

5.1

NATIONWIDE HOUSE

ENERGY RATING SCHEME

63.8

MJ/m<sup>2</sup>

www.nathers.gov.au

0007976970-01

25 Aug 2022

Assessor Luis Contigiani

Accreditation No. DMN13/1543

Address

49 WARRIWOOD RD,

WARRIWOOD, NSW, 2102

hstar.com.au

| WINDOW SCHEDULE |           |        |       |                         |
|-----------------|-----------|--------|-------|-------------------------|
| No              | TYPE      | HEIGHT | WIDTH | GLAZING/REMARK          |
| 1               |           | 2388   | 1080  | TIMBER ENTRY FRAME      |
| 2               | AW2109    | 2057   | 850   | AWNING                  |
| 3               | AW2109    | 2057   | 850   | AWNING                  |
| 4               | SW1818    | 1800   | 1810  | SLIDING                 |
| 5               |           | 2039   | 881   | TIMBER ENTRY FRAME      |
| 6               | UAD2430-3 | 2400   | 3048  | ALFRESCO STACKER DOOR   |
| 7               | UAD2430-3 | 2400   | 3048  | ALFRESCO STACKER DOOR   |
| 8               | FW0536    | 500    | 3610  | FIXED                   |
| 9               | SW1209    | 1200   | 850   | SLIDING / OBSCURE GLASS |
| 10              | AW1506    | 1457   | 610   | AWNING                  |
| 11              | AW1506    | 1457   | 610   | AWNING                  |
| 12              | AW2106    | 2057   | 610   | AWNING                  |
| 13              | HDE115    | 2100   | 1450  | ALUM HINGED DOOR        |
| 14              | AW2106    | 2057   | 610   | AWNING                  |
| 15              | FW3006    | 3000   | 610   | FIXED                   |
| 16              | FW3006    | 3000   | 610   | FIXED                   |
| 17              | SW0618    | 600    | 1810  | SLIDING / OBSCURE GLASS |
| 18              | SW1221    | 1200   | 2050  | SLIDING                 |
| 19              | SW1206    | 1200   | 610   | SLIDING                 |
| 20              | SW0618    | 600    | 1810  | SLIDING                 |
| 21              | SW0918    | 857    | 1810  | SLIDING                 |
| 22              | SW0918    | 857    | 1810  | SLIDING / OBSCURE GLASS |

Ground Floor Plan

First Floor Plan

Site Plan

SEVERE MARINE ENVIRONMENT  
(NOTE: BRICK JOINTS TO ONLY BE IRONED OR FLUSH.  
RAKED JOINTS ARE NOT ALLOWED)

| Zone R3 - Medium Density Residential  |  |
|---|--|
| Control Table Calculations  |  |
| Pittwater LEP 2014  |  |
| Warriewood Valley Release Area  |  |
| <ul style="list-style-type: none"><li><b>Site Area</b><br/>Total area of site = 372.800 sq.m</li></ul>  | <ul style="list-style-type: none"><li><b>Carparking Requirement</b><br/>Required 2<br/>Provided 2</li></ul>  |
| <ul style="list-style-type: none"><li><b>Private Open Space</b><br/>Minimum 24.00sqm area required (minimum 4.00m dimension)<br/>Provided 53.170 sq.m</li></ul> | <ul style="list-style-type: none"><li><b>Landscaped Area</b><br/>Minimum 25% of site area required<br/>Required 25% of site or 93.200 sq.m<br/>Provided 31.7% of site 118.320 sq.m</li></ul> |

| REVISION | DATE     | DRAWN BY | COMMENTS   |
|----------|----------|----------|--|
| B        | 25.08.22 | DM       | Additional survey information added & sewer main plotted as per pegout |
|          |          |          |  |
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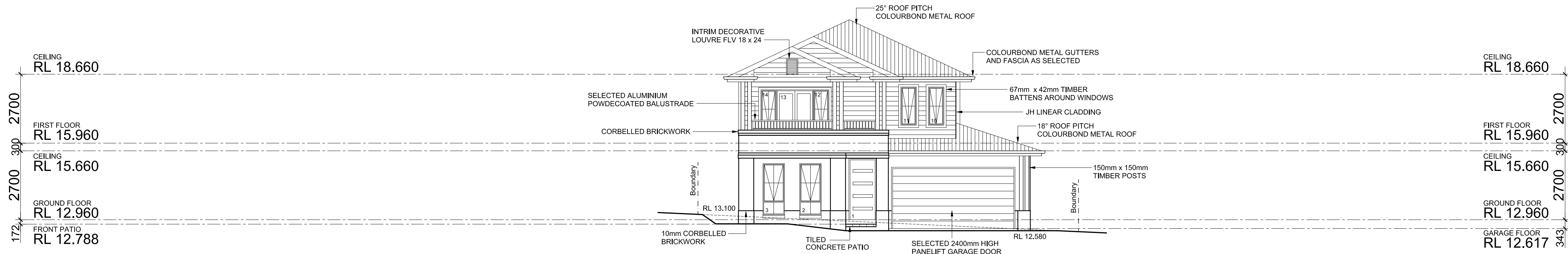
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Suite 1, Level 1  
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Liverpool NSW 2170  
Email: mail@r.net.au Phone: 9602 7700 Fax: 9734 6633

