

FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01

SITE PLAN
1:200



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KEY	
EXISTING SINGLE RESIDENTIAL DWELLINGS	
SUBJECT SITE	
EXISTING TREES	
PROPOSED TREES	

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

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SCALE
1:200 @ A3



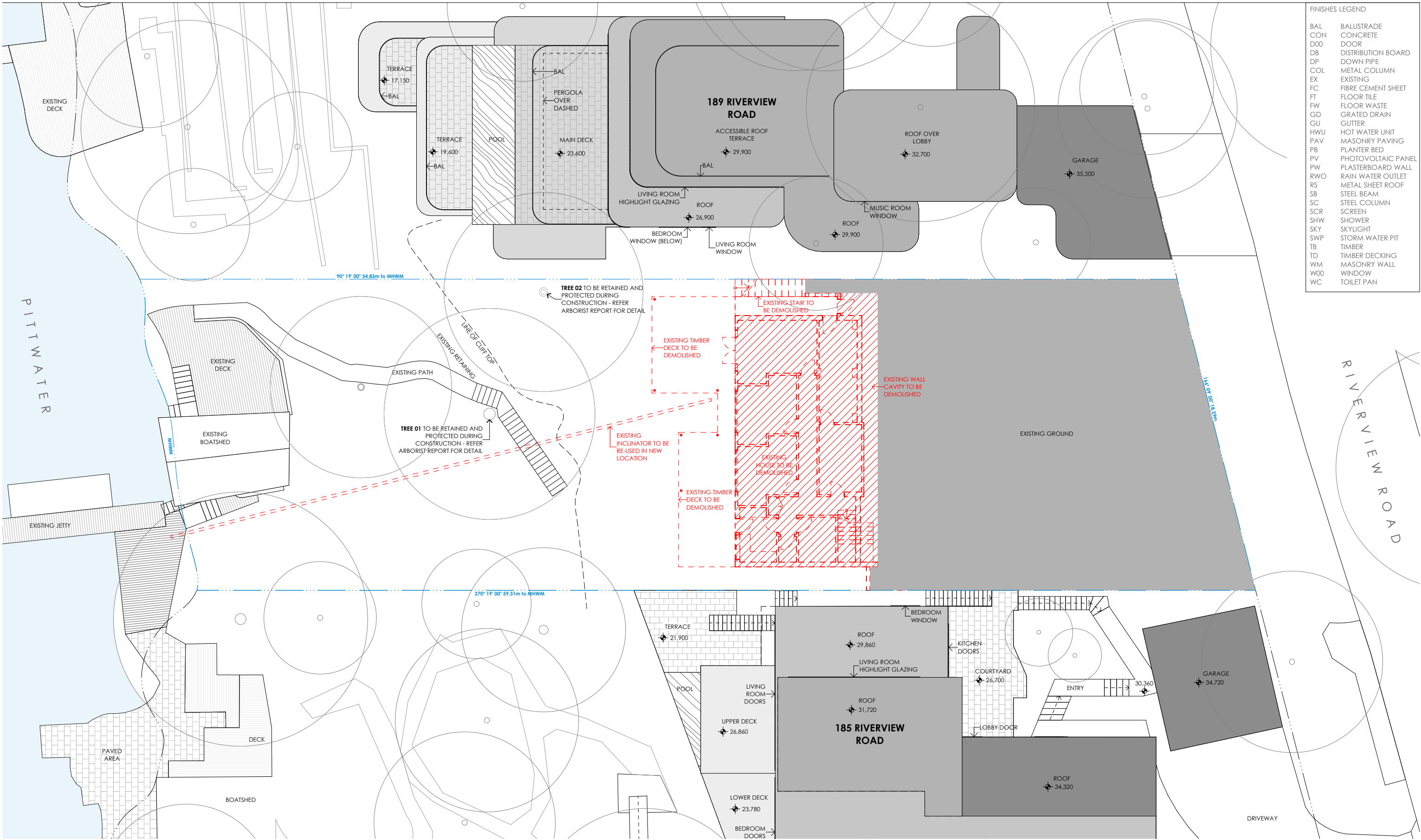
CLIENT
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RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SITE PLAN

REV.
A

DA-A01



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
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SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
DEMOLITION PLAN
1:200




ANDREW BURGESS
ARCHITECTS

studio 32, 61 marlborough st
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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE DEMOLISHED
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	EXISTING TREES TO BE DEMOLISHED (REFER ARBORIST REPORT FOR MORE DETAIL)
	EXISTING TREES TO BE RETAINED (REFER ARBORIST REPORT FOR MORE DETAIL)

REV	DATE	DESCRIPTION
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beaches
council

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CONSENT**

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SCALE
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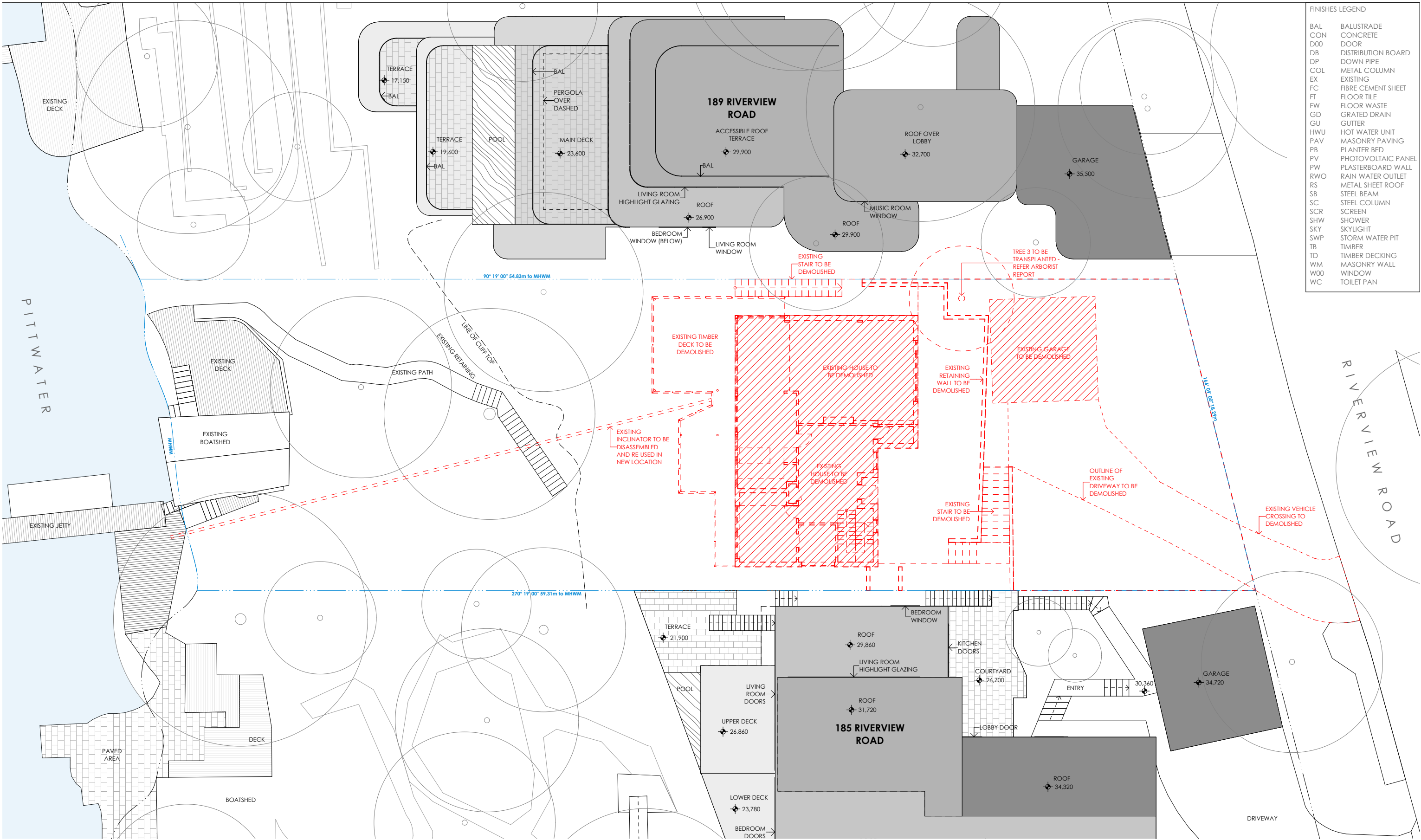


CLIENT
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RICHARDS
FIRST ISSUE
28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
LOWER GROUND
DEMOLITION PLAN
REV.
A

DA-A03



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
DEMOLITION PLAN
1:200



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE DEMOLISHED
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	EXISTING TREES TO BE DEMOLISHED (REFER ARBORIST REPORT FOR MORE DETAIL)
	EXISTING TREES TO BE RETAINED (REFER ARBORIST REPORT FOR MORE DETAIL)

