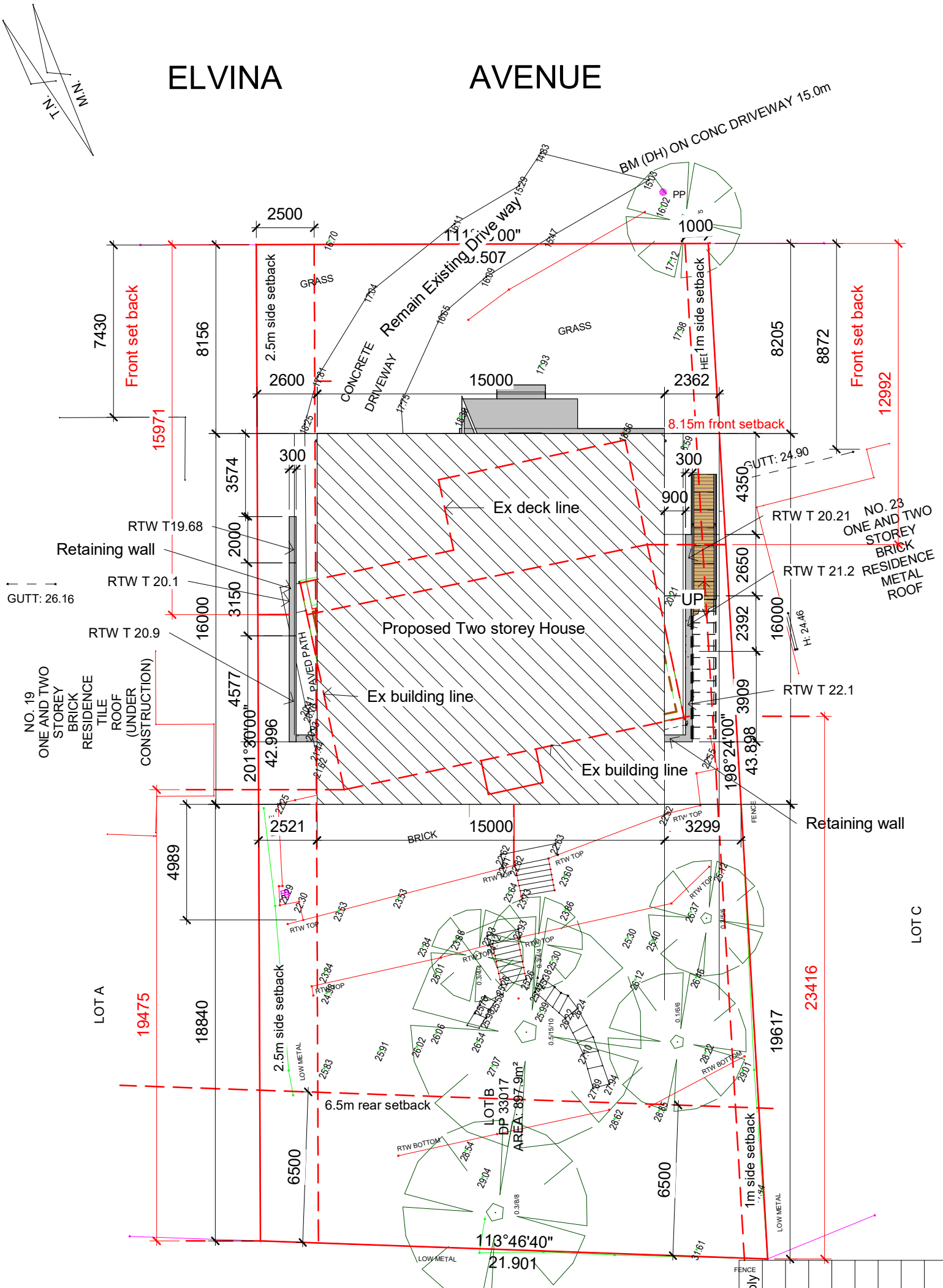


1 Site plan
1 : 200

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1790063S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department, This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Wednesday, 02 April 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

Project summary	
Project name	Dwelling @ 21 Elvina Avenue Newport
Street address	21 ELVINA Avenue NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP33017
Lot no.	B
Section no.	-
Project type	dwelling house (detached)
No. of bedrooms	7

Project score		
Water	✔ 43	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 73	Target 72
Materials	✔ -88	Target n/a

Certificate Prepared by
Name / Company Name: William Wong
ABN (if applicable):

Site Data

	Existing	Proposed	DA requirement	Comply
Total site area	897.9sqm			
Total Floor area		462sqm		Yes
Existing GF	To be demolished			
Existing Garage	To be demolished			
Proposed GF		224.75sqm		Yes
Proposed FF		108.75sqm		Yes
Proposed lower F		128.5sqm		Yes
Proposed Garage		54.6sqm		Yes
Landscape area		670sqm/74%	539sqm/60%	Yes
Site cover		227sqm	359sqm	Yes
Site coverage		25%	50%	Yes

No.	Description	Date
	Issue date	01/23/07

Site plan

Registered building designer No:	6585
Date	11-10-2024
Drawn by	henry kuang
Checked by	henry kuang

A100

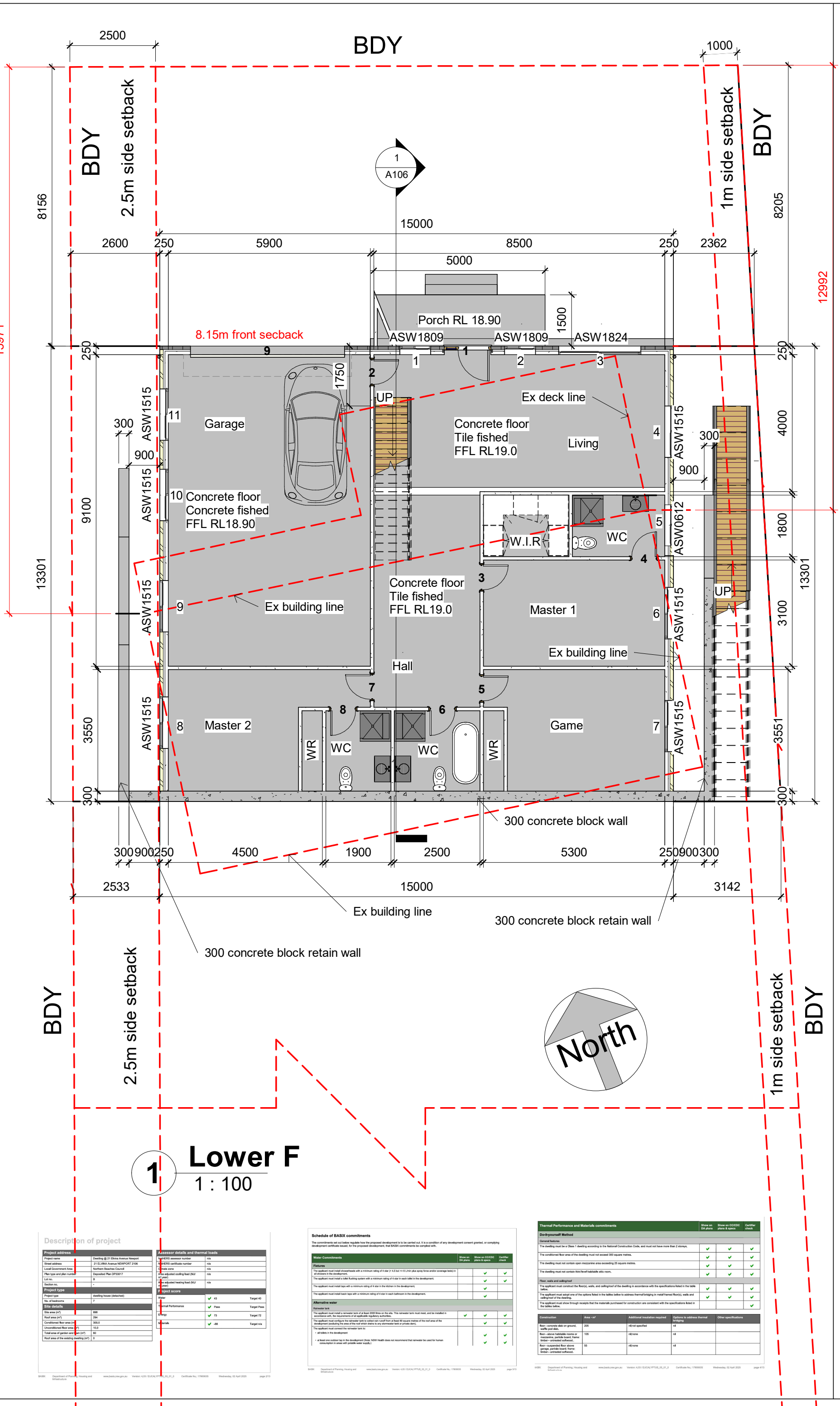
Scale 1:200

Mr Xu
21 Elvina Ave Newport

2D house Design
Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

4/30/2025 3:56:34 PM



1 Lower F

1 : 100

Description of project

Project address	
Project name	Dwelling @ 21 Elvina Avenue Newport
Street address	21 ELVINA Avenue NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP33017
Lot no.	B
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	7
Site details	
Site area (m²)	898
Roof area (m²)	294
Conditioned floor area (m²)	300.0
Unconditioned floor area (m²)	10.0
Total area of garden and lawn (m²)	60
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads	
NatHERS assessor number	n/a
NatHERS certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m².year)	n/a
Area adjusted heating load (MJ/m².year)	n/a
Project score	
Water	✔ 43 Target 40
Thermal Performance	✔ Pass Target Pass
Energy	✔ 73 Target 72
Materials	✔ -88 Target n/a

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1790063S Wednesday, 02 April 2025 page 2/3

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • all toilets in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1790063S Wednesday, 02 April 2025 page 3/3

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	205	nil;not specified	nil	
floor - above habitable rooms or mezzanine, particle board; frame: timber - untreated softwood.	105	nil;none	nil	
floor - suspended floor above garage, particle board; frame: timber - untreated softwood.	55	nil;none	nil	

IABSX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1790063S Wednesday, 02 April 2025 page 4/3

Lower floor plan		A101
	Registered building designer No: 6585	
	Date 11-10-2024	
	Drawn by henry kuang	
	Checked by henry kuang	Scale 1:100

Mr Xu
21 Elvina Ave Newport

No.	Description	Date
	Issue date	10/11/24

2D house Design
Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

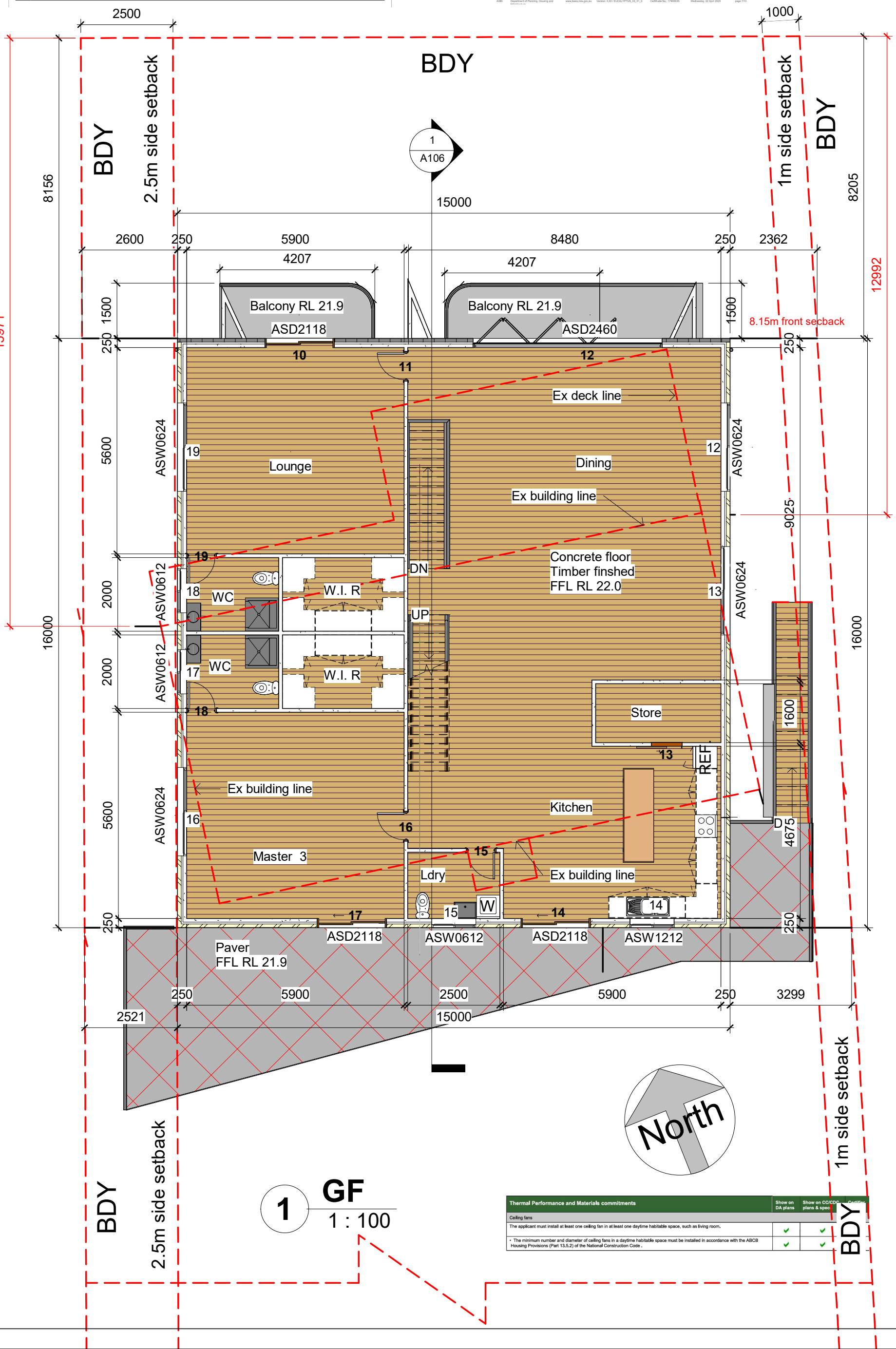
Project name:New two storey house

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, waffle pod slab.	55	none	nil	
external wall: brick veneer; frame: timber - untreated softwood.	all external walls	2.64 (or 2.70 including construction);fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)
external garage wall: brick veneer; frame: timber - untreated softwood.	26	nil;none	nil	
internal wall shared with garage: plasterboard; frame: timber - untreated softwood.	36	nil;none	nil	
internal wall: plasterboard; frame: timber - untreated softwood.	317	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - untreated softwood.	294	ceiling: 5,7 (up), roof: foil backed blanket ;ceiling: fibreglass batts or roll; roof: foil backed blanket.	nil	roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
LW01	1800,00	900,00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 1500 mm, 250 mm above head of window or glazed door	not overshadowed
LW02	1800,00	900,00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 1500 mm, 250 mm above head of window or glazed door	not overshadowed
LW03	1800,00	2400,00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 1500 mm, 250 mm above head of window or glazed door	not overshadowed
GD10	2100,00	1800,00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 1500 mm, 230 mm above head of window or glazed door	not overshadowed



Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✔	✔	
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✔	✔	