Site Plan, Floor Plans & Calculations  
PROPOSED TWO STOREY DWELLING

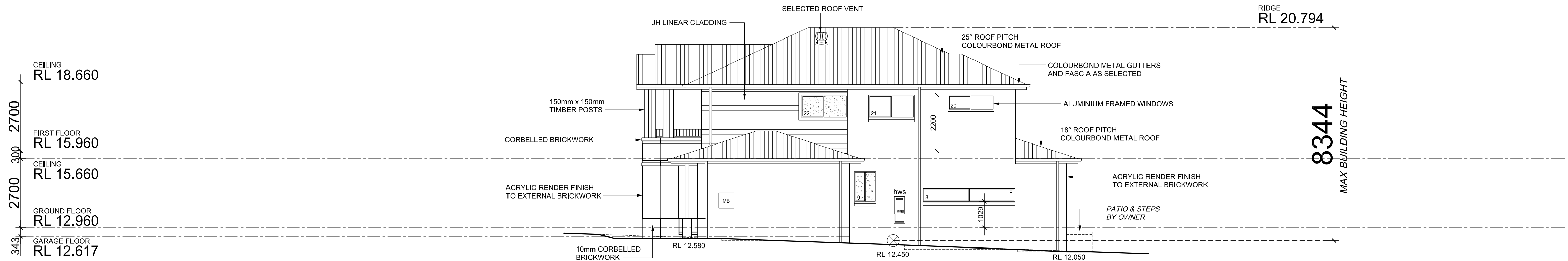
CLIENT: Mr Tan Hung Nguyen  
SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,  
SUBURB: Warriewood  
COUNCIL: Northern Beaches  
REVISION: B DATE: 25.08.2022

SCALE: 1 : 100  
JOB No.: RL 5778  
SHEET: 1 of 2

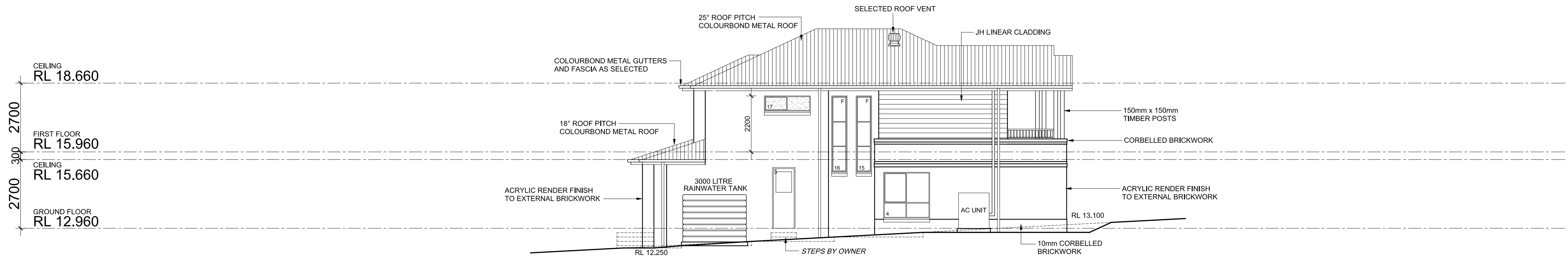




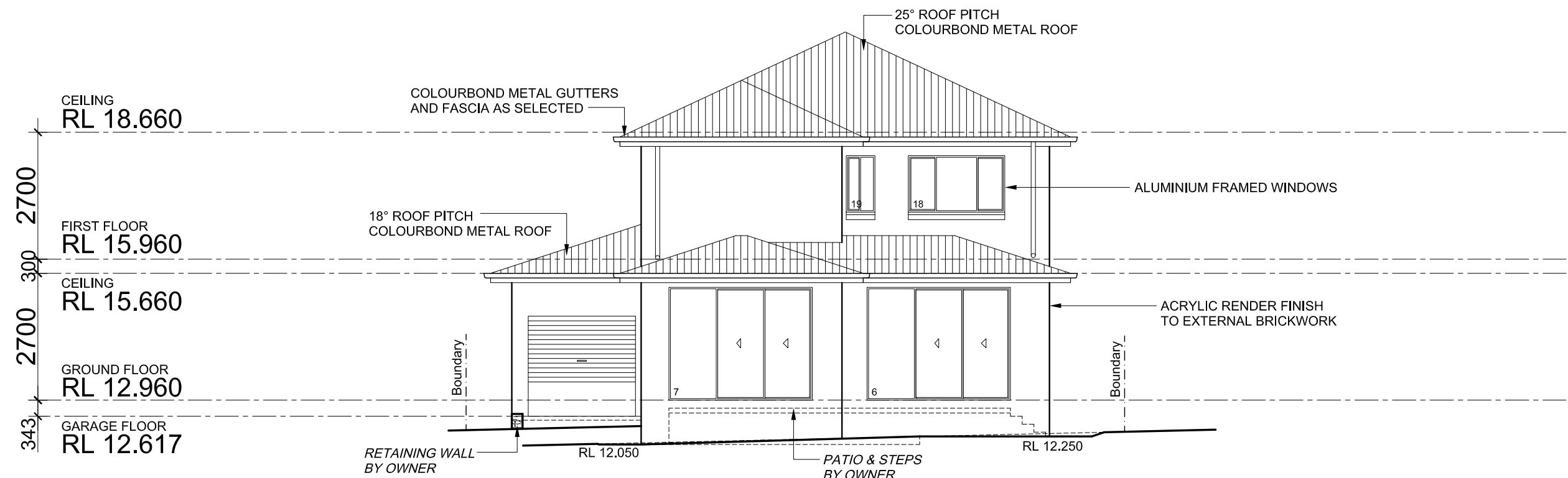
Warriewood Road (North Eastern) Elevation