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SCALE
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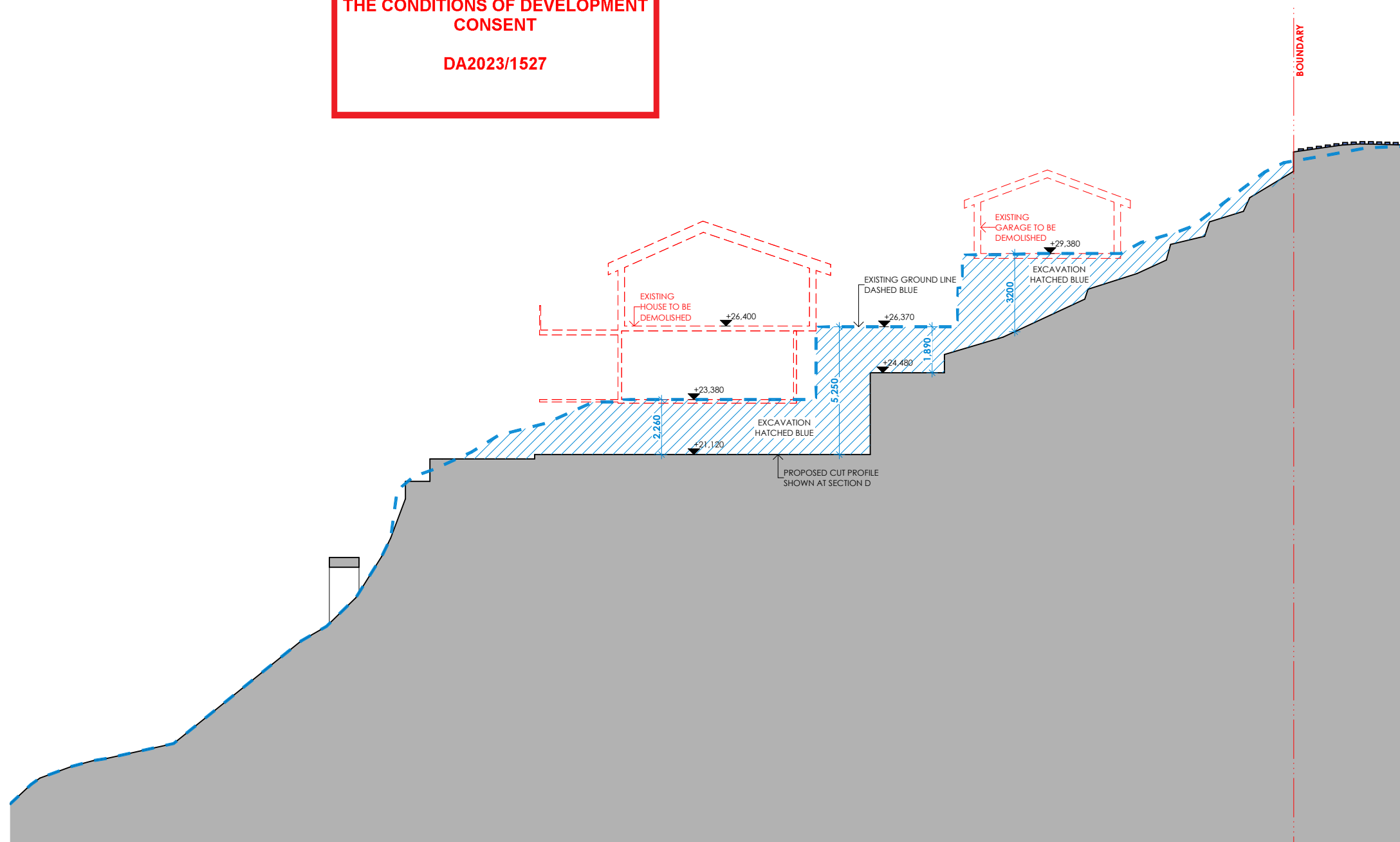
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
GROUND FLOOR
DEMOLITION PLAN
REV.
A

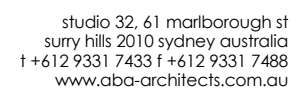
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
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CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
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SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



01 CUT & FILL DIAGRAM - SECTION C
- 1:200



KEY

	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION

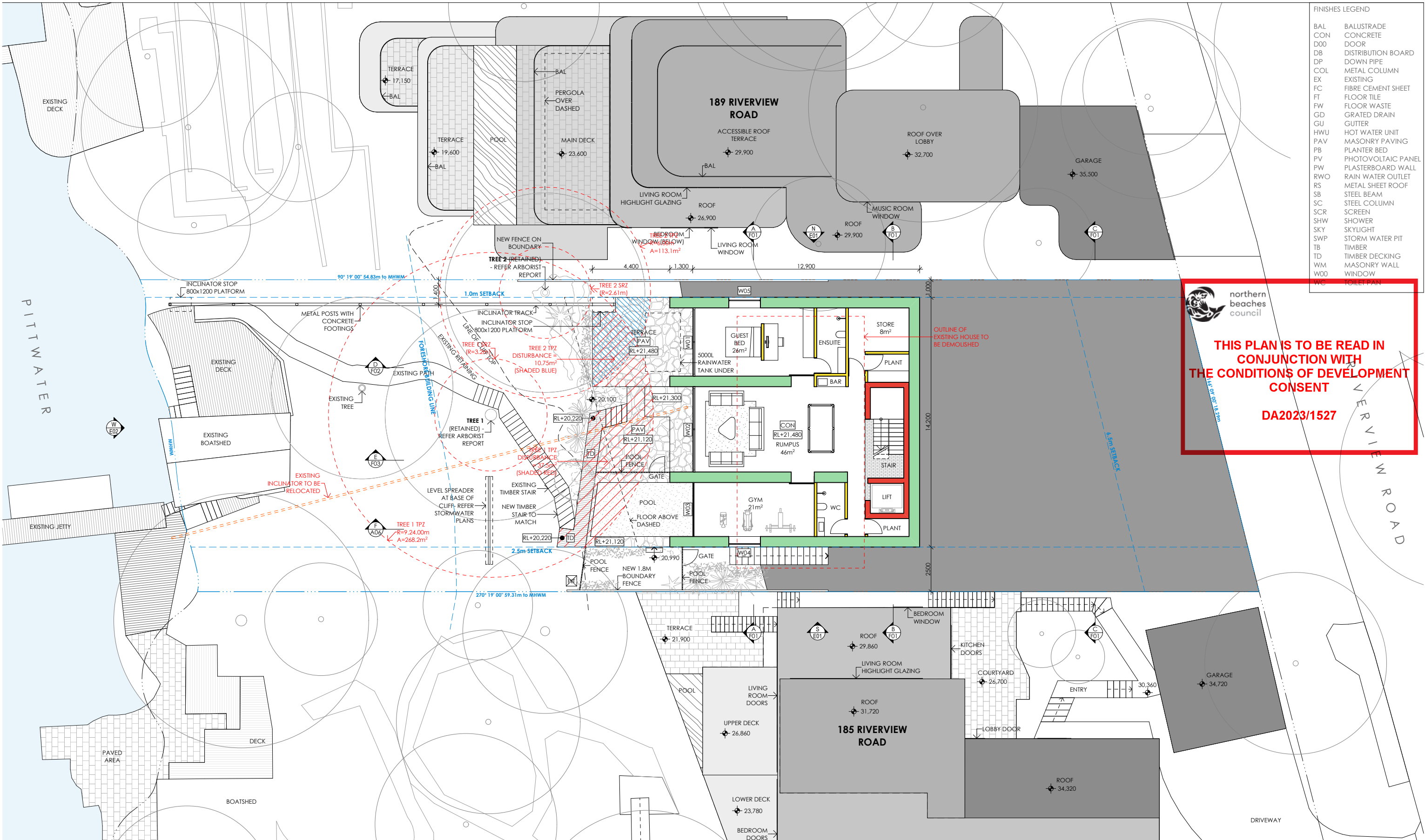
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ADDRESS
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AVALON BEACH

DRAWING
EXCAVATION AND FILL
PLAN
REV.
A

DA-A05



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
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SC	STEEL COLUMN
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SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

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01 LOWER GROUND FLOOR PLAN
1:200

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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

