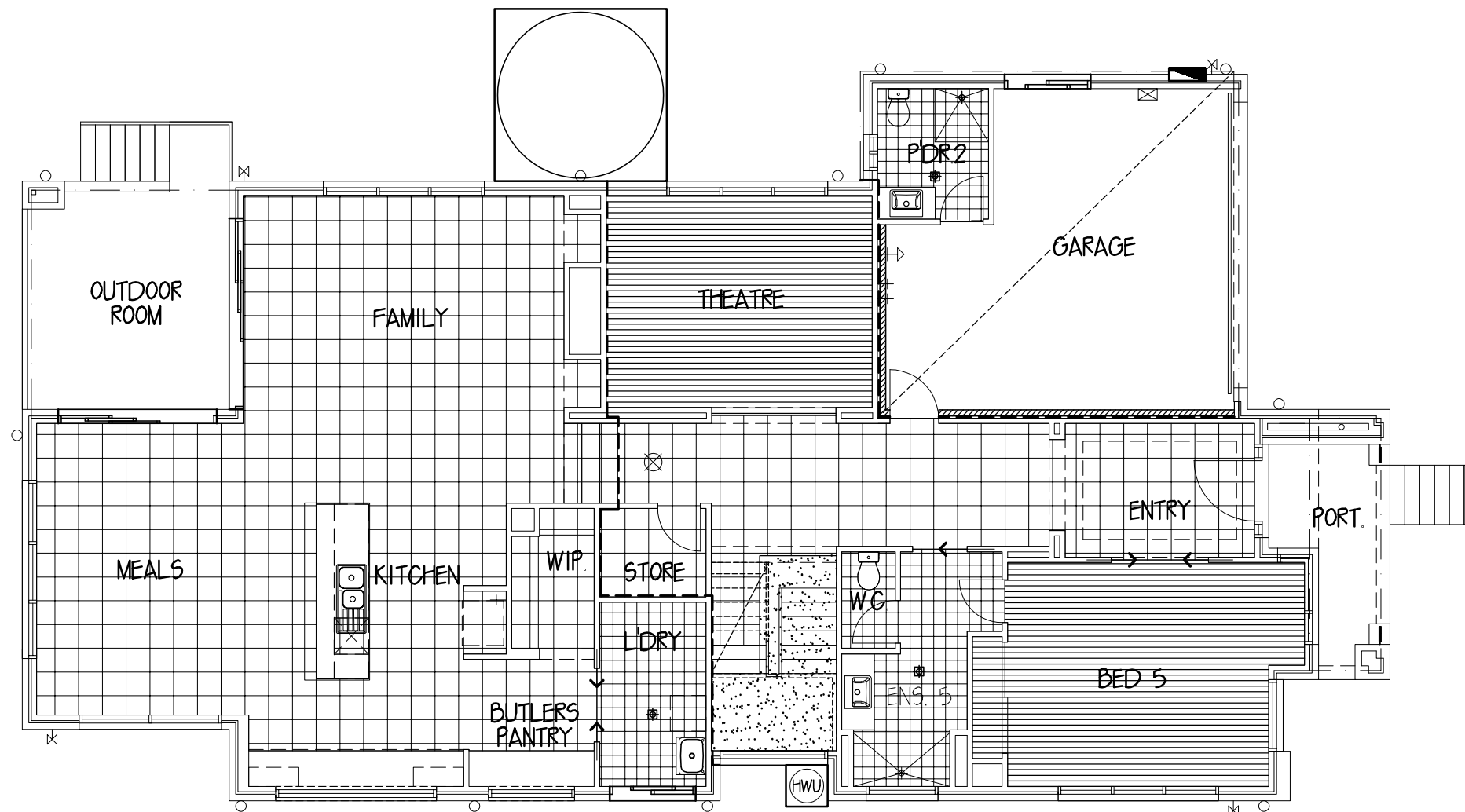
OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