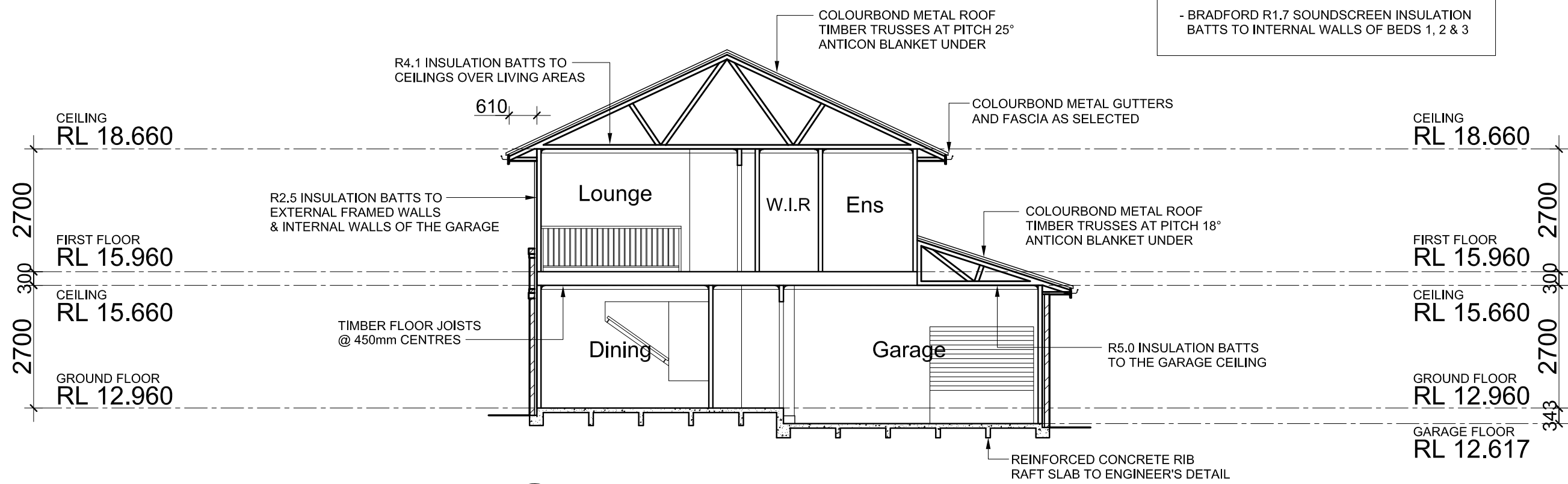
Right (North Western) Elevation



Left (South Eastern) Elevation



Rear (South Western) Elevation



Sectional Elevation

NOTE: BASIX CERTIFICATE MUST TAKE PRECEDENCE OVER THIS TEMPLATE

BASIX'S REQUIREMENT

|  |
|--|
| ADDRESS: No.49 WARRIEWOOD ROAD, WARRIEWOOD   |
| STORMWATER   |
| PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE - Minimum 3000 litres  |
| HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT - At least 89.5 sqm   |
| RAINWATER TANK MUST SERVICE - All toilets, cold water washine machine taps & at least one outdoor garden tap   |
| WATER  |
| SHOWERHEAD RATING - 3 Star (> 7.5 but <= 9 L/min)  |
| TOILET FLUSHING SYSTEM RATING - 4 Star   |
| KITCHEN TAP RATING - 4 Star  |
| BATHROOM TAP RATING - 4 Star   |
| THERMAL COMFORT / SIMULATION METHOD  |
| PLEASE SEE ASSA NATHERS SPECIFICATION TABLE, CERTIFICATION NUMBER -- 0007976970-01   |
| ENERGY   |
| ACTIVE COOLING FOR LIVING ROOMS - 3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms   |
| ACTIVE COOLING FOR BED ROOMS - 3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms  |
| ACTIVE HEATING FOR LIVING ROOMS - 3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms   |
| ACTIVE HEATING FOR BED ROOMS - 3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms  |
| WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED - 6 STAR GAS INSTANTANEOUS   |
| DOES THE KITCHEN HAVE NATURAL LIGHTING ? YES   |
| DO BATHROOMS HAVE NATURAL LIGHTING ? YES - 3 off   |
| VENTILATION DETAILS? At least 1 Bathroom: Ducted exhaust fan; Operation control: manual switch on / off<br>Laundry: Natural ventilation only<br>Kitchen: Ducted rangehood; Operation control: manual switch on / off |
| WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED? Gas Cooktop & Electric Oven  |
| IS THERE A OUTDOOR CLOTHES DRYING AREA ? YES + FIXED INDOOR or SHELTERED CLOTHESLINE   |

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 1330455S\_02

REFER TO BASIX CERTIFICATE FOR ARTIFICIAL LIGHTING REQUIREMENTS



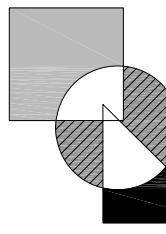
| REVISION | DATE     | DRAWN BY | COMMENTS   |
|----------|----------|----------|--|
| B        | 25.08.22 | DM       | Additional survey information added & sewer main plotted as per payout |
|          |          |          |  |
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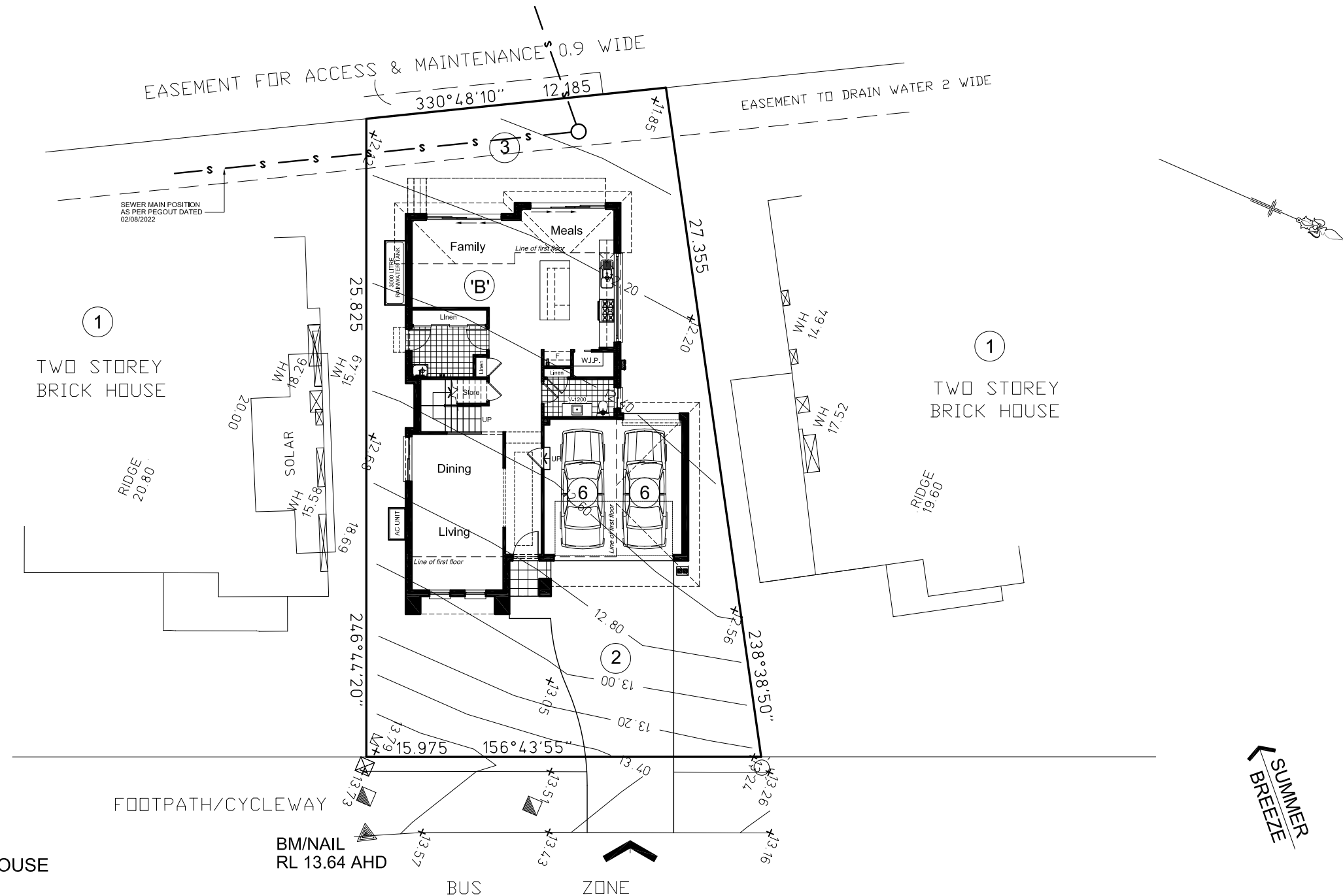
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Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