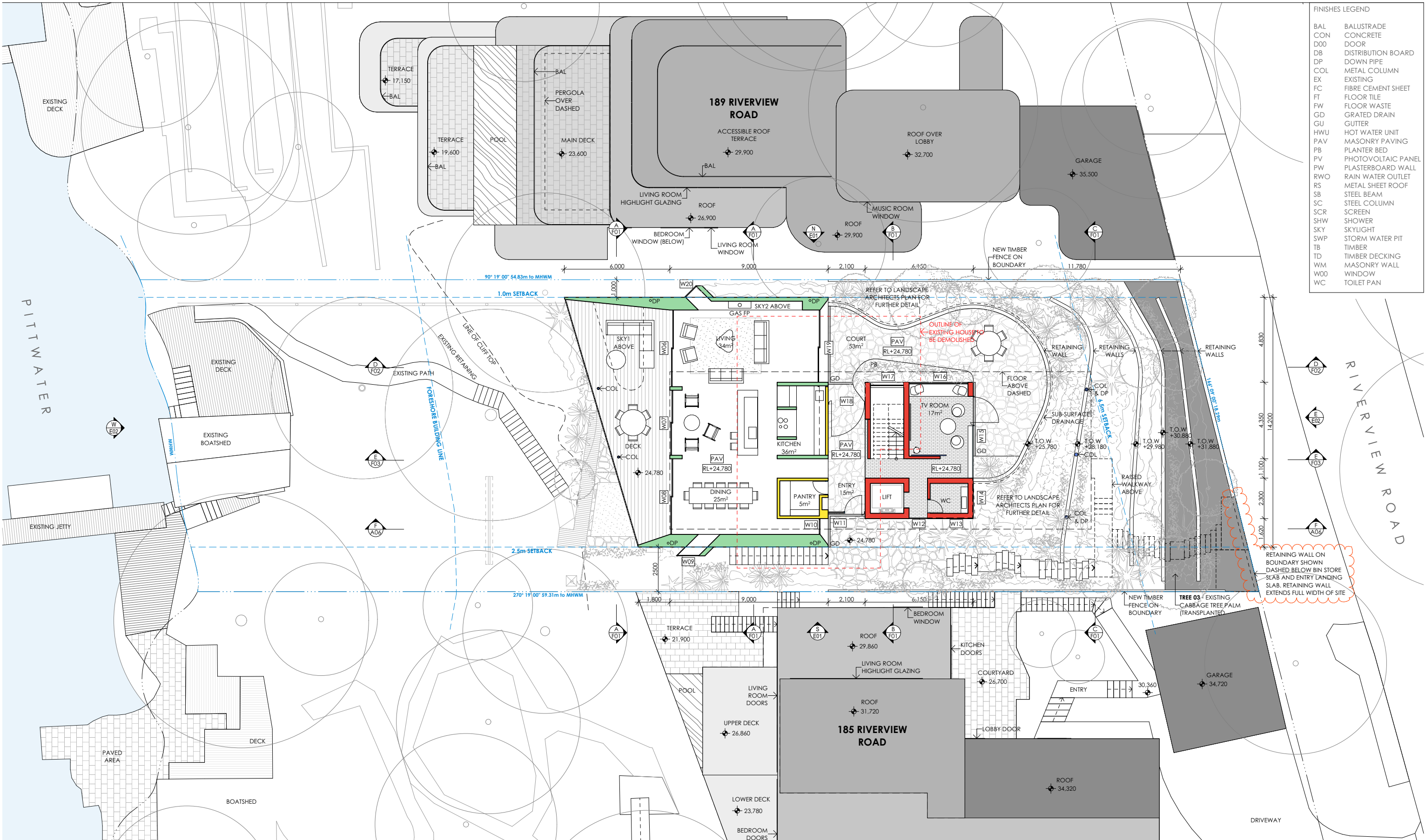
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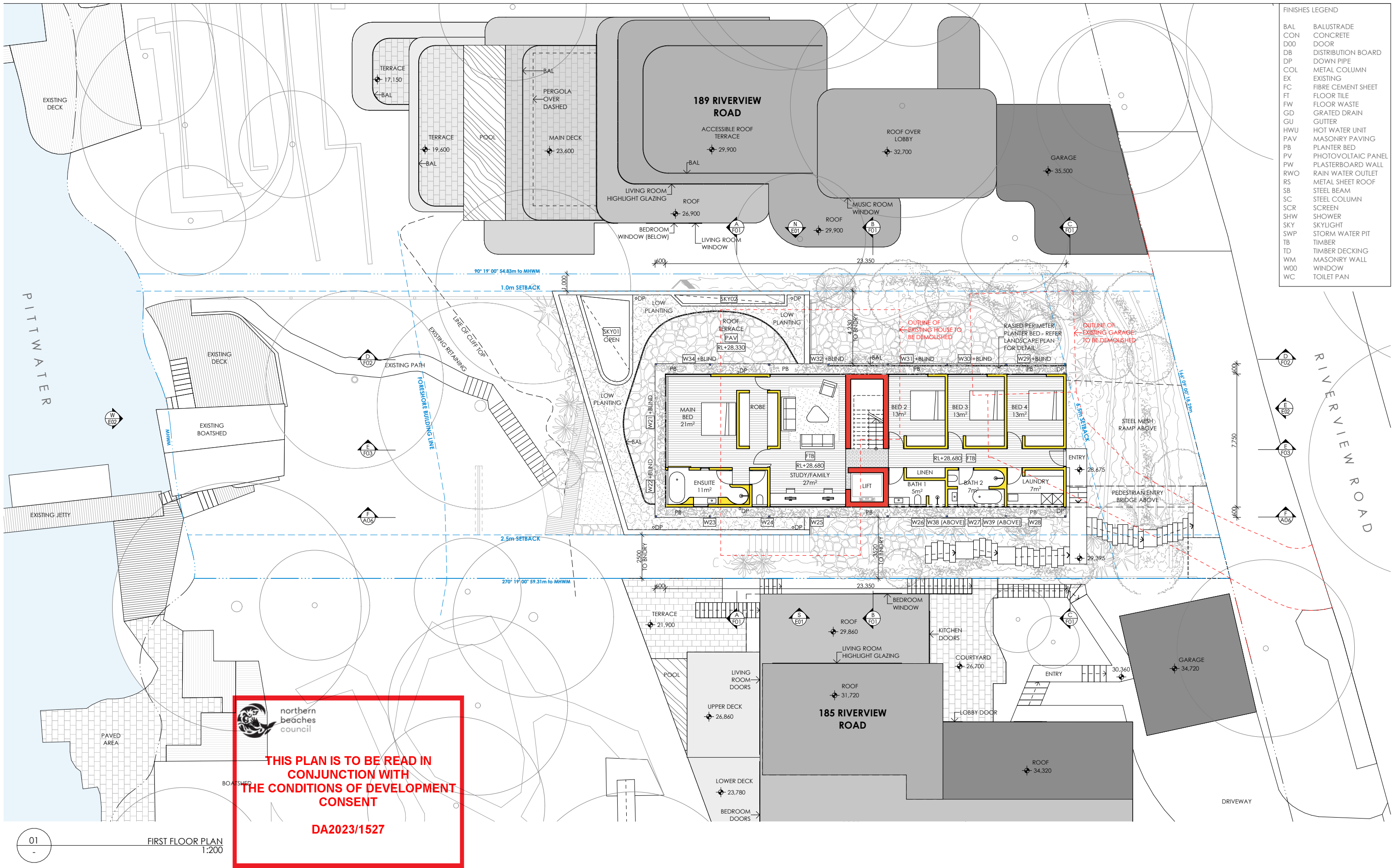
0008950776 27 Sep 2023
Assessor Cameron McFadzean
Accreditation No. 20758
Address 187 Riverview Rd, Avalon Beach, NSW, 2107
hstar.com.au

SCALE
1:200 @ A3

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DRAWING
LOWER GROUND FLOOR
PLAN
REV.
A
DA-D01





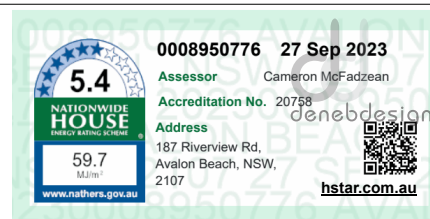
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CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
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TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
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SCALE
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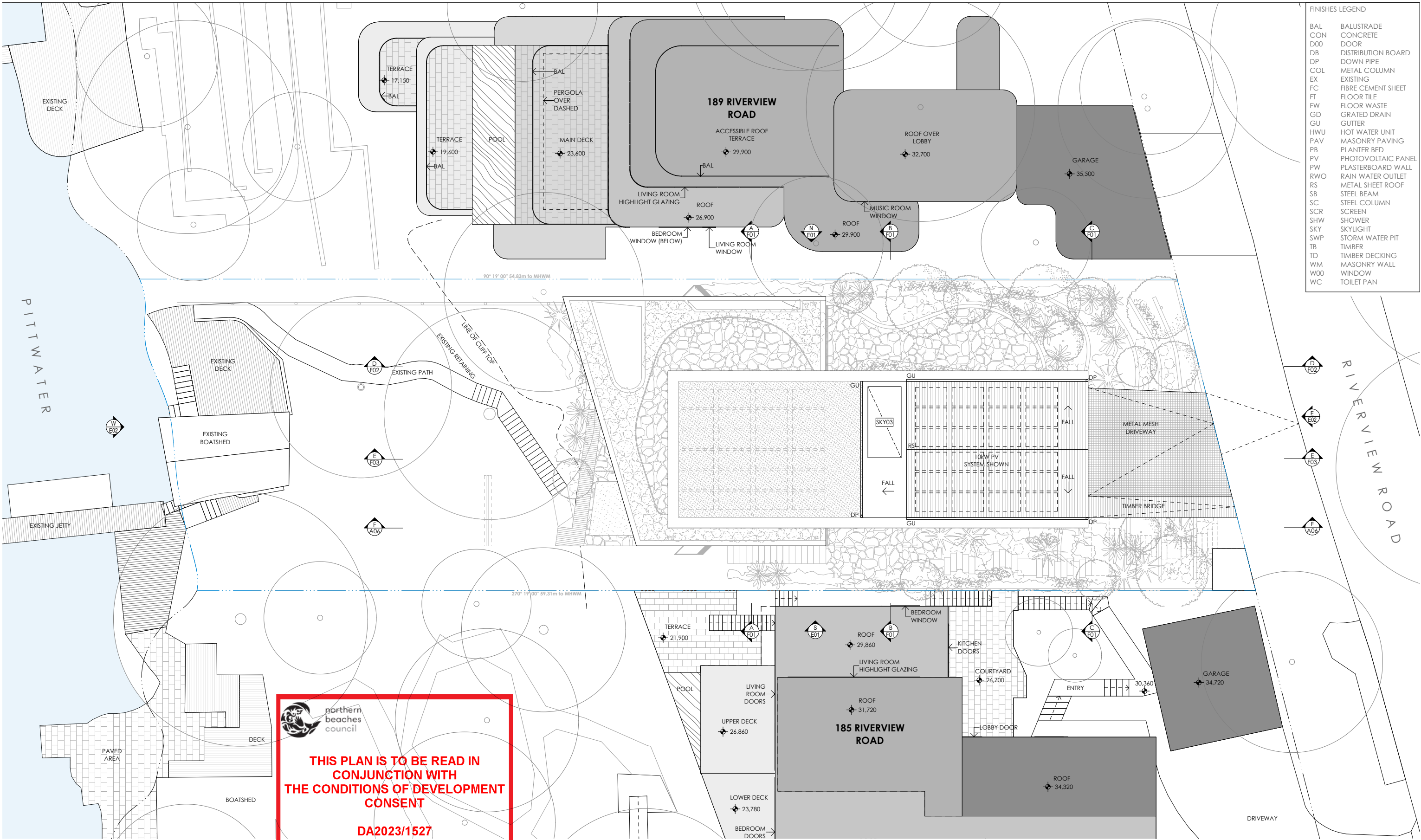
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DRAWING
FIRST FLOOR PLAN

