

- A. EXISTING PORCH / 2.88 sqm
- B. EXISTING RESIDENCE / 108.07 sqm
- C. PROPOSED FIRST FLOOR ADDITION / 37.64 sqm (EXCLUDES STAIRWELL)
- D. PROPOSED FIRST FLOOR BALCONY / 6.65 sqm
- E. EXISTING COURTYARD / 17.88 sqm
- F. EXISTING SHED / 2.46 sqm

TOTAL FLOOR SPACE AREA / 145.71 sqm (ITEMS: B, C)
SITE AREA / 253.20 sqm
F.S. RATIO / 57.55 %

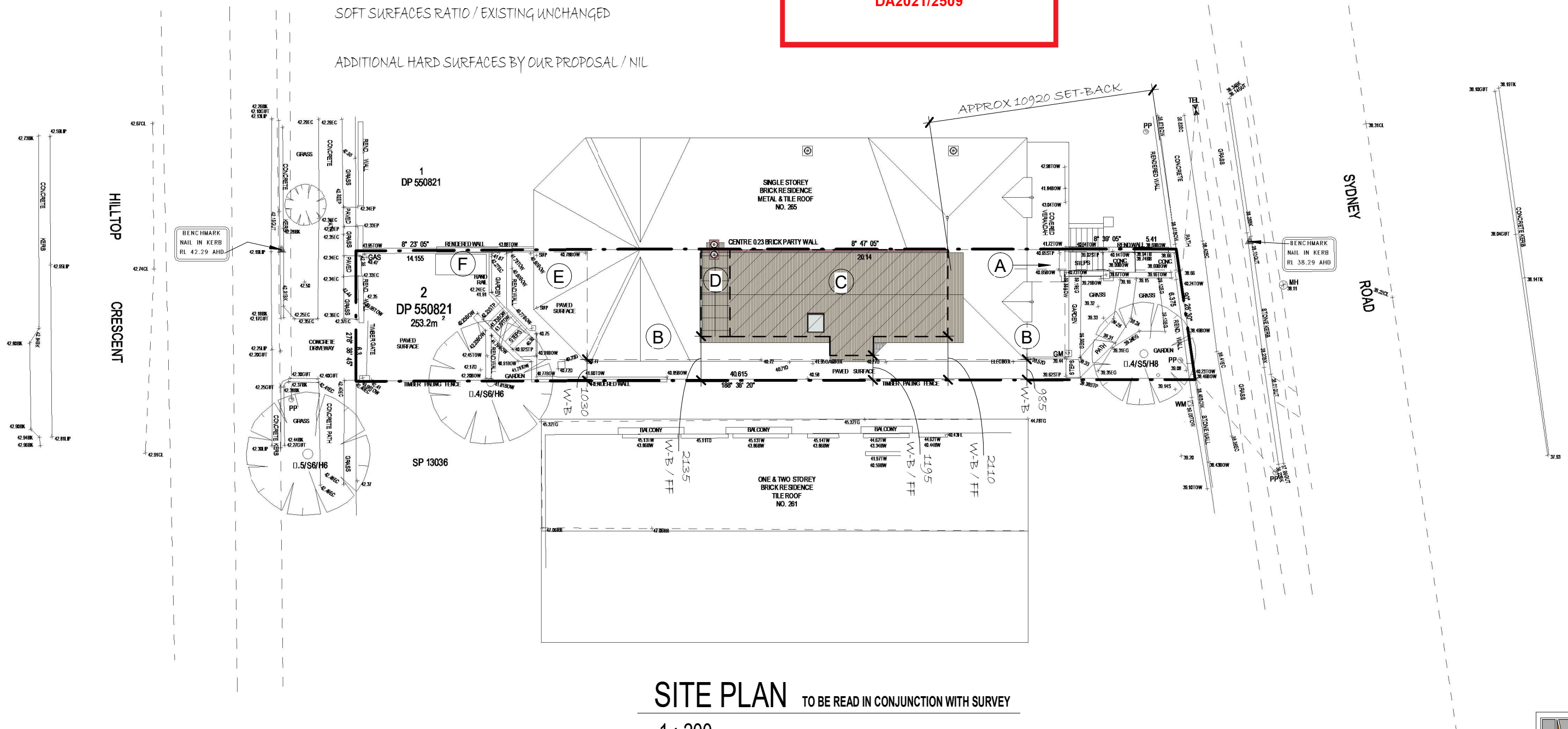
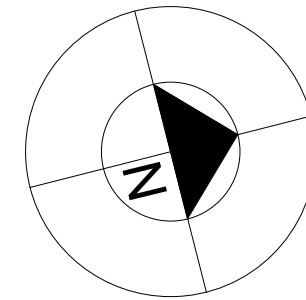
HARD SURFACES COVERAGE / EXISTING UNCHANGED
SOFT SURFACES COVERAGE / EXISTING UNCHANGED
SOFT SURFACES RATIO / EXISTING UNCHANGED