Ground Floor plan

A102

Registered building designer No: 6585

Date 11-10-2024

Drawn by henry kuang

Checked by henry kuang

Scale 1:100

Mr Xu

21 Elvina Ave Newport

No.	Description	Date
	Issue date	10/11/24

2D house Design

Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

4/30/2025 2:22:03 PM

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
GD12	2400.00	6000.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 1500 mm, 230 mm above head of window or glazed door	not overshadowed
FW20	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 2000 mm, 345 mm above head of window or glazed door	not overshadowed
FW21	1200.00	600.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 2000 mm, 345 mm above head of window or glazed door	not overshadowed
FW22	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 2000 mm, 345 mm above head of window or glazed door	not overshadowed
FSD22	2100.00	1800.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 2000 mm, 260 mm above head of window or glazed door	not overshadowed
FSD29	2100.00	1800.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	solid overhang 2000 mm, 260 mm above head of window or glazed door	not overshadowed
East facing					
LW04	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
LW05	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
LW06	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
LW07	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW12	600.00	2400.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed

2500

1000

BDY

8151

North

BDY

2.5m side secback

1m side secback

8.15m front secback

1
A106

15000

2564 250 1800 4040 3025 3200 2000 2713

4700 5120 4700 250

Balcony
RL 24.9

ASW0612 ASD2118 ASD2118 ASW0612

Guest 1
Sitting
Master 4
Guest 2
Master 5
Concrete floor
Timber finished
FFL RL 25.0
WC
W.I.R
DN
WR

8000

2000 250 1800 1800 1800 1800 250

2350 3150

ASW0612 ASW1215 ASW0612 ASW1215
250 1800 3500 1800 6300 700 250

2521 15000 3299

First F

1 : 100

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
GW13	600.00	2400.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
South facing					
GW14	1200.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW15	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GD14	2100.00	1800.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GD17	2100.00	1800.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
FW23	1200.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
FW24	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
FW25	1200.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
FW26	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
West facing					
LW08	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
LW09	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
LW10	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
LW11	1500.00	1500.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW16	600.00	2400.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW17	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW18	600.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed
GW19	600.00	2400.00	aluminium, single glazed (U-value: <=6.5, SHGC: 0.60 - 0.74)	none	not overshadowed

First floor plan

Registered building designer No: 6585

Date 11-10-2024

Drawn by henry kuang

Checked by henry kuang

A103

Scale 1:100

Mr Xu

21 Elvina Ave Newport

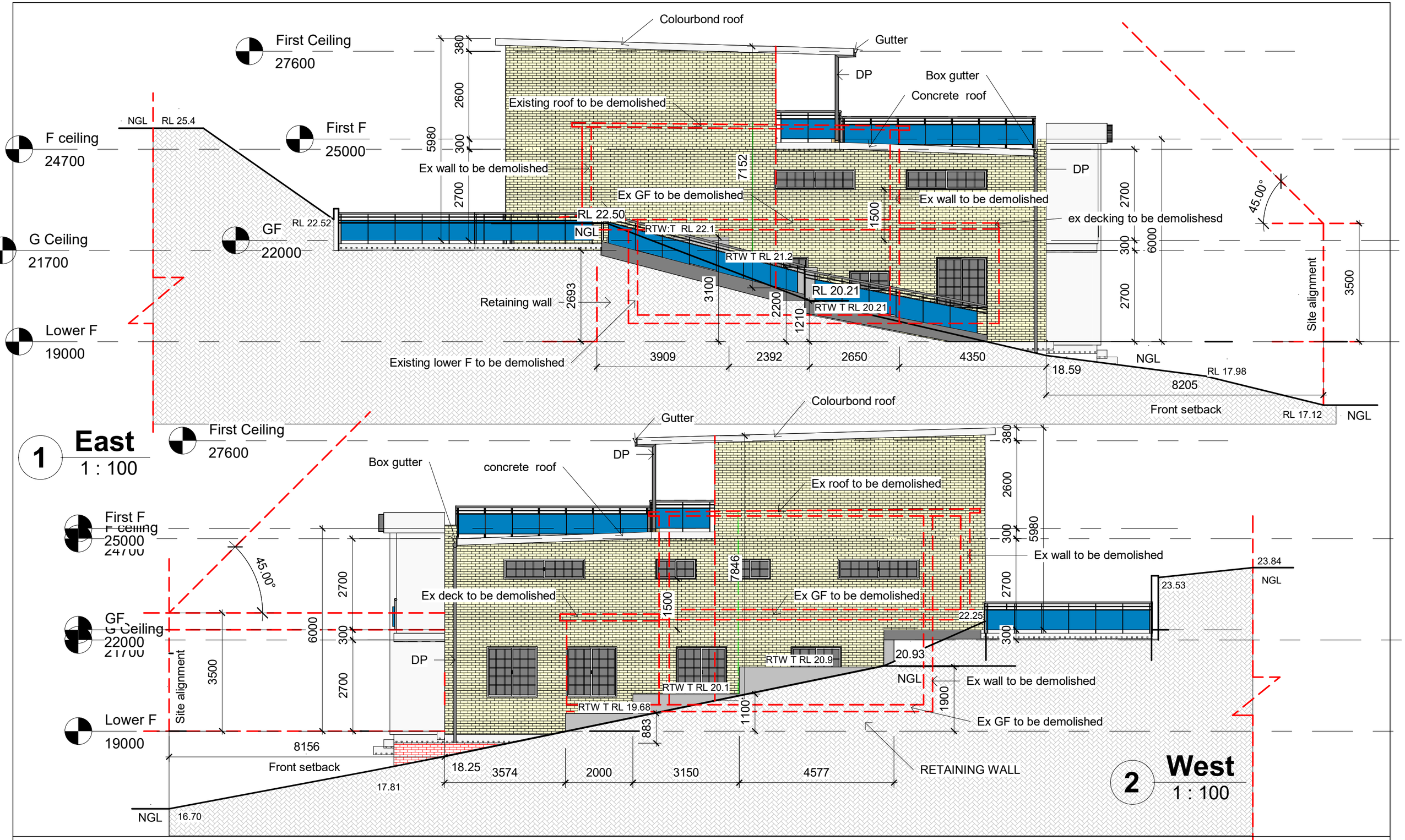
No.	Description	Date
	Issue date	10/21/24

2D house Design

Tel: 9587 2090 or 0414 873 282

Email: henrykuang@hotmail.com

Project name:New two storey house



2D house Design	
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com
Project name:New two storey house	

No.	Description	Date
	Issue date	10/11/24

Mr Xu

21 Elvina Ave Newport

E & W Elevation

Registered building designer No: 6585	
Date	11-10-2024
Drawn by	henry kuang
Checked by	henry kuang

A104

Scale 1:100

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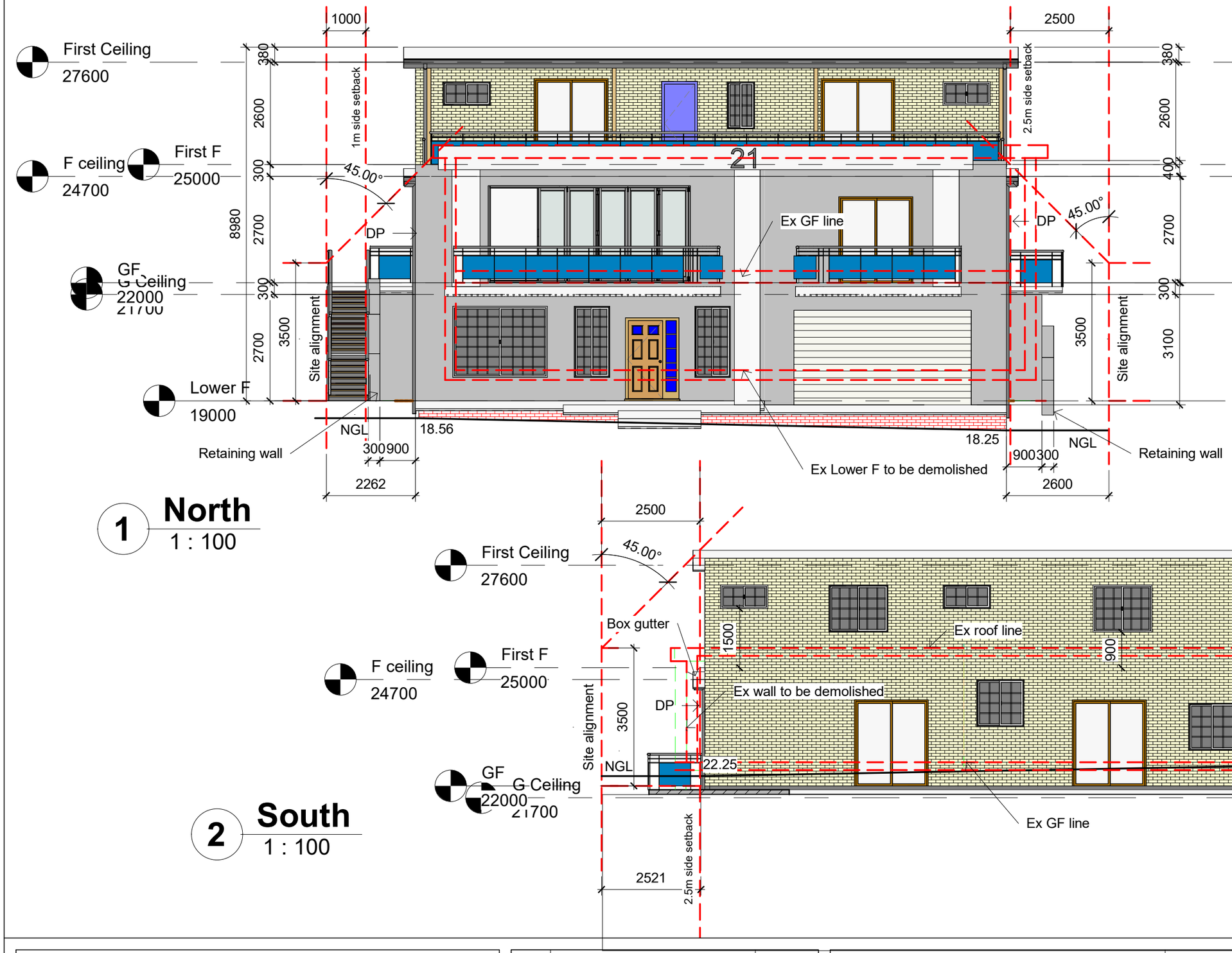


Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

1 North
1 : 100

2 South
1 : 100

2D house Design
Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

No.	Description	Date
	Issue date	10/11/24

Mr Xu

21 Elvina Ave Newport

N & S Elevation

Registered building designer No: 6585

Date	11-10-2024
Drawn by	henry kuang
Checked by	henry kuang

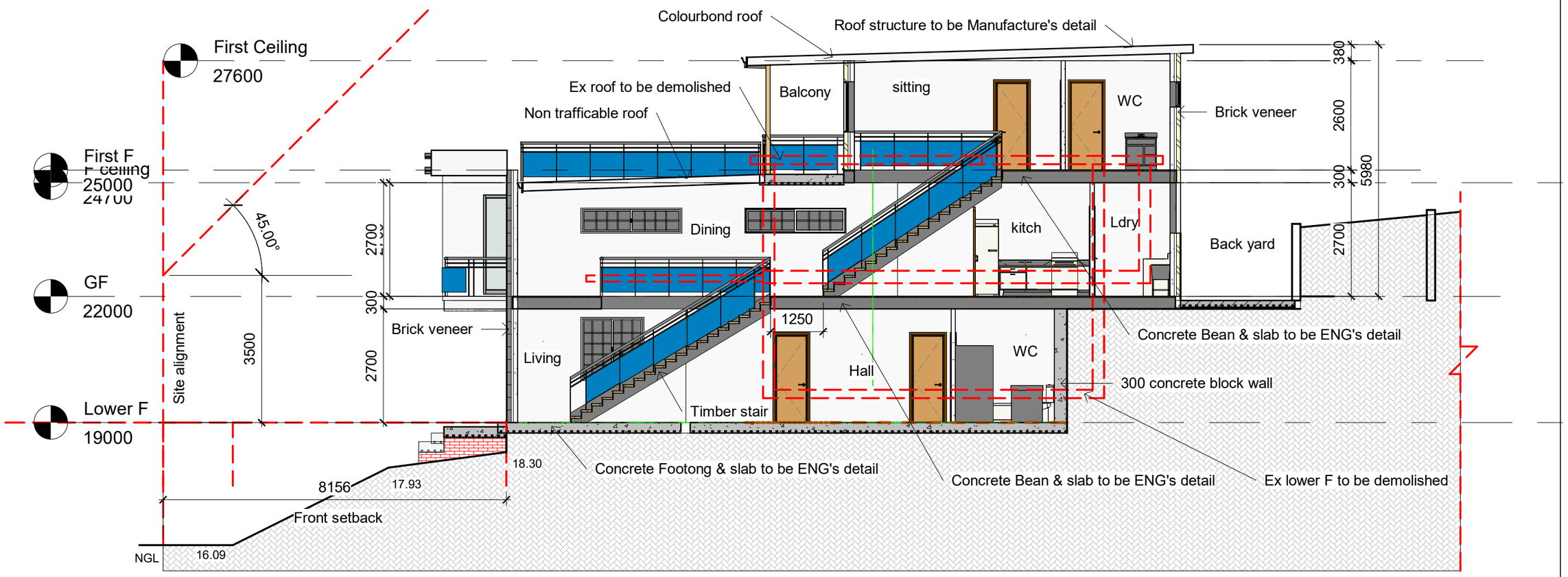
A105

Scale 1:100

4/30/2025 2:27:24 PM

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 7 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



1 Section 1
1 : 100

2D house Design		
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com	
Project name:New two storey house		

No.	Description	Date
	Issue date	03/03/25

Mr Xu	Section	
21 Elvina Ave Newport	Registered building designer No: 6585	A106
	Date 11-10-2024	
	Drawn by henry kuang	
	Checked by henry kuang	Scale 1:100

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2D house Design

Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

No.	Description	Date
	Issue date	10/11/24

Mr Xu

21 Elvina Ave Newport

3D view

Registered building designer No: 6585		A107
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	No Scale

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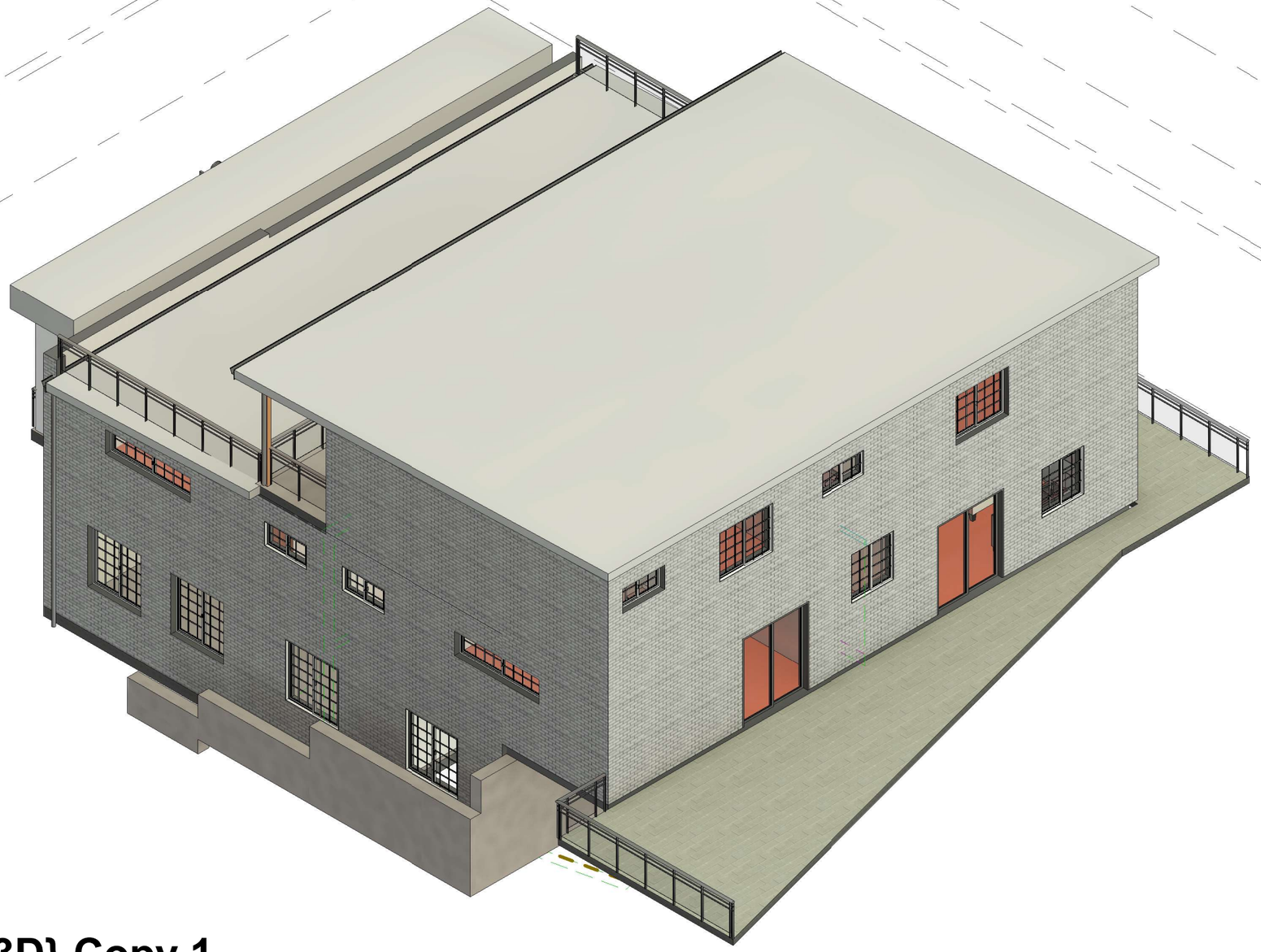