JOB No: **702879** DATE: **07.08.2019**


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


**FLOOR COVERINGS LEGEND**

 WET AREA FLOOR TILING  
TOTAL AREA: 13.15 SQM

 TIMBER FLOOR AREAS  
TOTAL AREA: 35.20 SQM

 CARPET FLOOR AREAS  
TOTAL AREA: 0 SQM

 TILED FLOOR AREAS  
TOTAL AREA: 94.27 SQM

DESIGN: **BALMAINE 46**

FACADE: **VERVE** CEILING: 27, R

GARAGE: **SINGLE** LOCATION: F

**DESIGNER**



OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

**GROUND FLOOR  
FLOOR COVERINGS**

BY METRICON

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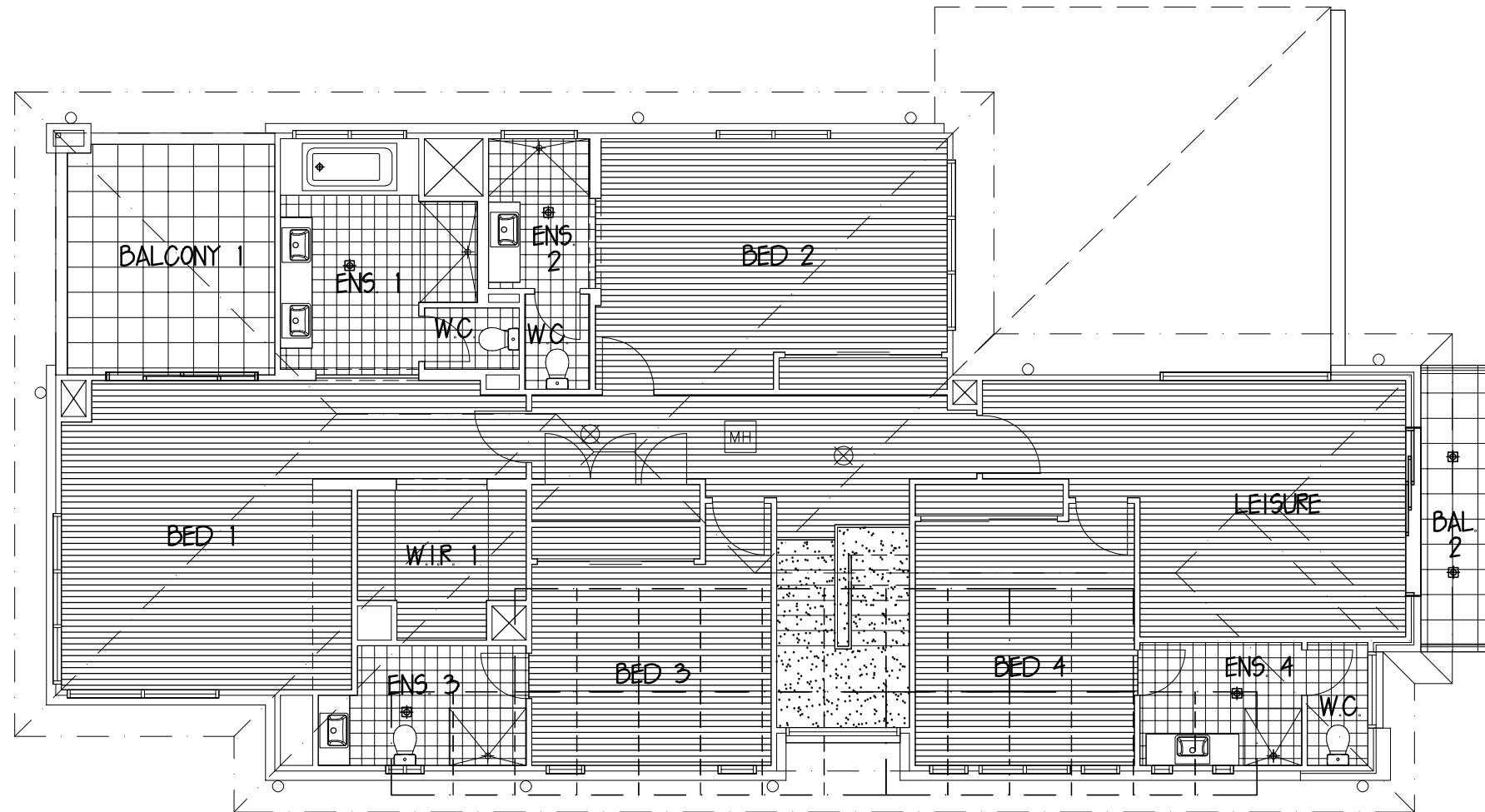
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
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DRAWN: **CYO** CHECK: **--** SHEET: **11 of 12**




**FLOOR COVERINGS LEGEND**

 WET AREA FLOOR TILING  
TOTAL AREA: 24.28 SQM

 TIMBER FLOOR AREAS  
TOTAL AREA: 118.53 SQM

 CARPET FLOOR AREAS  
TOTAL AREA: 0 SQM

 TILED FLOOR AREAS  
TOTAL AREA: 18.64 SQM

DESIGN: **BALMAINE 46**

FACADE: **VERVE** CEILING: 27, R

GARAGE: **SINGLE** LOCATION: F

**DESIGNER**



OWNER: **MR BELIKOFF & MRS BELIKOFF**  
**LOT 3, NO.128B ELANORA ROAD**  
**ELANORA HEIGHTS**

**FIRST FLOOR  
FLOOR COVERINGS**

BY METRICON

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JOB No: **702879** DATE: **07.08.2019**