ADDITIONAL HARD SURFACES BY OUR PROPOSAL / NIL



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

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SITE PLAN

TO BE READ IN CONJUNCTION WITH SURVEY

1 : 200

PROJECT:
ALTERATIONS & ADDITIONS

ADDRESS:
263 SYDNEY ROAD, FAIRLIGHT

CLIENT:
MS J. SURGEON

DRAWN BY
ELIE

DATE
8.11.21

JOB No.
211275

REVISION
A

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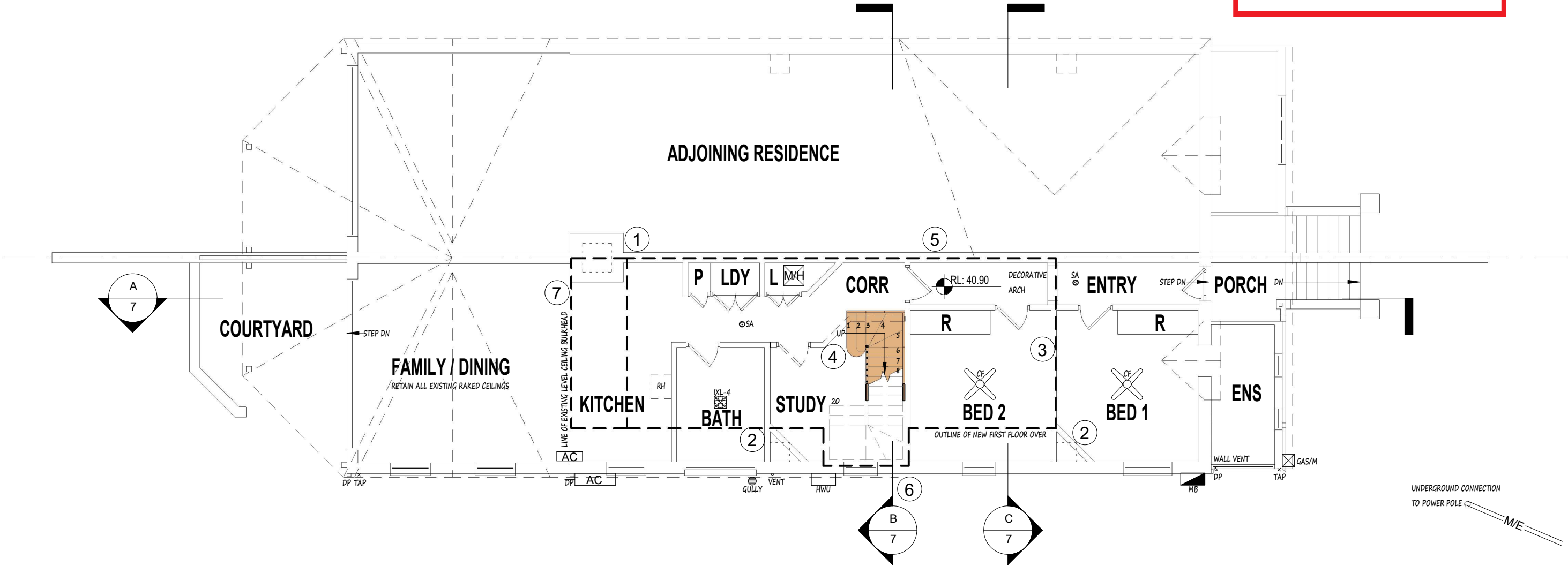