Elevations, Section & BASIX Commitments  
PROPOSED TWO STOREY DWELLING

CLIENT: Mr Tan Hung Nguyen  
SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,  
SUBURB: Warriewood SCALE: 1 : 100  
COUNCIL: Northern Beaches JOB No.: RL 5778  
REVISION: B DATE: 25.08.2022 SHEET: 2 of 2

## KEY

- 
-  CONTOURS  
 VEHICULAR SITE ENTRY  
 PREVAILING WINDS  
 NOISE



- 'A' EXISTING DWELLING & OUTBUILDINGS  
'B' PROPOSED TWO STOREY DWELLING HOUSE  
1 ADJOINING DWELLING/S  
2 PROPOSED DRIVEWAY & VEHICULAR CROSSING  
3 SECLUDED PRIVATE OPEN SPACE  
4 EXISTING TREE/S TO BE REMOVED  
5 EXISTING TREE/S TO BE RETAINED  
6 CARPARKING SPACE/S  
7 ELECTRICITY POLE

*WARRIEWOOD ROAD*

SEVERE MARINE ENVIRONMENT

(NOTE: BRICK JOINTS TO ONLY BE IRONED OR FLUSH.  
RAKED JOINTS ARE NOT ALLOWED)

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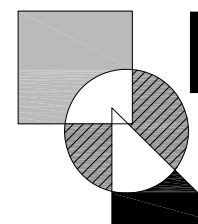


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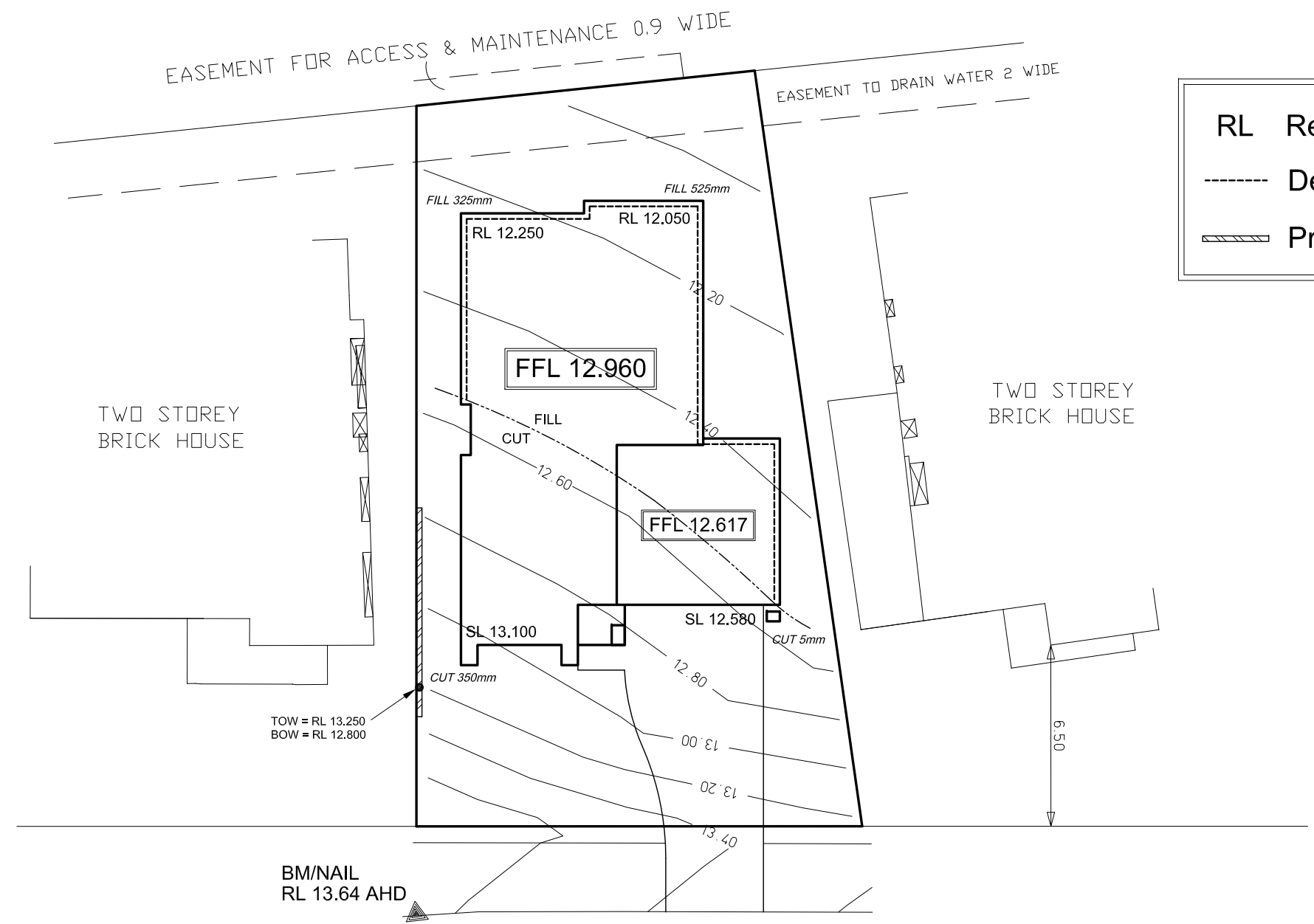
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Email: [mail@rl.net.au](mailto:mail@rl.net.au) Phone: 9602 7700 Fax: 9734 6633