FC DATE: **DD.MM.YYYY** MST VER: **15.07.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **E**

DRAWN: **CYO** CHECK: **--** SHEET: **12** of **12**





EXISTING TREES TO BE RETAINED

**LANDSCAPED AREA:**  
 Total Landscaped Area : 311.76 Sqm  
 Excl. All Hard Surfaces : 47 %  
 Min. dimension of 2m  
 Min Required By Council : 60 %

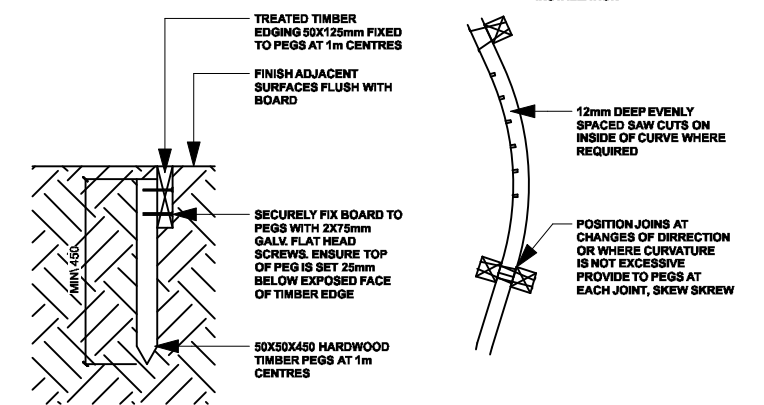
**LEGEND**

- COLOUR CONCRETE
- UNCOLOURED PLAIN CONCRETE
- TURF AREAS
- GARDEN BEDS / MULCHED PATHWAYS
- PROPOSED RESIDENCE
- AS SELECTED TILES
- TIMBER GARDEN EDGING

**MAINTENANCE SCHEDULE**

MONTH	MOWING	FERTILISING	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING CLIPPING	WEED SPRAY	WATERING	PLANT REPLACEMENT
DEC	W	M	M	W	M	M	D	M
JAN	W	M	M	W	M	M	D	M
FEB	W	M	M	W	M	M	D	M
MAR	F	M	M	F	M	M	D	M
APR	F	M	M	F	M	M	D	M
MAY	F	M	M	F	M	M	2ND DAY	M
JUN	M	M	M	M	M	M	2ND DAY	M
JUL	M	M	M	M	M	M	2ND DAY	M
AUG	M	M	M	M	M	M	2ND DAY	M
SEP	M	M	M	M	M	M	D	M
OCT	F	M	M	F	M	M	D	M
NOV	F	M	M	F	M	M	D	M
W-	W-WEEKLY		F-FORTNIGHT		M-MONTHLY		2ND-DAY - EVERY SECOND DAY	

