




DEVELOPMENT APPLICATION DRAWINGS REVISION 1 2

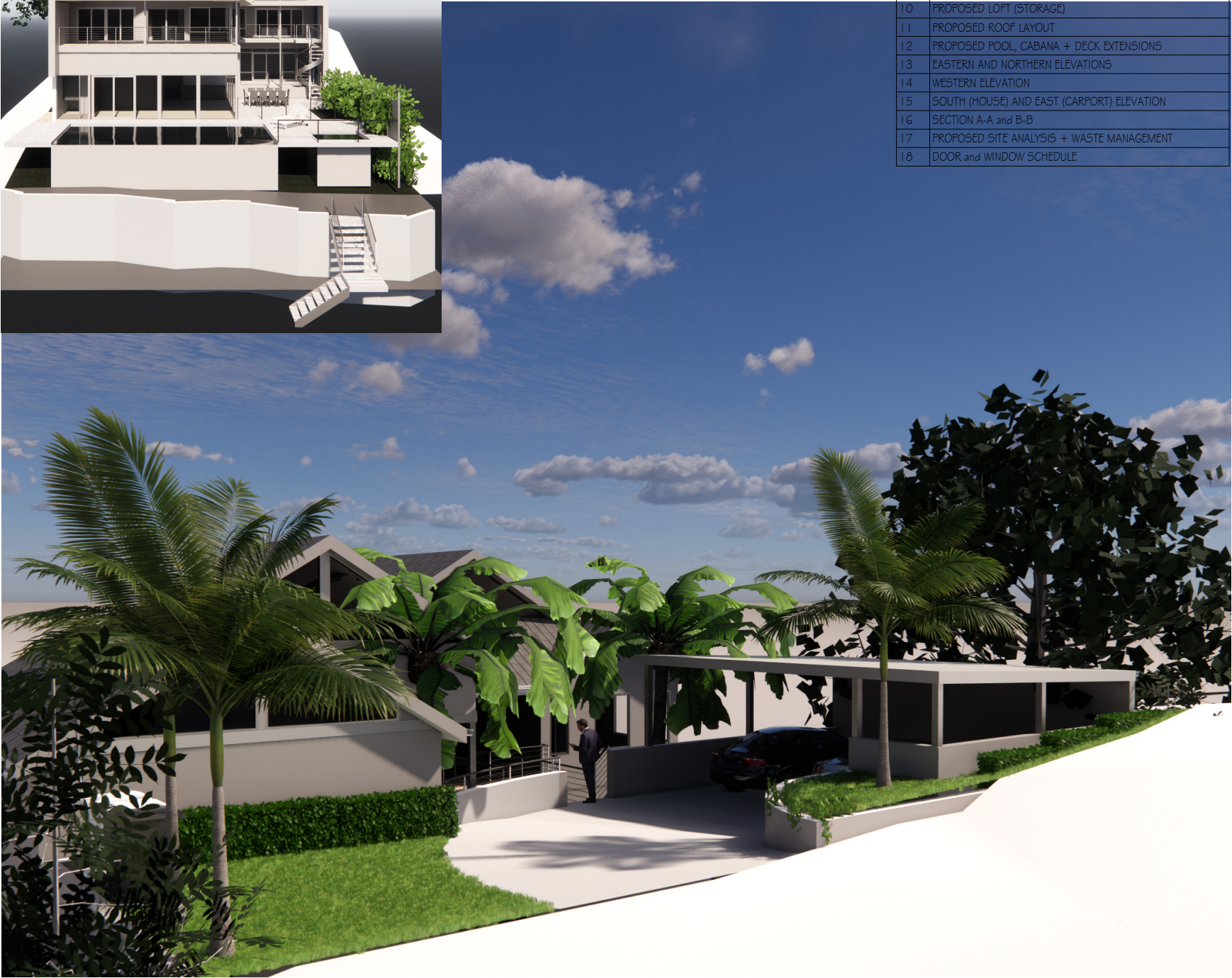
DRAWINGS REVISION:
AMENDMENTS:
REVISION 01: DATED 00/00/19: PRESENTED PLANS
REVISION 02: DATED 13/02/20: AMEND PLANS AS REQUESTED.
REVISION 03: DATED 25/02/20: AMEND PLANS AS REQUESTED.
REVISION 04: DATED 31/03/20: AMEND PLANS AS REQUESTED.
REVISION 05: DATED 07/04/20: AMEND PLANS AS REQUESTED.
REVISION 06: DATED 20/04/20: AMEND PLANS AS REQUESTED.
PRELIMINARY CONSULTANTS DRAWINGS:
REVISION 07: DATED 21/04/20: PRESENTED PLANS
REVISION 08: DATED 28/04/20: DRAWINGS CHECKED WITH SITEE
REVISION 09: DATED 30/04/20: AMEND DRAWINGS AS DISCUSSED 30/04/20
REVISION 09: DATED 30/04/20: AMEND DRAWINGS AS DISCUSSED 30/04/20
REVISION 10: DATED 12/05/20: AMEND DRAWINGS AS DISCUSSED 30/04/20
REVISION 11: DATED 15/05/20: AMEND DRAWINGS AS DISCUSSED
DEVELOPMENT APPLICATION DRAWINGS:
REVISION 12: DATED 19/05/20: DEVELOPMENT APPLICATION DRAWINGS FOR BUSFIRE REPORT STAMPING

DEVELOPMENT CONSENT CERTIFICATE:
THE CONSTRUCTION CERTIFICATE PLANS AND ASSOCIATED SPECIFICATIONS MUST COMPLY WITH THE RELEVANT PROVISIONS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND THE BUILDING WORK MUST BE CARRIED OUT IN ACCORDANCE WITH COUNCILS DEVELOPMENT CONSENT CERTIFICATE. ASSESSMENT OF THE DEVELOPMENT APPLICATION DOES NOT INCLUDE AN ASSESSMENT UNDER THE BCA AND DETAILS OF COMPLIANCE WITH THE RELEVANT PROVISIONS OF THE BCA AND CONDITIONS OF DEVELOPMENT CONSENT ARE TO BE PROVIDED ON THE PLANS, SPECIFICATIONS AND DOCUMENTATION FOR THE CONSTRUCTION CERTIFICATE.
PLEASE NOTE THAT THE DEVELOPMENT AND ALL BUILDING WORK MUST BE CARRIED OUT FULLY IN ACCORDANCE WITH THE DEVELOPMENT CONSENT AND CONDITIONS OF CONSENT.

SCHEDULE OF EXTERNAL FINISHES:
COLOURS, TEXTURES AND PATTERNS SHOWN ON DRAWINGS ARE INDICATIVE ONLY AND WHILE EVERY EFFORT IS MADE TO DO SO, THEY MAY NOT ACCURATLY REPRESENT ACTURAL PROPOERTIES OF THE BUILDING MATERIALS.

EXTERNAL RENDER	ROOF CLADDING	DR+W'DOW FRAMES
		
DULLUX MEDIUN GREY	RE-COLOUR EXISTING (SELECTED LIGHT GREY)	COLOURBOND DARK GREY

CONSULTANTS CHECKLIST:		
CHECKED AGAINST TOWN PLANNERS S.E.E.	REF No:	DATE:
CHECKED AGAINST STRUCTURAL ENGINEERS DRAWINGS:	DWG No:	DATE:
CHECKED AGAINST DEVELOPMENT CONSENT:	No:	DATE:
CHECKED AGAINST LANDSCAPE ARCHITECTS DRAWINGS	DWG No:	DATE:
CHECKED AGAINST ARBORICULTURAL IMPACT ASSESSMENT:	DWG No:	DATE:
CHECKED AGAINST BASIX:	CERT No:	DATE:
CHECKED AGAINST HYDRAULIC ENGINEERS DRAWINGS:	DWG No:	DATE:



ISSUE FOR COUNCIL/DEVELOPER APPROVAL ONLY NOT FOR CONSTRUCTION

DRAWING LIST

No	SHEET NAME
01	COVERSHEET AND DRAWING LIST
02	PROPOSED ISOMETRIC VIEWS
03	EXISTING CONTOUR PLAN
04	PROPOSED SITE PLAN + CALCULATIONS
05	EXISTING GROUND FLOOR
06	EXISTING FIRST FLOOR
07	EXISTING DEMOLITION PLAN
08	PROPOSED GROUND FLOOR
09	PROPOSED FIRST FLOOR
10	PROPOSED LOFT (STORAGE)
11	PROPOSED ROOF LAYOUT
12	PROPOSED POOL, CABANA + DECK EXTENSIONS
13	EASTERN AND NORTHERN ELEVATIONS
14	WESTERN ELEVATION
15	SOUTH (HOUSE) AND EAST (CARPORT) ELEVATION
16	SECTION A-A and B-B
17	PROPOSED SITE ANALYSIS + WASTE MANAGEMENT
18	DOOR and WINDOW SCHEDULE

NOTE: ALL LEVELS TO AUSTRALIAN HEIGHT DATA. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM ALL MEASUREMENTS ON SITE AND LOCATIONS OF ANY SERVICES PRIOR TO COMMENCEMENT OF WORK. DRAWINGS SHOULD NOT BE SCALED. WRITTEN DIMENSIONS SHOULD ONLY BE TAKEN FROM DRAWINGS, IF A DISCREPANCY EXISTS NOTIFY URBAN AND CO IMMEDIATELY. ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA THE RULES AND REQUIREMENTS OF APPLICABLE STATUTORY BODIES, COUNCIL AND ALL RELEVANT AUSTRALIAN STANDARDS CODES AND SPECIFICATIONS.
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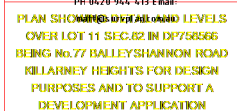
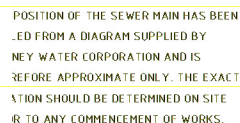
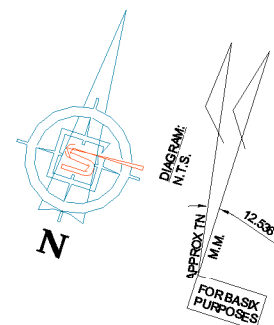
COVERSHEET AND DRAWING LIST

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
COUNCIL: NORTHERN BEACHES			DATE: 27/12/19	77 BALLYSHANNON RD, KILLARNEY HTS.

SHEET No:
01
REV 12
19/05/20

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L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND



Rev.	Amendments				
JOB No.		YOUR REF:			
1200		BAKI			
DRAWING No.		CLIENT:			
1200CO_EX.dwg		SIMON BA			
SCALE: 1:100 (A1)		SURVEYED	DRAW	CHECKED	
DATE: A.H.D.		M.S.	M.S.	M.S.	
SHEET: 1 OF 1		DATE	DATE	DATE	
		02.02.17	03.02.	03.02.17	

1. SURVPLAN OWNS THE RIGHTS TO THIS SURVEY AND RELATED DOCUMENTS. THE INFORMATION PROVIDED IN THIS DOCUMENT IS FOR THE CLIENT NAMED WITHIN. USE OF THIS PLAN BY ANY OTHER PERSON/S IS NOT PERMITTED UNLESS WRITTEN CONSENT IS

SUPPLIED BY THE DEPARTMENT OF LANDS AND THEREFORE THE
DIMENSIONS
ALL DIMENSIONS AND FEATURES SHOWN HAVE BEEN PLOTTED
IN RELATION TO THE OPERATIONS OF MINING AND/OR OLD

IDENTIFICATION SURVEY
BRICK/RENDERED WALLS AND ARE APPROXIMATE ONLY. A
BOUNDARY SURVEY SHOULD BE DONE TO DETERMINE THE POSITIONS
SURVEY RELATIVELY

HEREON ARE THOSE THAT WERE VISIBLE
RVEY AND HAVE BEEN LOCATED BY FIELD SURVEY.
MAY BE PRESENT, PRIOR TO ANY CONSTRUCTION OR
TE THE RELEVANT AUTHORITIES SHOULD BE

ATION OF FURTHER UNDERGROUND SERVICES AND
DETAILED LOCATION SHOULD NOT BE USED TO SET OUT YOUR OWN DIG
5 NEAR OR ON THE BOUNDARIES. A SETOUT
: MAKES SHOULD BE CARRIED OUT PRIOR TO ANY

6. BUILDING
WORKS.
METHODS.

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	99.12	2.14	0.8	CLEAR
2	100.68	1.94	1.8	CLEAR
3	97.94	1.45	1.8	FROSTED
4	94.92	0.94	2.17	CLEAR
5	97.75	0.55	2.8	CLEAR
6	96.6	1.7	1.88	CLEAR
7	96.6	1.7	1.88	CLEAR

AREA LOT 11 SEC.82
VIDE DP 758566: 695.6 m²
BY CALC : 696.7 m²

ORIGIN OF LEVELS :
PM 8361 RL=105.05 (AHD) FOUND NEAR
THE INTERSECTION OF BALLEYSHANNON
ROAD & KILLALA AVENUE.
ACCURACY OF ORIGIN : ± 0.001m

Legend:

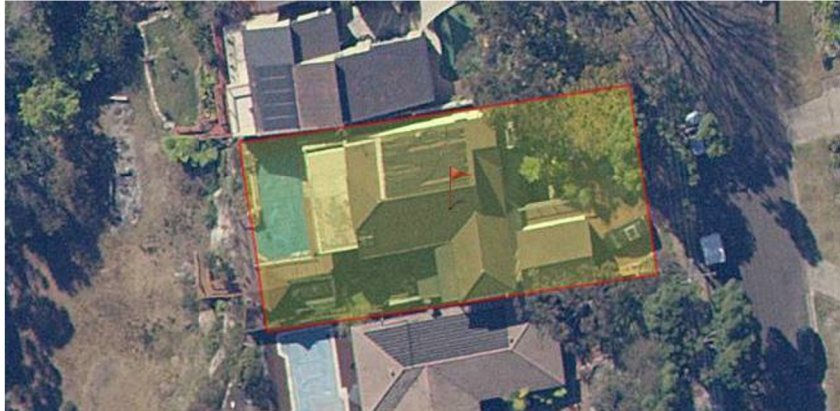
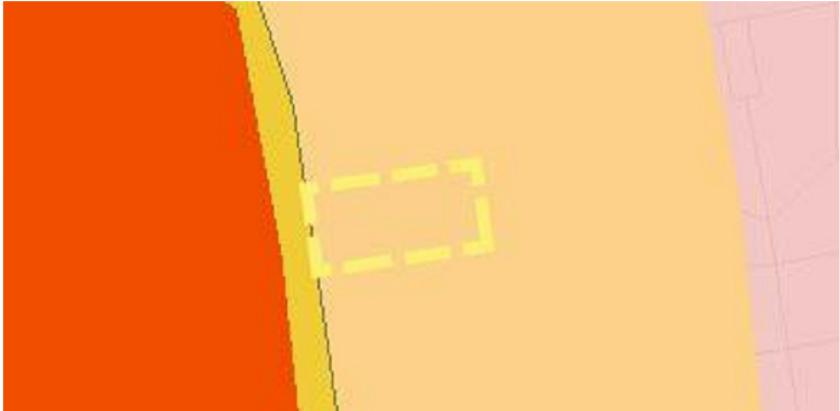
- TELSTRA
- MARKER POST
- ☐ TELSTRA
- POWER P
- AL PILLAR
- LIGHT POLE
- LIGHT PO
- GAS MET
- ACTION MARKER
- W WATER M
- HYDRANT
- RECYCLED WATER
- WATER M
- STOP VAL
- WATER T
- STONE RETAINING WALL
- STREET SIGN
- PRAM CROSSING
- VEHICLE CROSSING
- TREE:
 - DIAMETER
 - S SPREAD
- SEWER MANHOLE
- SEWER VENT
- SEWER LAMPHOLE
- STORMWATER PIT
- STORMWATER GRATE
- SURFACE INLET P
- STORMWATER PIPE INCLUDING PIPE S
- HEADWALL
- CLOTHES LINE
- E OVERHEAD ELECTRICITY LINE
- T OVERHEAD TELECOM LINE
- S SEWER LINE

SITE PLAN PROPOSED

1 : 200

BUSHFIRE PRONE LAND:

NSW PLANNING:
VEGETATION CATEGORY



SIX MAPS:

COUNCILS CONTROLS:

DEVELOPMENT APPLICATION:
COUNCIL WARRINGAH
ZONE R2
SITE AREA 696.84 m²
ACID SULPHATE SOIL Class 5

MAXIMUM PERMISSIBLE HEIGHT OF DWELLING
MAXIMUM HEIGHT OF DWELLING IS 8.5M. ABOVE EXISTING GROUND LEVEL.
WALLS NOT TO EXCEED 7.2M. FROM GROUND LEVEL

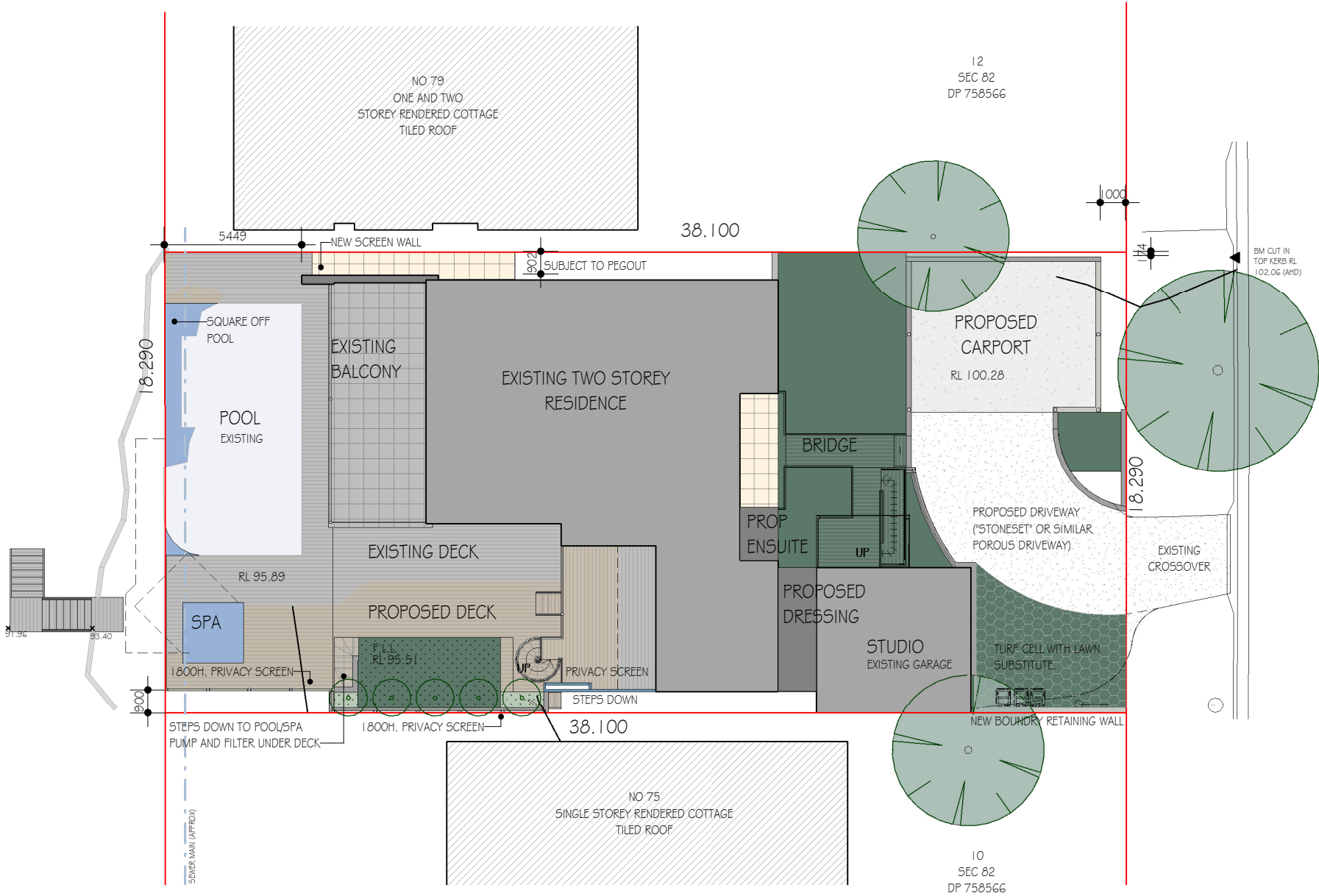
EXISTING

MINIMUM LANDSCAPE AREA
MINIMUM REQUIRED 40% LANDSCAPED OPEN SPACE 278.73m²
WIDTH <2000 NOT INCLUDED
EXISTING LANDSCAPE AREA: 91.59 m²
PROPOSED LANDSCAPE AREA: 113.00 m²
LANDSCAPED AREA >2m WIDE HAS BEEN INCREASED

LEGEND

- EXISTING GROUND FLOOR
- PROPOSED GROUND FLOOR
- PROPOSED FIRST FLOOR
- TURF AREA.
- PERMEABLE PAVING
- CONCRETE DRIVE + PATH
- SELECTED PAVING
- TURF CELL
- GRATE DRAIN
- EXISTING TREES
- TREES TO BE REMOVED
- EXISTING ROCK
- ADJOINING PROPERTIES
- BUILDING B'DRY SETBACKS

NOTE:
BOUNDRY FENCE AND POOL FENCE
MUST COMPLY WITH AS 1926.1



BALLYSHANNON ROAD

SITE NOTES:

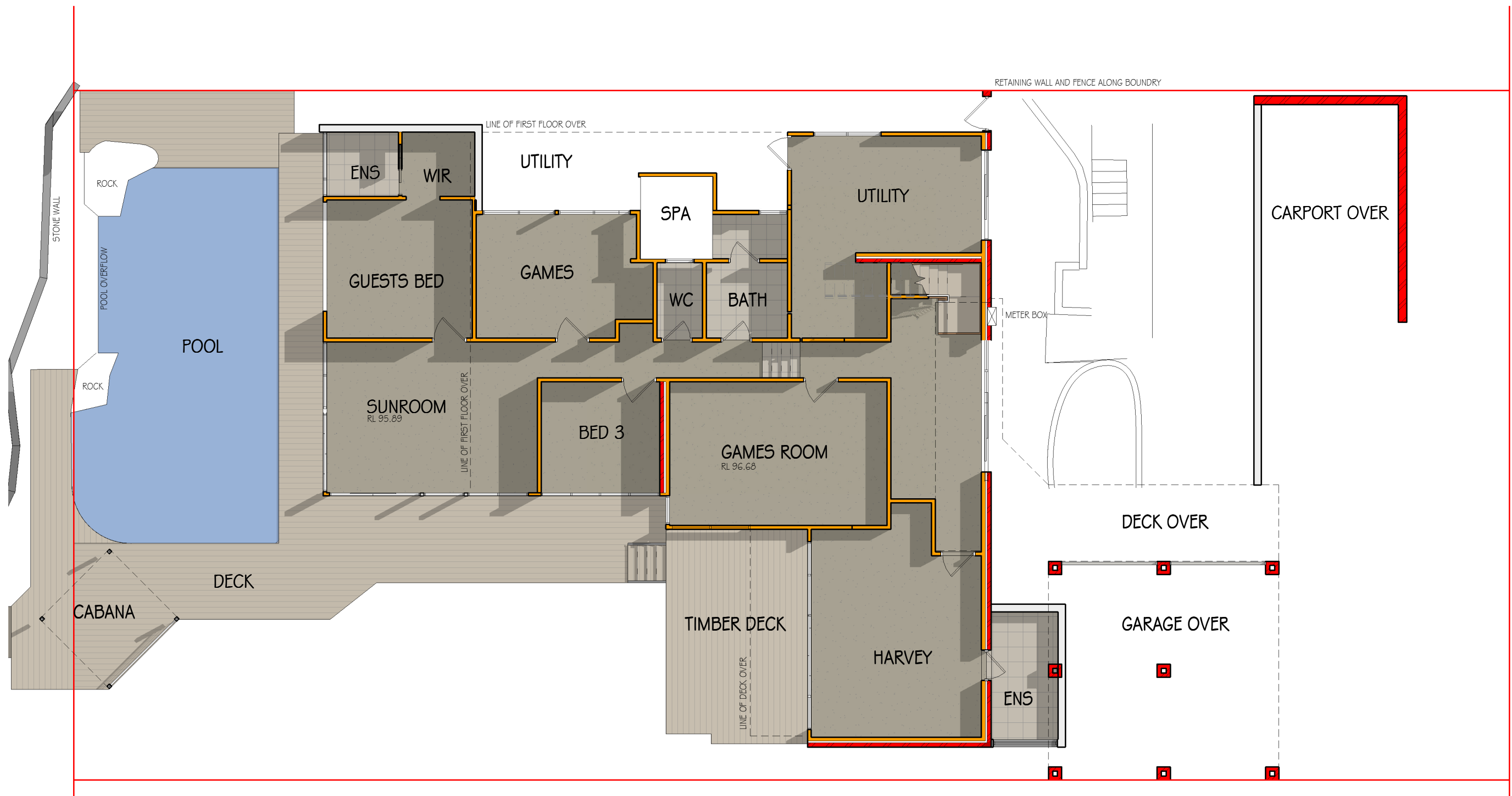
PERIMETER FENCING:
THE BUILDER TO PROVIDE PERIMETER FENCING TO RESTRICT PUBLIC ACCESS TO THE CONSTRUCTION SITE.

SETBACK DIMENSIONS:
BUILDING LINE SETBACKS AND PERIMETER WALLS ARE TO BE CONFIRMED BY "PEG OUT SURVEY" BY REGISTERED SURVEYOR.

INTERNAL SITE DRIVEWAYS:
INTERNAL SITE DRIVEWAYS SHALL HAVE A MAXIMUM GRADE OF 20% WITH A MAXIMUM CHANGE IN GRADE AT ANY POINT OF 12.5% AND TRANSITION LENGTHS OF 2M TO MEET THE PROVISIONS OF THE AUSTRALIAN STANDARDS "AS 2890.1 - 1993 - PARKING FACILITIES - PART 1 - OFF STREET CARPARKING. UNLESS OTHERWISE ACCEPTED BY COUNCIL.

LANDSCAPE CONCEPT PLAN:
REFER TO THE LANDSCAPE CONCEPT PLAN PREPARED BY THE LANDSCAPE ARCHITECT OR A SUITABLY QUALIFIED PERSON, LANDSCAPE PLAN TO BE READ IN CONJUNCTION WITH THIS PLAN.