# SITE ANALYSIS PLAN

CLIENT: *Mr Tan Hung Nguyen*  
 SITE ADDRESS: *No.49 (Lot 5 in DP 1206507) Warriewood Road,*  
 SUBURB: *Warriewood* SCALE: *1 : 200*  
 COUNCIL: *Northern Beaches* JOB No.: *RL 5778*  
 REVISION: *A* DATE: *08.09.2022* SHEET: *1 of 1*



RL    Reduced (Existing) Level

-----    Deepened Edge Beam

Proposed Retaining Wall

# WARRIEWOOD ROAD

ALL FILL TO BE CONTAINED WITHIN BUILDING FOOTPRINT BY USE OF DEEPENED EDGE BEAMS

| REVISION | DATE | DRAWN BY | COMMENTS |
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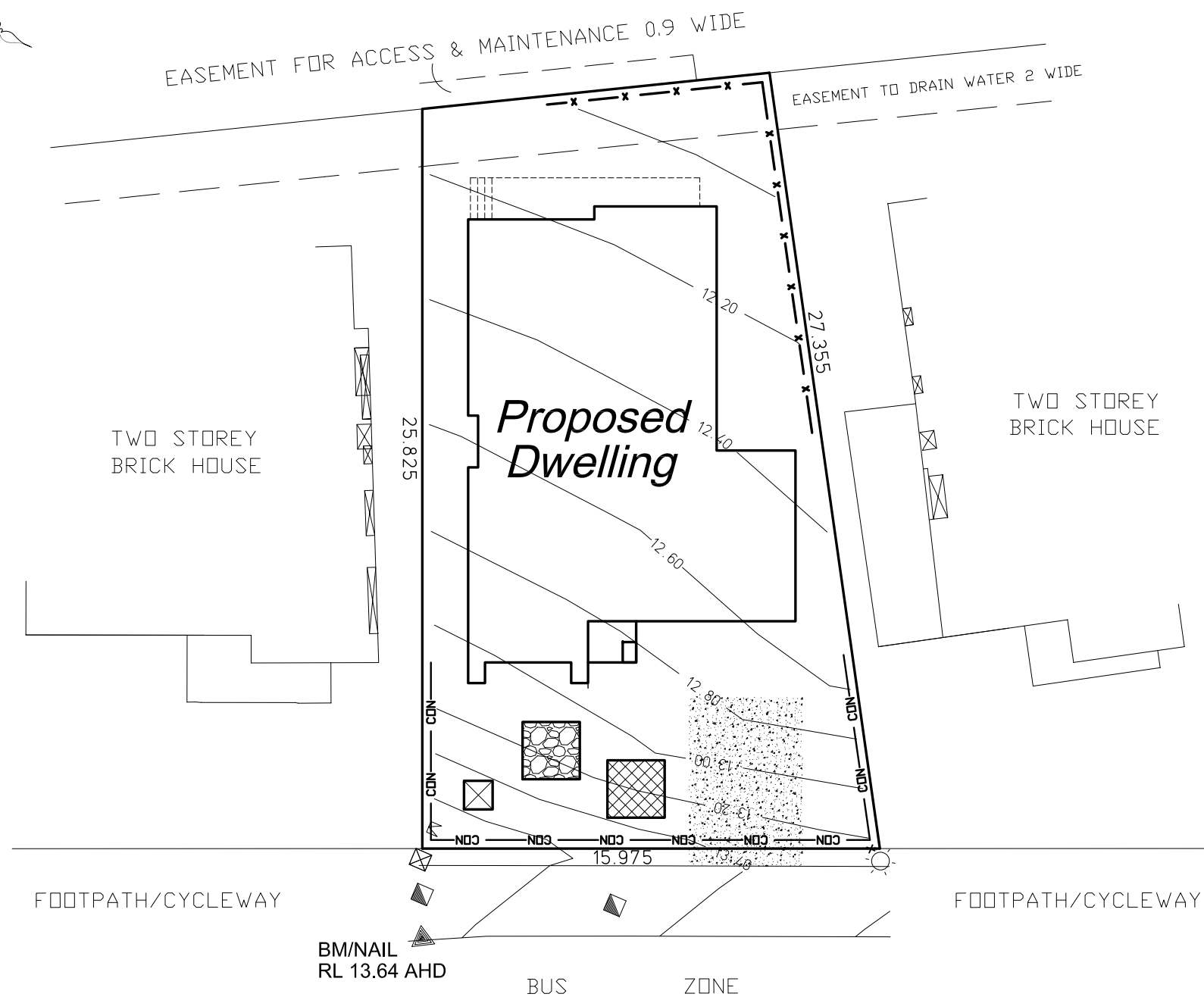
EXCAVATION & FILL PLAN

CLIENT: Mr Tan Hung Nguyen

SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,  
SUBURB: Warriewood  
COUNCIL: Northern Beaches