REV.
A

DA-D03










FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
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SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

01
-
ROOF PLAN
1:200




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ARCHITECTS


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KEY	
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	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

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0008950776 27 Sep 2023
Assessor Cameron McFadzean
Accreditation No. 20758
Address 187 Riverview Rd,
Avalon Beach, NSW,
2107
hstar.com.au

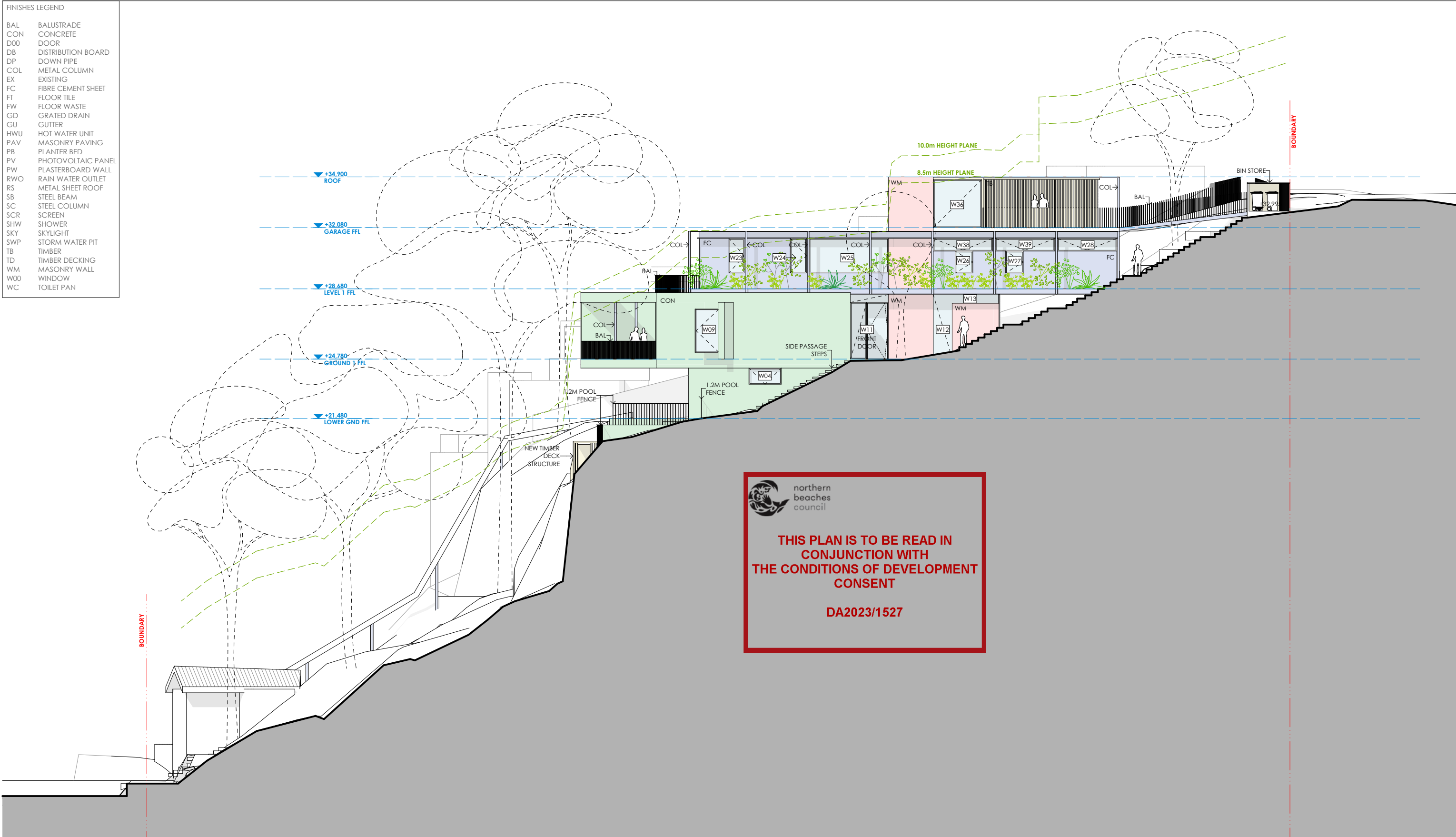


ABSA
Accreditation Period: 31/03/2023-31/03/2024
Assessment Name: Cameron McFadzean
Assessment Number: 20758
Assessor Signature: [Signature]

SCALE
1:200 @ A3

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ROOF PLAN
REV.
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01 SOUTH ELEVATION
1:200



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



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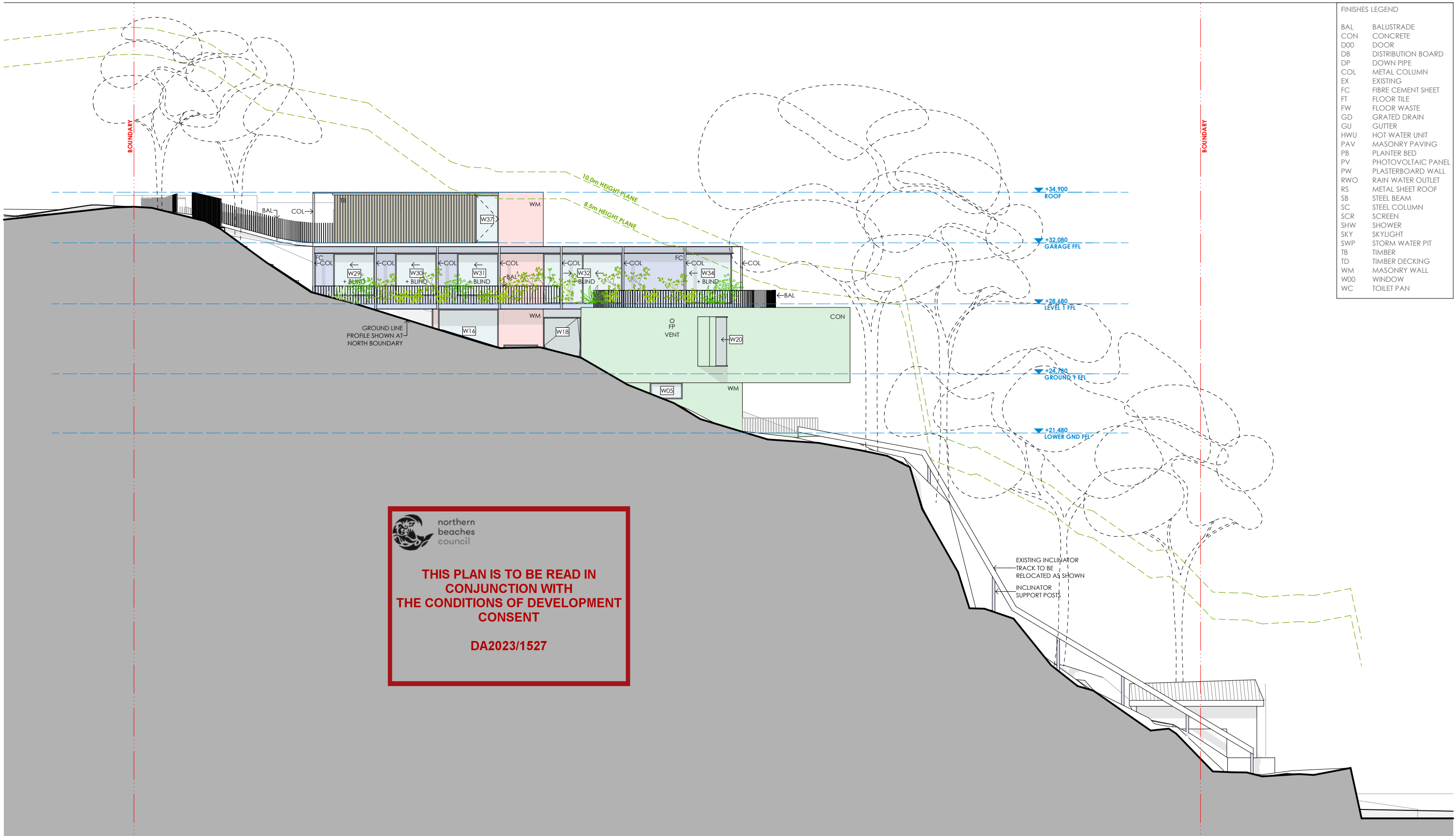
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28.09.2023

ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ELEVATION SOUTH

REV.
A

DA-E01



FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
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SCR	SCREEN
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SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN

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






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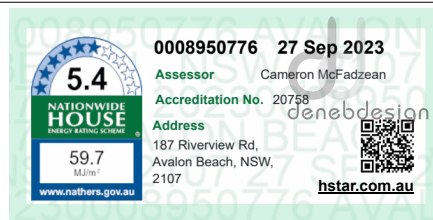
01
-
NORTH ELEVATION
1:200



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



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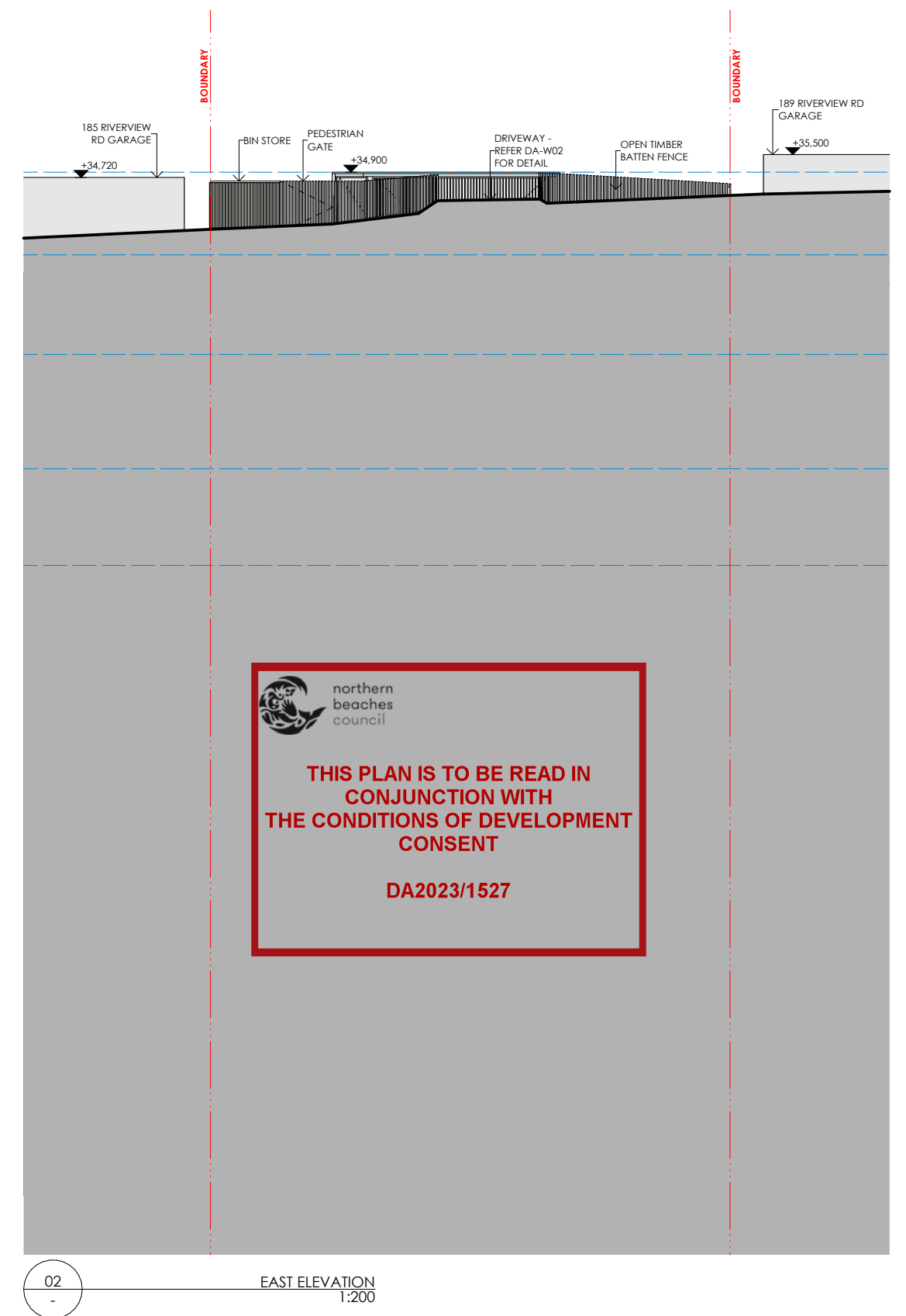
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28.09.2023

