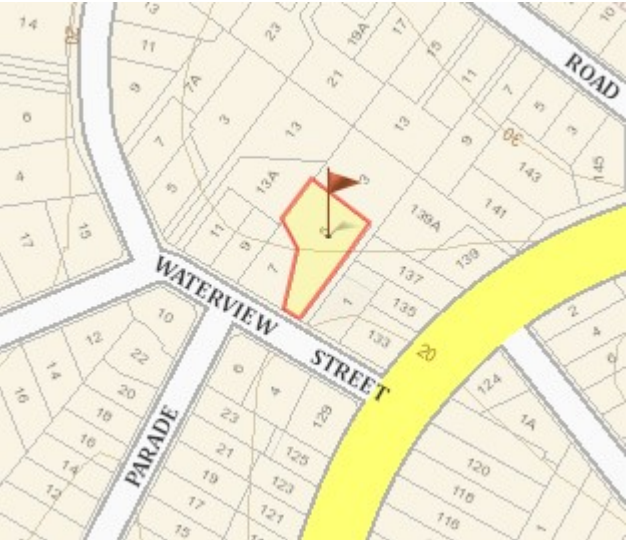


Legend/ Building Material			
BKR	Brickwork rendered	GUT	Gutter- colorbond quad to match existing.
COS	Confirm dimension on site	GUT-b	Gutter- box to future detail. Colorbond
C	Concrete	MR	Metal roof- colorbond to match existing
CL	Ceiling lining boards. FC to deck, Timber to spa roof	PB	Plasterboard
CP1	Cladding type 1. Weatherboards to match existing	PV	Paving- sandstone to match existing
CP2	Cladding type 2. Composite boards- re-used from existing deck	SC	Screen- aluminium louvre to match existing.
		SCR	Screen - re-used aluminium louvre screen
Ex	Existing	Spa	Spa- new 2300x2400x920 to client selection
FFL	Finished floor level	ST	Stone- internal wall lining
FP	Fireplace- gas. To client selection	TD	External Timber stair- Australian hardwood to selection
J	Joinery number. To future detail.	TP	Timber post.
		TL1	Tiling- internal. 1200x200 to client selection
		TL2	Tiling- external 1200x200 to client selection
<div><div>FFL 53.59</div>New Finished Floor Level</div> <div><div>ex RL 53.59</div>Existing Level</div> <div><div>-----</div>Demolished wall</div> <div><div>-----</div>Bulkhead or eave over</div> <div><div>=====</div>New timber stud wall</div> <div><div>=====</div>New timber frame wall with weatherboard</div> <div><div>=====</div>Existing wall to remain</div> <div><div>=====</div>New block/brick wall</div> <div><div>WD 1</div>Window/door 1 Refer BASIX</div>			
LEP and DCP compliance Table			
Pittwater LEP 2014			
2.1	Zoning	E4	
4.3	Building height	8.5m	Complies
7.1	Acid Sulphate Soils	Class 5	Complies
7.6	Biodiversity Protection	Biodiversity Area	Complies
Pittwater DCP 2014			
Site Area		1532 sqm	
C1.7	Private Open Space	complies	Complies
D5.5		Front Building Line	N/A
D5.6	Side Building Line	1m, 2.5m	Complies
	Rear Building Line	6.5m	On merit
D5.7	Building envelope	3.5m , 45deg	Complies
Landscaped Area- Area 2		60 %	
Permissible min 60%		919 sqm (60%)	
Existing	LA	943.8 sqm (61%)	
Proposed	LA	914.6 sqm (59%)	
Impervious Area included		91 sqm (6%)	
TOTAL Landscape Area		1005.6 sqm (65%)	Complies
Hard Surface Area			
Existing HS		584 sqm	
Proposed HS		628 sqm	Increase of 44 sqm
Floor Area			
Ground Floor Existing		218.5 sqm	
Ground Floor new		31 sqm	
Lwr Grd Floor Existing		28.7 sqm (not incl garage,store)	
Lwr Grd Floor new		3 sqm	
TOTAL floor area		281.2 sqm	



03 Locality Plans

	CP1- New weatherboards. Colour- Dark Grey to match existing
	CP2- Re-used grey boards Colour- Light Grey
	TL1 & 2- Internal and external new tiling. Light grey to client selection.
	RBK- Rendered brick To match existing.
	Windows and Doors. Black to match existing
	Fascia boards and Soffits. Colour- White to match existing
	Existing colorbond metal gutter, cappings and downpipes- Colorbond- to match existing
	Timber Exterior stairs & ceiling lining Australian hardwood to selection
	TP- Steel & Timber painted beams and columns. Dark Grey to match existing.

01 Schedule of External Finishes

02 Drawing List

DA00 Compliance Table, Drawing List, Schedule of Finishes, Legend

DA01 Site, Roof and Site Analysis Plan, Site Calculations

DA02 Demolition Plan, Lower Ground Floor Plan

DA03 Ground Floor Plan

DA04 Sections

DA05 North and South Elevations

DA06 East Elevation

DA07 Erosion and Sediment Control plan

DA08 BASIX

Notes

All work to conform to current Building Code of Australia and NSW supplement and all current relevant AS codes.
All dimensions are in millimetres and figured dimensions take precedence over scaling.
Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found.
Footings and slabs to comply with current AS 2870 and accordance with accompanying structural engineering drawings.
Light and ventilation to comply with part F4 of the Building Code of Australia.
All wall framing to comply with current AS 1684 light timber framing code and relevant supplements.