SCALE: 1 : 200  
JOB No.: RL 5778  
REVISION: A    DATE: 08.09.2022    SHEET: 1 of 1

A3

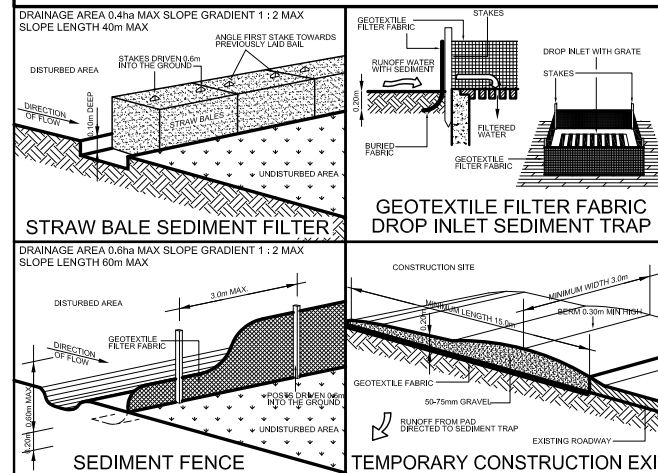


WARRIEWOOD

ROAD

## ACCOMPANY NOTES TO PLAN

- CONSTRUCTION VEHICLES ARE TO LEAVE & ENTER THE SITE OVER AN ALL WEATHER SURFACE CONSISTING OF COURSE CRUSHED STONE OR BLUE METAL CONSTRUCTED WITHIN THE FRONT SETBACK AREA OPPOSITE THE EXISTING FOOTPATH CROSSING.
- EXCAVATION MACHINERY ARE TO BE UNLOADED & LOADED UPON THIS ALL WEATHER SURFACE. CONCRETE PUMPS & TRUCKS WILL ALSO UTILISE THE ALL WEATHER SURFACE FOR THIER OPERATIONS.
- MATERIALS WILL BE UNLOADED UPON THE ALL WEATHER SURFACE WITHIN THE FRONT SETBACK AREA BY MEANS OF CRANES MOUNTED ON THE BACK OF DELIVERY TRUCKS OR UNLOADED BY HAND. IT IS NOT ENVISAGED THAT A MOBILE CRANE WILL BE REQUIRED DURING THE CONSTRUCTION PROCESS.
- SOME STOCKPIILING OF TOPSOIL REMOVED FROM THE BUILDING AREA MAY BE STORED ON THE SITE DURING THE CONSTRUCTION WITHIN THE PROPERTY IN AN AREA ENCLOSED WITHIN THE SEDIMENT CONTROL FENCING.
- ALL EXCAVATED & CONSRUCTION MATERIALS, SHED, SKIP BINS, TEMPORARY WATER CLOSETS, SPOIL & EQUIPMENT, ETC SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL STAND ON COUNCIL FOOTPATHS FOR LARGE LENGTHS OF TIME.
- ALL RUBBISH & RECYCLABLE MATERIAL SHALL BE STOCKPILED IN WASTE BINS IN THE AREA NOMINATED ON THE SITE PLAN WITHIN THE SITE BOUNDARY. PUBLIC PROPERTY WILL BE KEPT FREE OF RUBBISH & RECYCLABLES AT ALL TIMES ANY WASTE MATERIALS SHALL BE REGULARLY COLLECTED FROM THE SITE & DISPOSED OF IN AN APPROPRIATE FASHION.
- ANY BUILDING / DEMOLITION WORKS INVOLVING ASBESTOS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELAVANT STANDARDS.
- VEHICLES LEAVING THE SITE WILL DO SO VIA THE ALL WEATHER BALLAST DRIVEWAY MADE OF COURSE AGGREGATE OR SIMILLAR LOCATED WITHIN THE FRONT SETBACK AREA OF THE DEVELOPMENT. ANY DIRT OR MATERIAL DEPOSITED ON THE ROAD RESERVE OR ROADWAY IS TO BE PROPMPPLY CLEANED.
- ANY EXCAVATED AREA REQUIRING SUPPORT WILL BE UNDERTAKEN BY THE OWNER USING STRUCTURALLY APPROVED RETAINING STRUCTURES.
- ADEQUATE SAFETY SIGNAGE MUST BE ERCTED IN A PROMINENT POSITION ON THE WORK SITE, WARNING OF UNAUTHORISED ENTRY TO WORK SITE & INTENDING DANGERS.
- SAFETY FENCES SHALL BE PROVIDED AROUND ALL BOUNDARIES UNLESS A CONTINUOUS STRUCTURALLY ADEQUATE FENCE PRESENTLY EXISTS. THE FENCING SHALL BE ADEQUATE TO RESTRICT PUBLIC ACCESS TO THE SITE WHEN BUILDING WORK IS NOT IN PROGRESS OR THE SITE IS UNOCCUPIED.
- NOISE LEVELS SHALL BE KEPT BELOW COUNCIL REGULATION LEVELS. BUILDING & DEMOLITION WORKS SHALL ONLY BE CARRIED OUT BETWEEN HOURS & DAYS SPECIFIED BY COUNCIL.
- GEOTEXTILE FABRIC SHALL BE PLACED ON THE INSIDE OF THE SITE FENCING PRIOR TO SITE DISTURBANCE TO PREVENT SEDIMENT WASHING FROM CLEARED AND DISTURBED AREAS OF THE SITE INTO THE STORMWATER SYSTEM DURING CONSTRUCTION UNCONTAMINATED RUNOFF FROM CLEARED OR DISTURBED AREAS IS TO BE DIRECTED TO A TEMPORARY SILT ARRESTOR PIT THAT SHALL BE PROVIDED WITHIN THE SITE AT THE STREET BOUNDARY PROCESSING SITE STORMWATER BEFORE IT IS DISCHARGED TO THE STREET DRAINAGE SYSTEM OR WATERCOURSE.
- ALL TOP SOIL STRIPPED & STOCKPILED ON SITE IS TO BE BE PLACED IN NOMINATED AREAS ON PLAN. ALL DISTURBED AREAS ARE TO BE STABILISED UPON THE COMPLETION OF BUILDING WORKS.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO BE CONTINUALLY MAINTAINED DURING CONSTRUCTION AND INSPECTED FOR STRUCTURAL DAMAGE AFTER EACH RAINFALL EVENT, WITH TRAPPED SEDIMENT BEING REMOVED TO THE TOPSOIL STOCKPILE.
- WHERE THERE IS THE POTENTIAL OF SITE EROSION TO PRODUCE EXCESSIVE SEDIMENT RUNOFF SUITABLE GEOTEXTILE BARRIERS SHALL BE PLACED TO ALLEVIATE THE RISK ACCORDINGLY. BARE SURFACED SHALL BE KEPT MOIST TO REDUCE DUST LEVELS. GEOTEXTILE FABRIC LOCATED ON THE INSIDE OF FENCES SHALL ALSO BE UTILISED FOR DUST CONTROL WHERE NECESSARY.