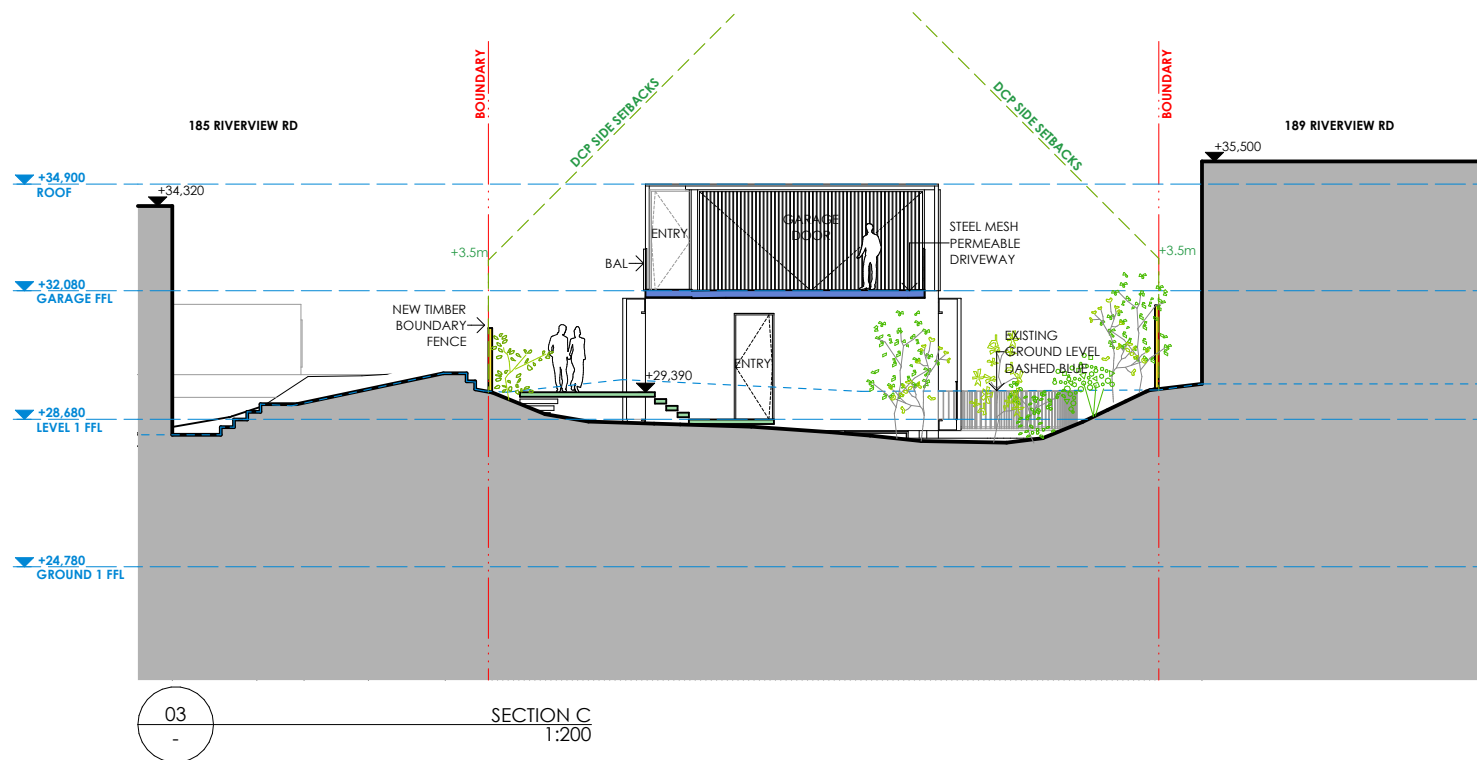
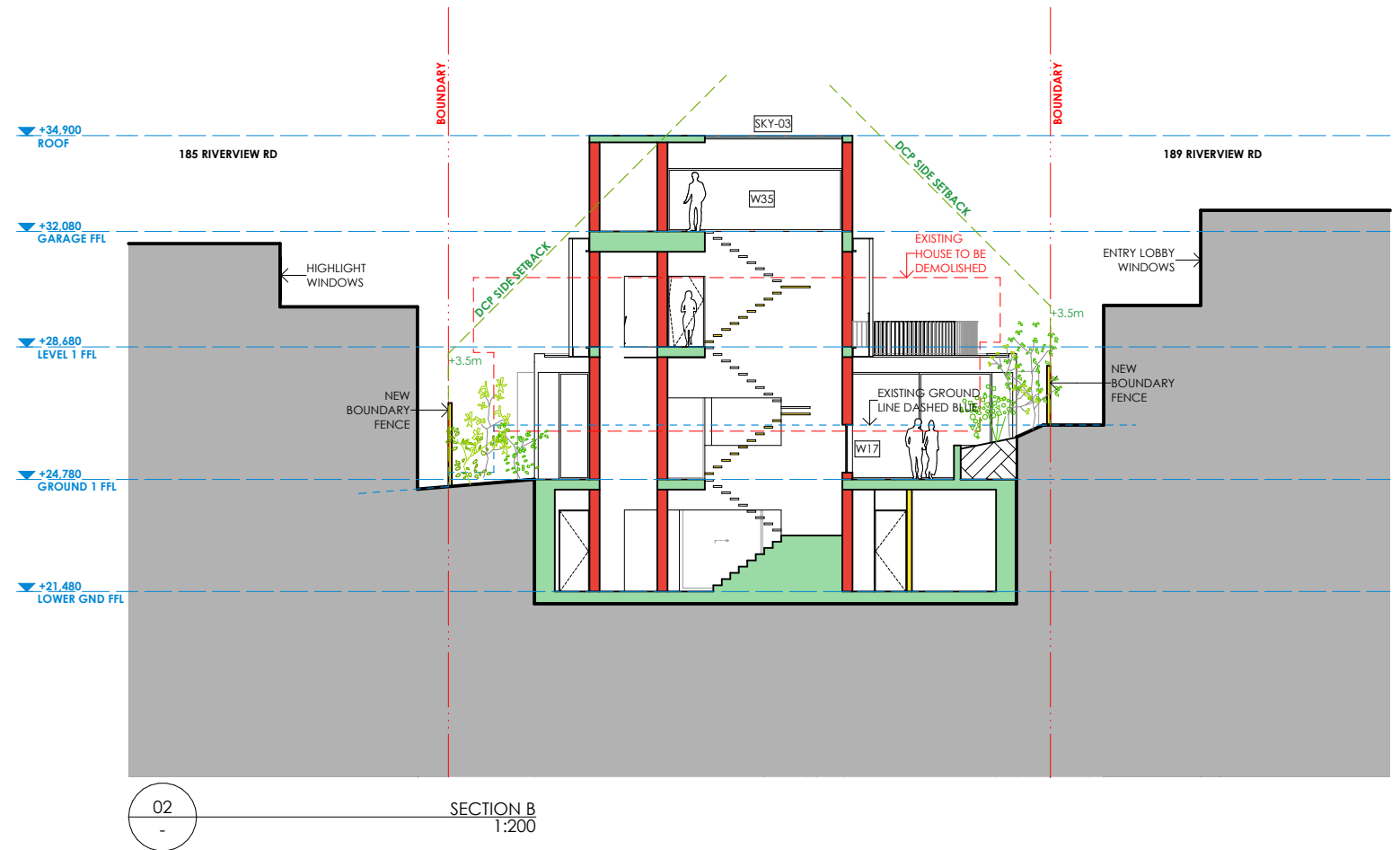
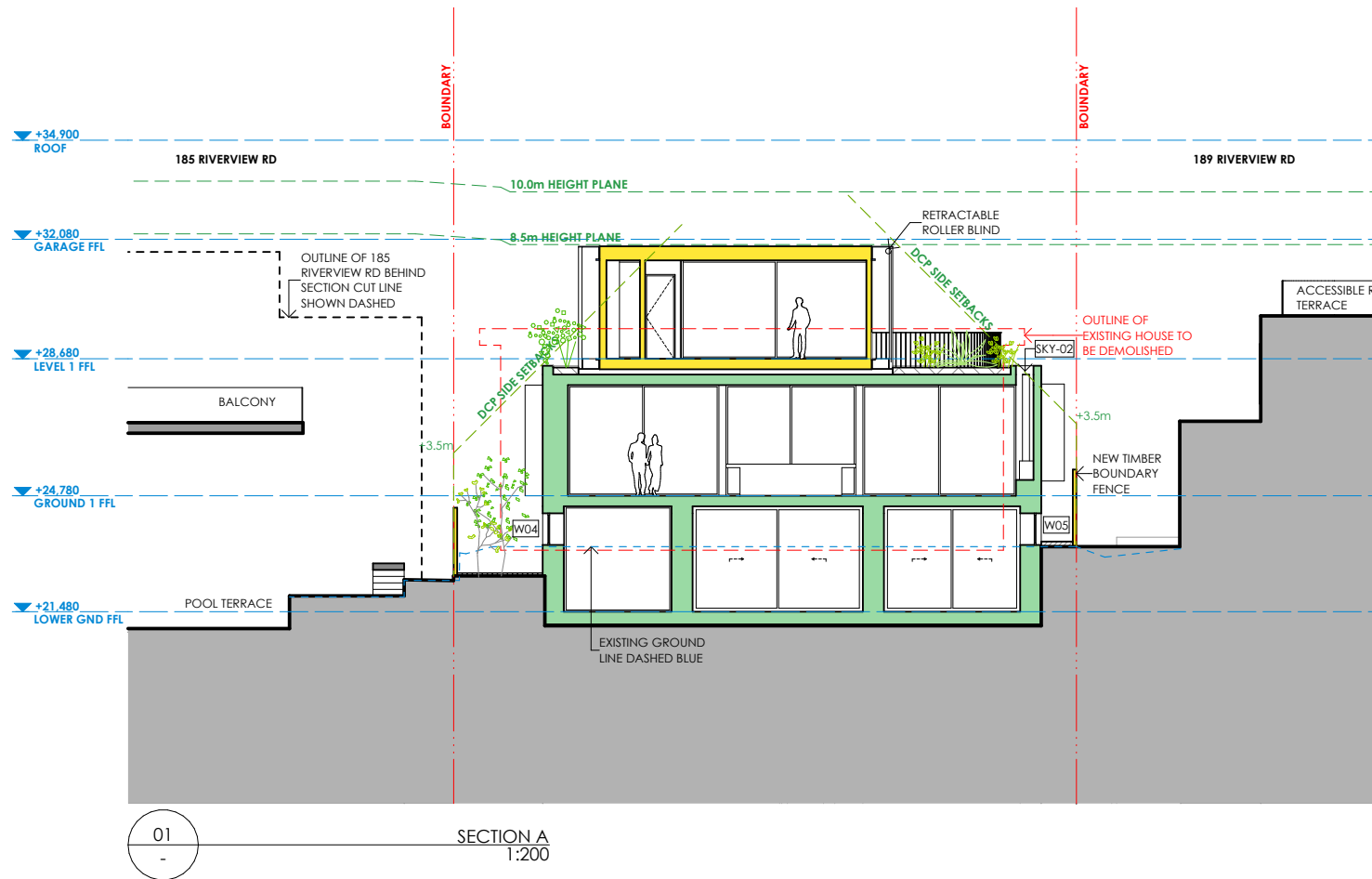
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
ELEVATION NORTH

REV.
A

DA-E02





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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

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FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRADED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
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TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



SCALE
1:200 @ A3

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28.09.2023

ADDRESS
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AVALON BEACH

DRAWING
SECTIONS A+B+C

REV.
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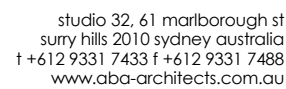
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beaches
council

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CONSENT**

DA2023/1527



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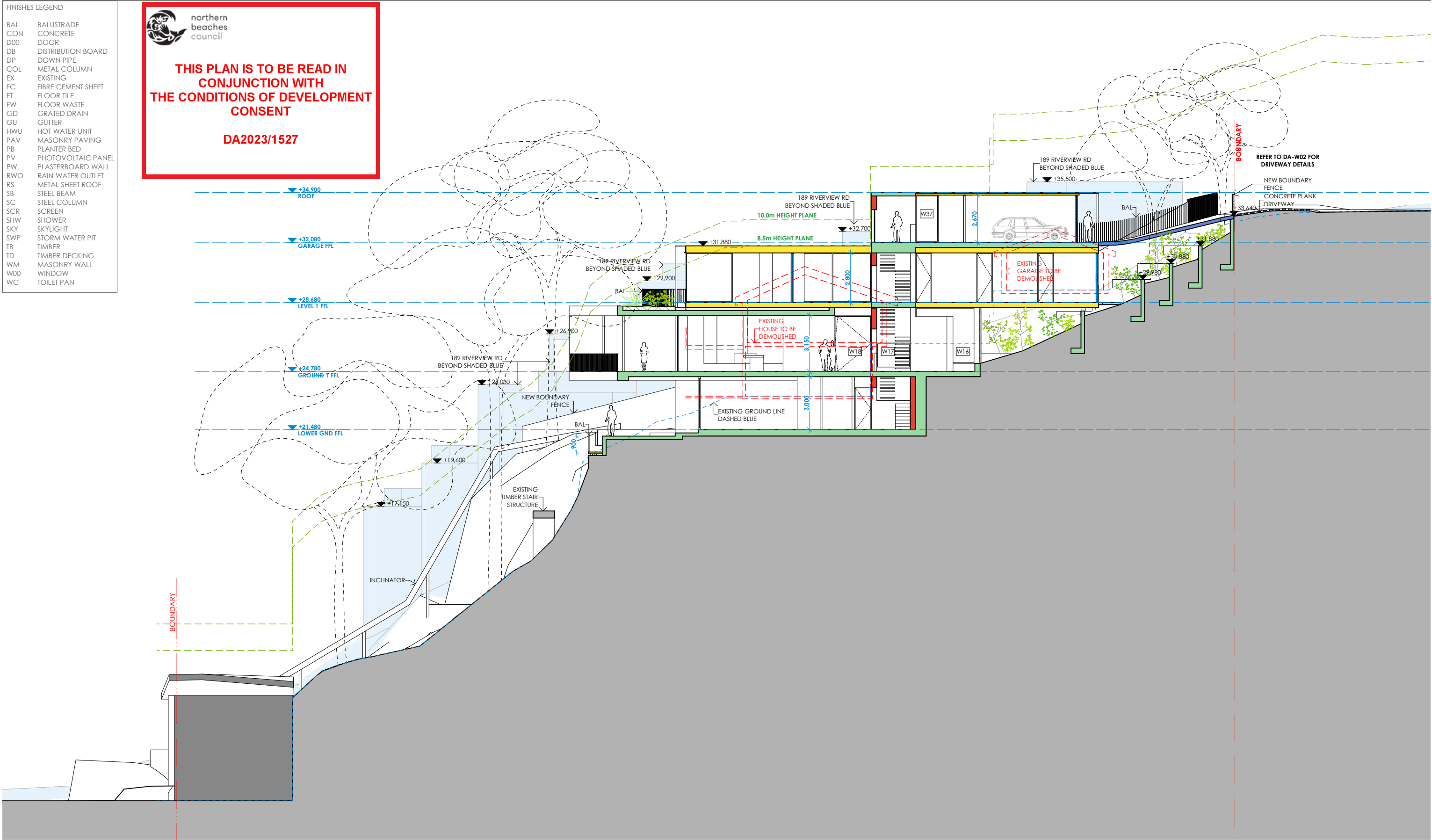
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ADDRESS
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AVALON BEACH