RETAINING WALLS:
NO RESPONSIBILITY HAS BEEN TAKEN FOR THE INTEGRITY OF ALL EXISTING RETAINING WALLS ON THE SITE.
PROPOSED RETAINING WALLS TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS DETAILED DRAWINGS AND SPECIFICATIONS..



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EXISTING GROUND FLOOR

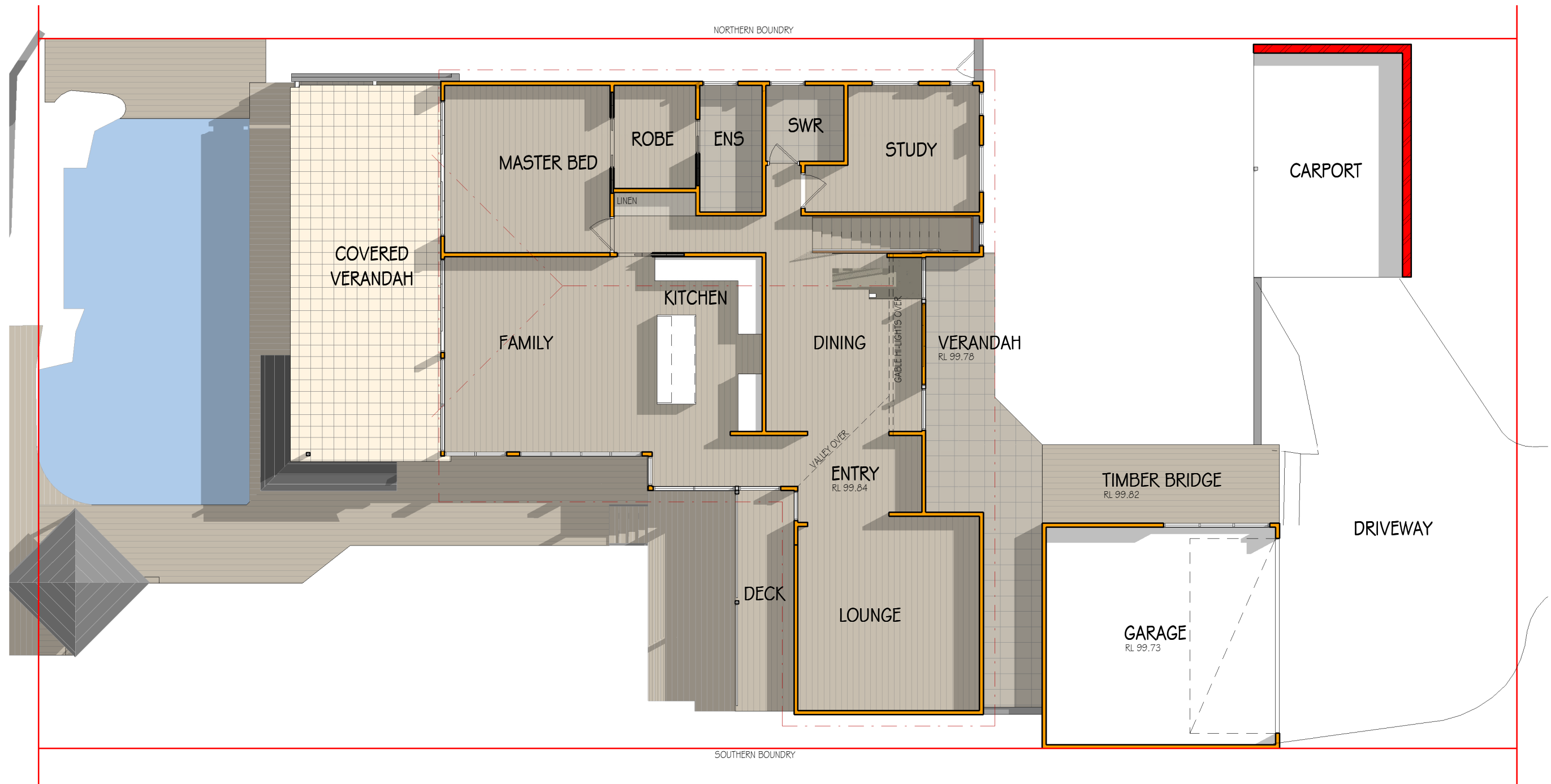
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COUNCIL: NORTHERN BEACHES			DATE: 27/12/19	77 BALLYSHANNON RD, KILLARNEY HTS.

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5m



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EXISTING FIRST FLOOR

ZONE: R2 LOT: 11 D.P. 758566
COUNCIL: NORTHERN BEACHES

PROJECT: 20-01
DATE: 27/12/19

CLIENT: SIMON AND LOUISE BAKER
77 BALLYSHANNON RD, KILLARNEY HTS.

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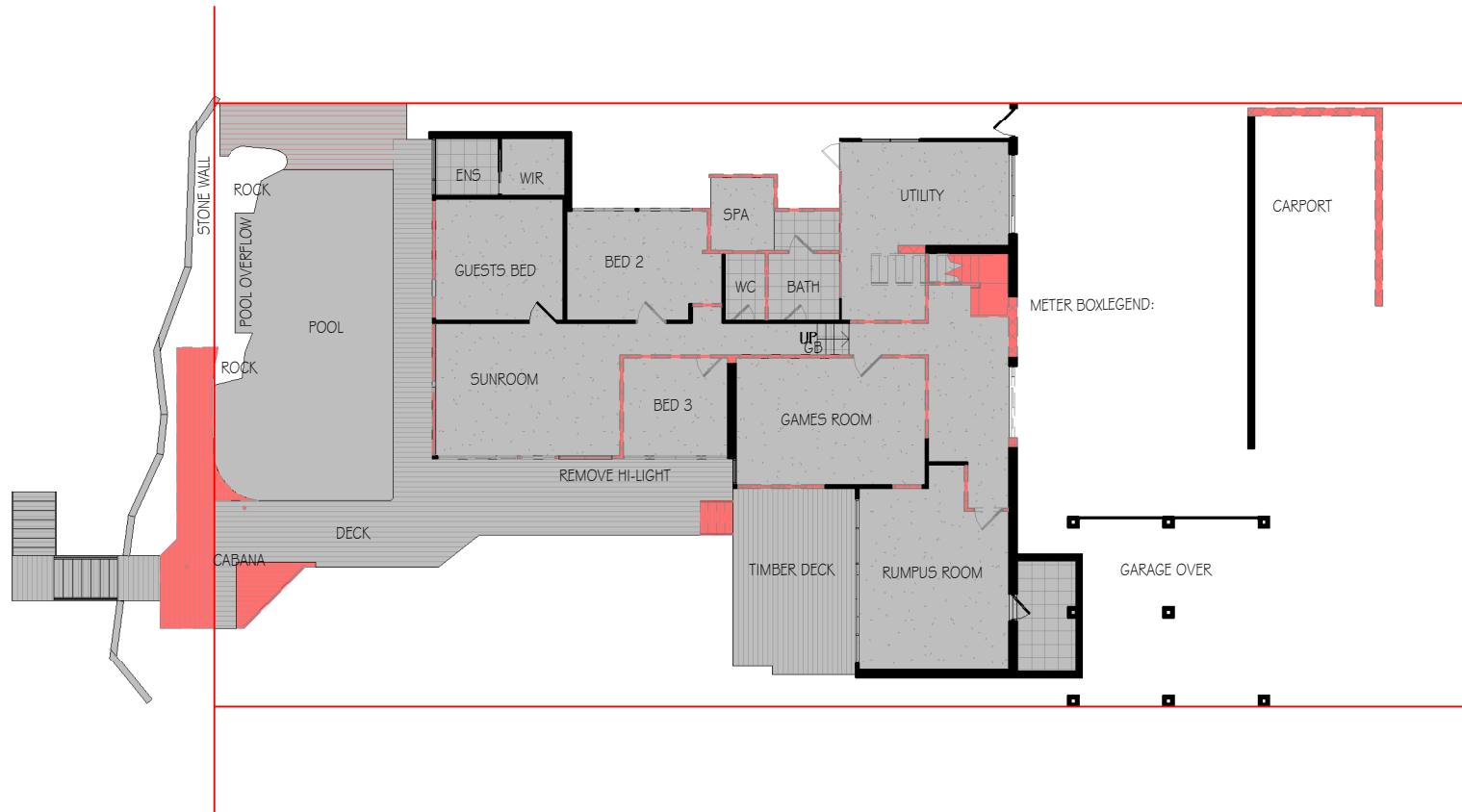
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BALLYSHANNON ROAD

DEMOLITION LEGEND AND CONDITIONS:
[Red solid box] DEMOLISH AND REMOVE FLOORS
[Red hatched box] DEMOLISH AND REMOVE WALLS.
CONSTRUCTION SITE MANAGEMENT PLAN:
THE BUILDER SHALL PROVIDE A CONSTRUCTION SITE MANAGEMENT PLAN IN ACCORDANCE WITH COUNCILS CONDITIONS.
DEMOLITION WORK PLAN:
THE BUILDER SHALL PROVIDE A DEMOLITION WORK PLAN IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2601-2001 IF REQUESTED BY COUNCIL OR PRIVATE CERTIFIER.
NOTE:
THE WORK PLANS REQUIRED BY AS2601:2001 SHALL BE ACCOMPANIED BY A WRITTEN STATEMENT FROM A SUITABLY QUALIFIED PERSON.
THE PROPOSAL CONTAINED IN THE WORK PLAN SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF THE STANDARD.
THE WORK PLAN AND THE STATEMENT OF COMPLIANCE SHALL BE SUBMITTED TO THE SATISFACTION OF THE PRINCIPAL CERTIFYING AUTHORITY PRIOR TO COMMENCEMENT OF WORKS.
ASBESTOS REMOVAL:
ALL DEMOLITION WORKS INVOLVING THE REMOVAL OF AND DISPOSAL OF ASBESTOS MUST ONLY BE UNDERTAKEN BY CONTRACTORS WHO HOLD A CURRENT WORK COVER FRIBLE CLASS A ASBESTOS REMOVAL LICENCE.
THE REMOVAL MUST BE CARRIED OUT IN ACCORDANCE WITH THE 'CODE OF PRACTICE ON HOW TO SAFELY REMOVE ASBESTOS' PUBLISHED BY WORKCOVER NSW (CATALOGUE No WC03561) AND COUNCILS ASBESTOS POLICY.
DILAPIDATION REPORTS:
DILAPIDATION SURVEYS MUST BE CONDUCTED AND DILAPIDATION REPORTS PREPARED BY A PRACTISING PROFESSIONAL ENGINEER (STRUCTURAL) OF ALL BUILDINGS, BOTH INTERNAL AND EXTERNAL, INCLUDING ANCILLARY STRUCTURES LOCATED ON THE LAND ADJOINING THE SITE AND OF SUCH FURTHER BUILDINGS LOCATED WITHIN THE LIKELY 'ZONE OF INFLUENCE' OF ANY EXCAVATION, DEWATERING AND / OR CONSTRUCTION INDUCED VIBRATION.
THE SURVEY MUST IDENTIFY WHICH PROPERTIES ARE WITHIN THE LIKELY 'ZONE OF INFLUENCE'.
EXTERNAL DOORS AND WINDOWS:
MEASURE ON SITE EXISTING FLOOR LEVEL TO EXISTING EAVES HEIGHT TO CONFIRM NEW DOOR AND WINDOW HEAD HEIGHTS.

FIRST FLOOR DEMOLITION
1 : 200



GROUND FLOOR DEMOLITION
1 : 200



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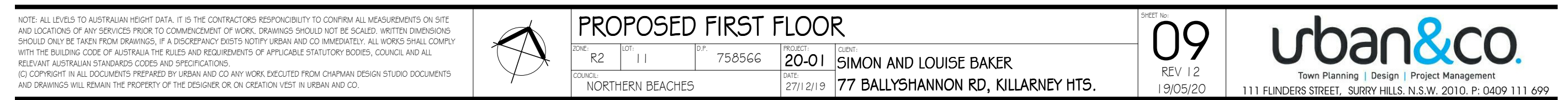