First F
25000

1 {3D} Copy 1

2D house Design	
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com
Project name:New two storey house	

No.	Description	Date
	Issue date	10/11/24

Mr Xu

21 Elvina Ave Newport

3D view 2

Registered building designer No: 6585		A108
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	No Scale

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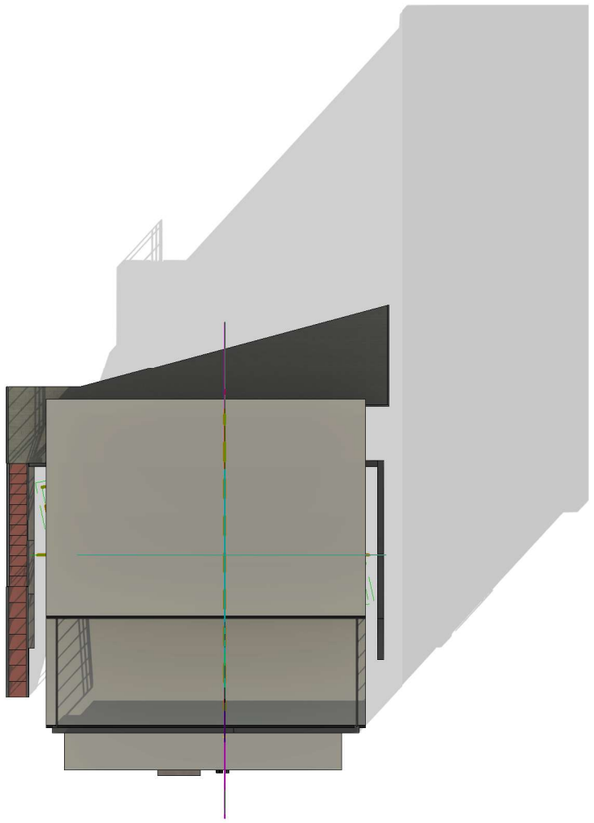


2 Shadow 9am

3 Shadow 12noon

1 Shadow 3pm

2D house Design

Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

No.	Description	Date
	Issue date	10/11/24

Mr Xu

21 Elvina Ave Newport

Shadows

Registered building designer No: 6585		A109
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	No scale

4/30/2025 2:37:58 PM

ELVINA AVENUE

M.N.

T.N.

If asbestos is found, a licenced asbestos demolisher will be used to do this work.

On the first day of demolition, work is not to commence until City of Parramatta has inspected the site. Should the building to be demolished be found to be wholly or partly clad with asbestos cement, approval to commence demolition will not be given until Council is satisfied that all measures are in place so as to comply with Work Cover's document "Your Guide to Working with Asbestos", and demolition works must at all times comply with its requirements;

On demolition sites where buildings to be demolished contain asbestos cement, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position on the site to the satisfaction of Council's officers. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos cement has been removed from the site to an approved waste facility. This condition is imposed for the purpose of worker and public safety and to ensure compliance with Clause 259(2)(c) of the Occupational Health and Safety Regulation 2001;

Demolition must not commence until all trees required to be retained are protected in accordance with the conditions detailed under "Prior to Works Commencing" in this consent;

Demolition must not commence until all trees required to be retained are protected in accordance with the conditions detailed under "Prior to Works Commencing" in this consent;

GUTT: 26.16

NO. 19
ONE AND TWO STOREY BRICK RESIDENCE TILE ROOF (UNDER CONSTRUCTION)

LOT A

BM (DH) ON CONC DRIVEWAY 15.0m

111°36'00"
19.507

GRASS

CONCRETE DRIVEWAY

Materia storage & stockpile area

HEDGING

A113

Demolished Existing Building

PAVED PATH

201°30'00"
42.996

198°24'00"
43.898

PAVING

BRICK

RTW TOP

RTW BOTTOM

FENCE

LOW METAL

LOT B
DP 330172
AREA: 897.9m²

113°46'40"
21.901

LOT C

GUTT: 24.90

NO. 23
ONE AND TWO STOREY BRICK RESIDENCE METAL ROOF

H: 24.46

1 Demolished plan

1 : 200

Demolised Plan	A110
Registered building designer No: 6585	
Date	11-10-2024
Drawn by	henry kuang
Checked by	henry kuang
Scale	1:200

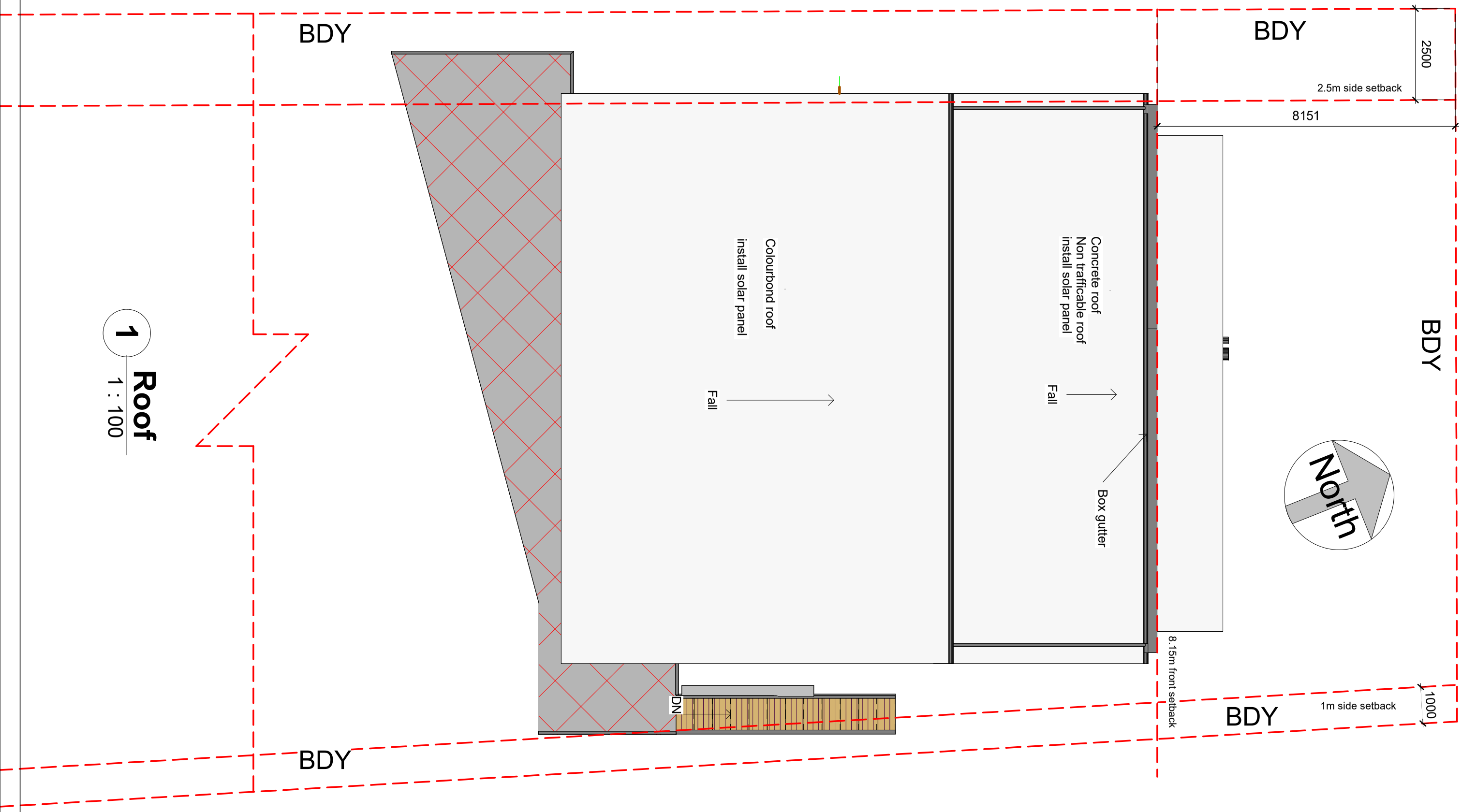
Newport

Mr Xu
21 Elvina Ave Newport

No.	Description	Date
	Issue date	02/27/25

2D house Design
Tel: 9587 2090 or 0414 873 282
Email: henrykuang@hotmail.com

Project name:New two storey house



1 Roof
1 : 100

2D house Design			
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com		
Project name:New two storey house			

No.	Description	Date
	Issue date	02/27/25

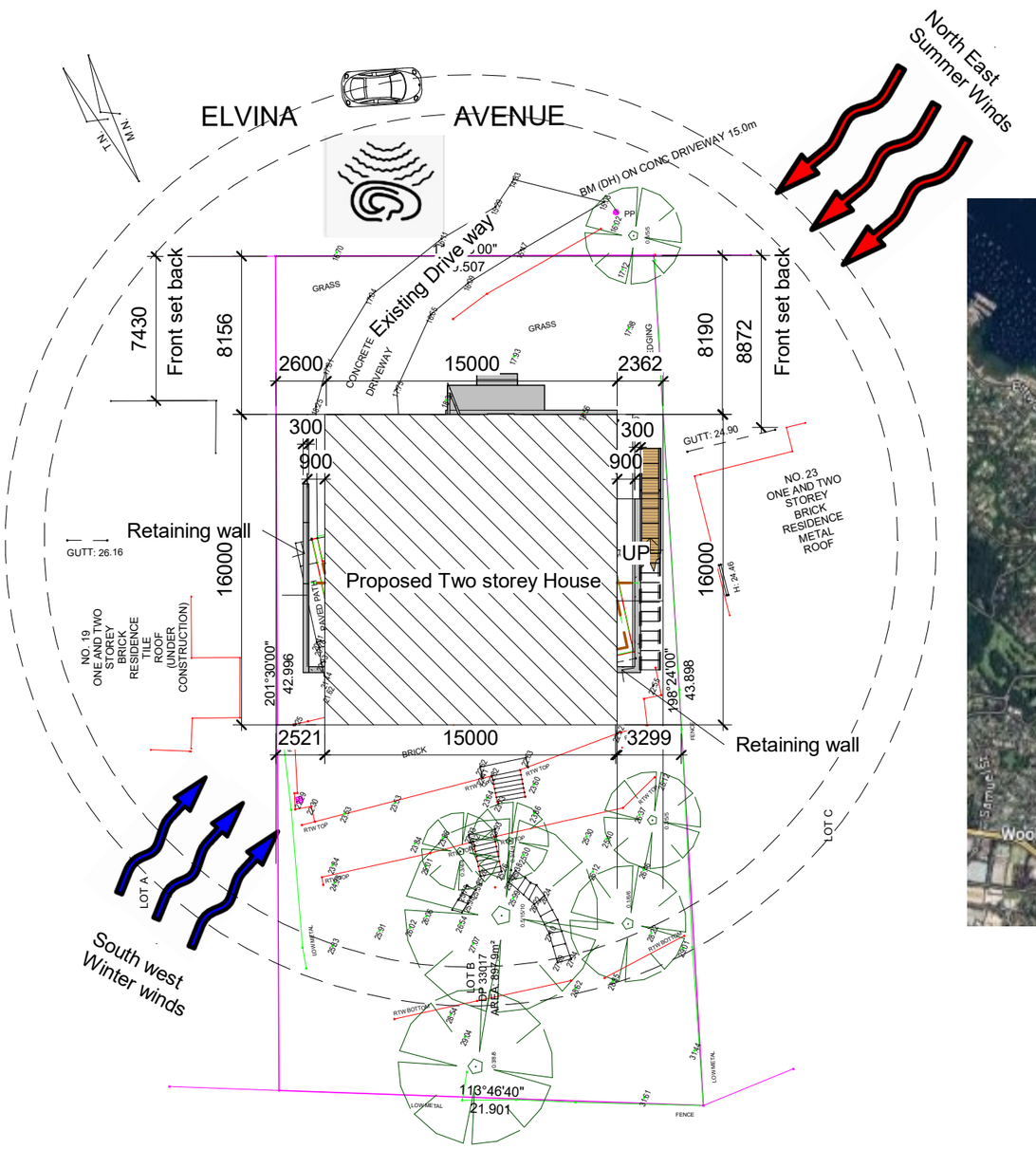
Mr Xu

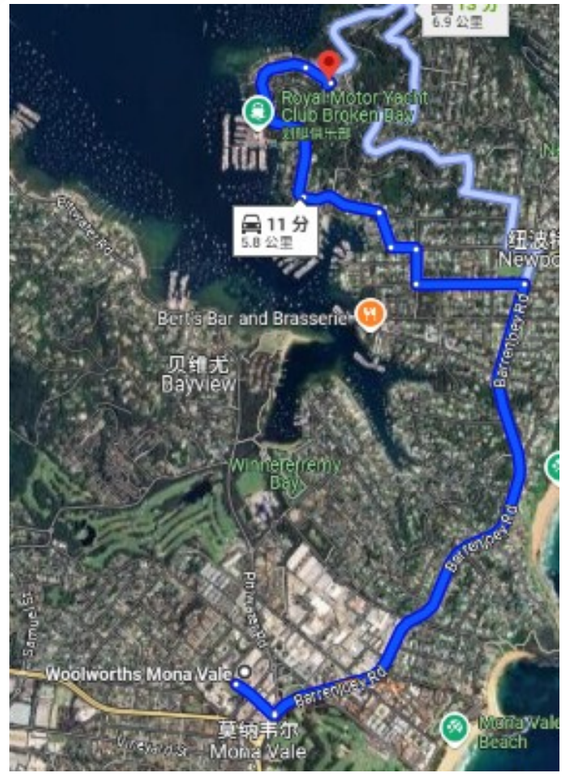
21 Elvina Ave Newport

Roof plan

Registered building designer No: 6585		A111
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	Scale 1:200

4/30/2025 4:03:06 PM





1 Site Analysis Plan

1 : 300

2D house Design	
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com
Project name:New two storey house	

No.	Description	Date
	Issue date	02/27/25

Mr Xu	
21 Elvina Ave Newport	

Site Analysis Plan		
Registered building designer No: 6585		A112
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	Scale 1:300