DRAWING
SECTIONS D

REV.
A

DA-F02



01
SECTION E
1:200



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KEY	
	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
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	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	28.09.2023	FOR DEVELOPMENT APPLICATION



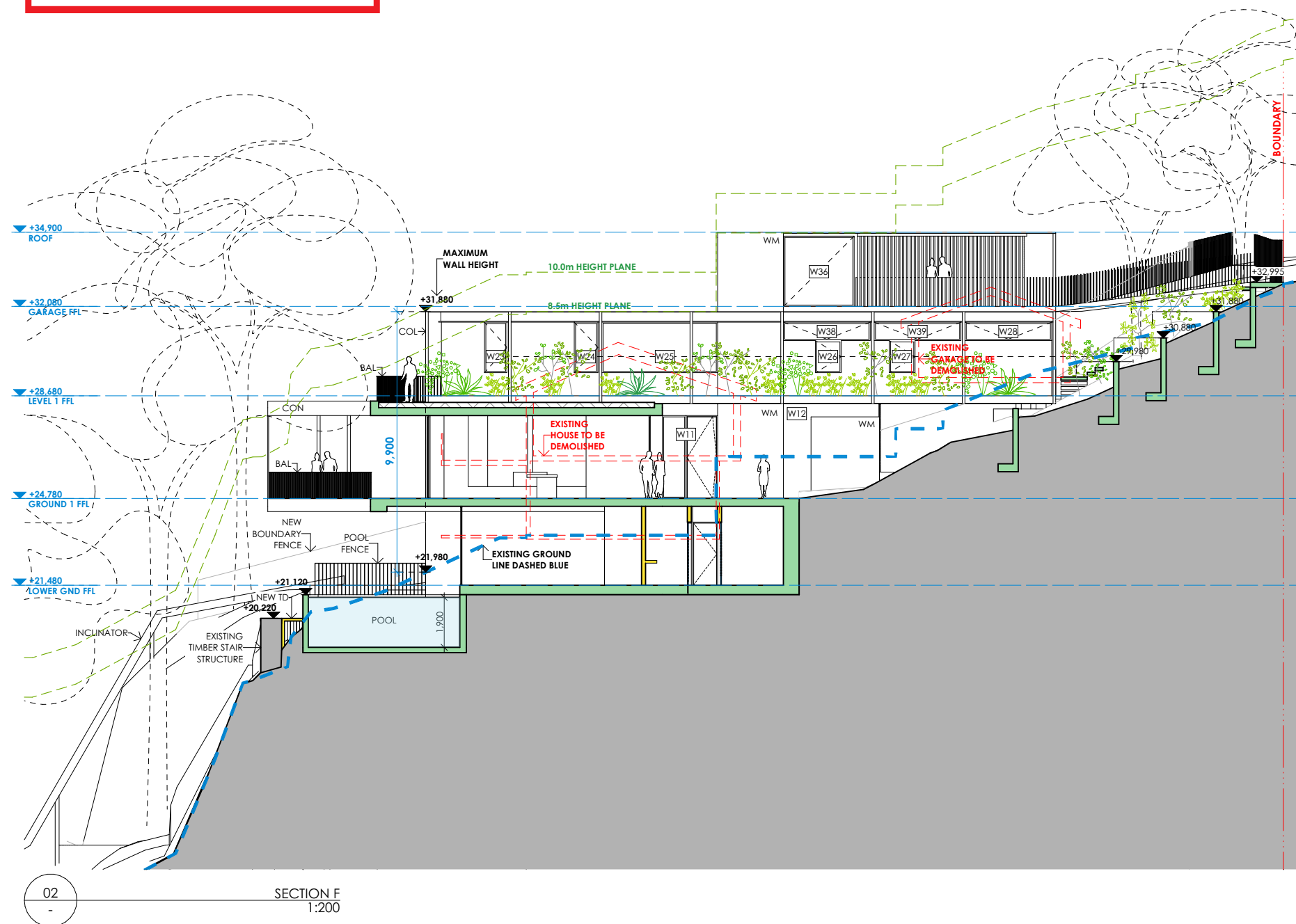
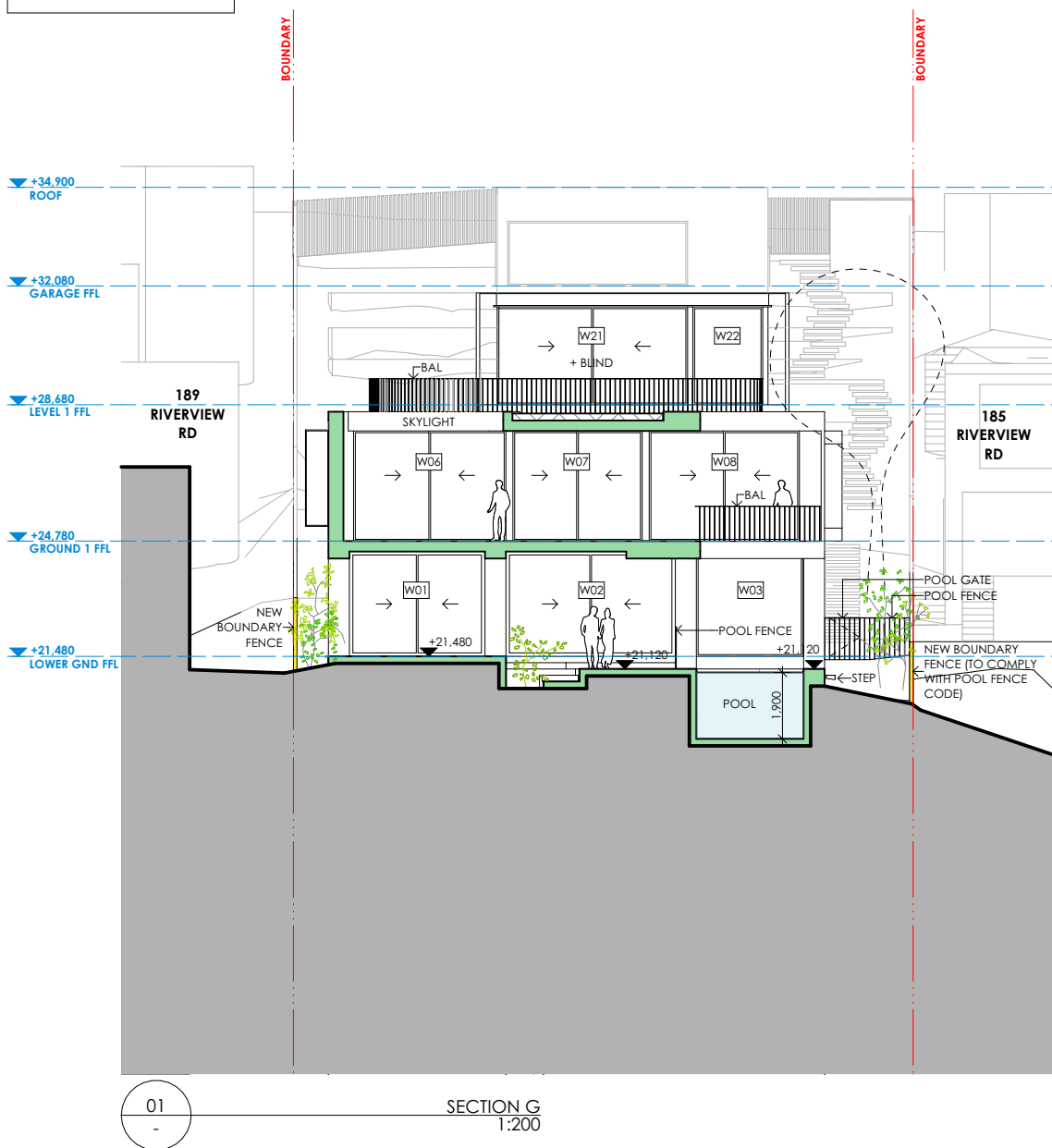
SCALE
1:200 @ A3