Provide insulation to all wall cavities in external walls to BASIX requirements.
Smoke alarms to be installed in accordance with Australian building code and local fire regulations.
All positions of GPO's and switches to be confirmed on site prior to installation.
All positions of light fittings to be confirmed on site prior to installation.
Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.
New spa to comply with AS 2610.2-2007 private spas.

Materials

	New Timber framed post/floor structure
	New Concrete/Paving
	New Glazing
	New Brickwork/blockwork
	New Metal roofing / Metalwork

Compliance Table, Legend, DA00 Finishes Schedule, Drawing List

Drawing:		
Development Application		10/02/20
No.	Issue	Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

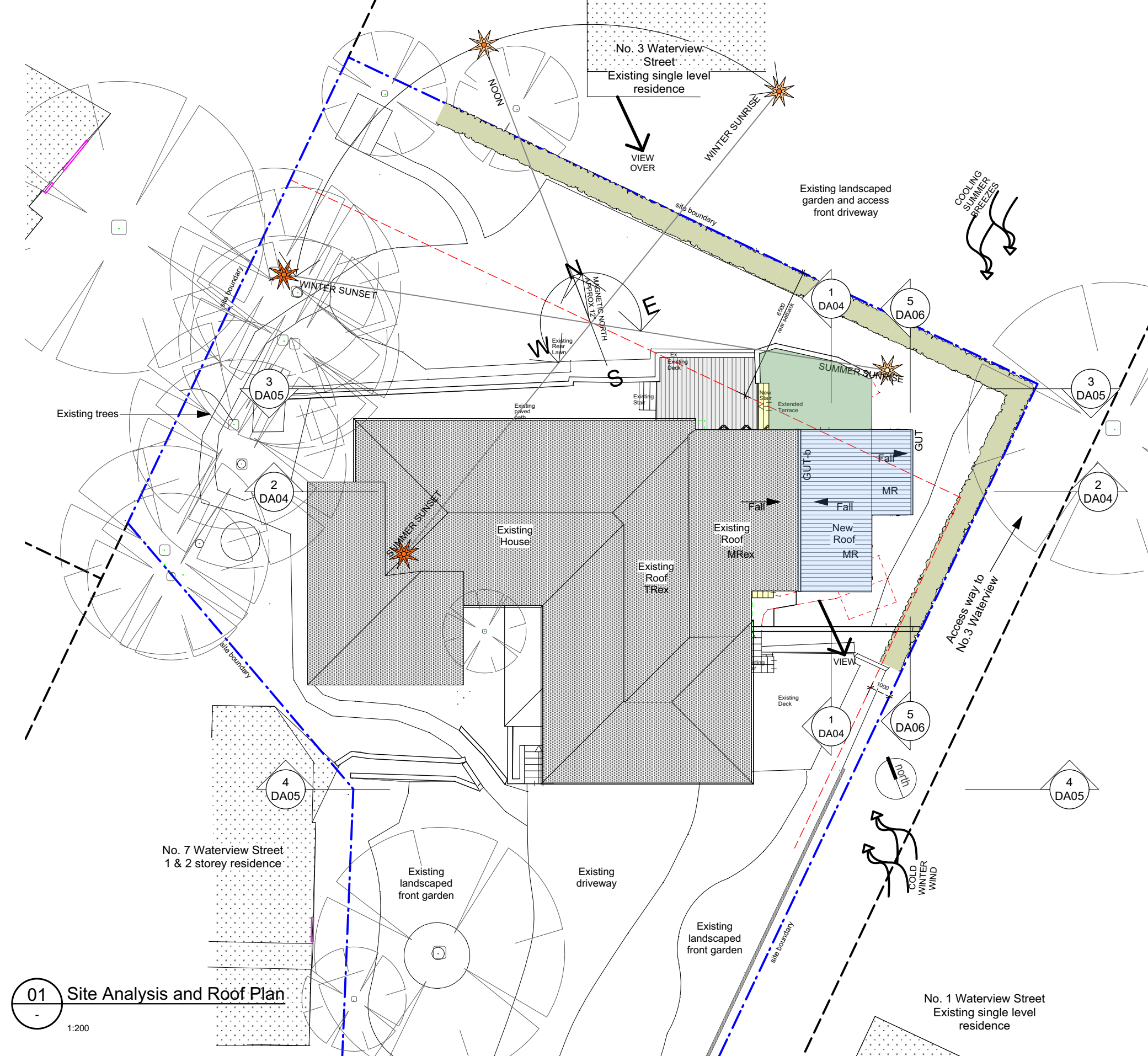
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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hooghuisdesign@optusnet.com.au 0408 413 714 a b n 5 3 6 3 0 5 0 2 7 8 3



Notes
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New spa to comply with AS 2610.2-2007 private spas.