4/30/2025 5:00:07 PM

1 Street Facade - North

1 : 100

2D house Design	
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com
Project name:New two storey house	

No.	Description	Date
	Issue date	04/12/25

Mr Xu

21 Elvina Ave Newport

Street Facade - North

Registered building designer No: 6585	A113
Date 11-10-2024	
Drawn by henry kuang	
Checked by henry kuang	Scale 1:100

4/30/2025 2:45:53 PM

Door Schedule			
Mark	Level	Height	Width
1	Lower F	2110	1360
2	Lower F	2110	810
3	Lower F	2110	810
4	Lower F	2110	810
5	Lower F	2110	810
6	Lower F	2110	810
7	Lower F	2110	810
8	Lower F	2110	810
9	Lower F	2400	4500
10	GF	2143	1800
11	GF	2110	810
12	GF	2400	6000
13	GF	2040	800
14	GF	2143	1800
15	GF	2110	810
16	GF	2110	810
17	GF	2143	1800
18	GF	2110	810
19	GF	2110	810
20	First F	2110	910
21	First F	2110	810
22	First F	2143	1800
23	First F	2110	810
24	First F	2110	810
25	First F	2110	810
26	First F	2110	810
27	First F	2110	810
28	First F	2110	810
29	First F	2143	1800
30	First F	2110	810

Window Schedule					
Mark	Level	Sill Height	Height	Width	Type
1	Lower F	600	1800	900	1809
2	Lower F	600	1800	900	1809
3	Lower F	600	1800	2400	1824
4	Lower F	1000	1500	1500	1515
5	Lower F	1500	600	1200	0612
6	Lower F	1000	1500	1500	1515
7	Lower F	1000	1500	1500	1515
8	Lower F	1000	1500	1500	1515
9	Lower F	1000	1500	1500	1515
10	Lower F	1000	1500	1500	1515
11	Lower F	1000	1500	1500	1515
12	GF	1500	600	2400	0624
13	GF	1500	600	2400	0624
14	GF	900	1200	1200	1212
15	GF	1500	1200	1200	1212
16	GF	1500	600	2400	0624
17	GF	1500	600	1200	0612
18	GF	1500	600	1200	0612
19	GF	1500	600	2400	0624
20	First F	1500	600	1200	0612
21	First F	900	1200	700	1207
22	First F	1500	600	1200	0612
23	First F	900	1200	1500	1215
24	First F	1500	600	1200	0612
25	First F	900	1200	1500	1215
26	First F	1500	600	1200	0612

2D house Design

Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name:New two storey house

No.	Description	Date
	Issue date	04/12/25

Mr Xu

21 Elvina Ave Newport

Door & window schedule

Registered building designer No: 6585		A114
Date	11-10-2024	
Drawn by	henry kuang	
Checked by	henry kuang	No scale

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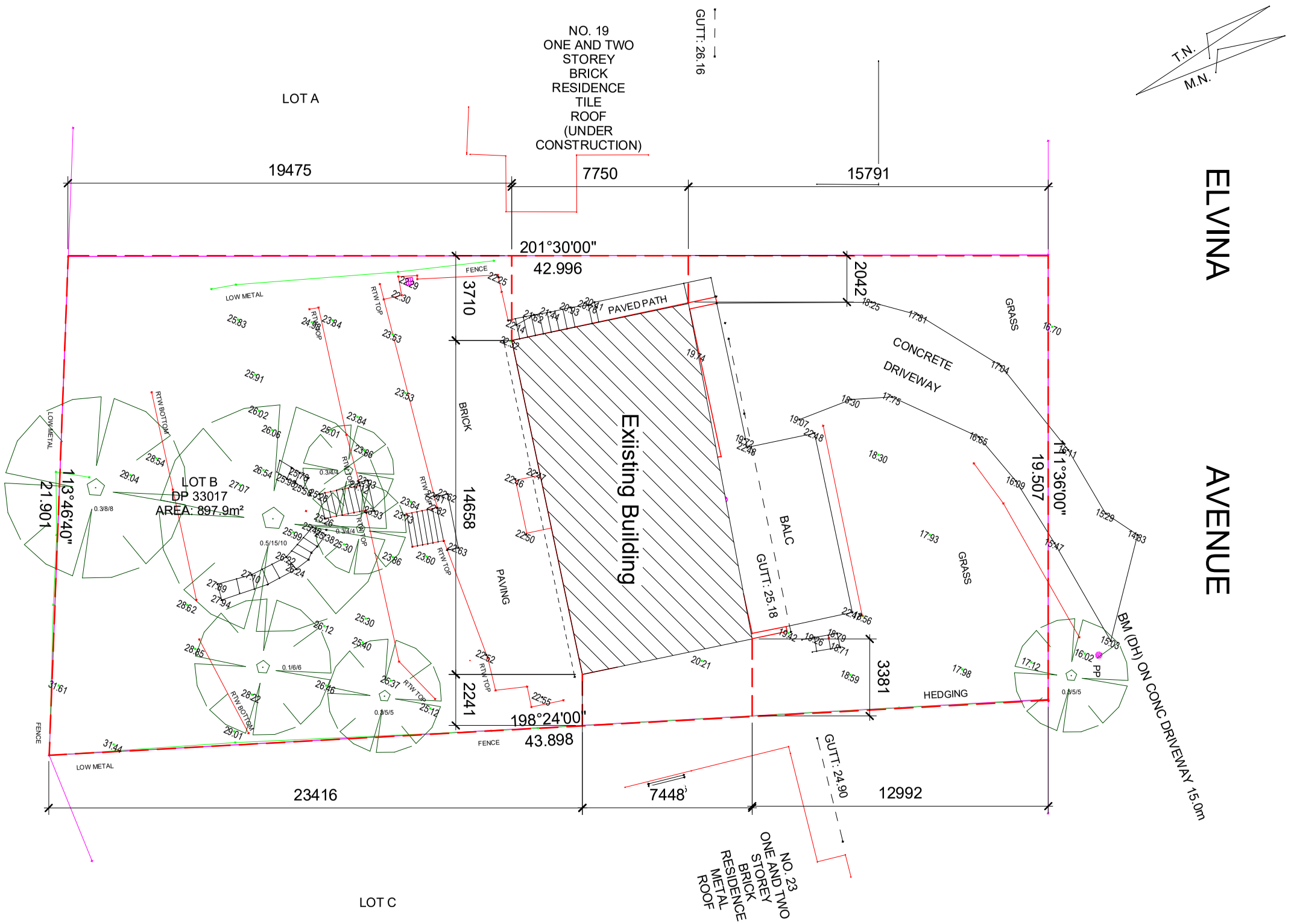


1 **Ex site**
1 : 200

2D house Design

Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com

Project name: New two storey house

No.	Description	Date
	DA Issue date	08/08/24

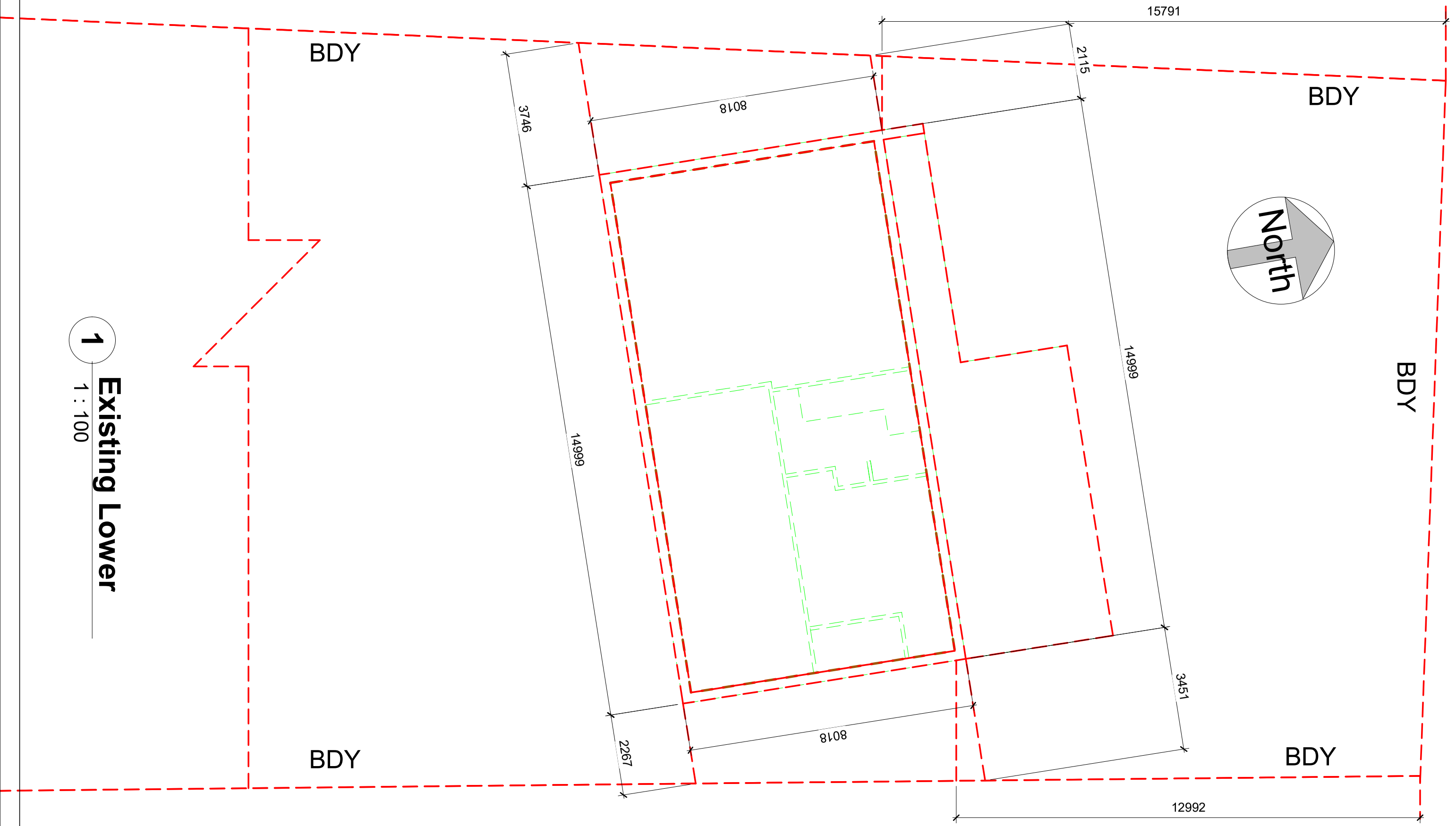
Joe

21 ELVINA AVE,
NEWPORT

Existing Site plan

Registered building designer No: 6585		A115
Date	08-08-2024	
Drawn by	henry kuang	
Checked by	henry kuang	Scale 1:200

4/29/2025 3:32:18 PM



1 **Existing Lower floor plan**
1 : 100

2D house Design	
Tel: 9587 2090 or 0414 873 282 Email: henrykuang@hotmail.com	
Project name: New two storey house	

No.	Description	Date
	DA Issue date	08/08/24

Joe	
21 ELVINA AVE, NEWPORT	
Existing Lower floor plan	
Registered building designer No: 6585	A116
Date 08-08-2024	
Drawn by henry kuang	
Checked by henry kuang	Scale 1:100

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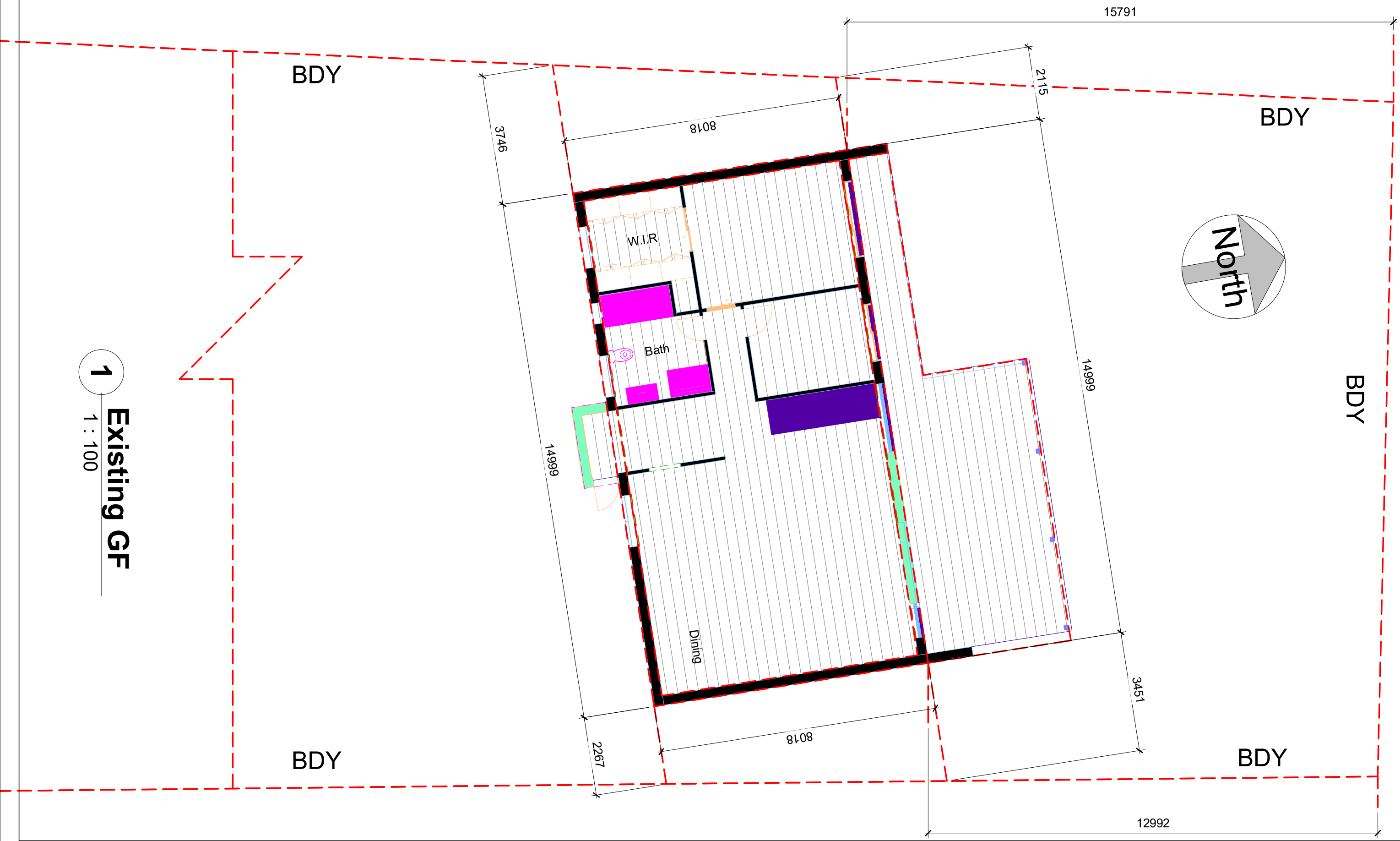