| REVISION | DATE | DRAWN BY | COMMENTS |
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| LEGEND TO SYMBOLS ON PLAN |  |
|---------------------------|--|
|                           | TEMPORARY DRIVEWAY ACCESS TO SITE DURING CONSTRUCTION PHASE    |
|                           | MATERIALS STOCKPILE AREA DURING CONSTRUCTION PHASE             |
|                           | TEMPORARY ON SITE SANITATION FACILITIES                        |
|                           | WASTE STOCKPILE AREA DURING CONSTRUCTION PHASE                 |
|                           | SEDIMENT FENCING AS PER EPA REQUIREMENTS                       |
|                           | 1.80m HIGH TEMPORARY FENCING TO SITE DURING CONSTRUCTION PHASE |

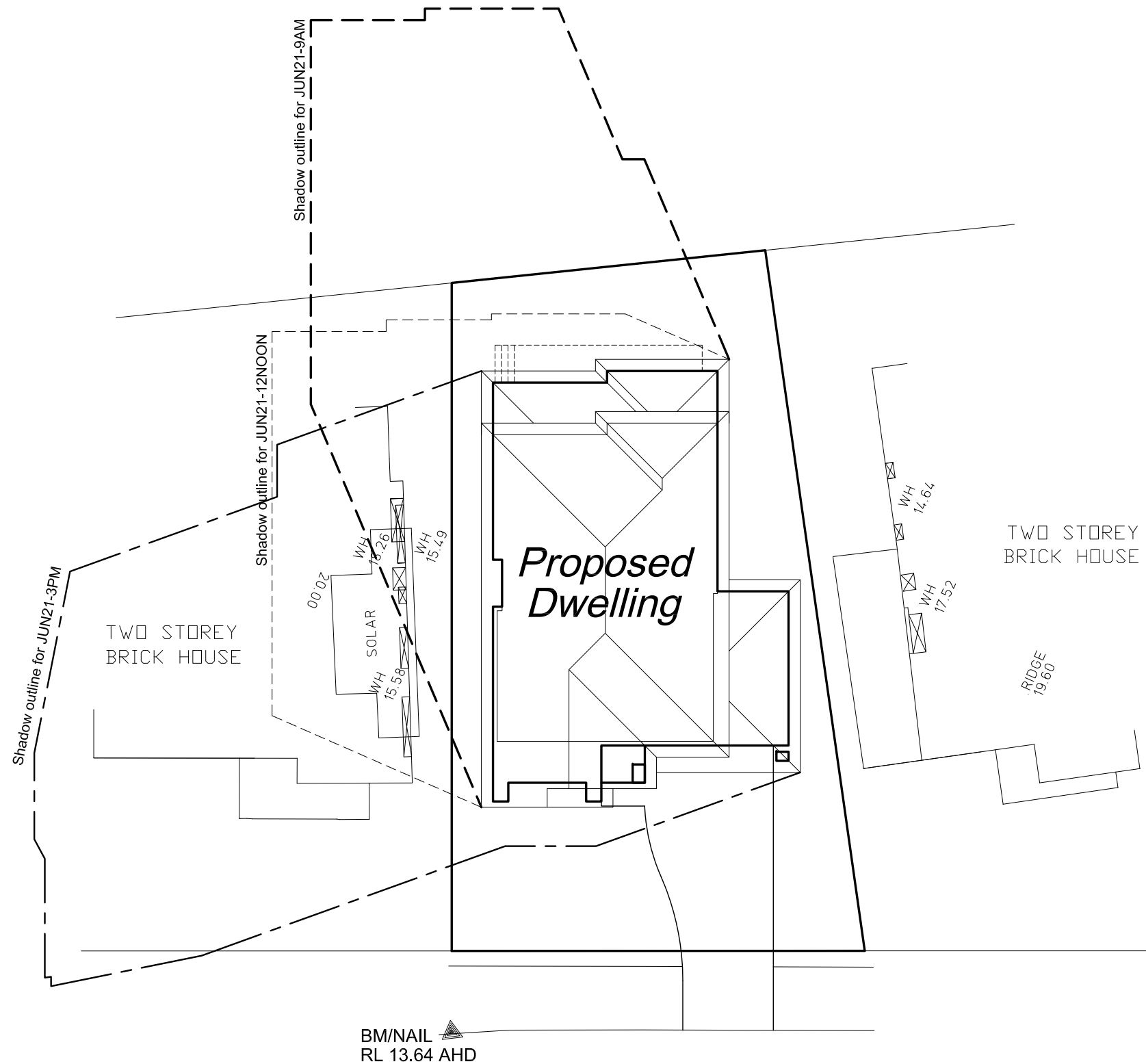
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Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

## EROSION & SEDIMENT CONTROL PLAN

CLIENT: *Mr Tan Hung Nguyen*  
SITE ADDRESS: *No.49 (Lot 5 in DP 1206507) Warriewood Road,*  
SUBURB: *Warriewood*  
COUNCIL: *Northern Beaches*  
REVISION: *A* DATE: *08.09.2022*