Materials	
New Timber framed post/floor structure	
New Concrete/Paving	
New Glazing	
New Brickwork/blockwork	
New Metal roofing / Metalwork	

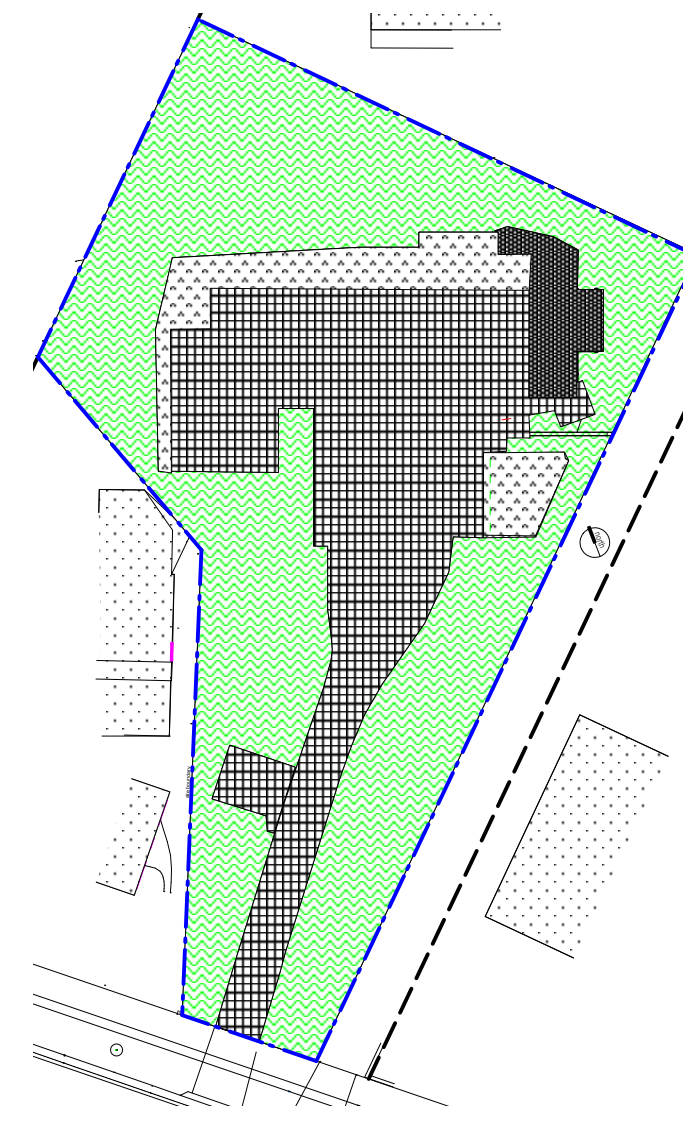
Site and Roof Plan		DA01
Drawing:		
Development Application		
No.	Issue	Date
		10/02/20

