



**NOTES:**  
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The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
 A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

**WATER COMMITMENTS:**  
 Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**HOT WATER SYSTEM:**  
 Existing Hot water system shall remain

**INSULATION REQUIREMENTS:**  
 Suspended Floor: The suspended floor shall meet minimum R 1.30 (including construction)  
 External walls: The external walls shall meet minimum R 1.70 (including construction)  
 Ceilings: The new ceilings shall meet minimum R 3.00 (up)  
 Roof: The roof shall have a foil / sarking and be of dark colour (solar absorption > 0.70)

**WINDOWS & GLAZED DOORS:**  
 All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.

Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate

Shading devices: Shading devices shall be installed in accordance with the Basix certificate

Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

**Project North**

**LIFESTYLE HOME DESIGNS**  
 LEVEL 1, 10/14 NARABANG WAY - BELROSE  
 PH. (02)9986 1311 FAX (02)9986 1322

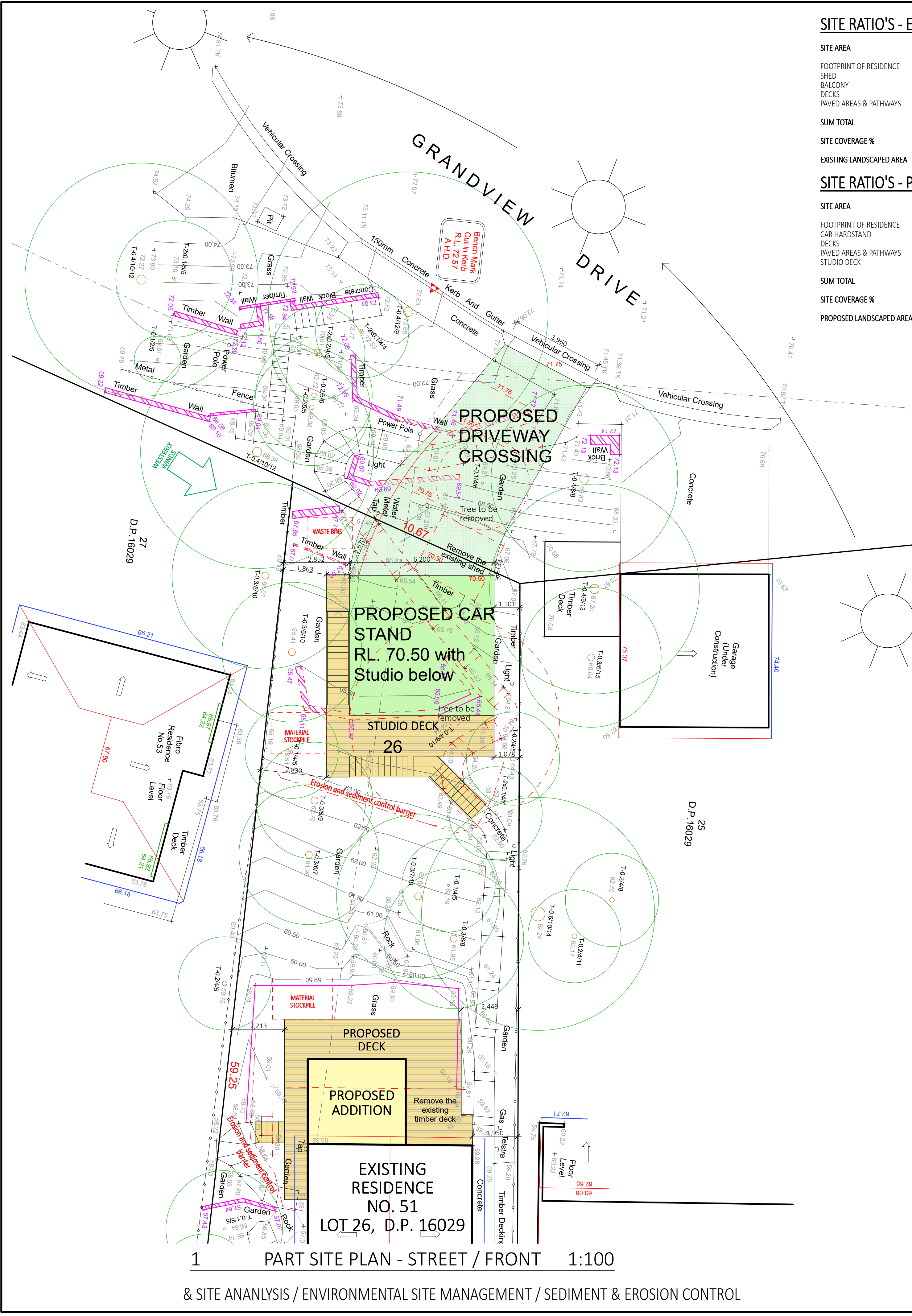
Client  
**MS MAXWORTHY**  
 Project Name  
**ALTERATIONS & ADDITIONS**  
**51 GRANDVIEW DRIVE**  
**LOT 26, D.P. 16029**  
**NEWPORT N.S.W. 2106**

Drawing Title:  
**SITE PLAN 1:200**

Scale: 1:200 (A1)	Date: JUNE 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: <b>1841</b>	Drawing No.: <b>DA 01</b>
<b>ANNEXURE "A"</b>	