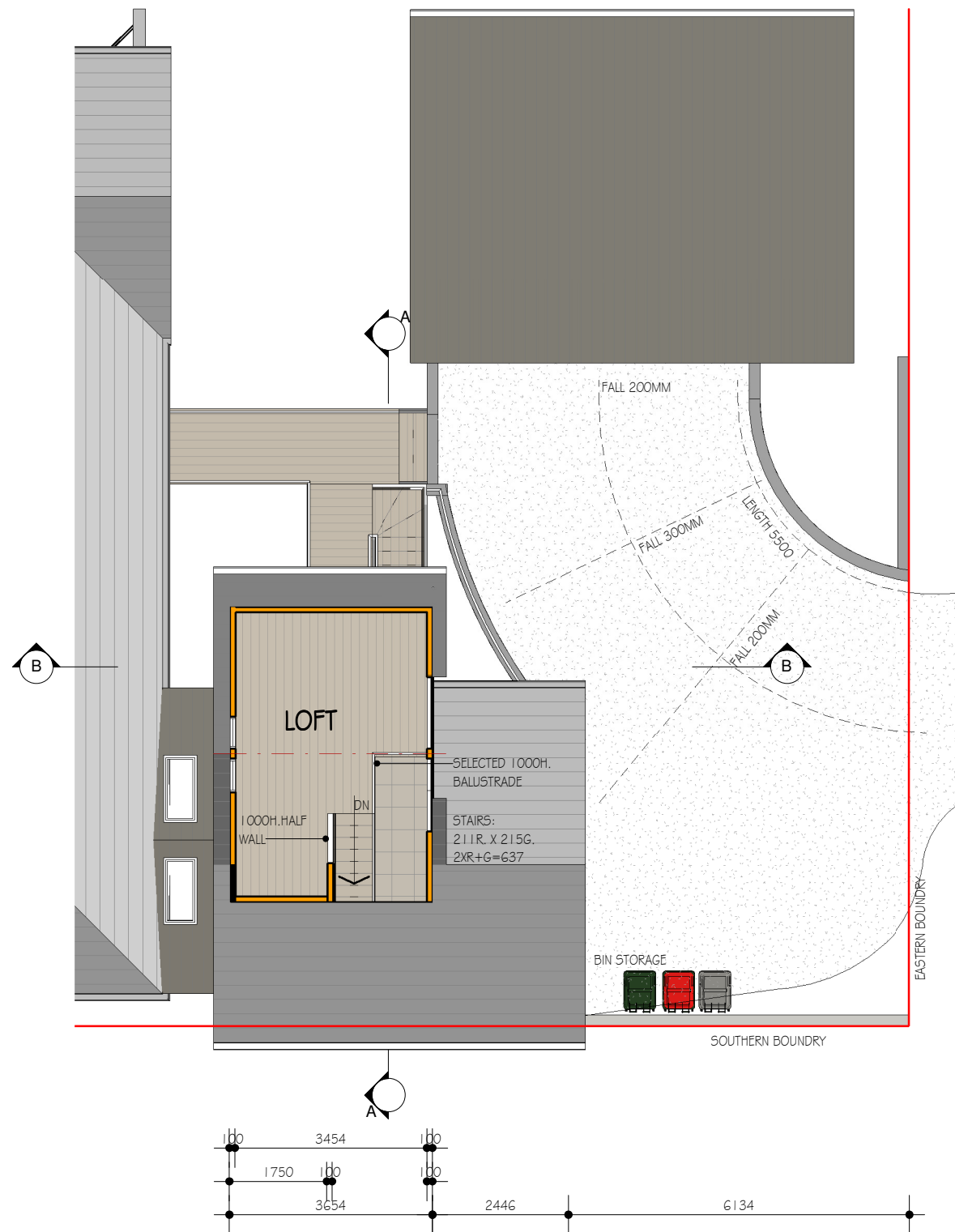
EXISTING DEMOLITION PLAN

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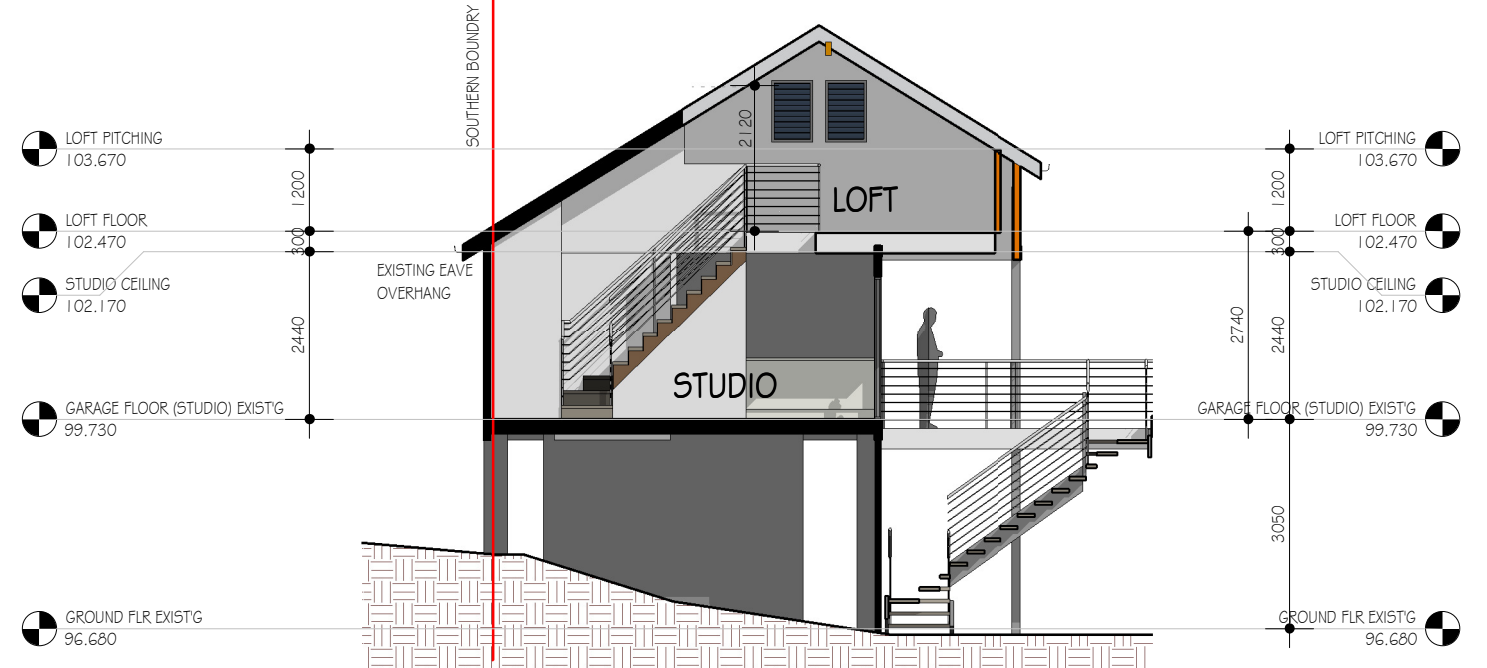
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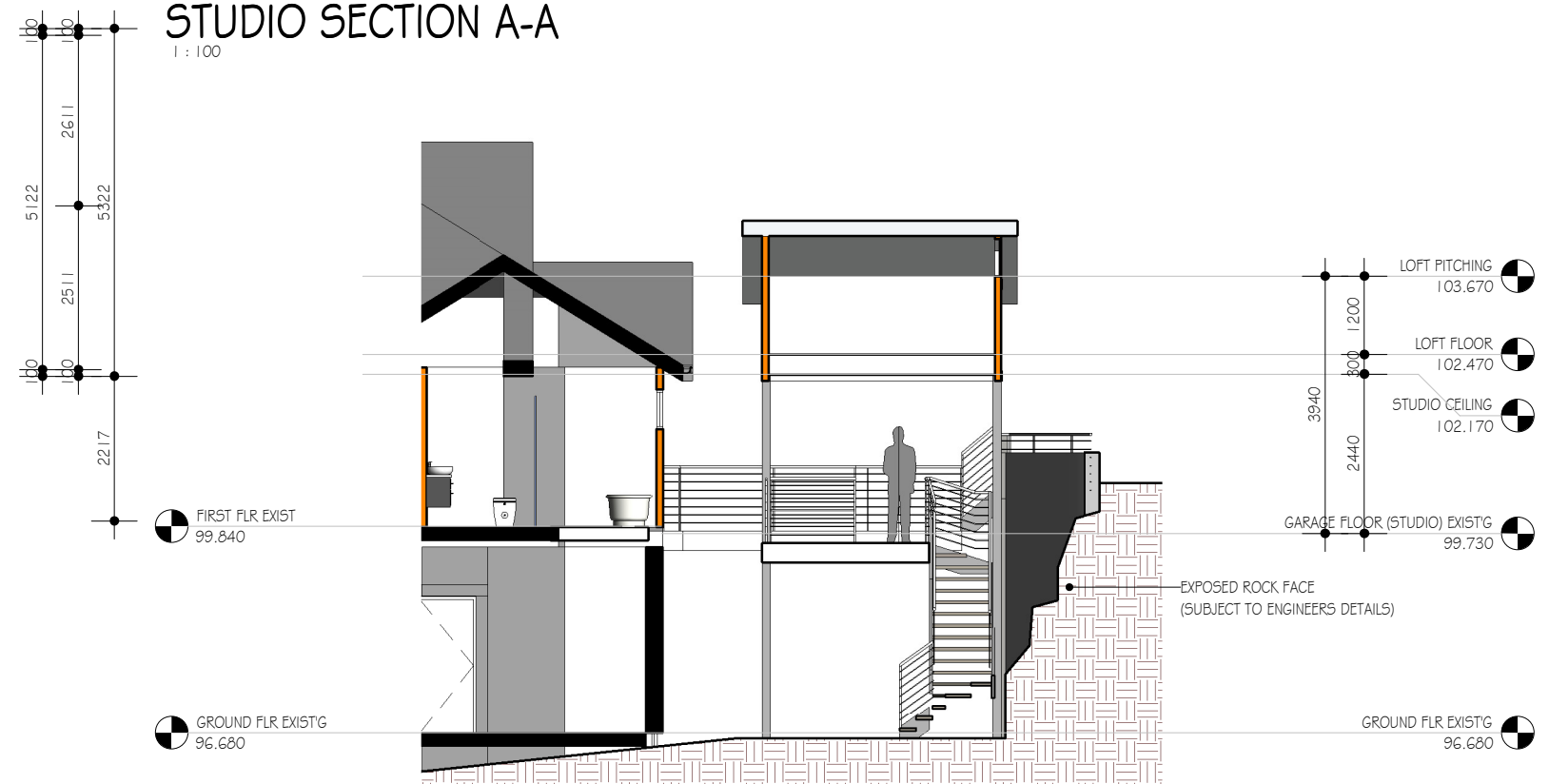




LOFT FLOOR PLAN
1 : 100



STUDIO SECTION A-A
1 : 100



STUDIO SECTION B-B
1 : 100

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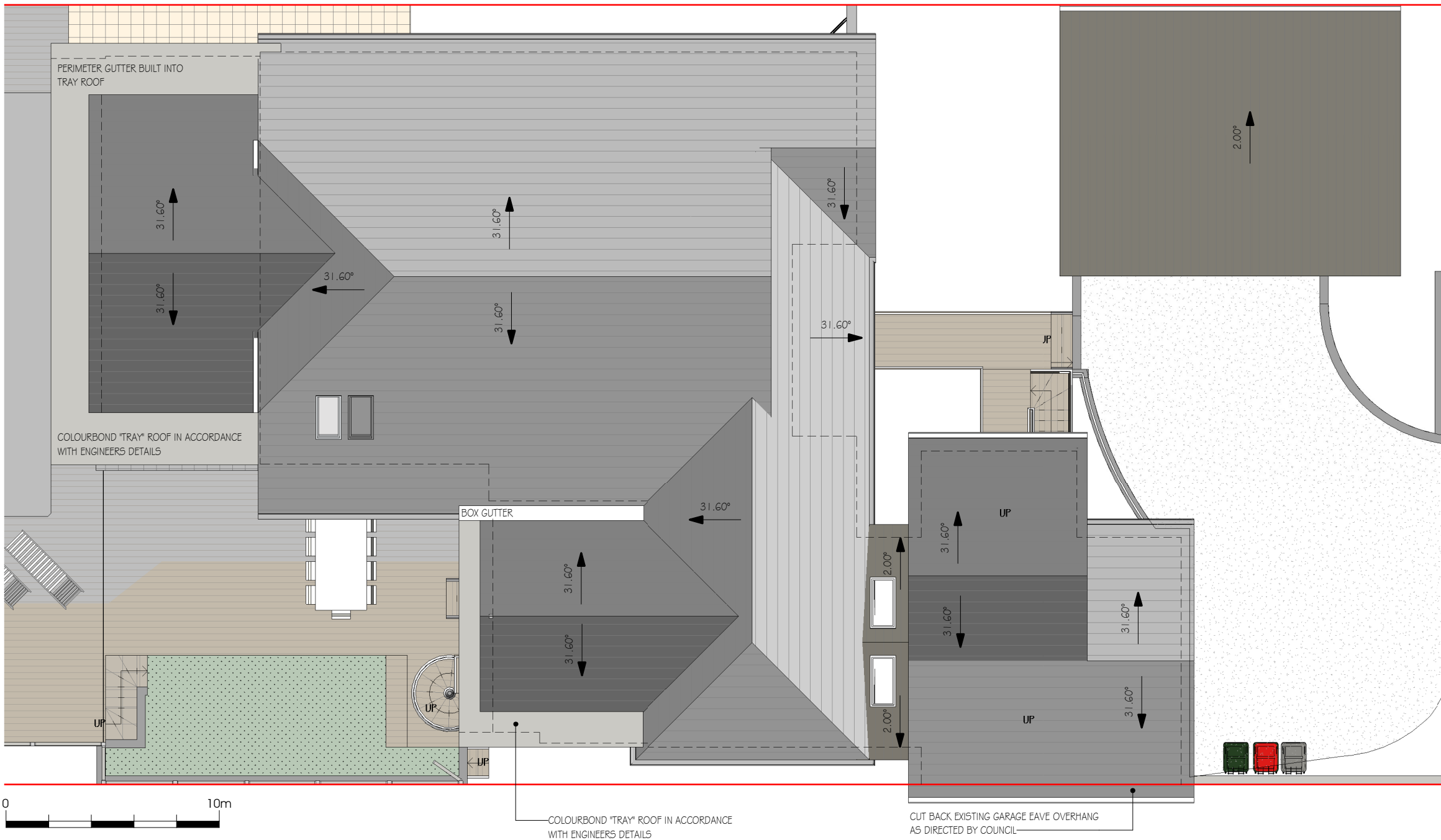
PROPOSED LOFT (STORAGE)

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ROOF CONSTRUCTION GENERAL NOTES:

STRUCTURAL MEMBERS:

ALL STRUCTURAL STEELWORK TO BE IN ACCORDANCE WITH ENGINEERS DETAILED DRAWINGS AND SPECIFICATIONS.
ALL TIMBER FRAME CONSTRUCTION TO BE IN ACCORDANCE WITH THE LIGHT TIMBER FRAMING CODE OF AUSTRALIA.