1 Existing GF

1 : 100

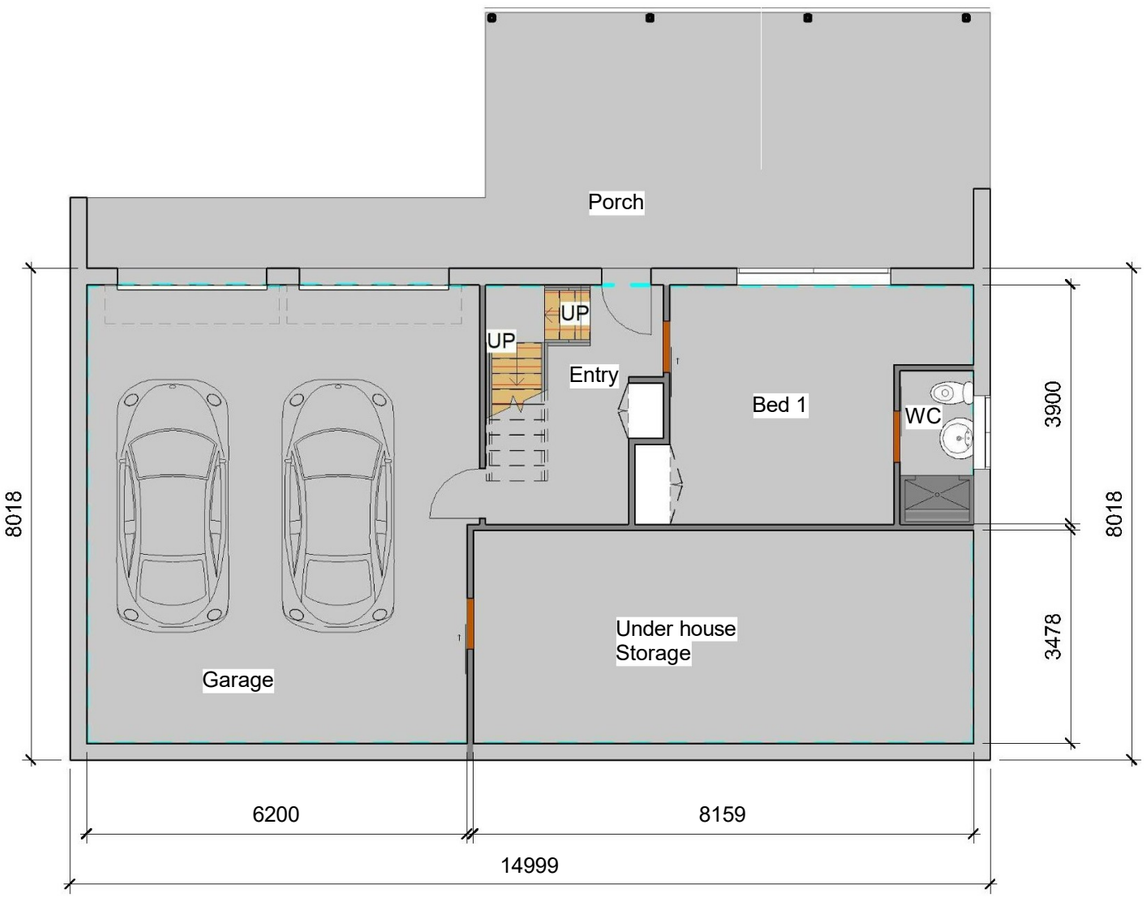
2D house Design			
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com		
Project name: New two storey house			

No.	Description	Date
	DA Issue date	08/08/24

Joe	Existing GF plan	
21 ELVINA AVE, NEWPORT	Registered building designer No: 6585	A117
	Date 08-08-2024	
	Drawn by henry kuang	
	Checked by henry kuang	Scale 1:100

4/29/2025 3:35:42 PM

1 **Existing GF**
1 : 100



2 **Ex Lower**
1 : 100

2D house Design			
Tel: 9587 2090 or 0414 873 282	Email: henrykuang@hotmail.com		
Project name: New two storey House			

No.	Description	Date
	Issue date	08/08/24

Joe	Existing GF & Lower floor plan	
21 ELVINA AVE, NEWPORT	Registered building designer No: 6585	A118
	Date 08-08-2024	
	Drawn by henry kuang	
	Checked by henry kuang	Scale 1:100

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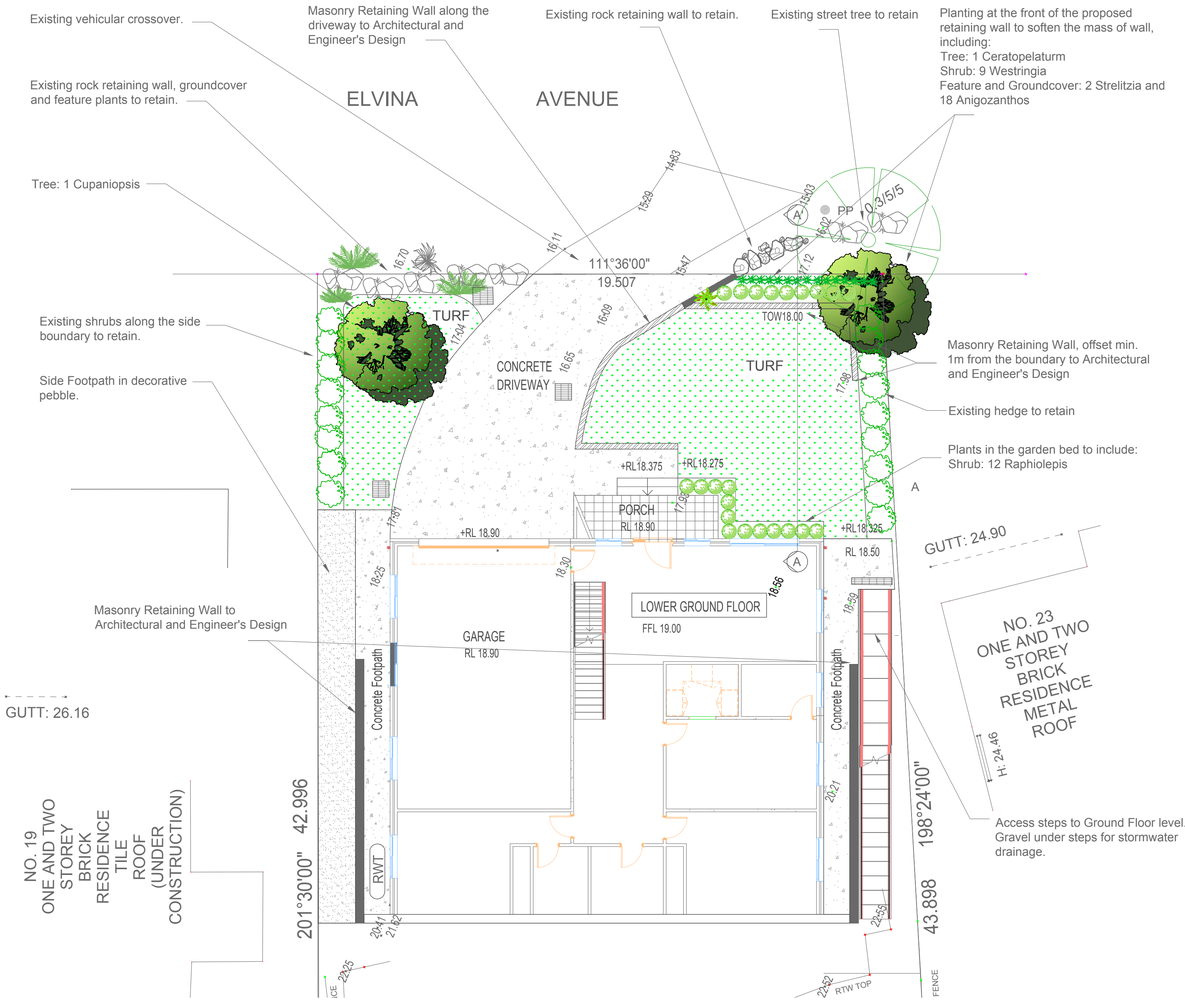
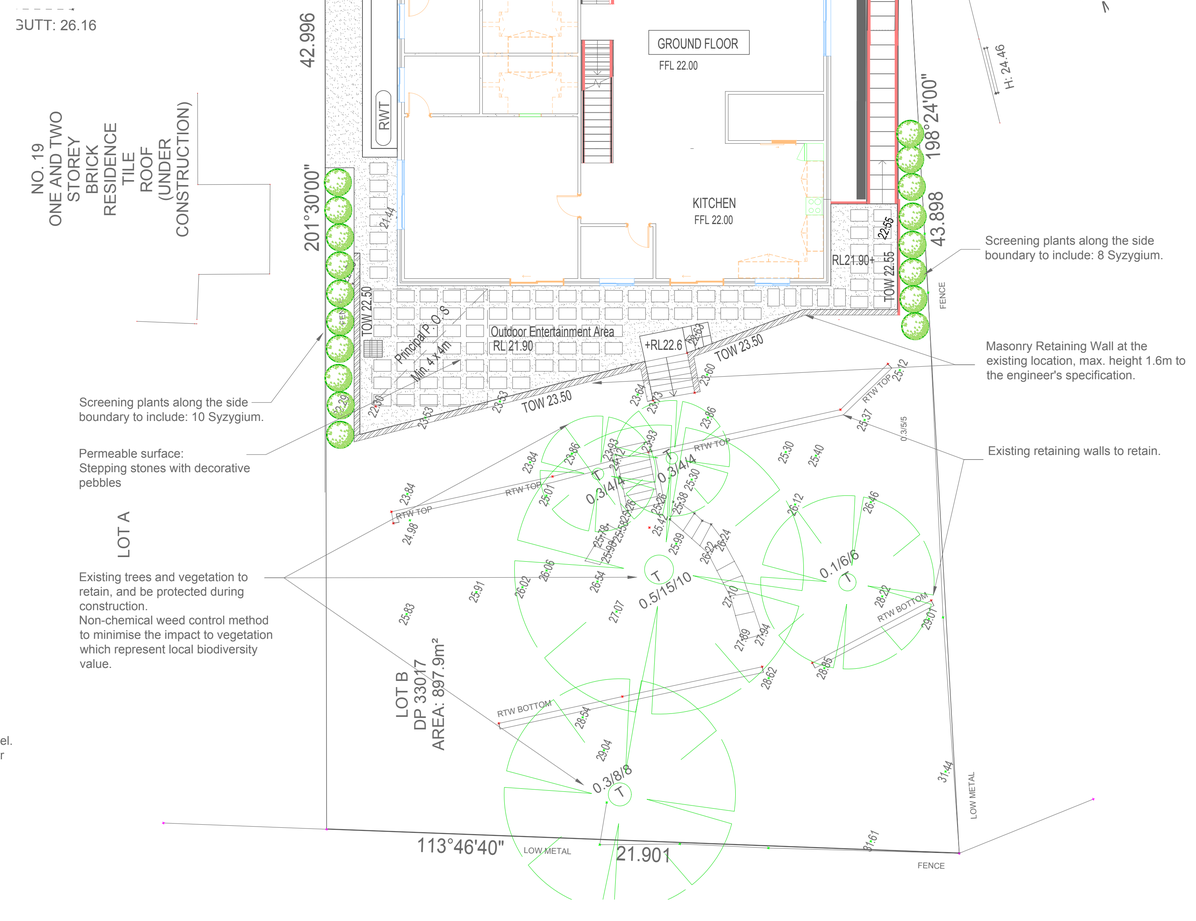




LANDSCAPE PLAN - LOWER GROUND FLOOR
FRONT GARDEN
Scale: 1:100 @A1, 1:200 @A3

LANDSCAPE PLAN - GROUND FLOOR
REAR GARDEN
Scale: 1:100 @A1, 1:200 @A3

Section A-A' Front Garden
Scale: 1:100 @A1, 1:200 @A3

CLIENT & ADDRESS
21 ELVINA AVENUE, NEWPORT NSW

DRAWING
LANDSCAPE PLAN

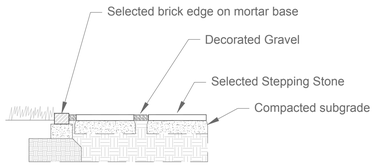
PROJECT
PROPOSED NEW RESIDENCE

SCALE	ISSUE	DATE	DRAWN	REFERENCE NO.
1:100 @ A1	B	30/04/2025	Sarah Yan B. LandArch UNSW	015025

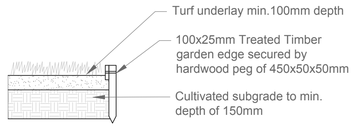
REVISION	DESCRIPTION	DRAWN	DATE
A	Issue for DA	H. Y.	13/03/2025
B	Landscape Calculations added, Issue for DA	H. Y.	30/04/2025

LISOUND LANDSCAPE
Member of LDI (AILDM)
Member of AILA
33 Willis Avenue, St. Ives NSW2075
Ph: 9534 2112 Mob: 0413419564
Email: lisound2010@gmail.com

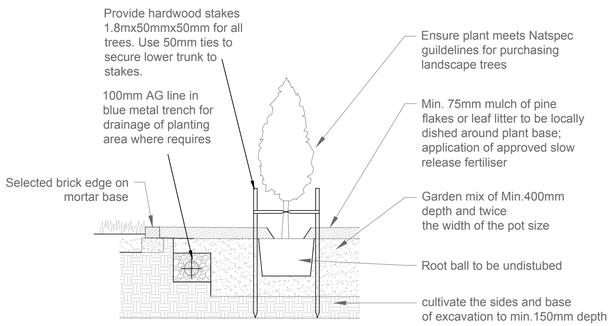
1. DO NOT SCALE FROM DRAWING;
2. ALL DIMENSIONS TO BE CHECKED ON SITE;
3. DISCREPANCIES TO BE REPORTED TO THE AUTHOR;
4. BOUNDARIES TO BE VERIFIED BY SURVEYOR;
5. OTHER CONSULTANT DRAWINGS TAKE PREFERENCE;
6. ALL WORK TO COMPLY WITH AUSTRALIAN STANDARDS OR BUILDING CODE OF AUSTRALIA;
7. ALL WORK TO BE SUPERVISED BY A QUALIFIED CONTRACTOR;



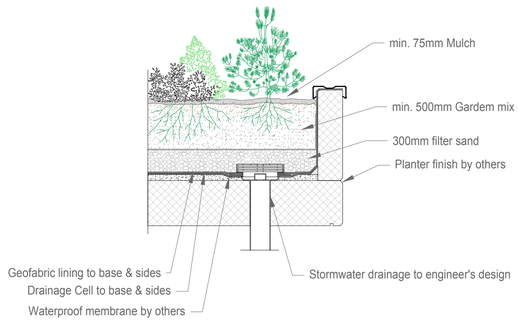
STEPPING STONE IN GRAVEL DETAIL
NTS



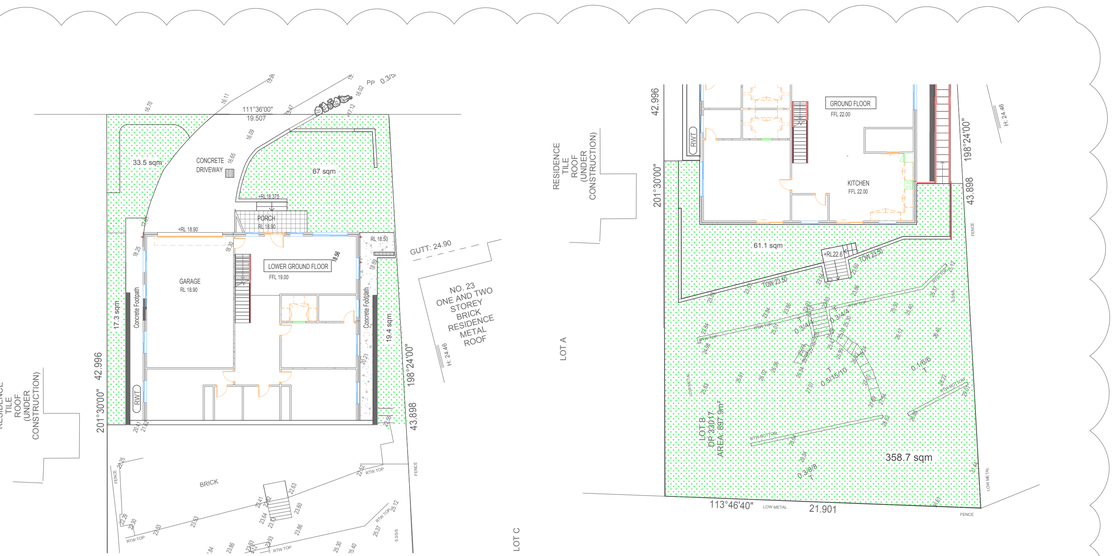
TURF DETAIL
NTS



PLANTING DETAIL
NTS



TYP. PLANTER DETAIL
NTS



Caculations

Site Area:	897.90 sqm		
Proposed Landscape Area:	557 sqm	62%	comply
Front setback area:	161.7 sqm		
Proposed landscape area within front setback:	100.5 sqm	62.1%	comply

PLANTING SCHEDULE

Tree

Ceratopetalum gummiferum
NSW Christmas Tree (Native)
Pot size: 45Lt
Mature HxS: 10m x 6m
Qty Required: 1

Cupaniopsis anacardioides
Tuckeroo (Native)
Pot size: 45Lt
Mature HxS: 8m x 5m
Qty Required: 1

Shrubs

Syzygium resilience (Native)
Lilly Pilly
Pot size: 200mm
Mature HxS: Medium Hedge
Qty Required: 18

Rhaphiolepis indica 'Oriental Pearl'
Indian Hawthorn
Pot size: 200mm
Mature HxS: Medium Hedge
Qty Required: 12

Westringia fruticosa (Native)
Coastal Rosemary
Pot size: 300mm
Mature HxS: 1.5m x 1.5m
Qty Required: 6

Groundcover / Grass

Strelitzia juncea
Narrow-leafed Bird of Paradise
Pot size: 200mm
Mature HxS: 1.5m x 1.2m
Qty Required: 2

Anigozanthos
Kangaroo Paws (Native)
Pot size: 140mm
Mature HxS: 400mm x 500mm
Qty Required: 18

"Sir Walter" Buffalo turf

Tree

Ceratopetalum

Shrubs

Syzygium

Raphiolepis

Westringia

Feature / Groundcover

Strelitzia

Anigozanthos

LANDSCAPE NOTES

The plan should be read in conjunction with Architectural and Hydraulic Plans. The plan has been prepared for Development Certificate application.