CLIENT
ADAM & VANESSA
RICHARDS
FIRST ISSUE
28.09.2023
ADDRESS
187 RIVERVIEW ROAD
AVALON BEACH

DRAWING
SECTIONS E
REV.
A








DA-F03

FINISHES LEGEND	
BAL	BALUSTRADE
CON	CONCRETE
D00	DOOR
DB	DISTRIBUTION BOARD
DP	DOWN PIPE
COL	METAL COLUMN
EX	EXISTING
FC	FIBRE CEMENT SHEET
FT	FLOOR TILE
FW	FLOOR WASTE
GD	GRATED DRAIN
GU	GUTTER
HWU	HOT WATER UNIT
PAV	MASONRY PAVING
PB	PLANTER BED
PV	PHOTOVOLTAIC PANEL
PW	PLASTERBOARD WALL
RWO	RAIN WATER OUTLET
RS	METAL SHEET ROOF
SB	STEEL BEAM
SC	STEEL COLUMN
SCR	SCREEN
SHW	SHOWER
SKY	SKYLIGHT
SWP	STORM WATER PIT
TB	TIMBER
TD	TIMBER DECKING
WM	MASONRY WALL
W00	WINDOW
WC	TOILET PAN



studio 32, 61 marlborough st
surry hills 2010 sydney australia
t +612 9331 7433 f +612 9331 7488
www.aba-architects.com.au

KEY

	EXISTING STRUCTURES/HARD SURFACES TO BE MAINTAINED
	EXISTING NEIGHBOURS
	PROPOSED MASONRY STRUCTURE
	PROPOSED TIMBER FRAMED STRUCTURE
	PROPOSED CONCRETE STRUCTURE
	PROPOSED METAL STRUCTURE
	PROPOSED GLAZING

REV	DATE	DESCRIPTION
A	30.10.2023	PROVIDED IN RESPONSE TO COUNCIL REQUEST FOR INFORMATION

SCALE
1:200 @ A3

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ADDRESS
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DRAWING
SECTIONS G

REV.
A

DA-F04



FC: FIBRE CEMENT SHEET CLADDING
EQUITONE 'SOFT GREY' OR EQUIVALENT



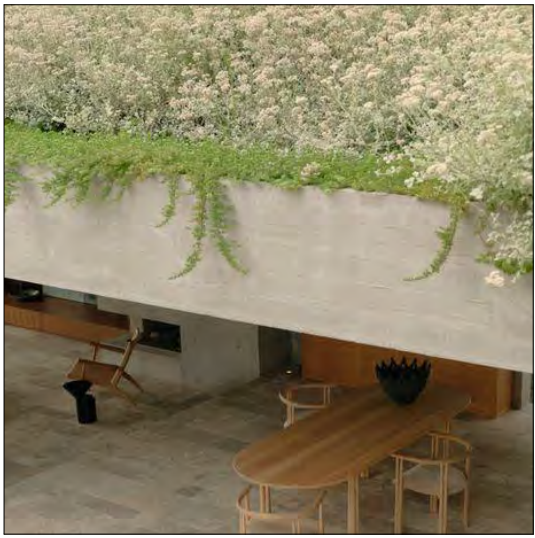
CON: CONCRETE
OFF-FORM CONCRETE WITH TEXTURED FINISH



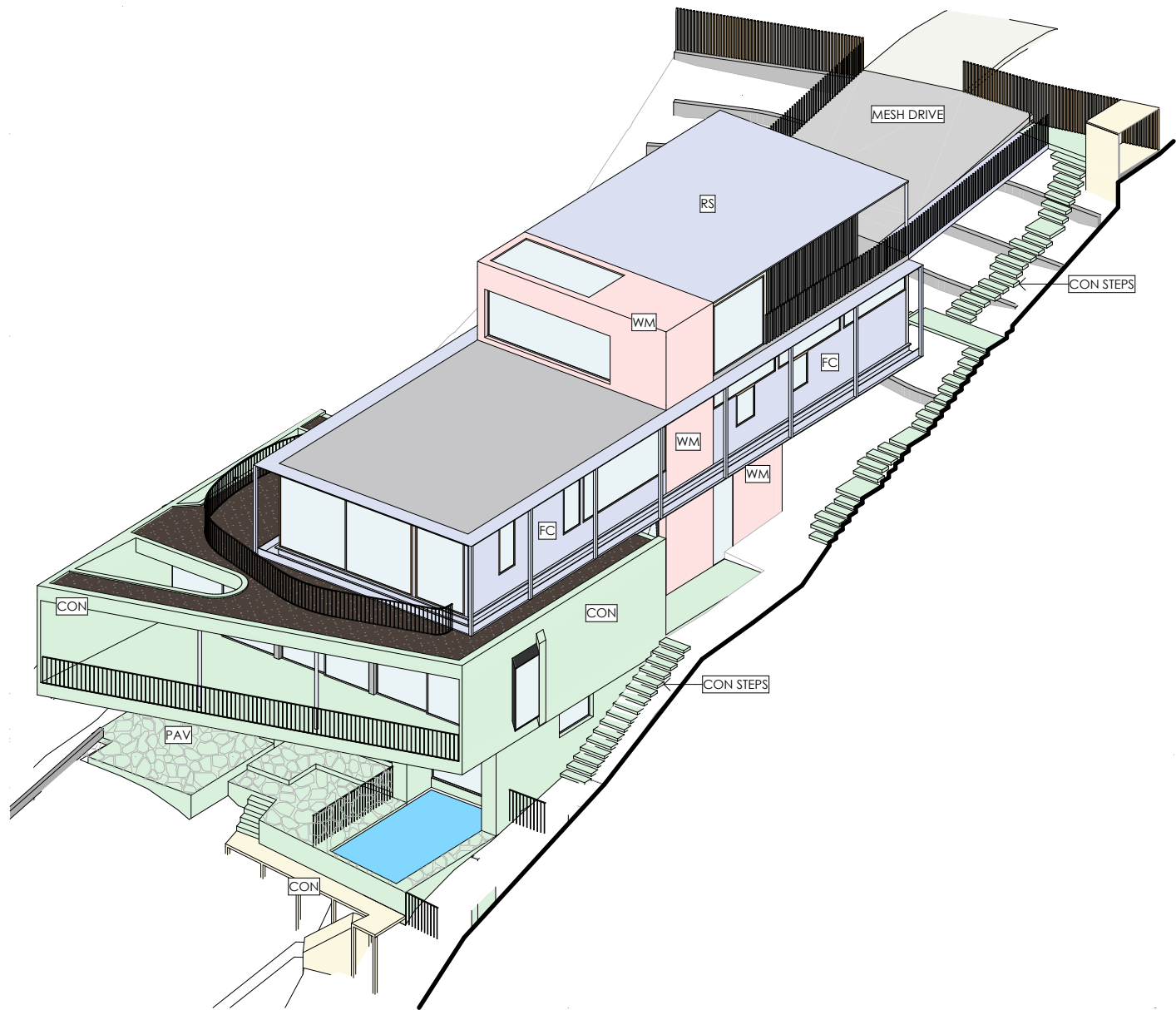
WM: WALL MASONRY
RENDERED MASONRY WALL



PAV: CRAZY PAVING
LIMESTONE CRAZY PAVING



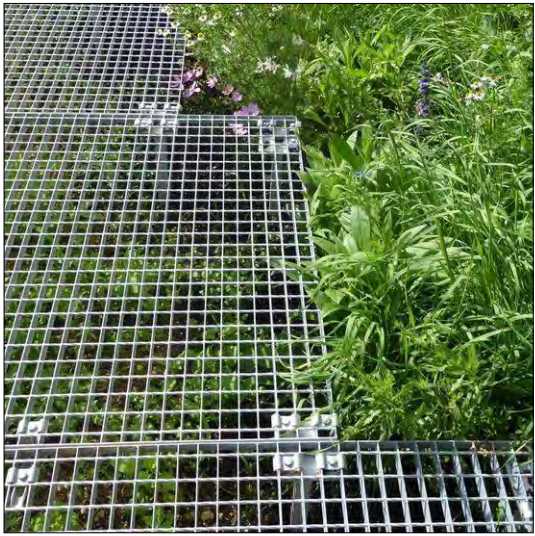
ROOF GARDEN
REFER LANDSCAPE PLANS FOR DETAIL



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/1527



MESH DRIVEWAY
EXPANDED GAL STEEL MESH ON STEEL STRUCTURE



CONCRETE STEPS
REFER LANDSCAPE PLANS FOR DETAIL



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t +612 9331 7433 f +612 9331 7488
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KEY

REV	DATE	DESCRIPTION
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SCALE
NTS

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28.09.2023

ADDRESS
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AVALON BEACH

DRAWING
SCHEDULE OF MATERIALS
+ FINISHES
REV.
A

DA-M01