GANGNAIL ROOF TRUSSES:

GANGNAIL ROOF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURES DETAILS.

ROOF CLADDING and PITCH:

REFER ROOF LAYOUT FOR ROOF CLADDING AND PITCH.

EAVES:

REFER SECTIONS AND ROOF LAYOUT FOR EAVE DETAILS.

ROOF CLADDING:

PITCHED ROOFS:

TO BE CLAD WITH MATCHING CEMENT ROOF TILES, EXISTING TO BE COLOURED TO MATCH IN ACCORDANCE MANUFACTURES DETAILS AND SPECIFICATIONS.

FLAT ROOFS:

TO BE CLAD WITH COLOURBOND TRIMDECK OR SIMILAR, CLADDING FIXED IN ACCORDANCE WITH MANUFACTURES DETAILS AND SPECIFICATIONS.

ACCESSORIES:

DUE TO CLOSE PROXIMITY TO SALT WATER: CONFIRM

GUTTERS AND DOWNPIPES:

TO BE IN ACCORDANCE WITH ROOF MANUFACTURES RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.

STORMWATER DISPOSAL:

STORMWATER SCHAMATIC:

TO BE PREPARED BY CONSULTING HYDRAULIC ENGINEER PRIOR TO ISSUING CONSTRUCTION CERTIFICATE.

WATER MANAGEMENT:

MANAGEMENT STRATEGY:

STORMWATER DRAINAGE AND WATER MANAGEMENT STRATAGY PLAN TO BE IN ACCORDANCE WITH FINAL DETAILS PROVIDED BY THE HYDRAULIC ENGINEER AND IN ACCORDANCE WITH COUNCILS REQUIREMENTS.

DOWNPIPES:

GENERALLY $45/125$ 3500.3 REQUIRES MAXIMUM CATCHMENT PER DOWNPIPE $A5$ 47° .

STORMWATER AND DRAINAGE:

- ALL PIPES AND FITTINGS TO BE $100DIA$. UPVC STORMWATER CLASSIFICATION TO $A5$ 1254 AT 1° MIN GRADE UNLESS OTHERWISE NOTED ON PLAN AND SUBJECT TO FINAL DESIGN BY HYDRAULIC ENGINEER.
- INSTALL TEMPORY SEDIMENT BARRIERS TO INLET PITS TO COUNCILS STANDARDS UNTILL SURROUNDING AREAS ARE PAVED OR GRASSED.
- CONTRACTOR NIS TO VERIFY THE LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF EXCAVATION FOR DRAINAGE.
- ALL BASES OF PITS TO BE BENCHED TO HALF PIPE DEPTH AND PROVIDE GALVANISED ANGLE SURROUNDS TO GRATE.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY, ALL ROOF GUTTERING AND DOWNPIPES TO $A5/125$ $3500.3:2003$.
- STORMWATER PIT LOCATIONS AND LEVELS MAY BE VARIED TO SUITE SITE CONDITIONS AFTER CONSULTING WITH ENGINEER.
- ALL COURTYARD AND LANDSCAPE PITS TO BE 450^{MM} SQUARE UNLESS OTHERWISE NOTED.
- HAND EXCAVATE STORMMWATER PIPES IN VICINITY OF TREE ROOTS.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH COUNCILS SPECIFICATIONS.

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PROPOSED ROOF LAYOUT

ZONE:

R2

LOT:

11

D.P.

758566

PROJECT:

20-01

CLIENT:

SIMON AND LOUISE BAKER

COUNCIL:

NORTHERN BEACHES

DATE:

27/12/19

77 BALLYSHANNON RD, KILLARNEY HTS.

SHEET No:

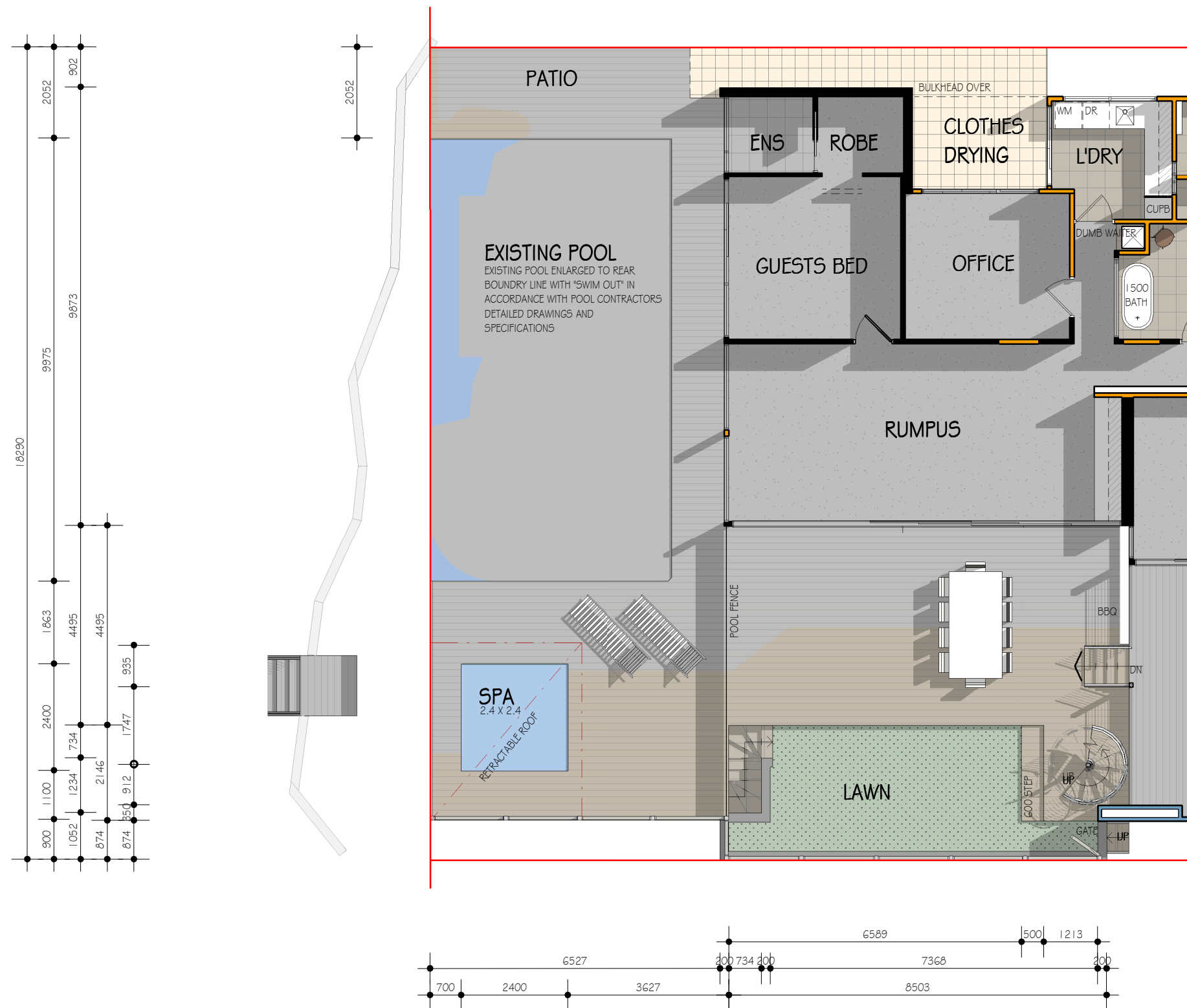
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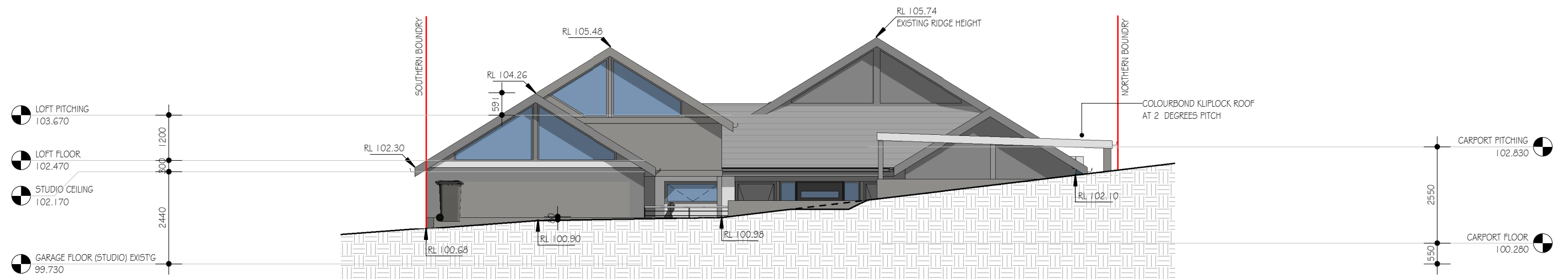
PROPOSED POOL, CABANA + DECK EXTENSIONS

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
COUNCIL: NORTHERN BEACHES			DATE: 27/12/19	77 BALLYSHANNON RD, KILLARNEY HTS.

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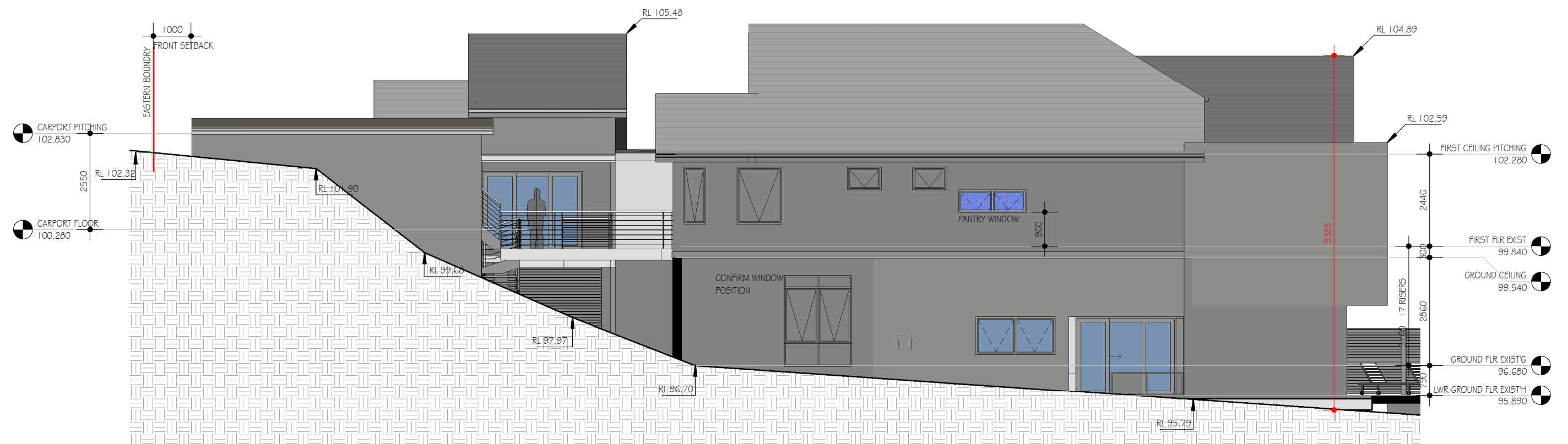
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EASTERN ELEVATION (STREET)

1 : 100



NORTHERN ELEVATION

1 : 100



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EASTERN AND NORTHERN ELEVATIONS

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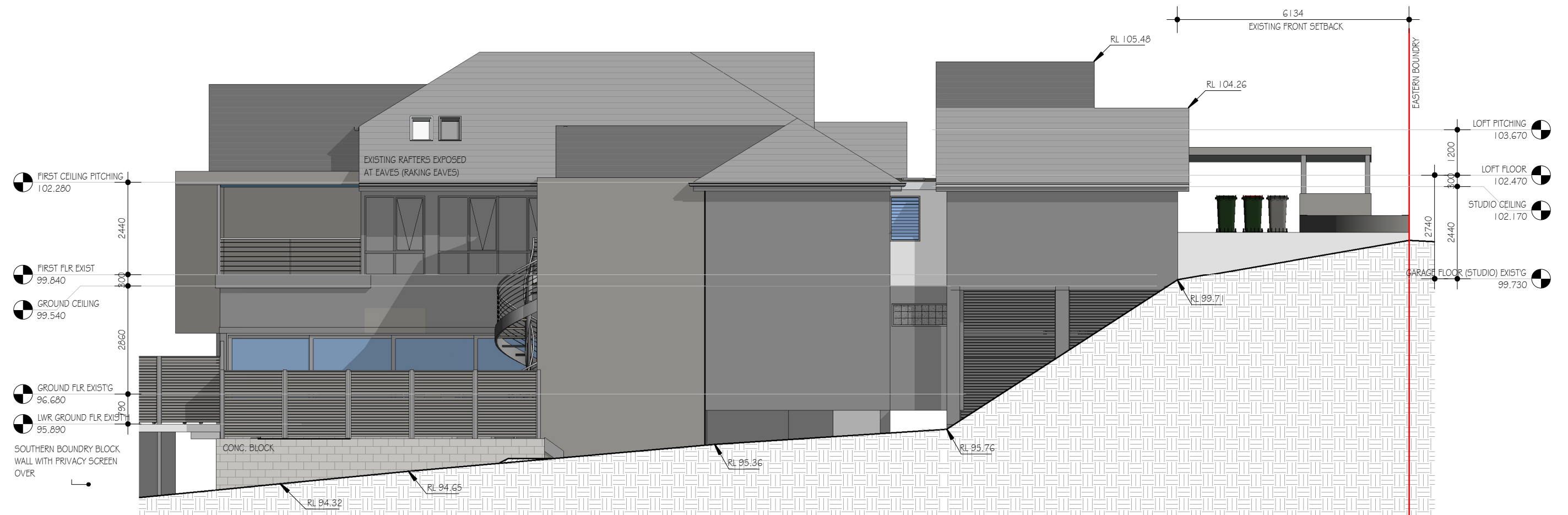
WESTERN ELEVATION

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
COUNCIL: NORTHERN BEACHES	DATE: 27/12/19			77 BALLYSHANNON RD, KILLARNEY HTS.

