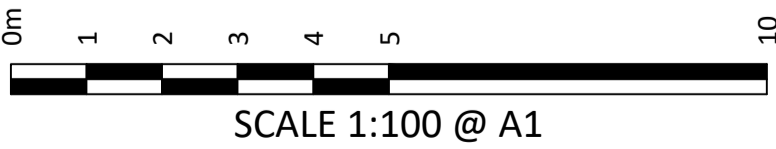


NOTES

- Do not scale from this plan.
- This purpose of this plan is to show a proposed subdivision layout. It must not be used for any other purpose.
- Boundary dimensions and areas have been compiled from the current subject site Deposited Plan. No boundaries have been surveyed or marked. If any work is to be undertaken on or adjacent to a boundary then a Boundary Survey is recommended to define the boundaries of the site.
- All proposed lot dimensions, areas and easements shown are approximate only and subject to services and engineering design, regulatory approval, construction, final survey and registration of the Plan of Subdivision at Land and Property Information NSW.
- This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
- These notes form an integral part of this plan and any other plan that relies on the information shown herein.

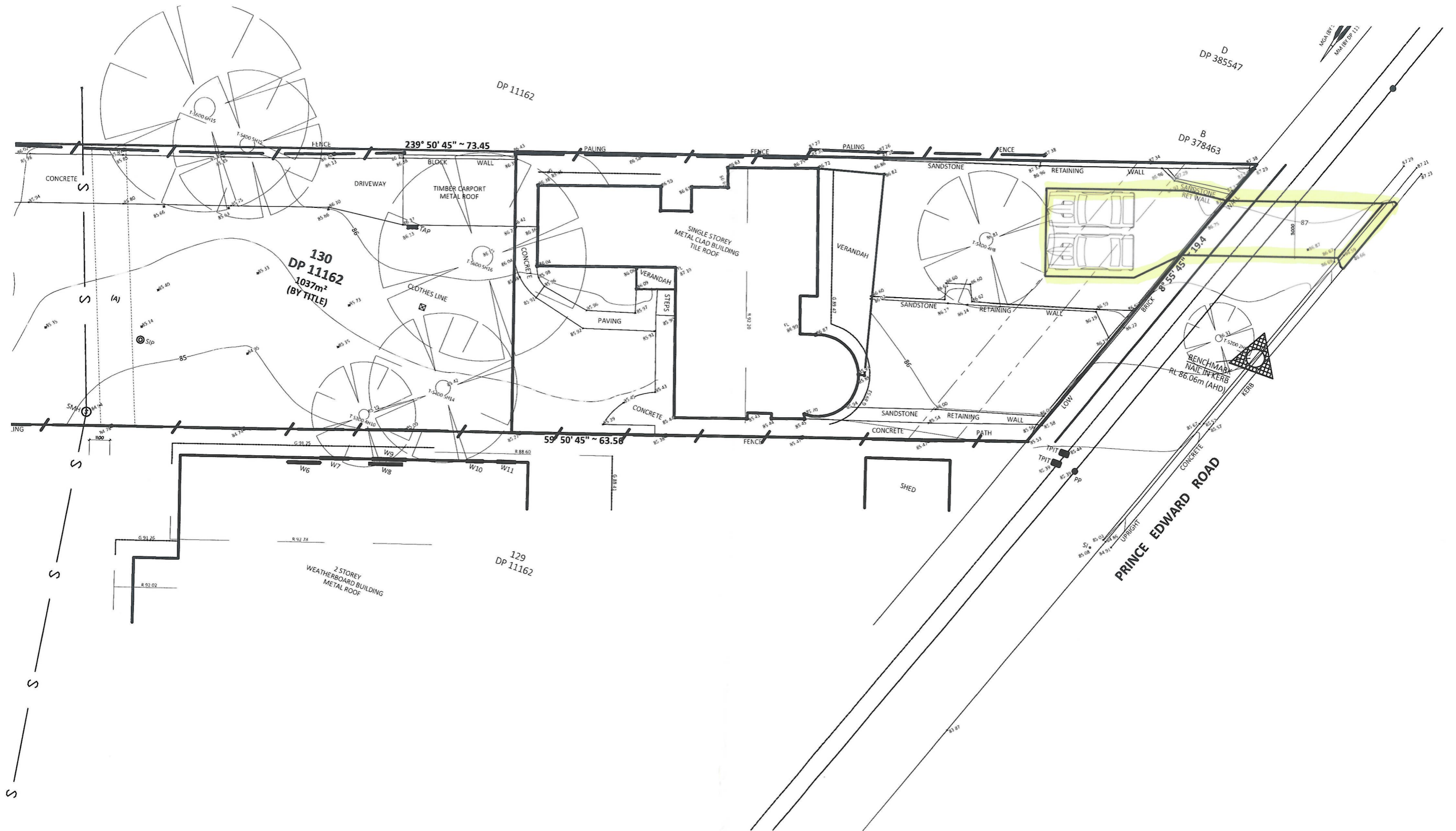


(A) - EASEMENT FOR DRAINAGE 1.83 WIDE (G793114)
(B) - PROPOSED EASEMENT TO DRAIN WATER 1 WIDE



CLIENT Shannon Deeran	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	<div><div><div>We make it easy. We make it happen.</div><div>02 9651 2921 info@surveyplus.com.au www.surveyplus.com.au</div></div></div>	DATE OF SURVEY	N / A	DRAWING TITLE CONCEPT SUBDIVISION PLAN CONCEPT SUBDIVISION OF LOT 130 DP 11162 No. 15 ALTO AVENUE, SEAFORTH	SCALE	1:100 @ A1
							ORIGIN OF LEVELS	N / A		REVISION	B
							ORIGIN OF COORDS	PM 365 (MGA)		SHEET	1 OF 2
							CONTOUR INTERVAL	N / A		REF	16123_SUB_1B
	B 14.03.2019	TREE DETAILS UPDATED	--	PK	PK						
	A 30.06.2017	INITIAL ISSUE	--	CE	PM						

**PROPOSED SUBDIVISION OF LOT 130 DP 11162
No.15 ALTO AVENUE, SEAFORTH**



DRIVEWAY CONCEPT PLAN (Proposed Lot 2 - eastern lot)

15 Alto Avenue, Seaforth
Lot 130 DP11162

Sheet 1
8 April, 2019