SCALE: *1 : 200*  
JOB No.: *RL 5778*  
SHEET: *1 of 1*

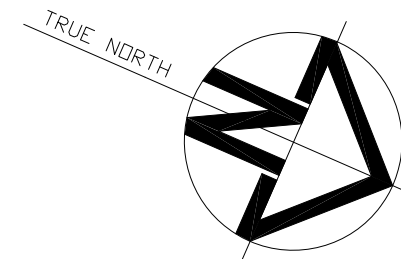




SHADOW OUTLINE FOR 21 JUNE @ 9 AM

SHADOW OUTLINE FOR 21 JUNE @ 12 NOON

SHADOW OUTLINE FOR 21 JUNE @ 3 PM



# WARRIEWOOD ROAD

| REVISION | DATE | DRAWN BY | COMMENTS |
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Email: [mail@rl.net.au](mailto:mail@rl.net.au) Phone: 9602 7700 Fax: 9734 6633

## SHADOW DIAGRAMS

(Winter Shadows - June 21)

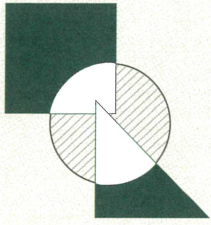
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SCALE: 1 : 200

JOB No.: RL 5778

REVISION: A DATE: 08.09.2022 SHEET: 1 of 1



**Residential Logistics** P/L

# Waste Management Plan

## Construction & On-going Waste

|                      |                                   |                     |                   |
|----------------------|-----------------------------------|---------------------|-------------------|
| Site Address:        | 49 Warriewood Road, Warriewood    |                     |                   |
| Applicant's Name:    | Residential Logistics Pty Limited |                     |                   |
| Applicant's Address: | PO Box 129 Liverpool NSW 1871     | Phone No. 9602 7700 | Fax No. 9734 6633 |

|                          |  |
|--------------------------|--|
| Construction Description | Two Storey Brick Veneer Dwelling House |
|--------------------------|--|

Applicant's signature:

Date:

8/5/22

## CONSTRUCTION

| MATERIALS ON SITE    |                                       | DESTINATION   |   |   |
|----------------------|---------------------------------------|---|---|---|
|                      |                                       | REUSE AND RECYCLING   | DISPOSAL  |   |
| TYPE OF MATERIAL     | ESTIMATED VOLUME<br>(m3) OR Area (m2) | ON SITE<br>Specify proposed reuse or onsite recycling methods | OFF SITE<br>Specify contractor and recycling outlet   | Specify contractor and landfill site  |
| EXCAVATION MATERIAL  | 2.00 m3                               | RE-USED ON SITE   | N/A   | N/A   |
| GREEN WASTE          | NIL                                   | N/A   | N/A   | N/A   |
| BRICKS<br>ROOF TILES | 1.10 m2                               | SEPARATED<br>ADJACENT TO<br>GEOTEXTILE<br>WASTE<br>RECEPTACLE | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON |
| CONCRETE             | 0.20 m3                               | ON SITE AS ALL<br>WEATHER ACCESS                              | N/A   | N/A   |
| TIMBER               | 0.50 m3                               | STORED<br>SEPARATELY<br>IN GEOTEXTILE<br>WASTE<br>RECEPTACLE  | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON |
| GENERAL              | 1.60 m3                               | STORED<br>SEPARATELY<br>IN GEOTEXTILE<br>WASTE<br>RECEPTACLE  | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON | BRANDOWN-<br>KEMPS CREEK,<br>BRANDOWN-<br>THORNLEIGH,<br>ECO CYCLE<br>MATERIALS-<br>WETHERILL PARK,<br>BENIDICTS-<br>CHIPPING<br>NORTON |
| PLASTERBOARD         | 0.30 m3                               | STORED UNDER-<br>COVER INSIDE<br>DWELLING                     | RECYCLED<br>THROUGH<br>CSR  | CSR   |

### Waste Avoidance Measures:

- Use of re-useable formwork material in lieu of conventional plywood;
- Material packaging recycling where possible (paper, timber);
- Accurate quantity measure prior to ordering, to minimise waste;
- Use of returnable packaging i.e. timber pallets to be returned to manufacturer;
- Use of recycled aggregate for the sub-base of concrete slab-on-ground



## ON-GOING WASTE MANAGEMENT

| TYPE OF WASTE GENERATED | PROPOSED ON-SITE STORAGE                         | DESTINATION                   |
|-------------------------|--|-------------------------------|
| Household waste         | 1 x Bin (1600mm high x 650mm wide x 750mm deep)  | Council's Weekly Service      |
| Household recyclables   | 2 x Bins (1600mm high x 650mm wide x 750mm deep) | Council's Fortnightly Service |
| Green Waste             | 1 x Bin (1600mm high x 650mm wide x 750mm deep)  | Council's Fortnightly Service |

# residential logistics

**Client/s** Mr. Tan Hung Nguyen

**Date** 31/08/22

**Address** Lot 5, No. 49 Warriewood Road, Warriewood

|                        |                       |                       |
|------------------------|-----------------------|-----------------------|
| <b>External Finish</b> | <i>Applied Finish</i> | <i>Applied Finish</i> |
| <b>Range</b>           | <i>Taubmans</i>       | <i>Taubmans</i>       |
| <b>Colour</b>          | <i>Oil Shale</i>      | <i>Miss Universe</i>  |



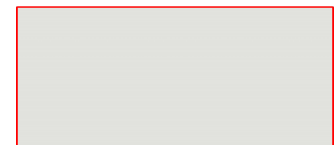
|                          |                  |
|--------------------------|------------------|
| <b>Roof Manufacturer</b> | <i>Colorbond</i> |
| <b>Range</b>             | <i>Colorbond</i> |
| <b>Colour</b>            | <i>Basalt</i>    |



|                      |                                |
|----------------------|--------------------------------|
| <b>Window Frames</b> | <i>Powder Coated Aluminium</i> |
| <b>Colour</b>        | <i>Pearl White</i>             |




|                    |                  |
|--------------------|------------------|
| <b>Garage Door</b> | <i>Colorbond</i> |
| <b>Colour</b>      | <i>Surfmist</i>  |



|               |                  |
|---------------|------------------|
| <b>Gutter</b> | <i>Colorbond</i> |
| <b>Colour</b> | <i>Surfmist</i>  |



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