Project:
Alterations and Additions for Mr and Mrs Willmott

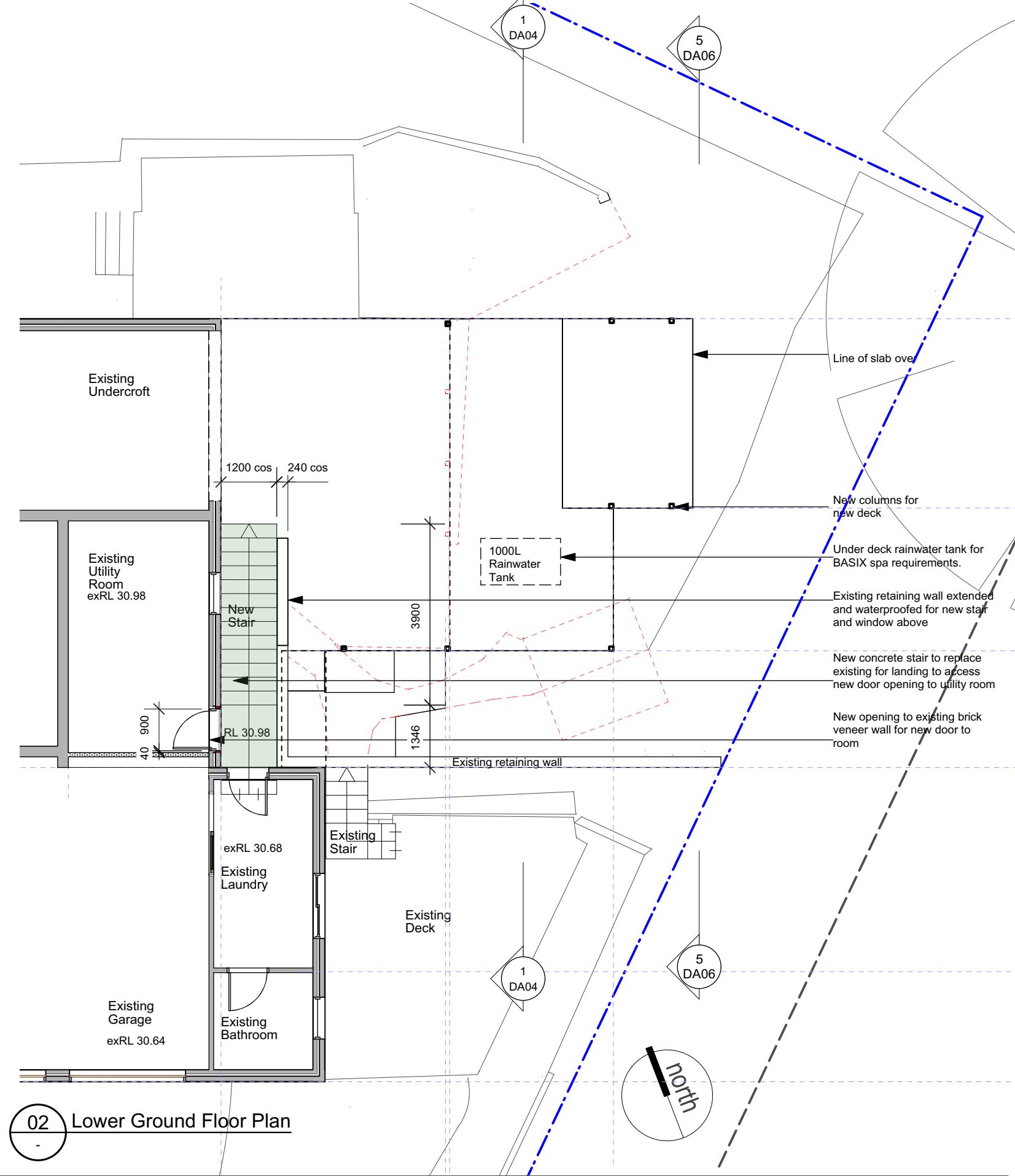
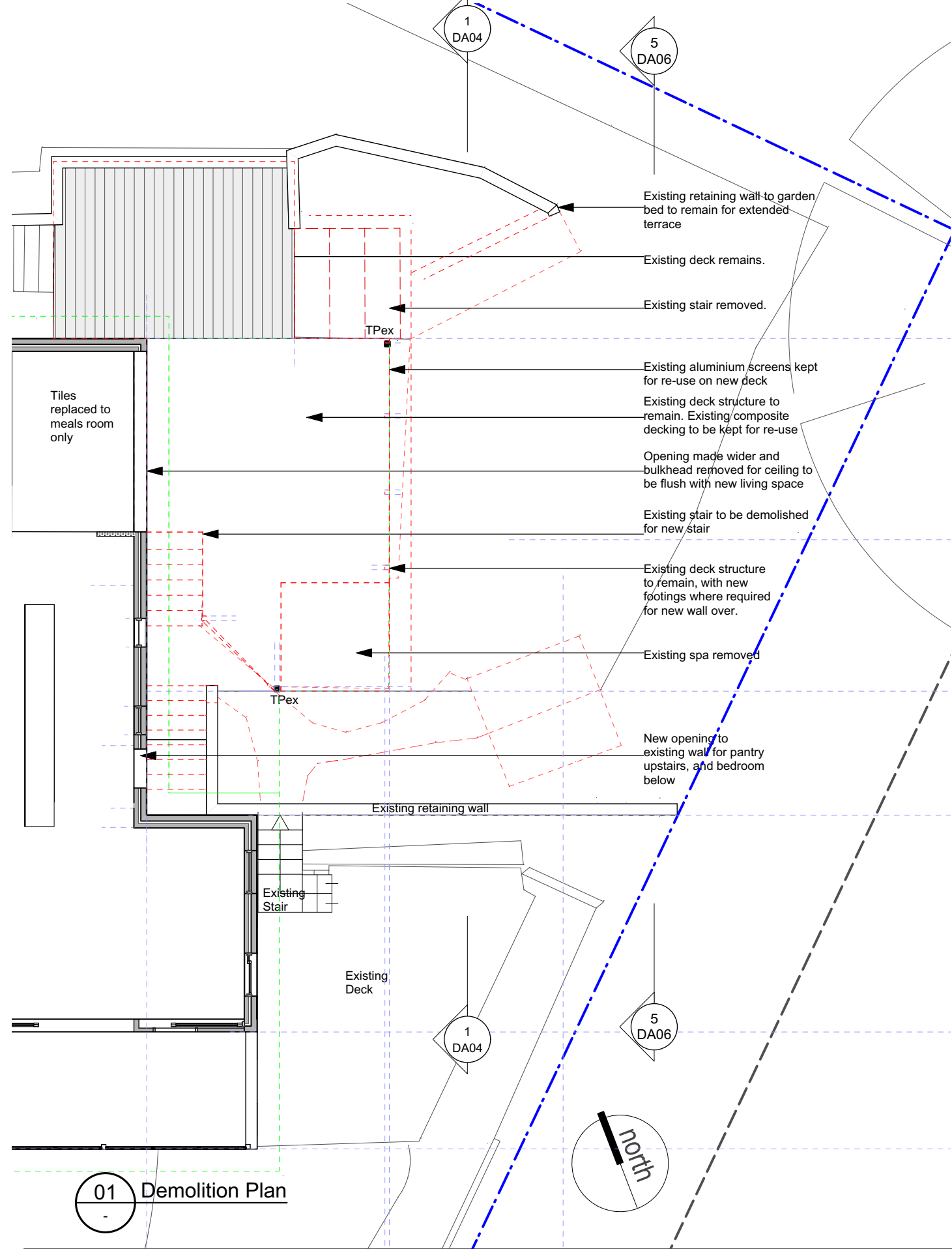
Address:
**5 Waterview Street
Mona Vale NSW**

Stage:
Development Application
Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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Site Area	
Site Area	1532 sqm
Hard Surface Area	
HS exist	584 sqm
HS new	628 sqm
Landscaped Area	
LA min 60%	919 sqm
LA exist	943.8 sqm
LA new	914.6 sqm
Impervious LA 6%	91 sqm
TOTAL LA	1005.6 sqm



Notes

All work to conform to current Building Code of Australia and NSW supplement and all current relevant AS codes.

All dimensions are in millimetres and figured dimensions take precedence over scaling. Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found.

Footings and slabs to comply with current AS 2870 and accordance with accompanying structural engineering drawings.

Light and ventilation to comply with part F4 of the Building Code of Australia.

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All positions of light fittings to be confirmed on site prior to installation.

Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.

New spa to comply with AS 2610.2-2007 private spas.

Materials

- New Timber framed post/floor structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork

Lower Ground Floor Plan

Drawing:

Development Application		10/02/20
No.	Issue	Date

DA02

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

5 Waterview Street

Mona Vale NSW

Stage:

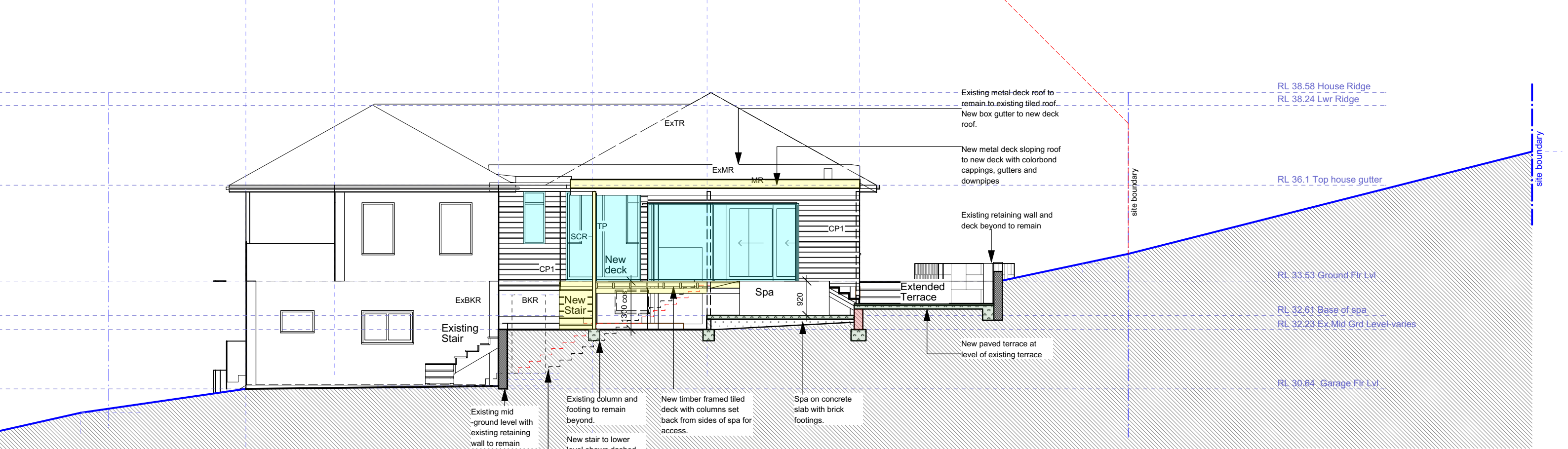
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

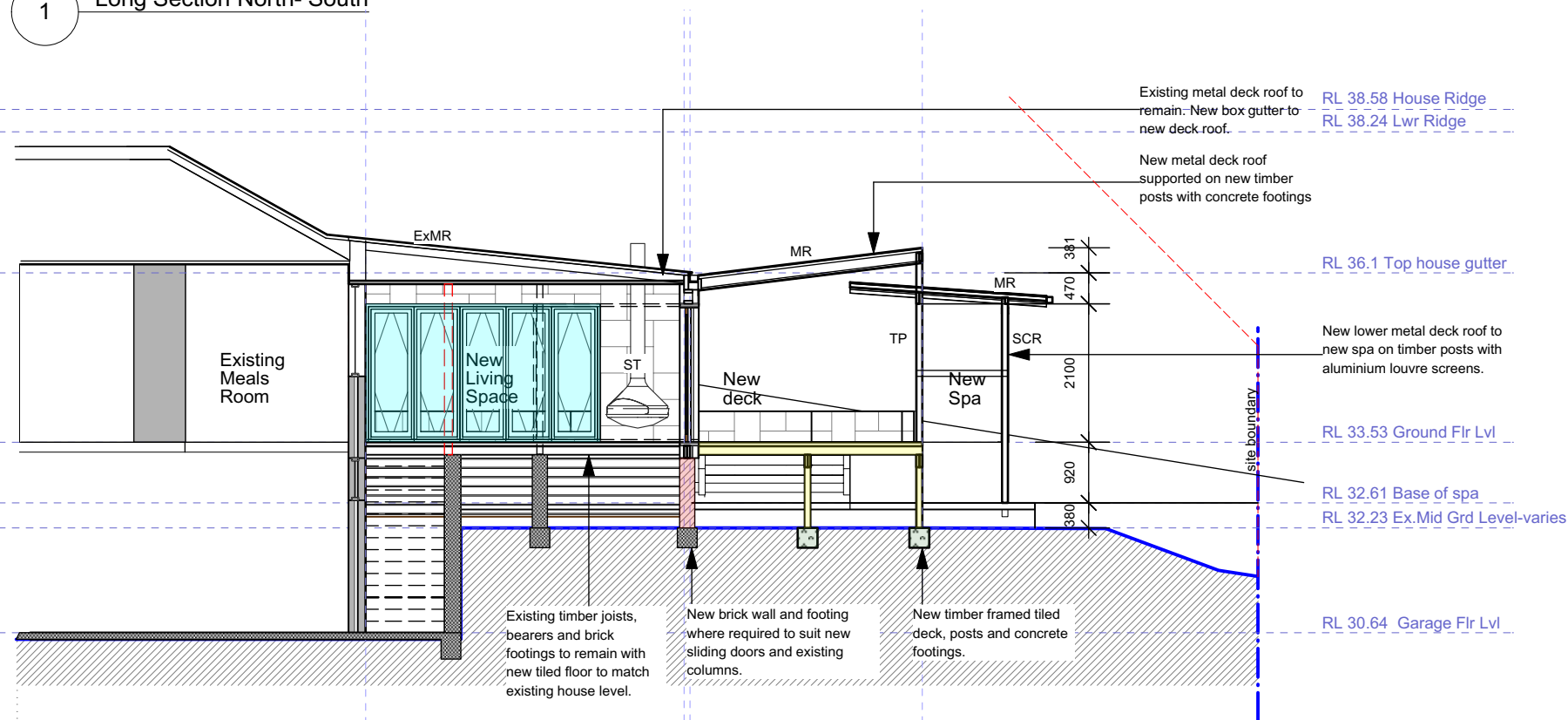
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1 Long Section North- South



