

- SEDIMENT CONTROL NOTES:
- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.
 - ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT
 - SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
 - ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 - SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 - FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

- NOTES:
- FULL CIVIL PLANS DETAILS WILL BE PROVIDED AT C.C. STAGE.
 - FULL LANDSCAPE DETAILS WILL BE PROVIDED AT C.C. STAGE.
 - FINAL SETBACKS, ROOM SIZES, FLOOR AREA & SITE DATA TO VERIFIED AT C.C. STAGE.
 - ALL DWELLINGS WITH INTERNAL BATHROOMS & L'DRYS TO BE PROVIDED WITH MECHANICAL VENTILATION. FULL DETAILS AT C.C. STAGE.
 - MIN 300MM FROM FFL OF DWELLINGS TO FGL UNLESS NOTED OTHERWISE.
 - GARBAGE & RECYCLE BINS TO BE STORED IN REAR COURTYARDS AND PLACED OUT FOR COLLECTION ON KERB & GUTTER ON COLLECTION NIGHT ONLY

SITE CALCULATIONS (LOT A) SITE AREA = 398.5SQM		
PRIVATE OPEN SPACE	REQUIRED 80SQM	PROVIDED 104.65SQM
LANDSCAPED AREA	REQUIRED 50% OR 199.25SQM	PROVIDED 201.2SQM OR 50.5%
FLOOR SPACE RATIO	REQUIRED 40% OR 159.45SQM	PROVIDED 157.2SQM OR 39.4%
FIRST FLOOR SITE COVERAGE	REQUIRED 50% OR 81SQM	PROVIDED 80.8SQM OR 49.9%

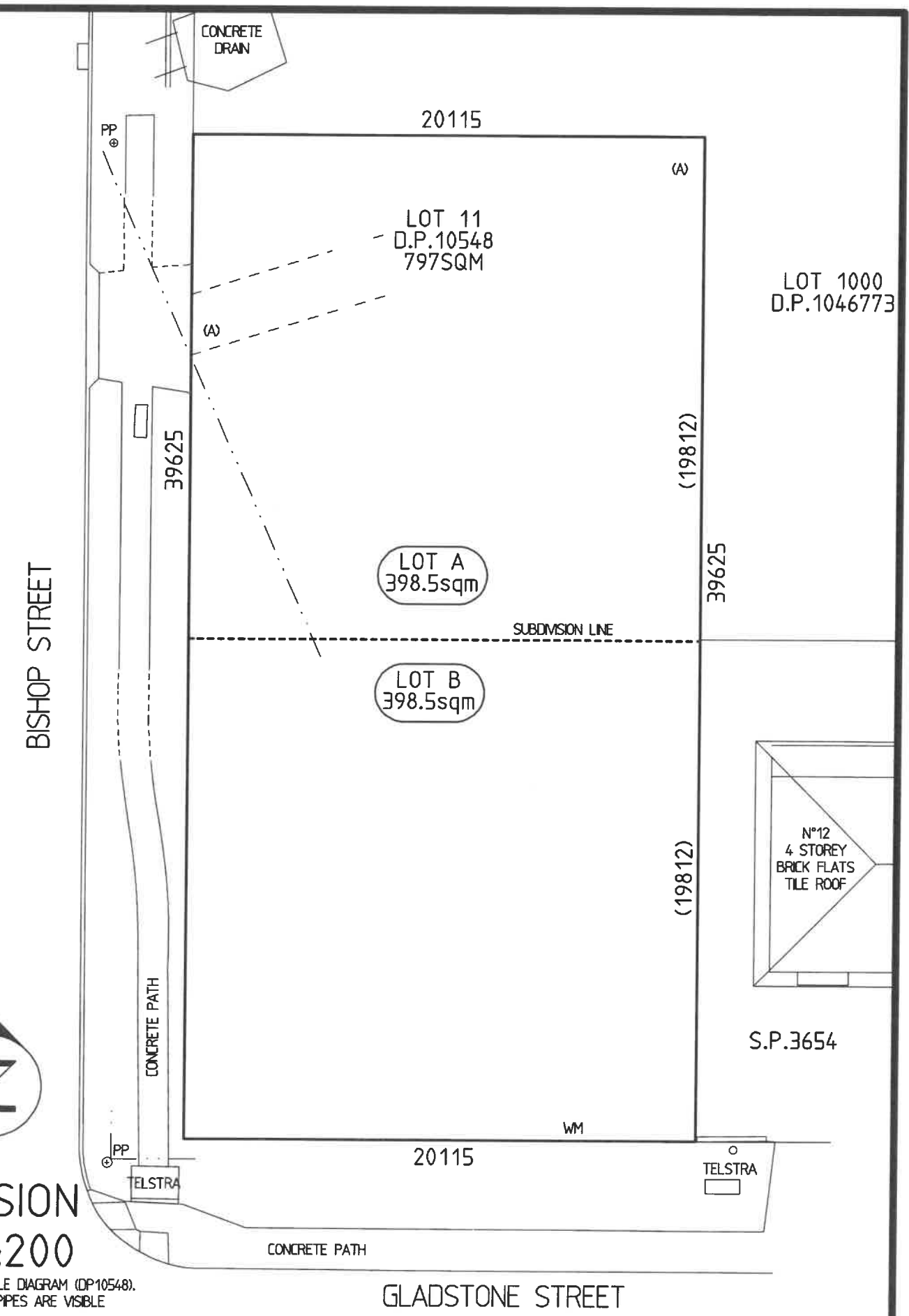
SITE CALCULATIONS (LOT B) SITE AREA = 398.5SQM		
PRIVATE OPEN SPACE	REQUIRED 80SQM	PROVIDED 98.8SQM
LANDSCAPED AREA	REQUIRED 50% OR 199.25SQM	PROVIDED 207.7SQM OR 52.1%
FLOOR SPACE RATIO	REQUIRED 40% OR 159.45SQM	PROVIDED 153.9SQM OR 38.7%
FIRST FLOOR SITE COVERAGE	REQUIRED 50% OR 78.8SQM	PROVIDED 78.8SQM OR 50%