The plan has been prepared with reference to Northern Beaches City Council landscape guidelines and requirements. Planting proposed use mainly indigenous and commercial available plants selected from local planting lists and from Sydney Water's 'plant selector'.

All noxious weeds listed in Council's weed list should be removed from the site. Sediment & erosion control device should be in place, and maintained throughout the construction period.

TREE PROTECTION FENCING
Tree protection fencing is to be provided in Accordance with DA condition. The tree protection fencing is to be constructed of galvanized pipe and connected by securely attached chain mesh fencing to a minimum height of 1.8m prior to work commencing. The fences shall be maintained intact until the completion of all demolition and building work on site.

No excavation, construction activities, grade changes, surface treatment or storage of materials of any kind is permitted within the tree protection zone.

STREET TREE PLANTING AND MAINTENANCE
The street tree must be planted by qualified Arborist / horticulturist (AQF level 3 min.). The tree pit must be inspected by council's Tree Management Officer before and after planting.

Street tree must be maintained by a qualified Arborist / horticulturist (AQF level 2/3) for a minimum period of 12 months. Maintanance includes, but is not limited to, watering, weeding, removal of rubbish from tree base, fertilizing, pruning, pest and disease control.

At the end of 12 months of maintenance period, a written approval must be obtained from Council before handover to council.

IRRIGATION
The system shall be designed and installed by a qualified and licensed specialist to ensure safe and efficient operation. The irrigation system shall be installed in accordance with the latest Sydney Water irrigation regulations. Please note that endemic and native planting will not require significant watering once established. The irrigation shall be tested and approved upon completion, and monitored and maintained at 6 monthly periods.

LANDSCAPE MAINTENANCE SCHEDULE
A maintenance period of 12 months is required for the completed landscape works.
Landscape maintenance means the care and maintenance of the contracted landscape works ensuring that all plants are in excellent conditions and appearance at all times. Maintenance works include but not limit to the following,
1. Implement an appropriate hand watering regime in areas not irrigated in association with current watering program to maintain plant health. The program shall reflect seasonal conditions and plant species.
2. Check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertilizer regime to suit. Fertilizer should be applied at the beginning and the end of the (summer) growing season.
3. Reinstate depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Maintain watering rings around trees. Top up mulch levels prior to handover to client.
4. Replace dead, damaged, unhealthy or diseased plants. Replacement material shall have the maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified.
5. Monitoring for pests and disease.
6. Clearing debris and weeds from landscape area.Weed growth in planted or mulched areas is to be removed using environmentally acceptable methods or hand weeding.

CLIENT & ADDRESS
21 ELVINA AVENUE, NEWPORT NSW

DRAWING: LANDSCAPE PLAN
PROJECT: PROPOSED NEW RESIDENCE

SCALE	ISSUE	DATE	DRAWN:	REFERENCE NO:
1:100 @ A1	B	30/04/2025	Sarah Yan B. LandArch UNSW	015025 /02

REVISION	DESCRIPTION	DRAWN	DATE
A	Issue for DA	H. Y.	13/03/2025
B	Landscape Calculations added, Issue for DA	H. Y.	30/04/2025

LISOUND LANDSCAPE
Member of LDI (AILDM)
Member of AILA
33 Willis Avenue, St. Ives NSW2075
Ph: 9634 2152 Mob: 0413410964
Email: lisound2010@gmail.com

1. DO NOT SCALE FROM DRAWING;
2. ALL DIMENSIONS TO BE CHECKED ON SITE;
3. DISCREPANCIES TO BE REPORTED TO THE AUTHOR;
4. BOUNDARIES TO BE VERIFIED BY SURVEYOR;
5. OTHER CONSULTANT DRAWINGS TAKE PREFERENCE;
6. ALL WORK TO COMPLY WITH AUSTRALIAN STANDARDS OR BUILDING CODE OF AUSTRALIA;
7. ALL WORK TO BE SUPERVISED BY A QUALIFIED CONTRACTOR;

GENERAL

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2018 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. DURING CONSTRUCTION IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL PARTS OF THE WORKS SHALL BE MAINTAINED IN A STABLE CONDITION, AND THAT NO PART OF THE WORKS SHALL BE OVERSTRESSED AS A RESULT OF THE CONSTRUCTION PROCEDURES OR THE APPLIED CONSTRUCTION LOADS.

   THE BUILDER SHALL BE RESPONSIBLE FOR ALL TEMPORARY WORKS NECESSARY TO COMPLETE THE PROJECT, NOT THE PROJECT ENGINEER. THE TEMPORARY WORKS SHALL INCLUDE, BUT NOT BE LIMITED TO, DESIGN, CERTIFICATION, FABRICATION, TRANSPORT, CONSTRUCTION LOADING, INSTALLATION, REMOVAL OF TEMPORARY WORKS, COMPLIANCE WITH RELEVANT AUTHORITY REQUIREMENTS, TEMPORARY ACCESS REQUIREMENTS, ETC.

   THE BUILDER SHALL NOMINATE IN THEIR TENDER A SUITABLY QUALIFIED ENGINEER (BUILDER'S ENGINEER) REQUIRED FOR ALL TEMPORARY WORKS.
7. ALL STORMWATER DRAINAGE PIPES ARE TO BE 100mm DIAMETER uPVC AT MINIMUM 1% GRADE UNLESS NOTE OTHERWISE.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
10. THE BUILDER SHALL COMPLY WITH ALL STATUTORY REQUIREMENTS RELATING TO PROTECTION AGAINST ANIMAL INFESTATION (BORERS, TERMITES, ETC.). THIS SHALL INCLUDE EXTERNAL STRUCTURES (POSTS, RETAINING WALLS, ETC.).
11. ALL LEVELS SHOWN ON THESE DRAWINGS ARE TO FINISHED SURFACE, UNLESS NOTED OTHERWISE. ALL EXISTING SURFACE LEVELS SHOWN ON THESE DRAWINGS HAVE INTERPOLATED FROM THE SURVEY. THE SURVEY LEVELS HAVE BEEN USED AS THE BASIS FOR ALL ENGINEERING DESIGN. BEFORE COMMENCING ANY PART OF THE WORK THE BUILDER SHALL VERIFY ALL LEVELS AND MAKE ALLOWANCE FOR ANY VARIATION.

RAINWATER RE-USE SYSTEM NOTES

1. TOWNWATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF SYDNEY WASTE. THIS MAY REQUIRE PROVISION OF:
   a. PERMANENT AIR GAP.
   b. A BACKFLOW PREVENTION DEVICE.
   c. NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAIN WATER SUPPLY.
   d. AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
2. PROVIDE AT LEAST ONE (1) EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
3. PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES
4. ALL PLUMBING WORKS ARE TO CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS 3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
5. PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY LICENSED ELECTRICIAN.
6. ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
7. PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS 3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED "RAINWATER ". THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS 2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
8. EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED "RAINWATER" ON A METALLIC SIGN IN ACCORDANCE WITH AS 1319.
9. ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
10. SYSTEM TO COMPLY WITH SYDNEY WATER REQUIREMENTS AND ANY CONDITIONS OF LOCAL COUNCIL DEVELOPMENT CONSENT.

DRAINAGE NOTES

1. **ALL DRAINAGE LEVELS SHALL BE CONFIRMED ON SITE, PRIOR TO CONSTRUCTION COMMENCING.**
2. ALL PIPES WITHIN THE PROPERTY TO BE MIN. 100 DIA UPVC @ 1 % MIN. GRADE, UNO.
3. ALL PITS WITHIN THE PROPERTY ARE TO BE FITTED WITH "WELDLOK" OR APPROVED EQUIVALENT GRATES:
   - *LIGHT DUTY FOR LANDSCAPED AREAS.*
   - *HEAVY DUTY WHERE SUBJECTED TO VEHICULAR TRAFFIC*
4. PITS WITHIN THE PROPERTY MAY BE CONSTRUCTED AS:
   1) PRECAST STORMWATER PITS
   2) CAST INSITU MASS CONCRETE
   3) CEMENT RENDERED 230mm BRICKWORK SUBJECT TO THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION
5. ENSURE ALL GRATES TO PITS ARE SET BELOW FINISHED SURFACE LEVEL WITHIN THE PROPERTY. TOP OF PIT RL'S ARE APPROXIMATE ONLY AND MAY BE VARIED SUBJECT TO APPROVAL OF THE ENGINEER. ALL INVERT LEVELS ARE TO BE ACHIEVED.
6. ANY PIPES BENEATH RELEVANT LOCAL AUTHORITY ROAD TO BE RUBBER RING JOINTED RCP, UNO.
7. ALL PITS IN ROADWAYS ARE TO BE FITTED WITH HEAVY DUTY GRATES WITH LOCKING BOLTS AND CONTINUOUS HINGE.
8. PROVIDE STEP IRONS TO STORMWATER PITS GREATER THAN 1200 IN DEPTH.
9. TRENCH BACK FILL IN ROADWAYS SHALL COMPRISE SHARP, CLEAN GRANULAR BACK FILL IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY SPECIFICATION TO NON-TRAFFICABLE AREAS TO BE COMPACTED BY RODDING AND TAMPING USING A FLAT PLATE VIBRATOR
10. WHERE A HIGH EARLY DISCHARGE (HED) PIT IS PROVIDED ALL PIPES ARE TO BE CONNECTED TO THE HED PIT, UNO.
11. DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.
12. COLORBOND OR ZINCALUME STEEL BOX GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.
13. EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 BEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL,UNO.
14. SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM. UNO.

PIT SIZES AND DESIGN

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 600mm	450x450
601mm TO 900mm	600x600 U.N.O
901mm TO 1200mm	600x900 U.N.O
FROM 1201mm	900x900 (WITH STEP IRON)

CONCRETE PAVEMENT

1. SUBGRADE SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
2. PAVEMENT MATERIAL SHALL CONSIST OF APPROVED OR RIPPED SAND STONE, NATURAL GRAVEL OR FINE CRUSH AS PER THE RELENT COUNCIL AUTHORITY SPECIFICATION.
3. PAVEMENT MATERIAL SHALL BE SPREAD IN LAYERS NOT EXCEEDING 150 AND NOT LESS 75 COMPACTED THICKNESS.
4. PAVEMENT MATERIAL SHALL BE SIZED AND OF A STANDARD OUTLINED IN AS1141.
5. CRUSHED OR RIPPED SANDSTONE SHALL BE MINUS 75 NOMINAL SIZE DERIVED FROM SOUND, CLEAN SANDSTONE SHALL BE MINUS 75 NORMAL SIZE DERIVED FROM SOUND, CLEAN SANDSTONE FREE FROM OVERBURDEN, CLAY SEAMS, SHALE AND OTHER DELETERIOUS MATERIALS
6. PAVEMENT MATERIALS SHALL BE COMPACTED BY SUITABLE MEANS TO SATISFY THE FOLLOWING MINIMUM SPECIFICATIONS (AS PER AS1289.2)

DESCRIPTION	MEDIUM DENSITY RADIO
SUB-BASE	98%MOD
BASE COURSE	98%MOD
ASPHALTIC CONCRETE	98%MOD

   AND SUBJECT TO THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION.
7. TESTING FOR EACH LAYER SHALL BE UNDERTAKEN BY AN.A.T.A. REGISTERED LABORATORY IN ACCORDANCE WITH AS1289, AT NOT MORE THAN 50m INTERVALS AND A MINIMUM OF TWO PER LAYER. FURTHER FREQUENCY OF TESTING SHALL BE NO LESS THAN THAT REQUIRED BY AS3978.

CONCRETE PAVEMENT

1. SUBGRADE SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
2. PROVIDE JOINTING AT MINIMUM 6000 MAX. INTERVALS OR AS OTHERWISE SPECIFIED IN THE DRAWINGS.
3. CONCRETE SHALL COMPRISE A MIN. COMPRESSIVE STRENGTH OF 32MPa AT 28 DAYS IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY SPECIFICATION,UNO.
4. ANY SUB-BASE MATERIAL SHALL BE COMPACTED AS OUTLINED IN EARTHWORKS.
5. CONCRETE KERB AND GUTTER SHALL COMPRISE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa, UNO.
6. CONCRETE WORKS ARE TO BE CURED BY ONE OF THE FOLLOWING MEANS:
   i) WETTING TWICE DAILY FOR THE FIRST THREE DAYS;
   ii) USING AN APPROVED CURING COMPOUNDED FOR A MINIMUM OF 7 DAYS COMMENCING IMMEDIATELY AFTER POURING.

PAVED AREAS NOTES

1. SUBGRADE SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
2. ALL PAVERS ARE TO BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
3. TRAFFICABLE AREAS:
   SUB-BASE TO BE 150 COMPACTED THICKNESS DGS75.
   SUB-BASE TO BE SUITABLY COMPACTED TO MEDIUM DENSITY 98% MOD.
   SUB-BASE TO EXTEND AT LEAST 200 BEYOND PAVED SURFACE.
   PAVERS TO BE 80 THICK INTERLOCKING PAVERS ON 50 SAND BEDDING.
4. NON TRAFFICABLE AREAS:
   SUB-BASE AS PER TRAFFICABLE AREAS.