2 Cross Section- East West

Notes

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Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.
New spa to comply with AS 2610.2-2007 private spas.

Materials

- New Timber framed post/floor structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork

Sections

Drawing:

DA04

No.	Issue	Date
	Development Application	10/02/20

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

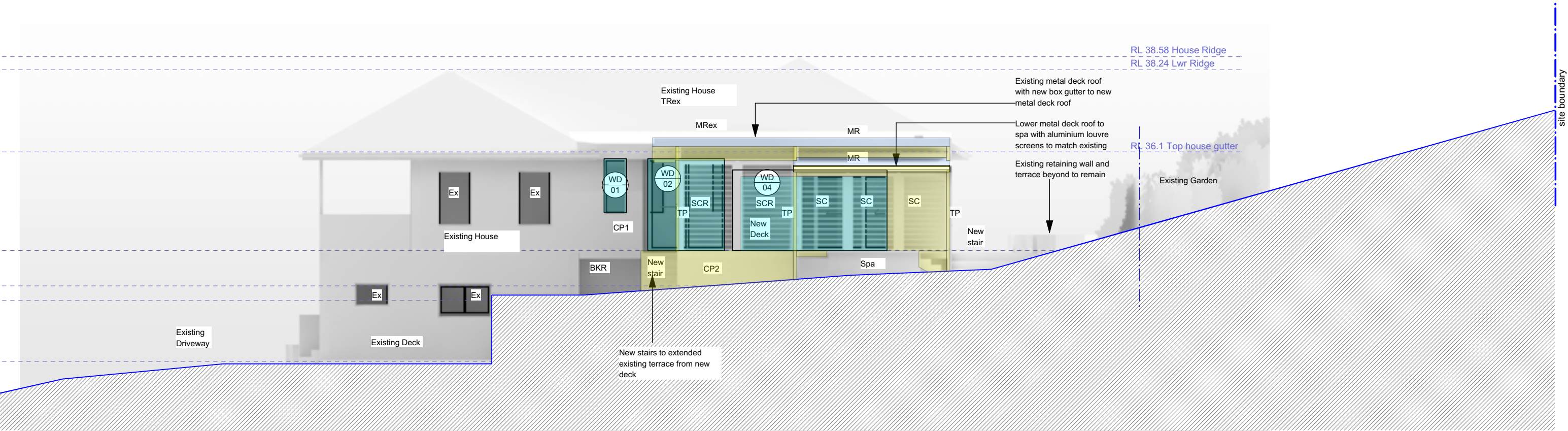
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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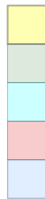
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5 Eastern Elevation

Notes
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Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.



- Materials**
- New Timber framed post/floor structure
 - New Concrete/Paving
 - New Glazing
 - New Brickwork/blockwork
 - New Metal roofing / Metalwork

Elevations- East

DA06

Drawing:

Development Application		10/02/20
No.	Issue	Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