LOT A GROUND FLOOR AREAS	
OVERALL FLOOR AREA	161.9SQM OR 17.4SQS
GROUND FLOOR AREA	94.8SQM
GARAGE FLOOR AREA	38.3SQM
PORCH FLOOR AREA	13.7SQM
ALFRESCO AREA	15.1SQM

LOT A FIRST FLOOR AREA	
FIRST FLOOR AREA	85.1SQM OR 9.2SQS


LOT B GROUND FLOOR AREAS	
OVERALL FLOOR AREA	147.1SQM OR 15.8SQS
GROUND FLOOR AREA	90.6SQM
GARAGE FLOOR AREA	35.8SQM
PORCH FLOOR AREA	7.7SQM
ALFRESCO AREA	13SQM

LOT B FIRST FLOOR AREA	
FIRST FLOOR AREA	78.8SQM OR 8.5SQS



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FOR	MR FIEDLER	PAGE SIZE	A3	DWG NO.	J1317	PAGE NO.	1 OF 13	ISSUE	DATE	REVISION	DRAWN
AT	LOT 11, N14 GLADSTONE STREET, NEWPORT	DP NO.	10548					A	18-10-19	DA PLANS	RK
								B	19-11-19	AMEND PLANS	IZ

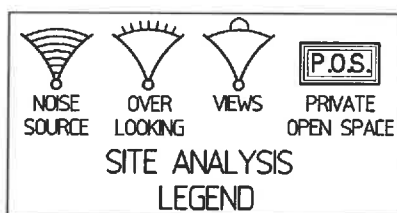


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SITE ANALYSIS & SITE PLAN 1:200