NOTE: ALL TIMBER TO BE PRESERVATIVE TREATED PRIOR TO INSTALLATION



TREATED PINE TIMBER EDGE  
 NTSual Size



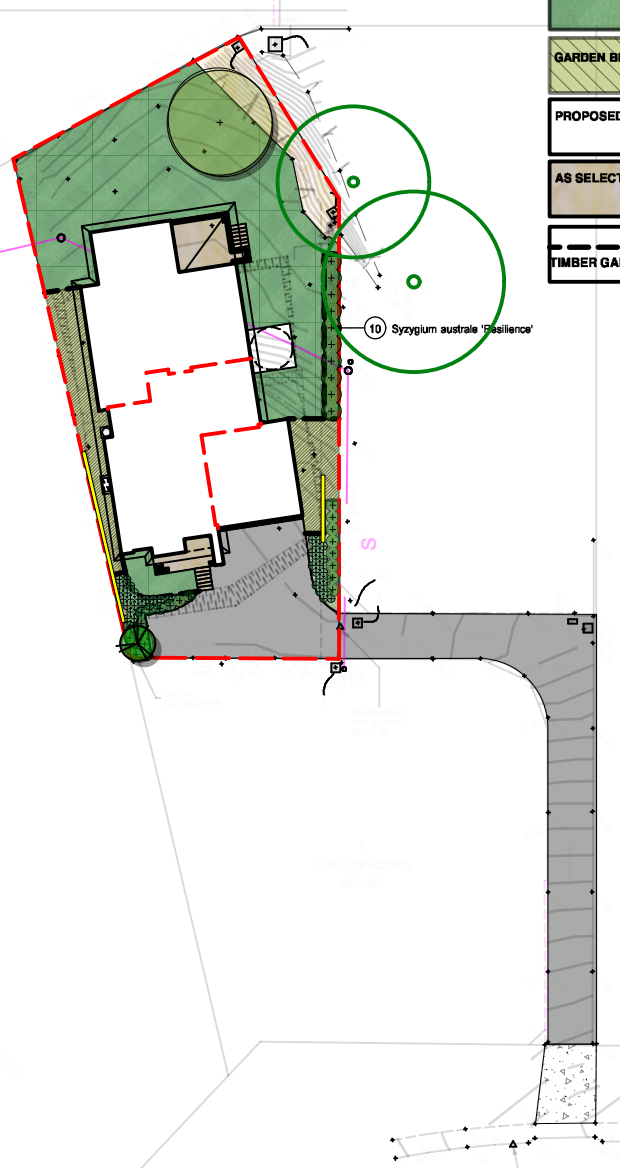
Lagerstroemia indica  
Lagerstroemia



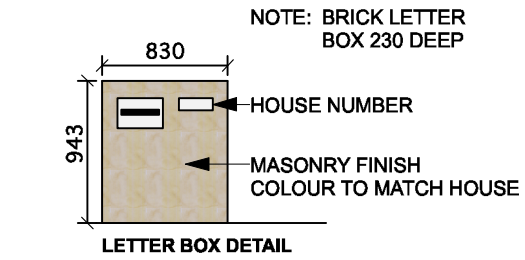
Waterhousea floribunda  
Sweeper Foliage



SITE PLAN 1:250



SITE PLAN 1:500 AD



**PLANT SCHEDULE**

ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
Lag-in	1	Crepe Myrtle	Lagerstroemia indica	45L	8m	3m
WF	1	Weeping Lilly Pilly	Waterhousea floribunda	45L	8 - 10m	3.5 - 6m
Shrubs						
Mur-pan	8	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m
syz-au're'	10	Lilly Pilly	Syzygium australe 'Resilience'	200mm	1 - 2.5m	1.5m
Wes-fru	14	Coastal Rosemary	Westringia fruticosa	200mm	0.6m	0.9m
Grasses						
Dia-cae	46	Blue Flax-lily	Dianella caerulea	150mm	0.4m	0.6m
Total	80					

C 21/02/20 ADDRESS UPDATED  
 B 20/02/20 AMEND TO SUIT SITE PLAN REV. E  
 ISSUE DATE COMMENT

AMENDMENTS

**GENERAL NOTES**  
 All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.  
 All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor bolts or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman-like manner according to the plans and specification.  
 NOTE:  
 Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.  
 All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.  
 No responsibility will be accepted by SiteDesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.  
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 www.sdstudios.com.au

Project METRICON - MR BELIKOFF RESIDENCE  
 Address 128 B ELANORA ROAD, ELANORA HEIGHTS (Lot3 DP1237847) Client MR & MRS BELIKOFF  
 Drawing Title DA LANDSCAPE PLAN Scale AS SHOWN @A3

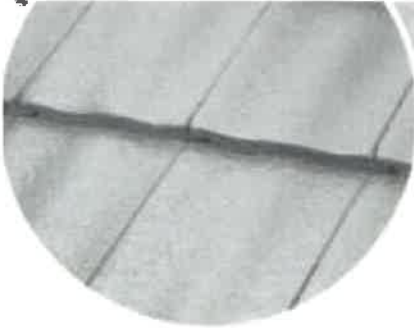
Drawing No. 702879

Page L-01 B

DATE:  
28/10/19

ADDRESS: Lot 3, 28 Elanora Rd, Elanora Heights NSW  
2101

**ROOF**



**MONIER ATURA SILVER  
PERCH**

**ALUMINIUM FRAMES**



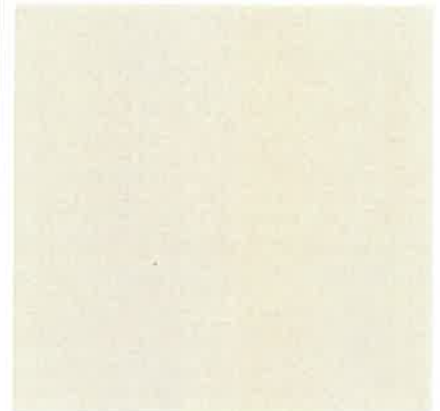
**WHITE**

**BRICKS**



**URBAN ONE, SILVER**

**RENDER**



**DULUX FEATHER SOFT**

**GARAGE/GUTTER/FASCIA/  
DOWNPIPES/LINING/EAVES**

**COLORBOND  
SURFMIST**

**ENTRY DOOR**



**CABOTS CHESTNUT**

**EXTERNAL RAILING**



**COLORBOND  
WINDSPRAY**

NOTE: COMPUTER-GENERATED COLOURS ARE INDICATIVE. Refer to supplier samples where available.