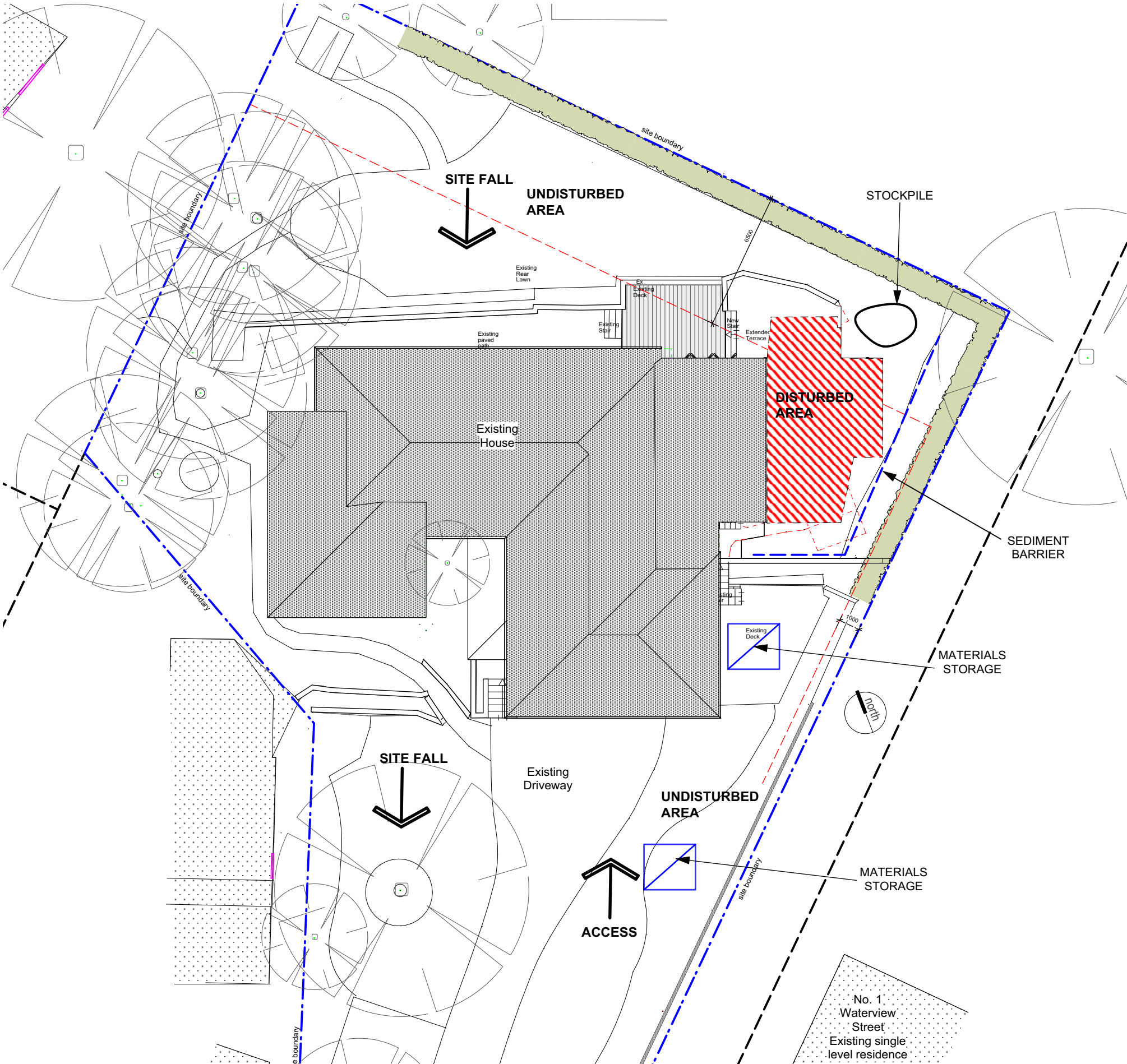
Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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All positions of light fittings to be confirmed on site prior to installation.
Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.
New spa to comply with AS 2610.2-2007 private spas.

Materials

- New Timber framed post/floor structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork

Erosion and Sediment Control Plan

Drawing:

DA07

Development Application		10/02/20
No.	Issue	Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

**5 Waterview Street
Mona Vale NSW**

Stage:

Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

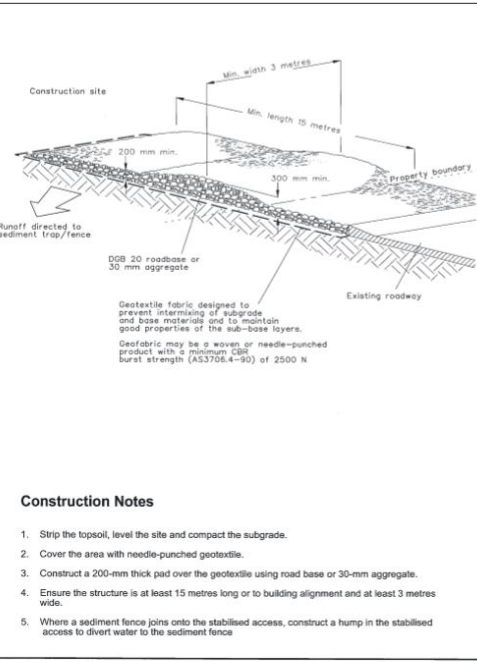
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SEDIMENT CONTROL

1. Install sediment control structures in locations indicated on plans and otherwise required to control sediment during all excavations and whilst areas of the site are exposed to erosion.
2. Control structures to be detailed or as otherwise required by certifying authority. Sediment fences, and other control structures as shown on this drawing or their equivalent.
3. Review control measures and maintain structures daily by the site manager.
4. If additional measures are required for erosion control or by council requirements refer to 'Urban erosion and sediment control' guidelines prepared by the Department of Conservation and Land management.
5. No vehicle crossing or stockpiling of materials on vegetation buffers.
6. All Sediment structures to be cleaned on reaching 50% storage capacity.
7. All existing vegetation will be retained outside the construction site.
8. Clean sediments from footpaths, driveways and roads daily.
9. Cover or wet down to prevent dust spread.
10. Topsoil will be respread and all disturbed areas will be stabilised as soon as practicable after the completion of the works.
11. Approved bins for building waste, concrete and mortar slurries, paints washings and litter will be provided wholly within the site and arrangements made for regular collection and disposal.