1. FOLLOWING NEIGHBOUR'S CONSENT, REMOVE TERRA COTTA POTS AND DEMOLISH COMBINED CHIMNEY DOWN TO CEILING JOISTS LEVEL. RE-BUILD COMBINED CHIMNEY AS SHOWN AND MARRY TO NEW FIRST FLOOR BALCONY AS PER PLAN. REUSE BEST POTS FROM THIS ITEM OR ITEM 2. REPAIR NEIGHBOUR'S ROOF.
2. REMOVE TERRA COTTA POT AND DEMOLISH CHIMNEY DOWN TO CEILING JOISTS LEVEL. RETAIN BEST POT FOR REUSE IN ITEM 1. RETAIN REMAINING POTS FOR CLIENT TO DECIDE WHAT TO DO WITH THEM.
3. DEMOLISH EXISTING AFFECTED ROOF SECTIONS AND CARRY OUT ALL WORK REQUIRED TO CONSTRUCT NEW FIRST FLOOR ADDITION AS PER PLAN. PROVIDE SERVICES TO SUIT LAYOUT AND ALL STRUCTURAL WORK TO ENGINEERS DETAILS.
4. REMOVE DOOR AND DEMOLISH WALLS SHOWN DASHED DOWN TO FLOOR LEVEL. FORM NEW STAIRWELL AND CONSTRUCT NEW STAIRCASE AS PER PLAN. PATCH/REPAIR AFFECTED FLOOR, WALL, AND CEILING SURFACES.
5. BUILD-UP PARTY WALL AROUND EXISTING ENGAGED PIERS AS PART OF NEW FIRST FLOOR BRICK VENEER WALL.
6. EXTEND EXISTING TILED ROOF AND SHEET ROOF AS SHOWN. FORM VERGE IN BETWEEN AND FLASH ACCORDINGLY.
7. NO ALLOWANCE FOR STRUCTURAL WORK TO EXISTING WALL/BULKHEAD AT THIS STAGE - PENDING FINAL ENGINEERING DETAILS.