Plot Date: 30/07/2019





1 PART SITE PLAN - STREET / FRONT 1:100

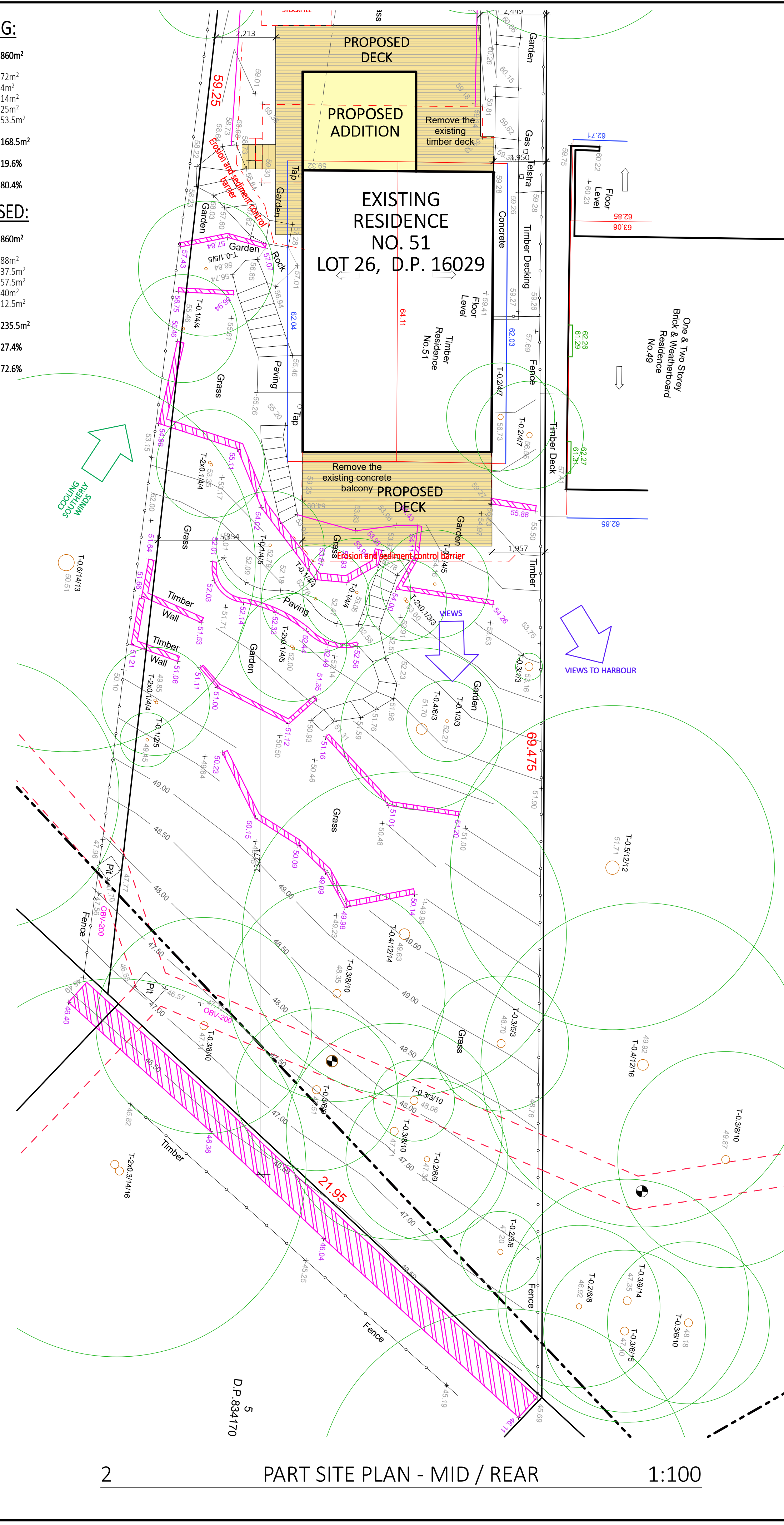
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

SITE RATIO'S - EXISTING:

SITE AREA	860m <sup>2</sup>
FOOTPRINT OF RESIDENCE	72m <sup>2</sup>
SHED	4m <sup>2</sup>
BALCONY	14m <sup>2</sup>
DECKS	25m <sup>2</sup>
PAVED AREAS & PATHWAYS	53.5m <sup>2</sup>
SUM TOTAL	168.5m <sup>2</sup>
SITE COVERAGE %	19.6%
EXISTING LANDSCAPED AREA	80.4%

SITE RATIO'S - PROPOSED:

SITE AREA	860m <sup>2</sup>
FOOTPRINT OF RESIDENCE	88m <sup>2</sup>
CAR HARDSTAND	37.5m <sup>2</sup>
DECKS	57.5m <sup>2</sup>
PAVED AREAS & PATHWAYS	40m <sup>2</sup>
STUDIO DECK	12.5m <sup>2</sup>
SUM TOTAL	235.5m <sup>2</sup>
SITE COVERAGE %	27.4%
PROPOSED LANDSCAPED AREA	72.6%



2 PART SITE PLAN - MID / REAR 1:100

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Project North

**LIFESTYLE HOME DESIGNS**

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Client  
**MS MAXWORTHY**

Project Name  
**ALTERATIONS & ADDITIONS  
51 GRANDVIEW DRIVE  
LOT 26, D.P. 16029  
NEWPORT N.S.W. 2106**

Drawing Title:  
**SITE PLAN**

Scale: 1:100 (A1)	Date: JUNE 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: <b>1841</b>	Drawing No.: <b>DA 02</b>
<b>ANNEXURE "A"</b>	
Plot Date: 30/07/2019	



## **Schedule of Colours and Materials for Property at:**

51 Grandview Drive, Lot 26, D.P. 16029,  
Newport NSW 2106

**Roof – House** - Concrete roofing to match the existing residence

**Weatherboard - House** - New double log cabin cypress weatherboards to match the existing residence



**Weatherboard - Studio** – Weathertex Primelok Shadowood smooth 170mm weatherboards. Colour to match the existing house



**Concrete Columns - Studio** – The Concrete columns shall be rendered / painted  
Colour to match the existing house