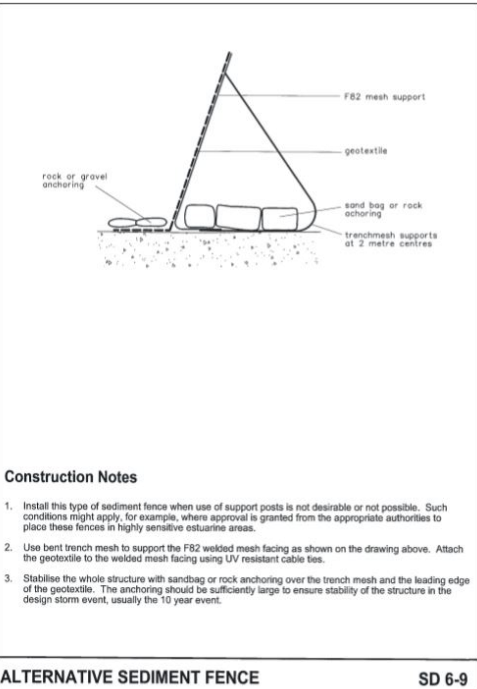


Construction Notes

1. Strip the topsoil, level the site and compact the subgrade.
2. Cover the area with needle-punched geotextile.
3. Construct a 200-mm thick pad over the geotextile using road base or 30-mm aggregate.
4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

STABILISED SITE ACCESS

SD 6-14

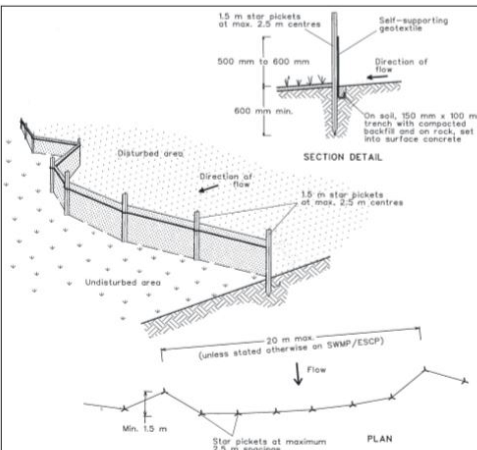


Construction Notes

1. Install this type of sediment fence when use of support posts is not desirable or not possible. Such conditions might apply, for example, where approval is granted from the appropriate authorities to place these fences in highly sensitive estuarine areas.
2. Use bent trench mesh to support the F82 welded mesh facing as shown on the drawing above. Attach the geotextile to the welded mesh facing using UV resistant cable ties.
3. Stabilise the whole structure with sandbag or rock anchoring over the trench mesh and the leading edge of the geotextile. The anchoring should be sufficiently large to ensure stability of the structure in the design storm event, usually the 10 year event.

ALTERNATIVE SEDIMENT FENCE

SD 6-9

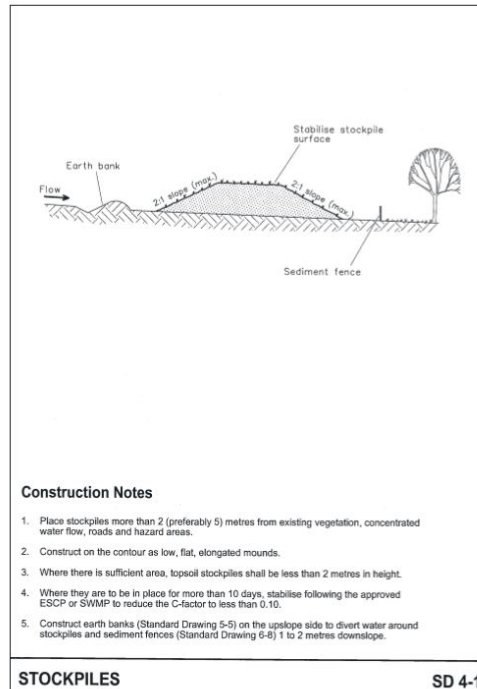


Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6-8



Construction Notes

1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
2. Construct on the contour as low, flat, elongated mounds.
3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-6) 1 to 2 metres downslope.

STOCKPILES

SD 4-1

Alterations and Additions

Certificate number: A369619

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 10, February 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	5 Waterview Street
Street address	5 Waterview Street Mona Vale 2103
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 404948
Lot number	A
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: B Home Design & Drafting
ABN (if applicable): 53630502783

BASIX Certificate number: A369619

page 2 / 7

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank The applicant must install a rainwater tank of at least 918 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 111 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the outdoor spa.	✓	✓	✓
Outdoor spa The spa must not have a capacity greater than 1.66 kilolitres. The spa must have a spa cover. The applicant must install a spa pump timer. The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.	✓	✓	✓

BASIX Certificate number: A369619

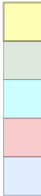
page 3 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Notes

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Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found.
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Light and ventilation to comply with part F4 of the Building Code of Australia.
All wall framing to comply with current AS 1684 light timber framing code and relevant supplements.

Provide insulation to all wall cavities in external walls to BASIX requirements.
Smoke alarms to be installed in accordance with Australian building code and local fire regulations.
All positions of GPO's and switches to be confirmed on site prior to installation.
All positions of light fittings to be confirmed on site prior to installation.
Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.



Materials

- New Timber framed post/floor structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork

BASIX report

Drawing:

Development Application

No.

Issue

DA08

10/02/20

Date

Project:

Alterations and Additions for Mr and Mrs Willmott

Address:

5 Waterview Street Mona Vale NSW

Stage:

Development Application

Date : 10/02/20 Drawn: BH Scale: 1:100 UNO. A3

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BASIX Certificate number: A369619

page 4 / 7

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R1.94 (up), roof: 50 mm foil backed polystyrene board	medium (solar absorptance 0.475 - 0.70)			

BASIX Certificate number: A369619

page 5 / 7

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	0.8	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	E	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	5.1	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	8.5	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	N	7.47	0	0	awning (adjustable) >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Planning, Industry & Environment

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Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.