Engineering Consultant

DE

Engineering Solutions

Mobile: 0434876766

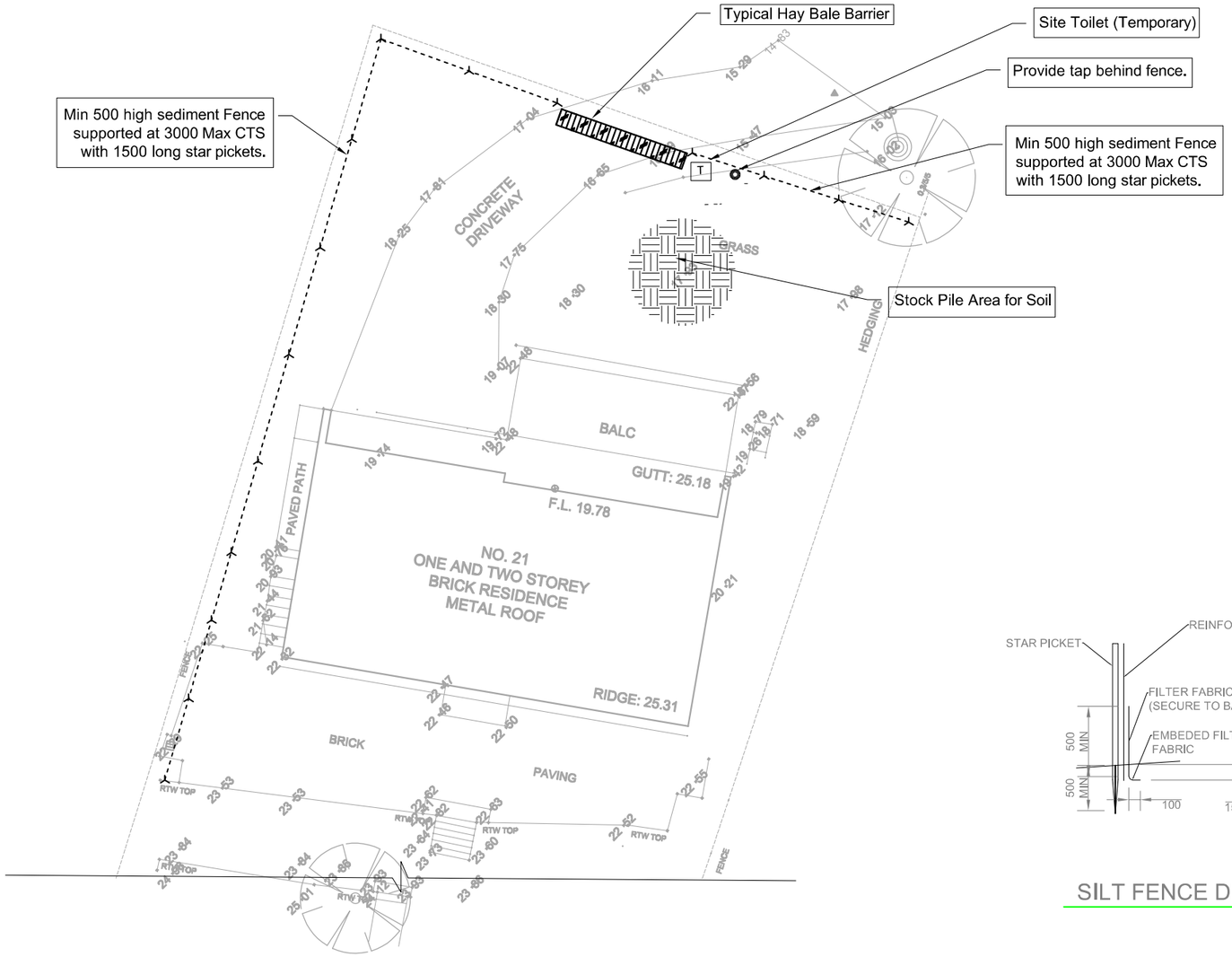
Project

Proposed New dwelling at 21 Elvina Avenue, Newport, NSW 2106

Title

GENERAL NOTES

Date	Design	Drawing No.
18/03/25	RX	GN01
Scale	Drawn	
	Kevin	
Project Number	Approved	Revision
DE2414		

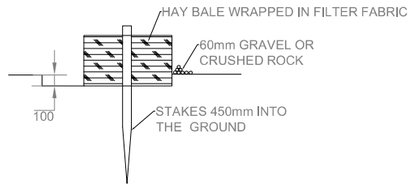


Erosion & Sediment Control Plan

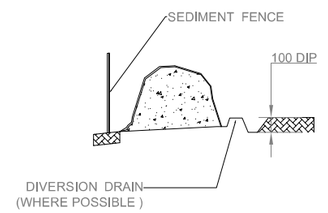
EROSION CONTROL NOTES

1 ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH "MANAGING URBAN STORMWATER, 3RD EDITION" PRODUCED BY THE DEPARTMENT OF HOUSING.
2 ALL EROSION SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
3 ALL TRESS ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXPECT IN ARES CLEARED FOR BUILDINGS, PAVEMENTS, ETC.
4 STABILISE/REVEGATATE ALL DISTURBED AREAS PROGRESSIVELY WHERE PRACTICAL.
5 INSTALL TEMPORARY SEDIMENT BARRIORS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER.
6 ADDITIONAL VEHICLES MUST PARK ON ROAD NOT ON FOOTPATH. PUBLIC FOOTPATH ADJACENT TO SITE MUST NOT BE OBSTRUCTED AND MUST BE SAFE FOR PEDESTRIAN ACCESS.
7 ENSURE FENCE IS KEYED AT BOTH ENDS INTO GROUND, WITH BASE TURN UPSLOPE.
8 WHERE SEDIMENT FENCE IS NEAR STREET, ERECT FENCE WITHIN DEVELOPMENT SIDE OF TURF FILTER STRIPS AND PROPERTY BOUNDARY.
9 SEDIMENT FENCE FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 600MM. OVERLAP ADJOINING FILTER CLOTH BY 150MM AND FOLDING OVER.
10 DIVERT UPSLOPE WATER AROUND WORK SITE AND STABILISE CHANNELS.
11 LAY KREB-SIDE TURF FILTER STRIP TO TRAP EXCESS SEDIMENT.
12 CONTAMINATED WATER WITH SEDIMENT FROM A SEDIMENT BASIN OR EXCAVATION PIT IS TO BE FLOCCULATED/FILTERED TO LOWER SUSPENDED SOIL LOAD TO LESS THAN 50 MILLIGRAMS PER LITE.
13 SOIL, SAND AND GRAVEL ARE NOT TO BE STOCKPILED ON ROADWAYS OR IN DRAINAGE AREAS.
14 WASH AREA MUST BE SLIGHTLY DEPRESSED TO COLLECT WASTE MATERIAL.
15 APPLY DUST CONTROL MEASURES TO REDUCE SURFACE AND AIRBOURE MOVEMENT OF SEDIMENT.
16 NOT WITHSTANDING DETAILS SHOWN, IT IS THE CONTRACTOR SOLE RESPONSIBLY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATER ACT.

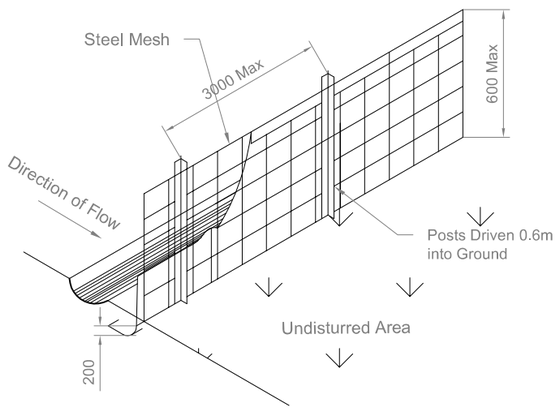
SILT FENCE DETAIL



HAY BALE DETAIL

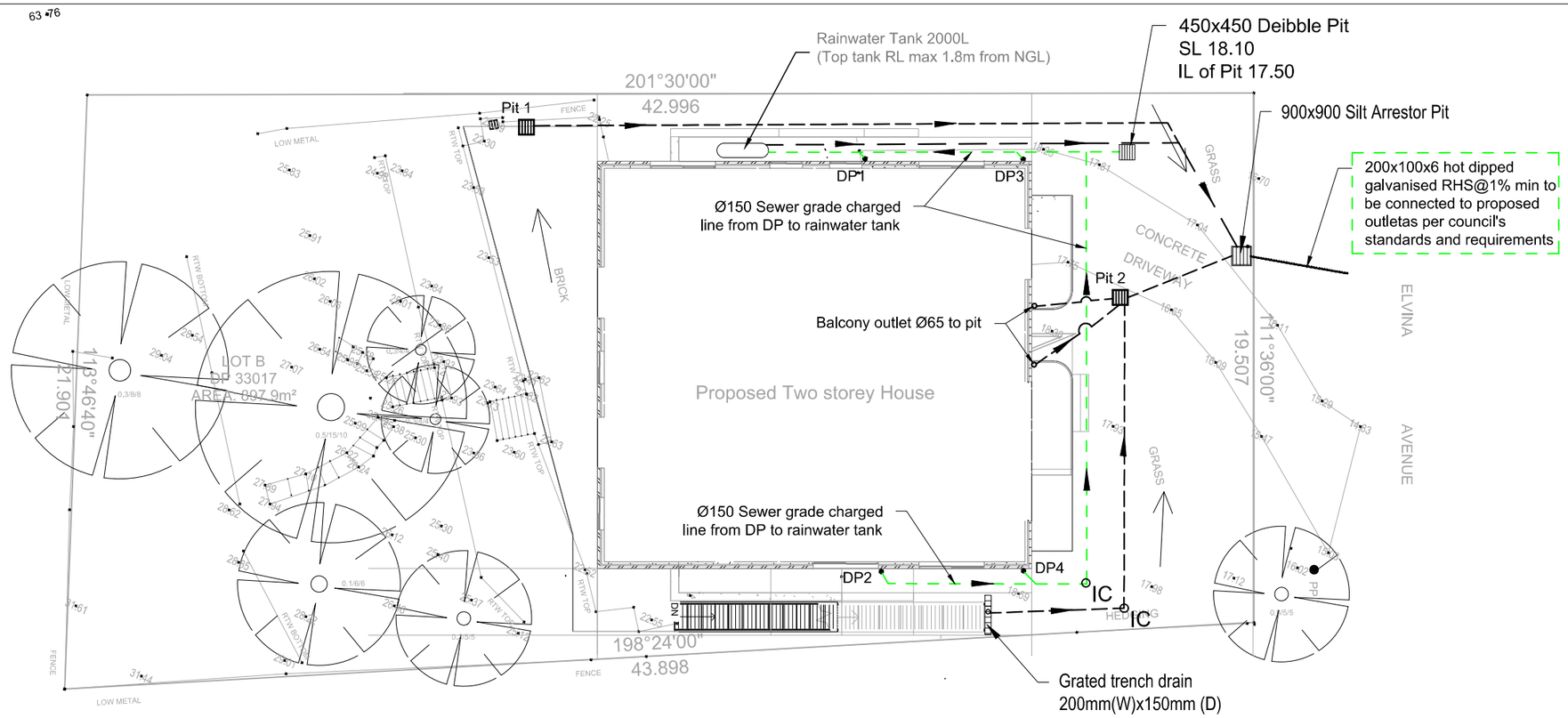


SOIL STOCK PILE



SEDIMENT FENCE

Engineering Consultant DE Engineering Solutions Mobile: 0434876766	Project Proposed New dwelling at 21 Elvina Avenue, Newport, NSW 2106	Title EROSION & SEDIMENT CONTROL PLAN	Date 18/03/25 Scale Project Number DE2414
			Design RX Drawn Kevin Approved
			Drawing No. CE001 Revision



STORMWATER DRAINAGE PLAN

NOTES

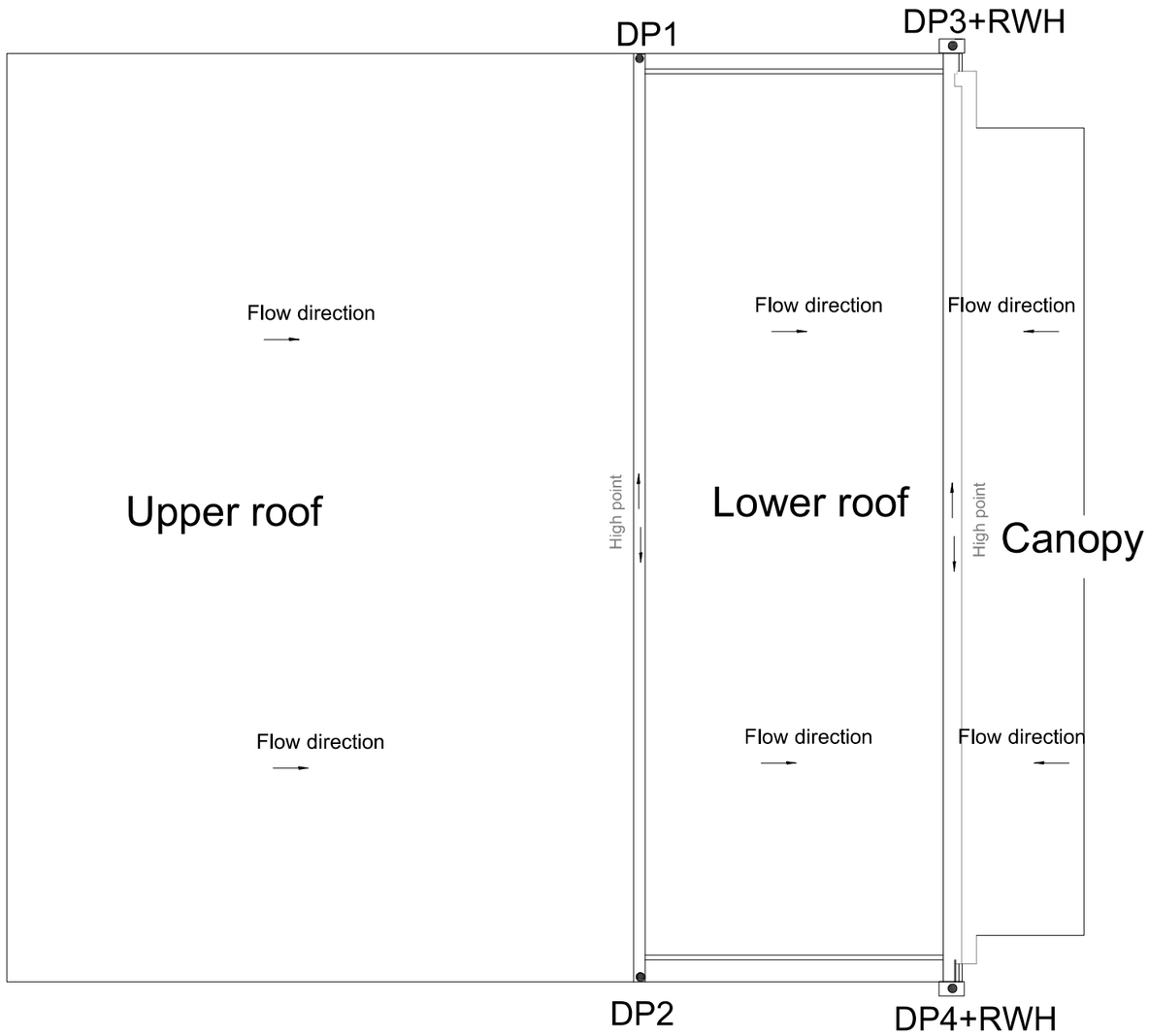
1. ALL LINES ARE TO BE MIN. Ø150 UPVC @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE
2. IT IS THE CONTRACTORS REASONABILITY PRIOR TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLANE SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
3. ALL PIPES TO HAVE MIN 200MM COVER IF LOCATED WITHIN PROPERTY
4. ALL PITS IN DRIVEWAYS BE HEAVY DUTY GRADES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH AS/NZ 3500.3:2021 AND COUNCIL SPECIFICATIONS.
6. LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPES & FLOOR WASTE SIZE, LOCATION & QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
7. THIS PLAN IS TO BE READ IN CONSTRUCTION WITH THE ARCHITECTURAL , LANDSCAPE AND STRUCTURAL PLANS.
8. ANY DISCREPANCIES OR OMISSIONS SHALL BE REFFERED TO THE DESIGN ENGINEER FOR RESOLUTION.