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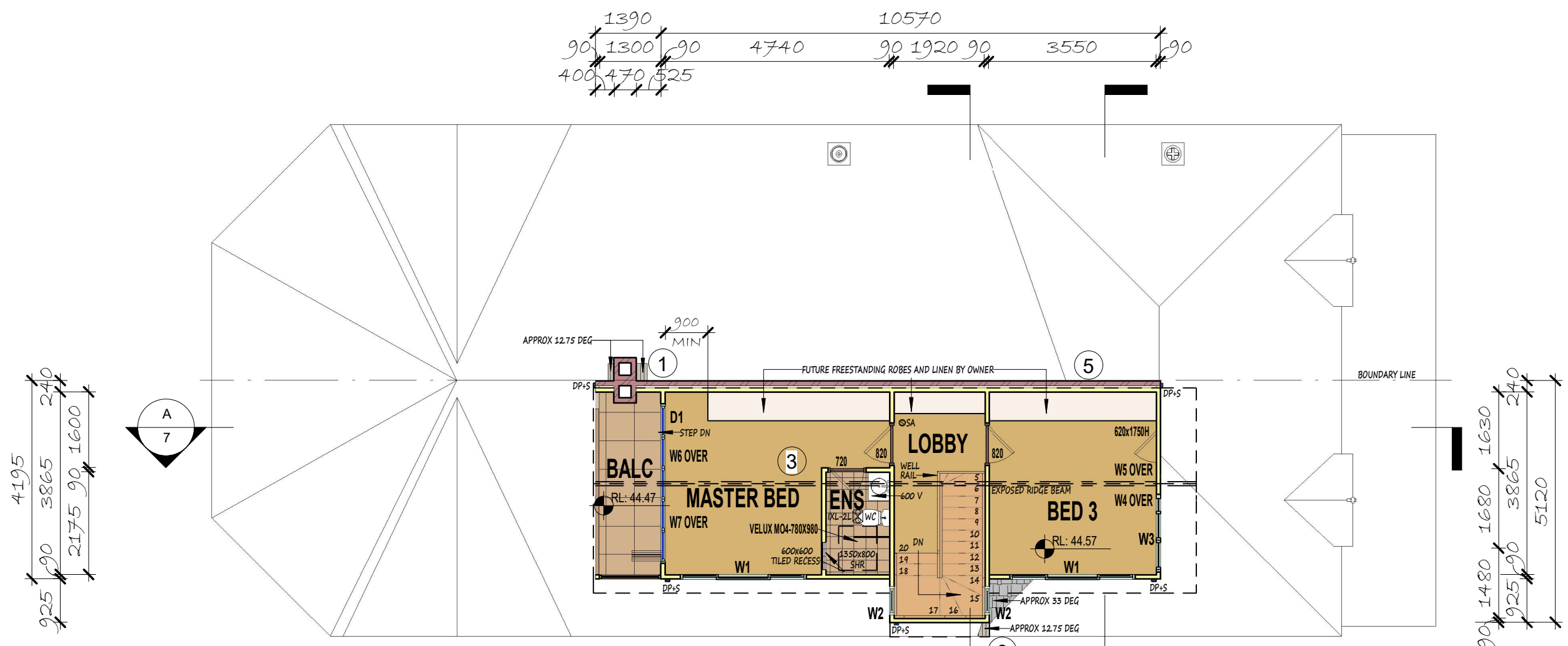
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EXIST GROUND FLOOR PLAN WITH PROPOSED ALTERATIONS & ADDITIONS.