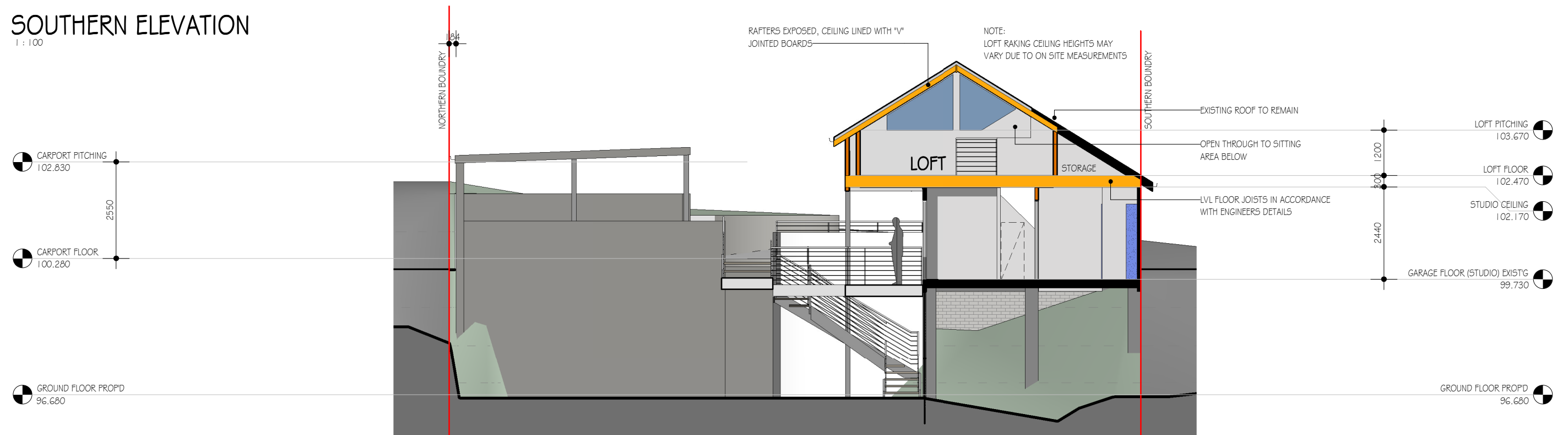
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SOUTHERN ELEVATION
1 : 100



WESTERN ELEVATION (CARPORT) + SECTION (STUDIO LOFT)
1 : 100

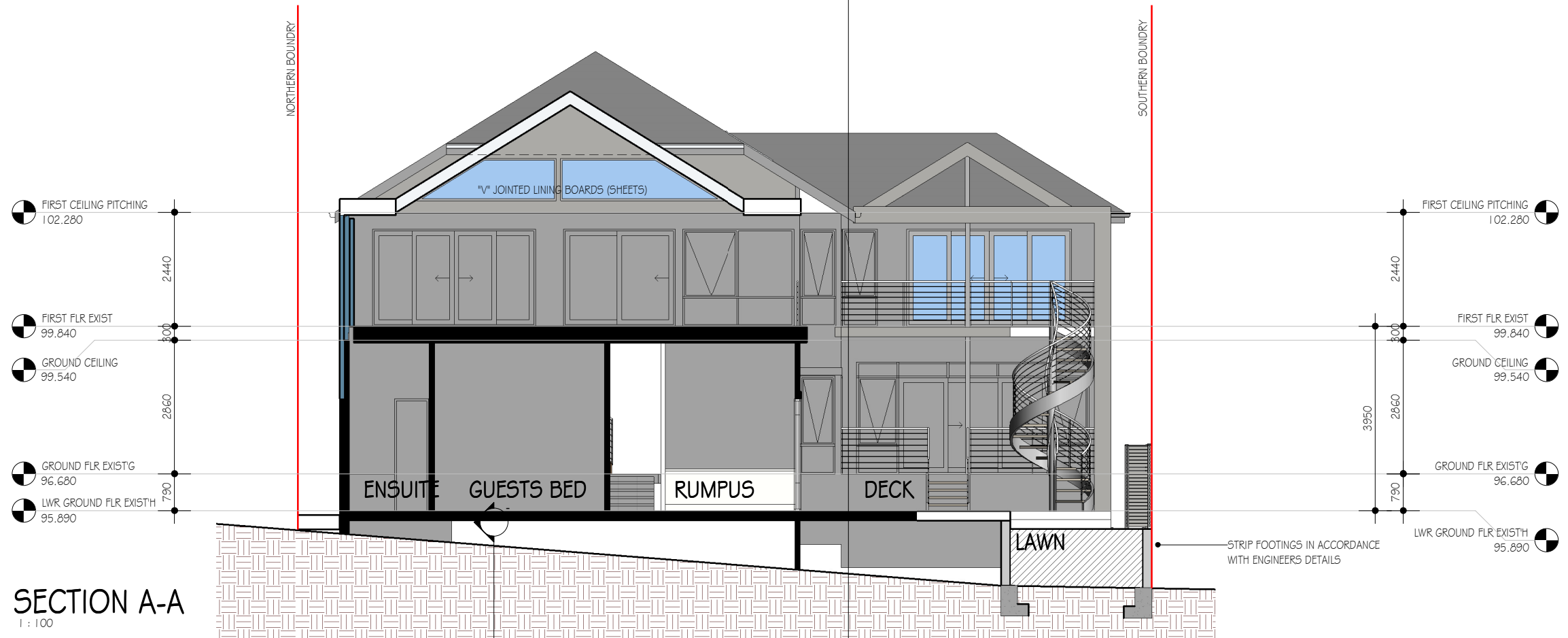
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SOUTH (HOUSE) AND EAST (CARPORT) ELEVATION

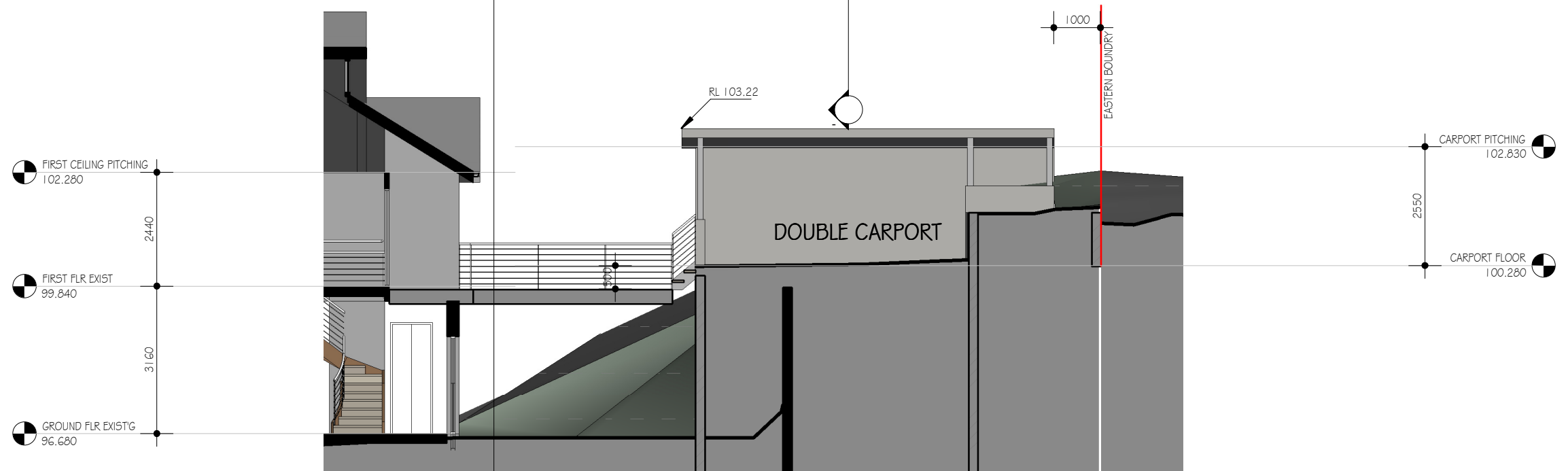
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SECTION A-A
1 : 100



SECTION B-B
1 : 100



BUILDING CODE CONTROLS

- NATIONAL CONSTRUCTION CODE:**
ALL EXTERNAL WALLS AREA TO COMPLY WITH THE RELEVANT REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC).
- STRUCTURAL STEELWORK:**
ALL STRUCTURAL STEELWORK TO BE IN ACCORDANCE WITH ENGINEERS DETAILED DRAWINGS, SPECIFICATIONS AND BCA 2019.
- TIMBER ROOF AND FRAME:**
ALL TIMBER FRAME CONSTRUCTION TO BE IN ACCORDANCE WITH THE LIGHT TIMBER FRAMING CODE OF AUSTRALIA AND IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILED DRAWINGS.
- FOOTINGS AND SLABS:**
ALL STRIP, PAD AND RAFT SLABS TO BE INACCORDANCE WITH STRUCTURAL ENGINEERS DETAILED DRAWINGS, SPECIFICATIONS AND AS2870-2011
- FASCIA AND GUTTERS:**
COLOURBOND/TIMBER FASCIA, 125MM QUAD GUTTERS AND PVC DOWNPIPES UNLESS OTHERWISE NOTED OR SPECIFIED.
- WALL AND CEILING LININGS:**
10MM SMOOTH FINISH PLASTERBOARD WALL AND CEILING LININGS THROUGHOUT, UNLESS OTHERWISE SPECIFIED.
- DOOR AND WINDOW FRAMES:**
ALUMINIUM SEMI-COMMERCIAL WINDOWS AND DOORS, POWDERCOATED IN STANDARD COLOUR RANGE: KEYED ALIKE LOCKS, SINGLE GLAZING SUBJECT TO FUTURE ENERGY CERTIFICATE REQUIREMENTS.
- BULKHEADS AND SUSPENDED CEILINGS:**
ALLOWANCE MUST BE MADE IN THE FIRST FLOOR OR WITH BULKHEADS TO THE GROUND FLOOR CEILING FOR ANY PLUMBING, DRAINAGE TRAPS OR PIPEWORK AS NECESSARY.
- INSULATION:**
WALLS: R1.5 THERMAL INSULATION BATTS TO EXTERNAL CAVITY WALL.
CEILINGS: 3.5 THERMAL INSULATION BATTS TO THE ROOF SPACE. ALL SUBJECT TO ENERGY CERTIFICATE REQUIREMENTS
- SMOKE ALARM SYSTEM:**
A SMOKE ALARM SYSTEM IS TO BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. ALL ALARMS TO BE INTERLINKED.
- LIGHTING:**
ANY LIGHTING TO THE SITE SHALL BE DESIGNED SO AS TO NOT TO CAUSE NUISANCE TO THE OTHER RESIDENCES IN THE AREA OR TO MOTORISTS ON THE NEARBY ROADSAND TO ENSURE NOADVERSE IMPACT ON THE AMENITY OF THE SURROUNDING AREA BY LIGHT OVERSPILL.
ALL LIGHTING SHALL COMPLY WITH THE AUSTRALIAN STANDARD AS 4282:1997CONTROL OF THE OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING.
- FLOOR WASTE:**
FLOOR WASTES TO ALL WET AREAS IN ACCORDANCE WITH AS3740.
- STAIRS:**
STAIRS TO HAVE A MAXIMUM FLIGHT OF 18 RISERS IN ACCORDANCE WITH PART 3.9.1.2 OF THE BCA. 2019 VOL 2.
- HAND RAILS:**
HANDRAILS TO ALL NEW STAIRS IN ACCORDANCE WITH PART 3.9.2.4 OF THE BCA 2019.
- LIFT OFF HINGES:**
POWDER ROOMS AND SEPERATE WC IN ALL DWELLINGS TO HAVE 'LIFT OFF HINGES' OR TO DOORS TO OPEN OUTWARDS IN ACCORDANCE WITH PART 3.8.3.3 OF THE BCA 2019 VOL.2.
- MECHANICAL VENTILATION:**
FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS.
PROVIDE MECHANICAL VENTILATION TO POWDER ROOMS AND ENSUITES ALL IN ACCORDCANCE WITH PART 3.8.5.3 OF THE BCA 2019 VOL 2.(ALL VENTED TO OUTSIDE AIR)
FLOW RATE:
40L PER SECOND TO ALL LAUNDRIES + SWR RWLAUNDRY
25L PER SECOND TO BATHROOMS + ENSUITES.
VENTILATION OF ROOF SPACES (IF EXHAUST FANS DONT VENT TO OUTSIDE AIR):
PROVIDE VENTILATION TO ALL ROOF VOIDS ALL IN ACCORDCANCE WITH PART 3.8.7.4 OF THE BCA 2019 VOL 2.
- CONDENSATION MANAGEMENT:**
THE BUILDER SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PROVISIONS LOCATED IN PART F6 OF VOLUME ONE AND 3.8.7.1 IN VOLUME TWO OF THE NCC.
- FIRE SEPARATION OF EXTERNAL WALLS (IF APPLICABLE):**
THE BUILDER SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PROVISIONS LOCATED IN PART 3.7.2 FIRE SEPARATION OF EXTERNAL WALLS, ACCEPTABLE CONSTRUCTION PRACTICE OF THE BCA.