LEGENDS

- DP • Rain water down pipe
- IC Inspection Opening
- ———— Upvc pipe Ø100 @1% min to pit
- — — Overflow pipe Ø150 @1% min to pit
- - - - Sewer grade charged line Ø150 to water tank
- Grated inlet pit
- → Flow direction @1% min

Stormwater Pit Size and Level						
TAG	Width	Length	Depth	IL of Pipe	RL of Pit bottom	SL of Pit surface
Pit 1	900	900	1150	21.25	21.45	22.30
Pit 2	900	900	850	16.80	16.65	17.50

Engineering Consultant: DE ENGINEERING SOLUTIONS (EA ID: 1380455, FIEAust CPEng NER) Mobile: 0434876766	Project: Proposed New dwelling at 21 Elvina Avenue, Newport, NSW 2106	Title: STORMWATER DRAINAGE PLAN	Date: 03/04/25 / Design: RX / Drawing No.: CE002
			Scale: / Drawn: Kevin
			Project Number: DE2414 / Approved: / Revision:



NOTES:

1) ALL DOWN PIPES ARE Ø150 uPVC Sewer grade Charged line U.N.O.
2) ALL EAVE GUTTERS TO BE FITTED WITH GUARD TO BUILDER'S DETAIL. THE MINIMUM EAVE GUTTER SIZE Ae = **17000 mm²**. U.N.O. THE MINIMUM SLOPE = 1:500.
3) ALL BOX GUTTERS TO BE FITTED WITH GUARD TO BUILDER'S DETAIL. THE MINIMUM BOX GUTTER SIZE 250X160 MM IN DEPTH. THE MINIMUM SLOPE = 1:200. RAINHEAD SIZE IS 300X200 WITH OVERFLOW.
4) LOCATION OF ALL DOWNPIPES ARE INDICATIVE ONLY. DOWNPIPE LOCATION and QUANTITY TO BE DETERMINED BY BUILDER AND IN ACCORDANCE WITH RELEVENT AUSTRALIA STANDARD.
5) REFER TO ARCHITECTURAL & SURVEY PLANS FOR GROUND LEVELS AND UNDERGROUND SERVICES LINE LOCATION

LEGEND:

DP● New proposed vertical downpipe

→ Flow direction

RWH New Proposed rainwater head 300x200

ROOF CATCHMENTS PLAN

Engineering Consultant

DE ENGINEERING SOLUTIONS

(EA ID: 1380455, FIEAust CPEng NER)

Mobile: 0434876766

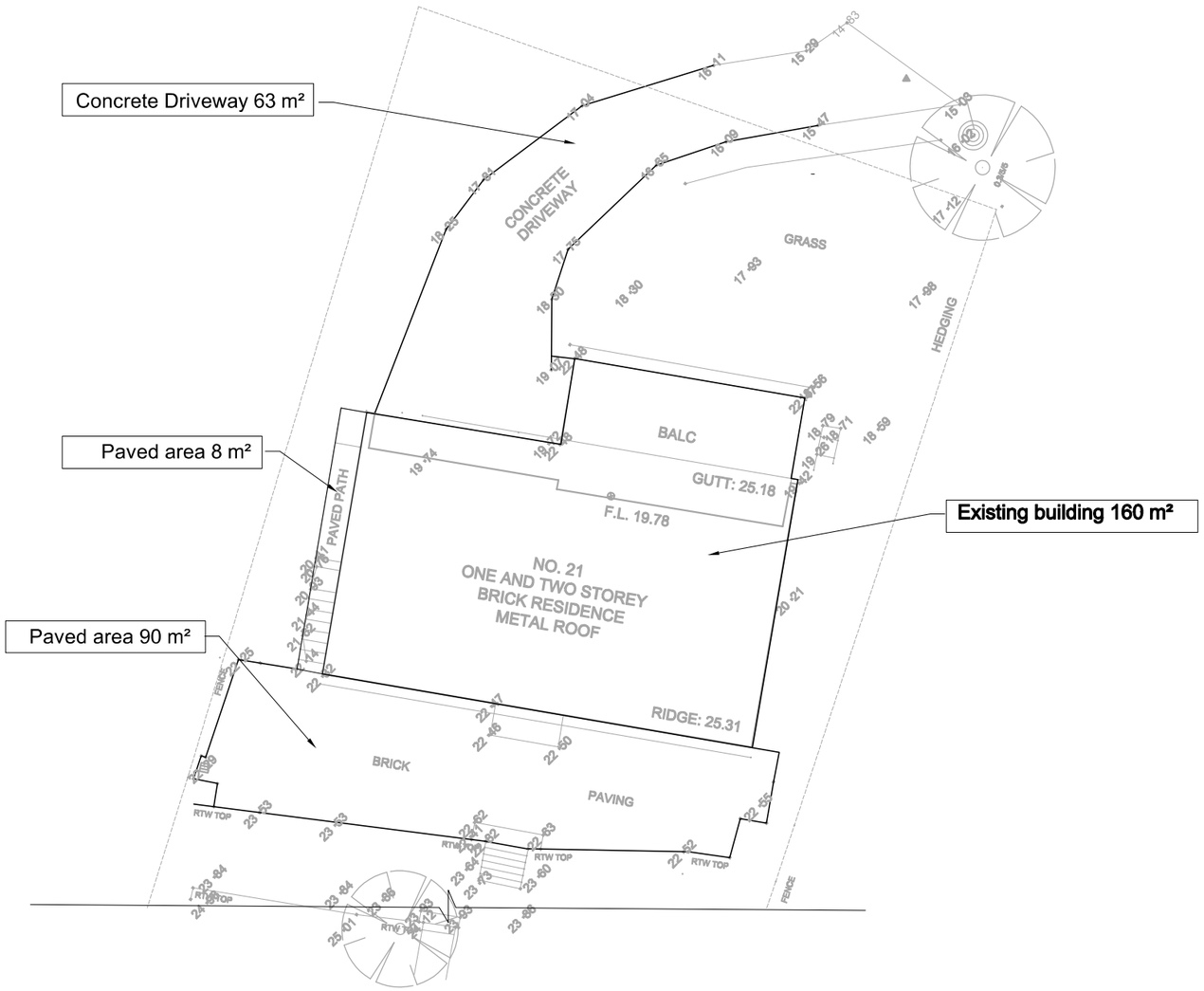
Project

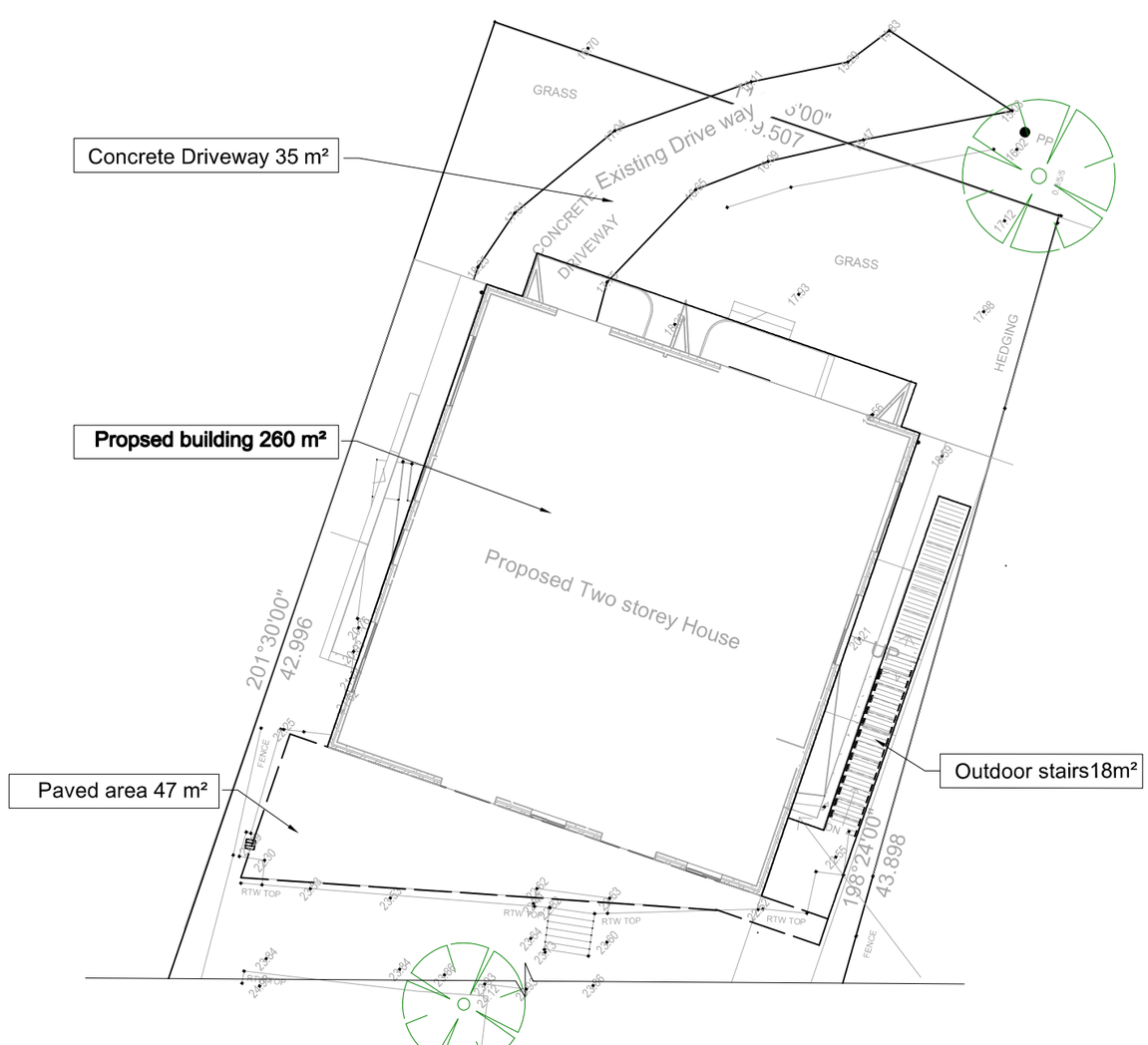
Proposed New dwelling at
21 Elvina Avenue,
Newport, NSW 2106

Title

ROOF CATCHMENTS AND GUTTERS

Date	Design	Drawing No.
18/03/25	RX	CE003
Scale	Drawn	
	Kevin	
Project Number	Approved	Revision
DE2414		





Pre-Development Impervious Area Details

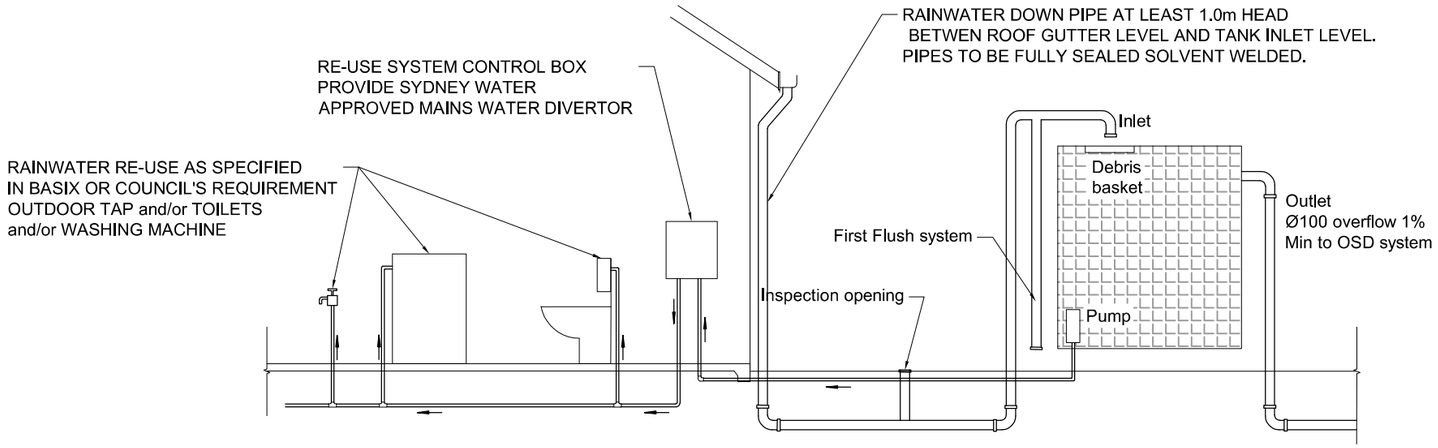
Total Area = 321 m²

Post-Development Impervious Area Details

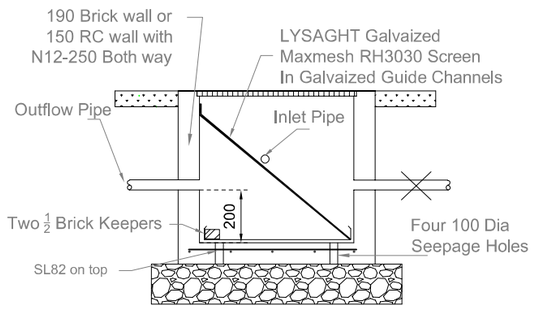
Total Area = 360 m²

Addtional Impervious Area
= 360- 321 = 39 m²
So, OSD is not required.

Engineering Consultant DE Engineering Solutions Mobile: 0434876766	Project Proposed New dwelling at 21 Elvina Avenue, Newport, NSW 2106	Title IMPERVIOUS AREA DETAILS	Date 18/03/25	Design RX	Drawing No. CE004
			Scale	Drawn Kevin	
			Project Number DE2414	Approved	Revision

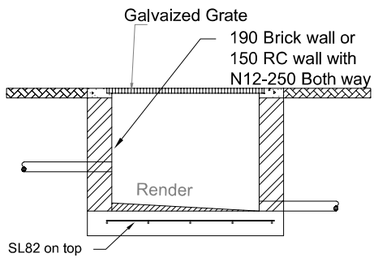


TYPICAL DETAIL - RAINWATER RE-USE TANK



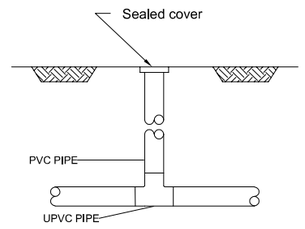
SILT ARRESTOR PIT

Note: All RL and IL refer to plan

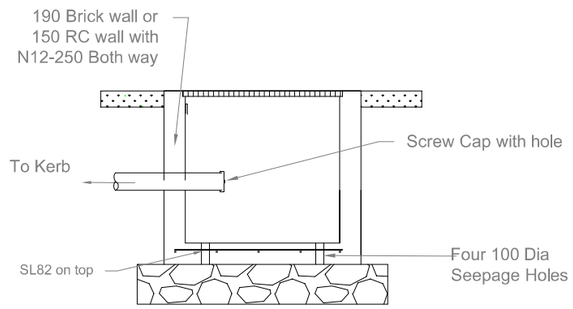


TYPICAL PIT DETAIL

N.T.S.



TYPICAL DETAIL OF CLEANING EYE



DRIBBLE PIT

Engineering Consultant DE ENGINEERING SOLUTIONS (EA ID: 1380455, FIEAust CPEng NER) Mobile: 0434876766	Project Proposed New dwelling at 21 Elvina Avenue, Newport, NSW 2106	Title TYPICAL SECTION AND DETAILS	Date 18/03/25	Design RX	Drawing No. CE005
			Scale	Drawn Kevin	
			Project Number DE2414	Approved	Revision