1 : 100



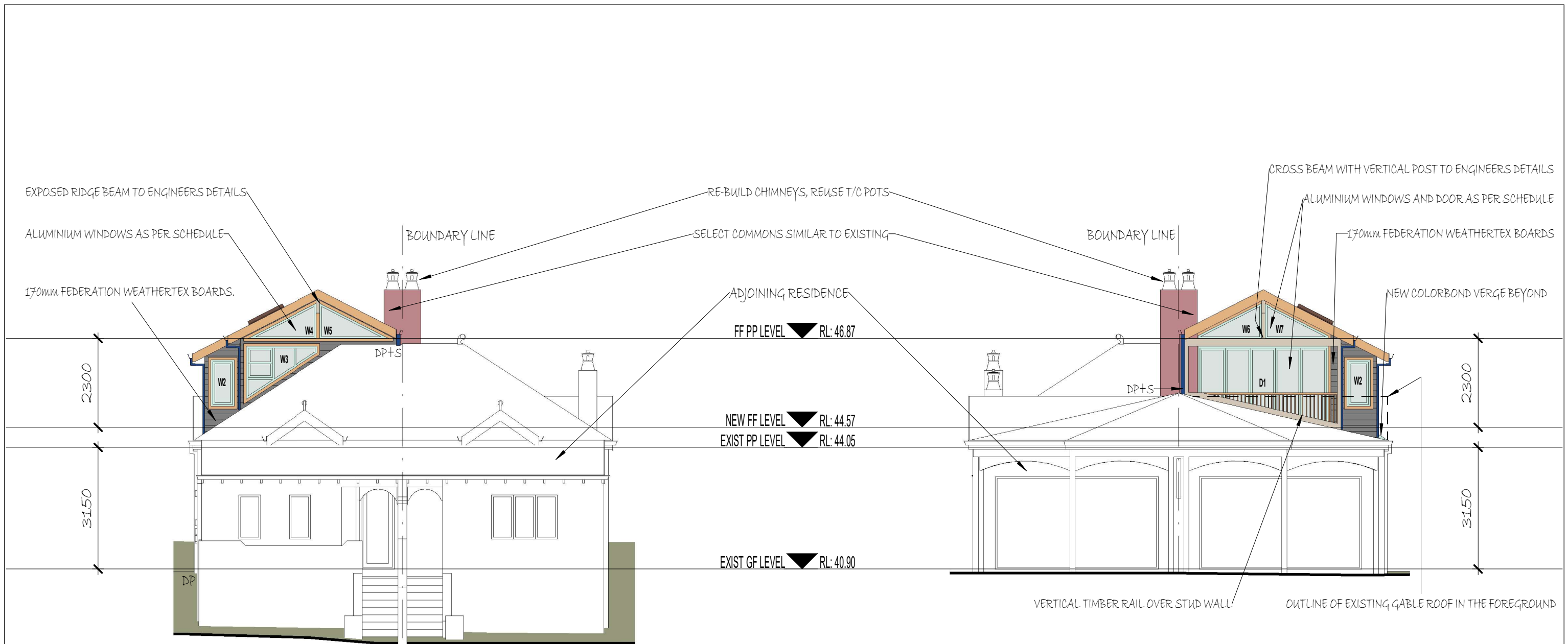


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PROPOSED FIRST FLOOR ADDITION.
1 : 100



NORTH ELEVATION

1 : 100

SOUTH ELEVATION

1 : 100



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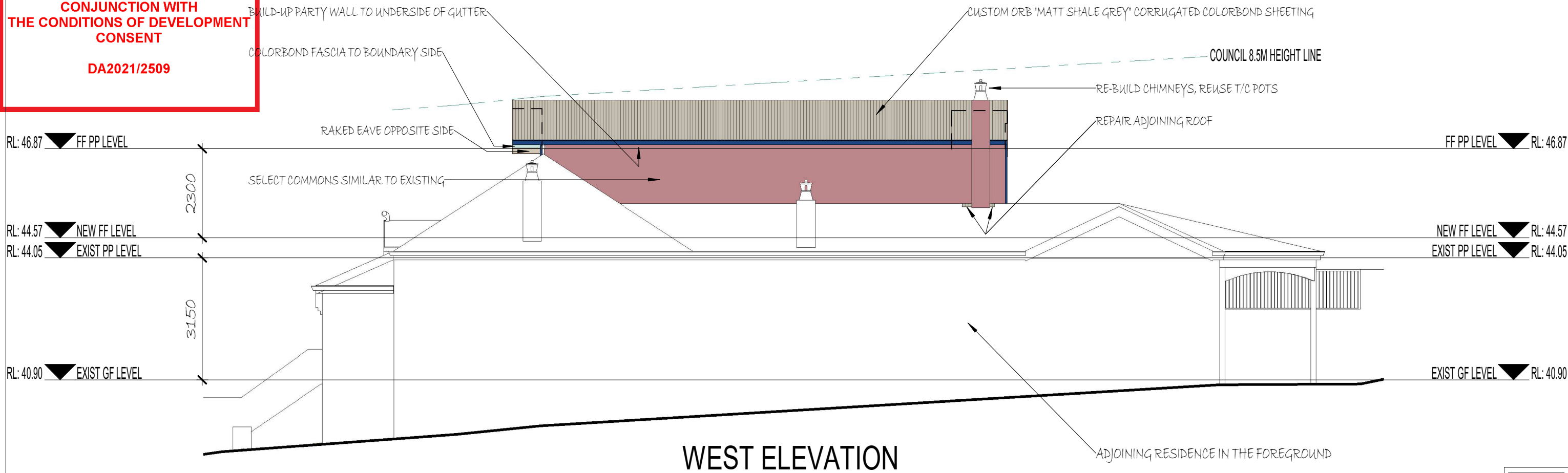
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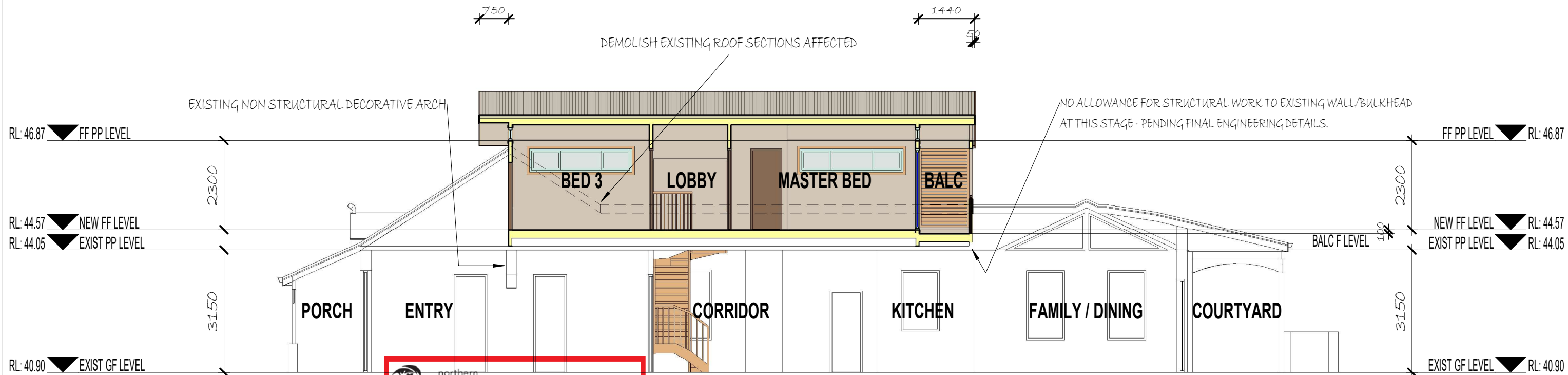