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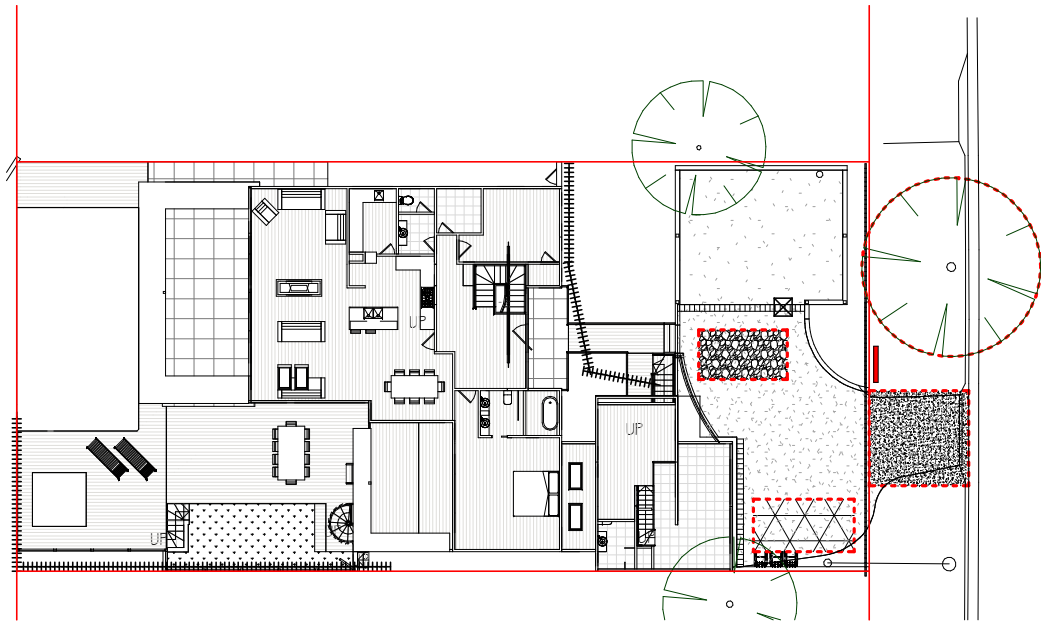
SECTION A-A and B-B

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
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BALLYSHANNON ROAD

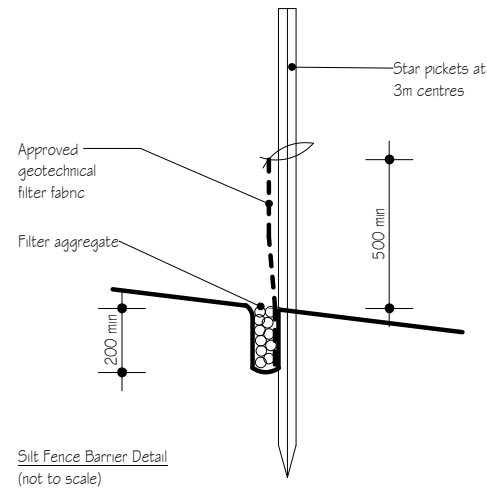
LEGEND

- BUILDING MATERIAL STORAGE
- WASTE MATERIAL STORAGE
- TEMPORARY BUILDERS DRIVEWAY
- CHEMICAL TOILET
- SEDIMENT CONTROL FENCE
- TEMPORARY SECURITY FENCE
- SITE INFORMATION SIGN
- TREES PROTECTED
- EXISTING FENCING MAINTAINED

NOTE:
ALL WASTE MATERIAL TO BE TAKEN TO AN
APPROVED WASTE DISPOSAL SITE

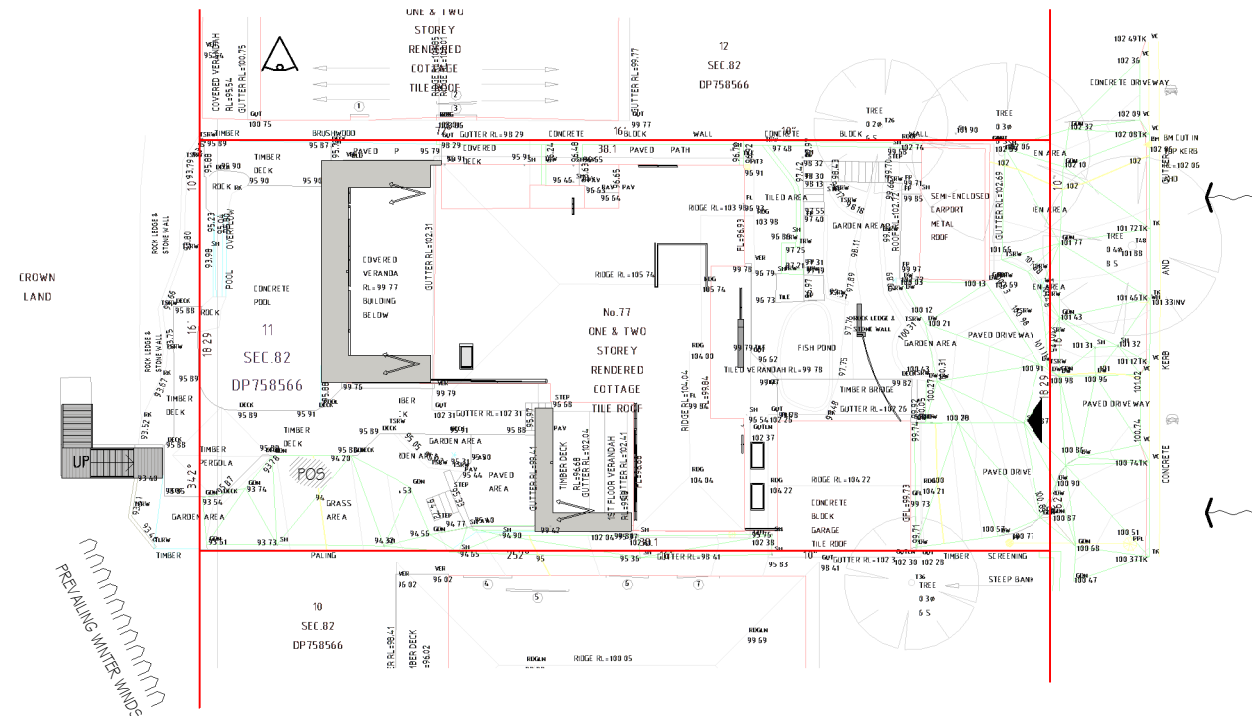
SITE PLAN SITE WASTE MANAGEMENT

1 : 300



GENERAL NOTES

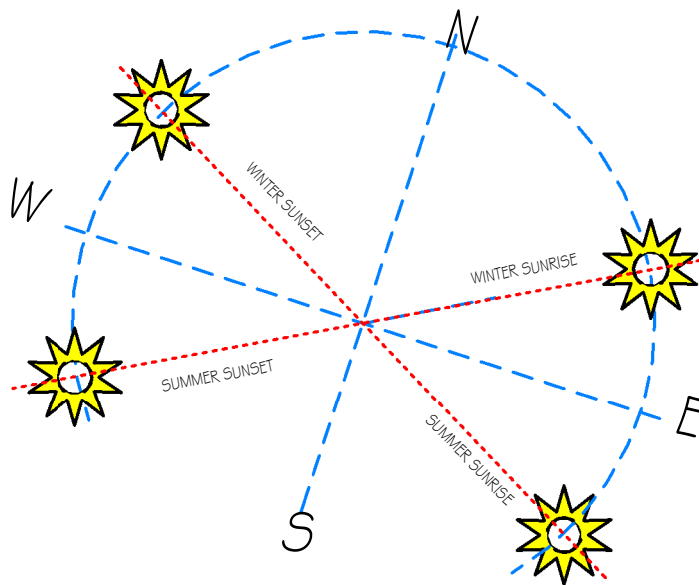
EXISTING TREES:
ALL EXISTING TREES TO BE RETAINED UNLESS OTHERWISE SHOWN ON LANDSCAPE ARCHITECTS PLANS.
RETAINED TREES TO BE PROTECTED WITH A HIGH VISIBILITY FENCE, PLUS FLAGGING TO INDIVIDUAL TREES IF NECESSARY.
GRASS COVER:
RETAIN ALL EXISTING GRASS COVER WHERE POSSIBLE.
SEDIMENT AND EROSION CONTROLS:
SEDIMENT AND EROSION CONTROLS TO BE IN PLACE PRIOR TO COMMENCEMENT OF ANY EARTHWORKS OR DEMOLITION ACTIVITY.
INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADED WATER UNTIL SURROUNDING AREAS HAVE BEEN PAVED OR RE-GRASSED.
SILT FENCES:
ALL SILT FENCES AND BARRIERS TO BE MAINTAINED IN GOOD ORDER AND REGULARLY DE-SILTED DURING THE CONSTRUCTION PROCESS.
POLLUTION:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM.
SKIP BINS:
WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP BINS LOCATED AS SHOWN ON PLANS.
STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL AND GRAVEL MUST BE COVERED WITH SEDIMENT FENCE MATERIAL, PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED.
SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK AND SCAFFOLDING.
LEAVING VEHICLES:
ALL VEHICLES THE SITE MUST PASS OVER THE "BALLAST" AREA TO SHAKE OFF SITE CLAY AND SOIL. WHEELS AND AXLES TO BE HOSED DOWN IF NECESSARY.
BALLAST IS TO BE MAINTAINED AND REPLACED AS NECESSARY DURING THE CONSTRUCTION PERIOD. TRUCKS REMOVING EXCAVATED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS AND MATERIALS SHOULD BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON THE SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES (NO SEMI-TRAILERS).
FOOTPATH:
ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE IS TO BE REMOVED IMMEDIATELY.
BARRIERS:
PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
CONCRETE PUMPS AND CRANES:
CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
DELIVERY VEHICLES:
DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A TIME.
EXCAVATION:
ANY EXCAVATION WORK ADJACENT TO THE ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS ARE RECEIVED.
TOILET FACILITIES:
TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED AND SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.



BALLYSHANNON ROAD

LEGEND

- PRIVATE OPEN SPACE
- VIEWS
- VEHICLE SITE ENTRY
- PREVAILING WINDS
- NOISE
- OVERLOOKING



SITE PLAN SITE ANALYSIS

1 : 300

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PROPOSED SITE ANALYSIS + WASTE MANAGEMENT

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
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SCHEDULE LEGEND

FRAME		
SA	-	STANDARD ALUMINIUM
IA		IMPROVED ALUMINIUM
TF	-	TIMBER FRAMED OR PVC
GLAZING		
SC	-	SINGLE CLEAR
SP		SINGLE PYROLYTIC LOE-E
ST	-	SINGLE TONED
CP	-	COMFORT PLUS
DC	-	DOUBLE CLEAR

GENERAL NOTES:

SEMI-COMMERCIAL FRAMES

ALL NEW DOOR AND WINDOW FRAMES TO BE FROM THE MANUFACTURES "SEMI-COMMERCIAL" RANGE, UNLESS OTHERWISE SPECIFIED.

TRANSLUCENT GLAZING:

ALL WINDOWS MARKED AS OBSCURE IN THE SCHEDULE WILL HAVE WHITE TRANSLUCENT GLAZING.

FIRST FLOOR WINDOWS:

BCA REQUIRES PROTECTION FOR OPENING WINDOWS IN ALL BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS MORE THAN 2000MM.

(PART 3.9.2.5 of the bca 2016)

RESTRICTED OPENING OR SCREEN:

THE AFFECTED WINDOWS ARE TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING OR A SUITABLE SCREEN, SO A 125MM DIA. SPHERE CANNOT PASS THROUGH.

DOUBLE HUNG WINDOWS:

BOTTOM SASH OF FIRST FLOOR DOUBLE HUNG WINDOWS THAT ARE 1800MM HIGH OR GREATER ARE TO BE SCREW LOCKED BY THE MANUFACTURER.

SKYLIGHTS:

SKYLIGHTS WITHIN 900MM OF THE PROPERTIES PARTY WALL ARE TO BE NON-COMBUSTABLE IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.

ROOF AREA:

ROOF AREA MEASURED (TOTAL) 364.00m²

UNCONDITIONED FLOOR AREA:

IN RELATION TO A DWELLING, MEANS THE TOTAL FLOOR AREA OF ALL BATHROOMS (NOT INCLUDING ENSUITES) AND LAUNDRIES WITH A VENTILATION OPENING.