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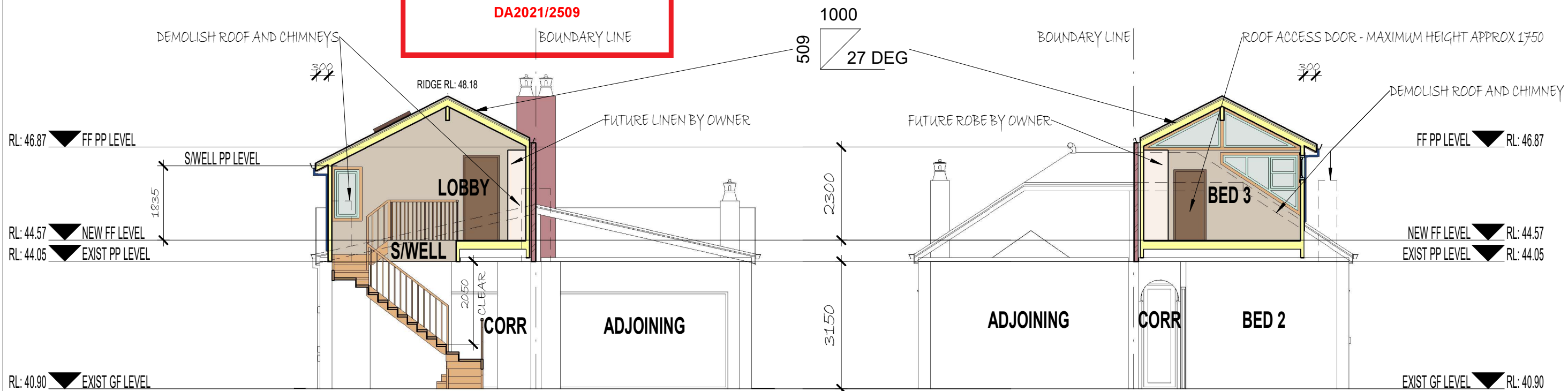


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A SECTION A

1 : 100



B SECTION B

1 : 100

C SECTION C

1 : 100