EACH DWELLING: 23.50m²

CONDITIONED FLOOR AREA:

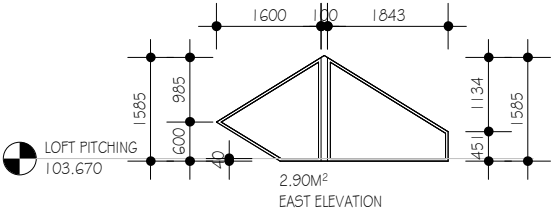
IN RELATION TO A DWELLING, MEANS THE TOTAL FLOOR AREA OF THE DWELLING EXCLUDING:

- a) FLOOR AREA THAT IS NOT FULLY ENCLOSED.
- b) BATHROOMS (BUT NOT ENSUITES) AND LAUNDRIES, WITH A VENTILATION OPENING; AND VOIDS, STORE ROOMS, GARAGES AND CARPARKS.

EACH DWELLING: 354m²

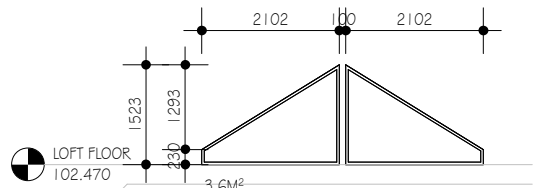
LEGEND

H.H.	HEAD HEIGHT
H.	WINDOW HEIGHT
W.	DOOR AND WINDOW WIDTH
F.	ALUMINIUM FRAME TYPE
G.	GLASS TYPE
ORIENTN.	ORIENTATION
O.	OBSCURE GLASS



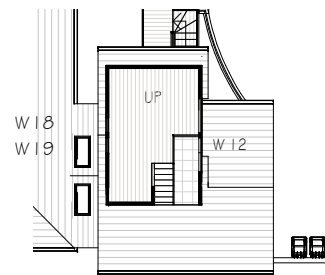
W 13 - LOFT GABLE

1 : 100



W 14- STUDIO GABLE

1 : 100

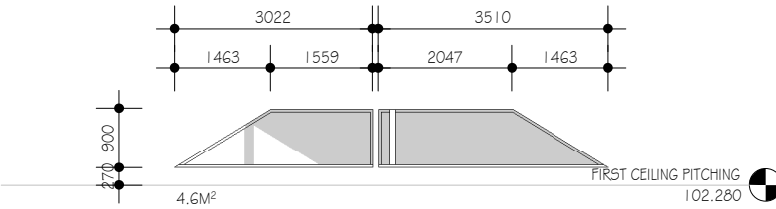


SCHEDULE LOFT

1 : 250

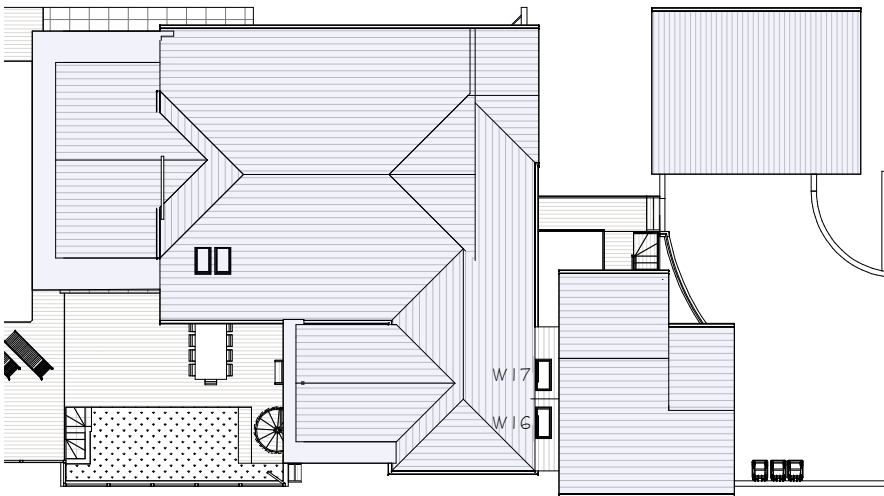
WINDOW SCHEDULE

No	SASH TYPE	H.	W.	F.	G.	ORIENTN	O.	H.H.	AREA
01	AWNING	1000	2100	SA	SC	NORTH	No	2100	2.10
02	AWNING	1000	2100	SA	SC	EAST	No	2100	2.10
03	FIXED GLASS	2400	1932	SA	SC	WEST	No	8289	4.64
04	FIXED GLASS	2400	1932	SA	SC	WEST	No	8289	4.64
05	FIXED GLASS	2400	1212	SA	SC	WEST	No	2400	2.91
06	AWNING	600	1800	SA	SC	NORTH	Yes	1500	1.08
07	FIXED GLASS	2100	451	SA	SC	EAST	No	2100	0.95
08	FIXED GLASS	2100	451	SA	SC	EAST	No	2100	0.95
09	AWNING	600	1500	SA	SC	NORTH	No	2100	0.90
10	AWNING	900	1800	SA	SC	NORTH	No	2100	1.62
11	AWNING	900	600	SA	SC	WEST	No	2100	0.54
12	LOUVRE	1200	800	SA	SC		No	2100	0.96
16	VELUS SKYLIGHT	600	1200	SA	SC		No		0.72
17	VELUS SKYLIGHT	600	1200	SA	SC		No		0.72
18	LOUVRE	900	600	SA	SC	WEST	No	1015	0.54
19	LOUVRE	900	600	SA	SC	WEST	No	2215	0.54



W 15 - WESTERN GABLE

1 : 100

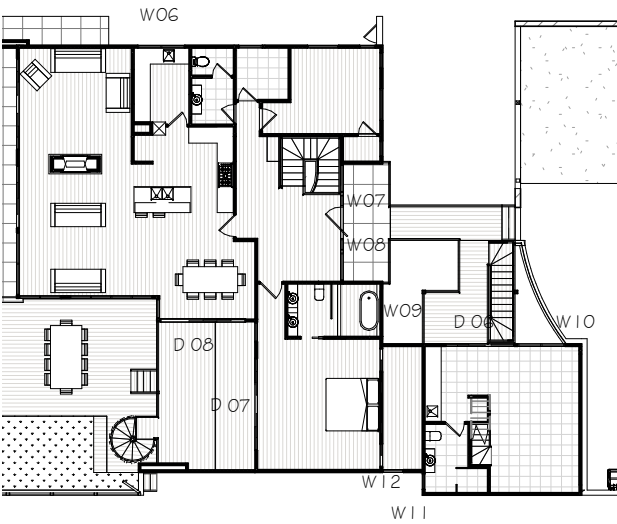


SCHEDULE ROOF

1 : 250

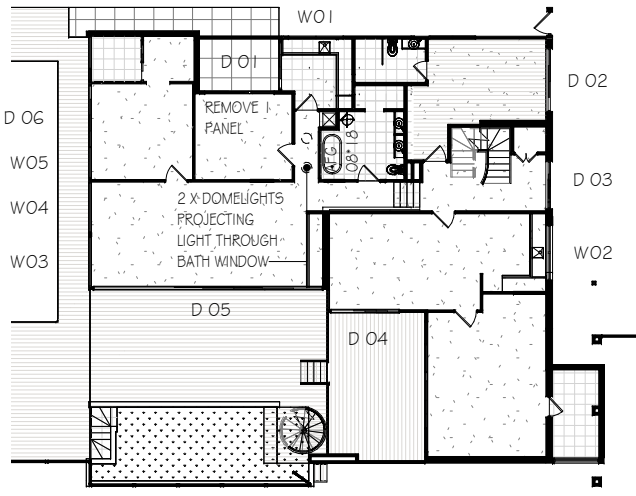
DOOR SCHEDULE

No	DOOR TYPE	H.	W.	F.	G.	ORIENTN	AREA
01	2 PANEL SLIDER	2100	1810	SA	SC	WEST	3.80
03	2 PANEL SLIDER	2100	1810	SA	SC	EAST	3.80
04	3 PANEL SLIDER	2100	2650	SA	SC	SOUTH	5.57
05	4 PANEL STACKER	2400	8769	SA	SC	SOUTH	21.05
06	3 PANEL SLIDER	2100	2650	SA	SC	NORTH	5.57
06	2 PANEL SLIDER	2400	2386	SA	SC	WEST	5.73
07	4 PANEL SLIDER	2100	3520	SA	SC	WEST	7.39
08	3 PANEL STACKER	2100	3270	SA	SC	SOUTH	6.87



SCHEDULE STUDIO

1 : 250



SCHEDULE GROUND FLOOR

1 : 250

NOTE: ALL LEVELS TO AUSTRALIAN HEIGHT DATA. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM ALL MEASUREMENTS ON SITE AND LOCATIONS OF ANY SERVICES PRIOR TO COMMENCEMENT OF WORK. DRAWINGS SHOULD NOT BE SCALED. WRITTEN DIMENSIONS SHOULD ONLY BE TAKEN FROM DRAWINGS, IF A DISCREPANCY EXISTS NOTIFY URBAN AND CO IMMEDIATELY. ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA THE RULES AND REQUIREMENTS OF APPLICABLE STATUTORY BODIES, COUNCIL AND ALL RELEVANT AUSTRALIAN STANDARDS CODES AND SPECIFICATIONS.
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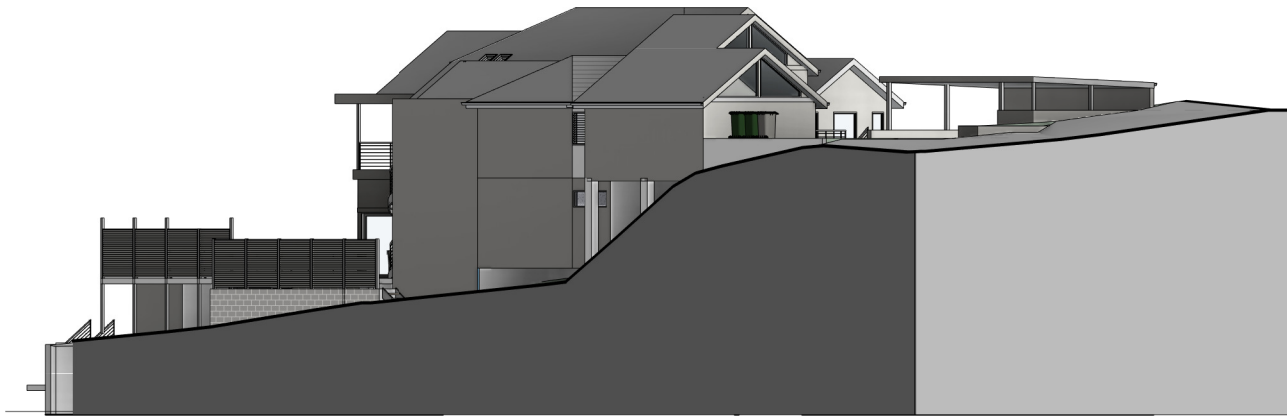
DOOR and WINDOW SCHEDULE

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
COUNCIL: NORTHERN BEACHES			DATE: 27/12/19	77 BALLYSHANNON RD, KILLARNEY HTS.

SHEET No:
18
REV 12
19/05/20

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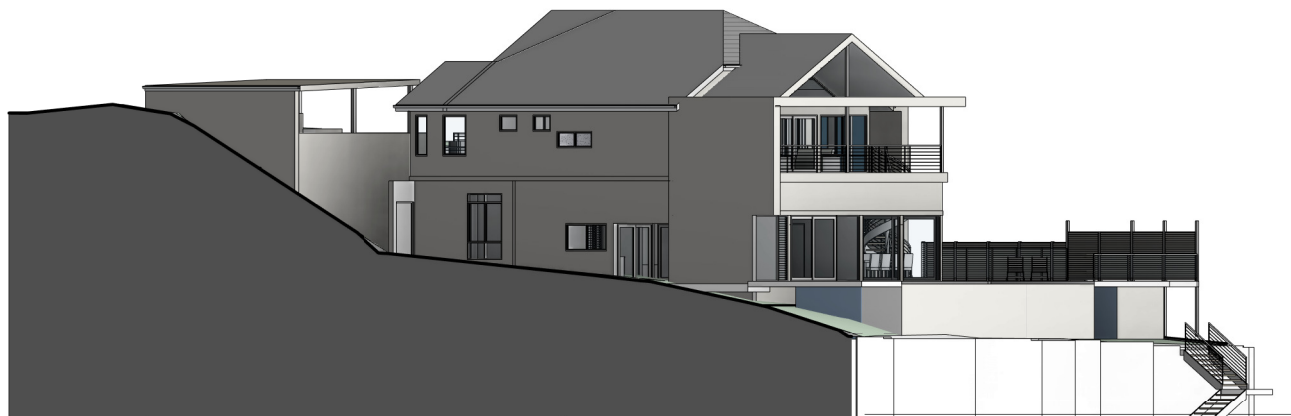
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ISOMETRIC VIEW 01



ISOMETRIC VIEW 02



ISOMETRIC VIEW 03



ISOMETRIC VIEW 04



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PROPOSED ISOMETRIC VIEWS

ZONE: R2	LOT: 11	D.P. 758566	PROJECT: 20-01	CLIENT: SIMON AND LOUISE BAKER
COUNCIL: NORTHERN BEACHES			DATE: 27/12/19	77 BALLYSHANNON RD, KILLARNEY HTS.

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