(A) CREEK SHOWN ON TITLE DIAGRAM (DP10548).
NO CREEK OR PIPES ARE VISIBLE

- DENOTES EXISTING TREE'S TO REMAIN
- DENOTES EXISTING TREE'S TO BE REMOVED
- DENOTES RETAINING TO ENG'S DETAILS
- DENOTES SILT FENCE BARRIER
- DENOTES DROPPED EDGE BEAM
- DENOTES LINE OF BATTER TO CUT OR FILL



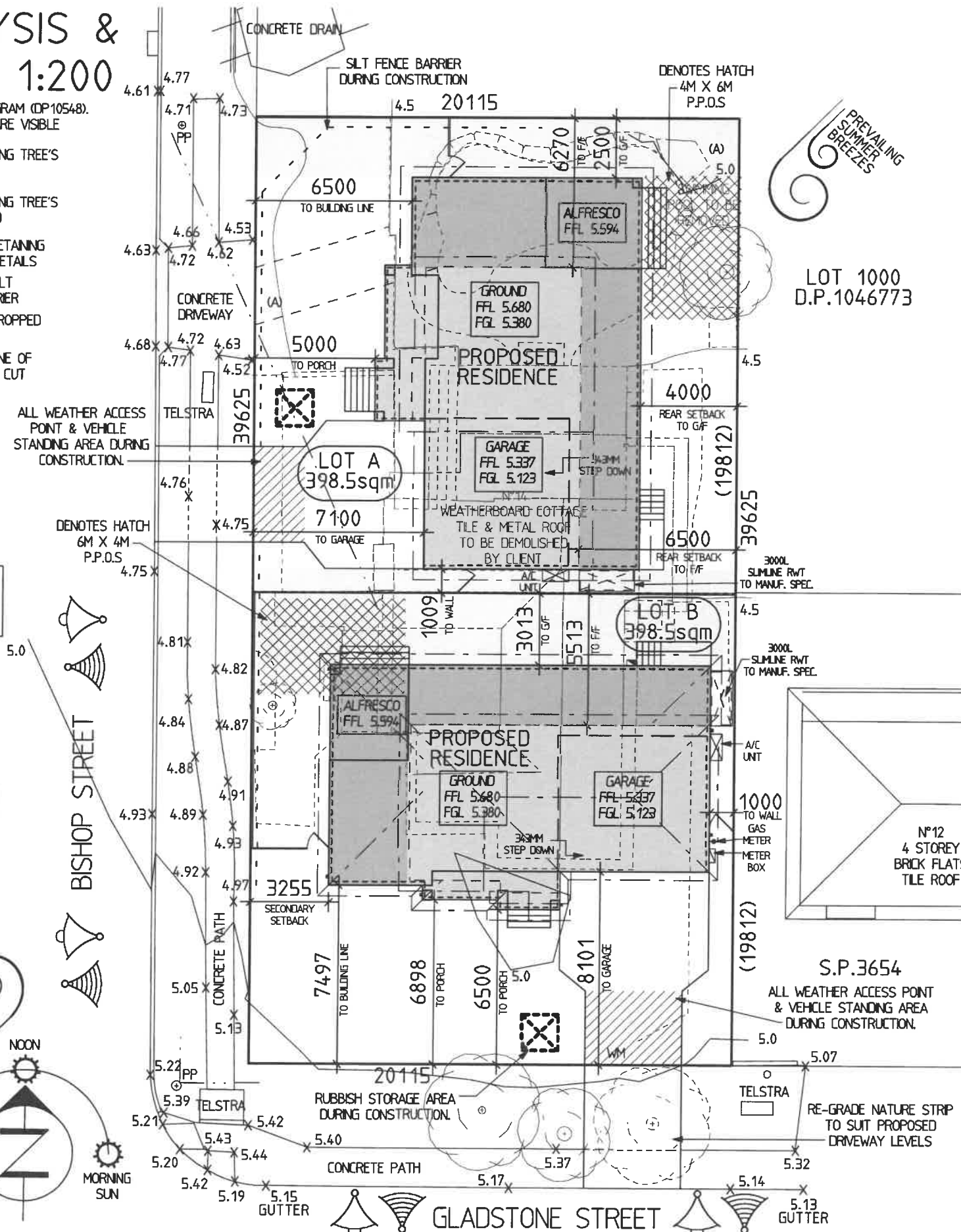
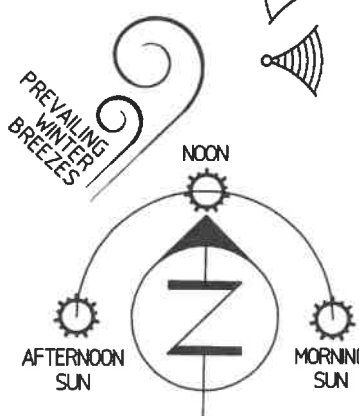
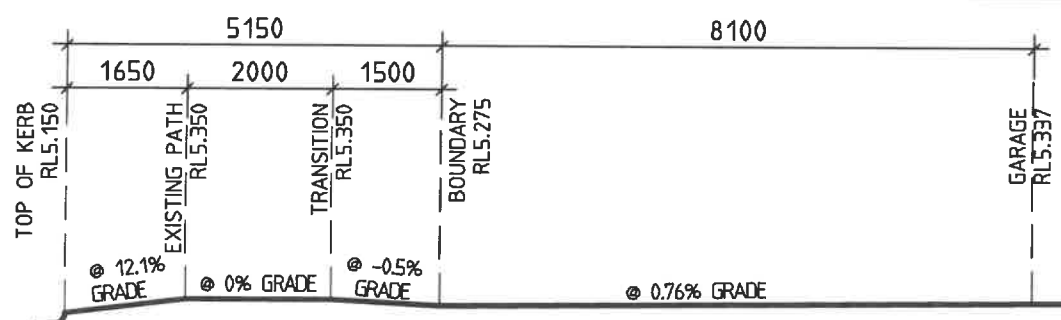
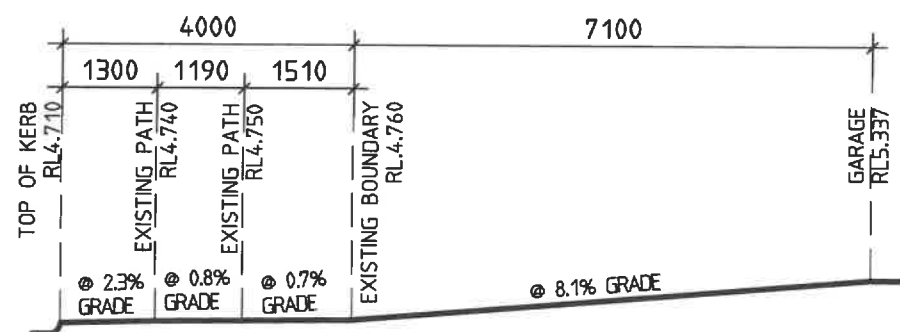
FENCING MUST BE PALING FENCING ONLY AND MUST HAVE A CLEAR 50MM GAP BETWEEN THE VERTICAL PALINGS AND NO FILLING WORK IS PERMITTED IN THIS SITE AREA

ALL FINISHED GROUND LEVELS OUTSIDE OF BLOCKAGE BUILDING FOOTPRINT ARE TO BE NO HIGHER THAN EXISTING NATURAL GROUND LEVELS ON SITE

NO RETAINING WALLS ALLOWED TO BE BUILT ON THE PROPOSED DEVELOPMENT

REFER TO HYDRAULICS ENGINEERS PLAN PREPARED BY DONOVAN ASSOCIATES DRAWING No.E299793 FOR FULL DETAILS. SITE PLAN TO BE CROSSED REFERENCED WITH HYDRAULIC PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

- AREA TO BE 100MM SCRAPED
- DENOTES BLOCKED SUB-FLOOR AREA
- DENOTES OPEN SUB-FLOOR AREA



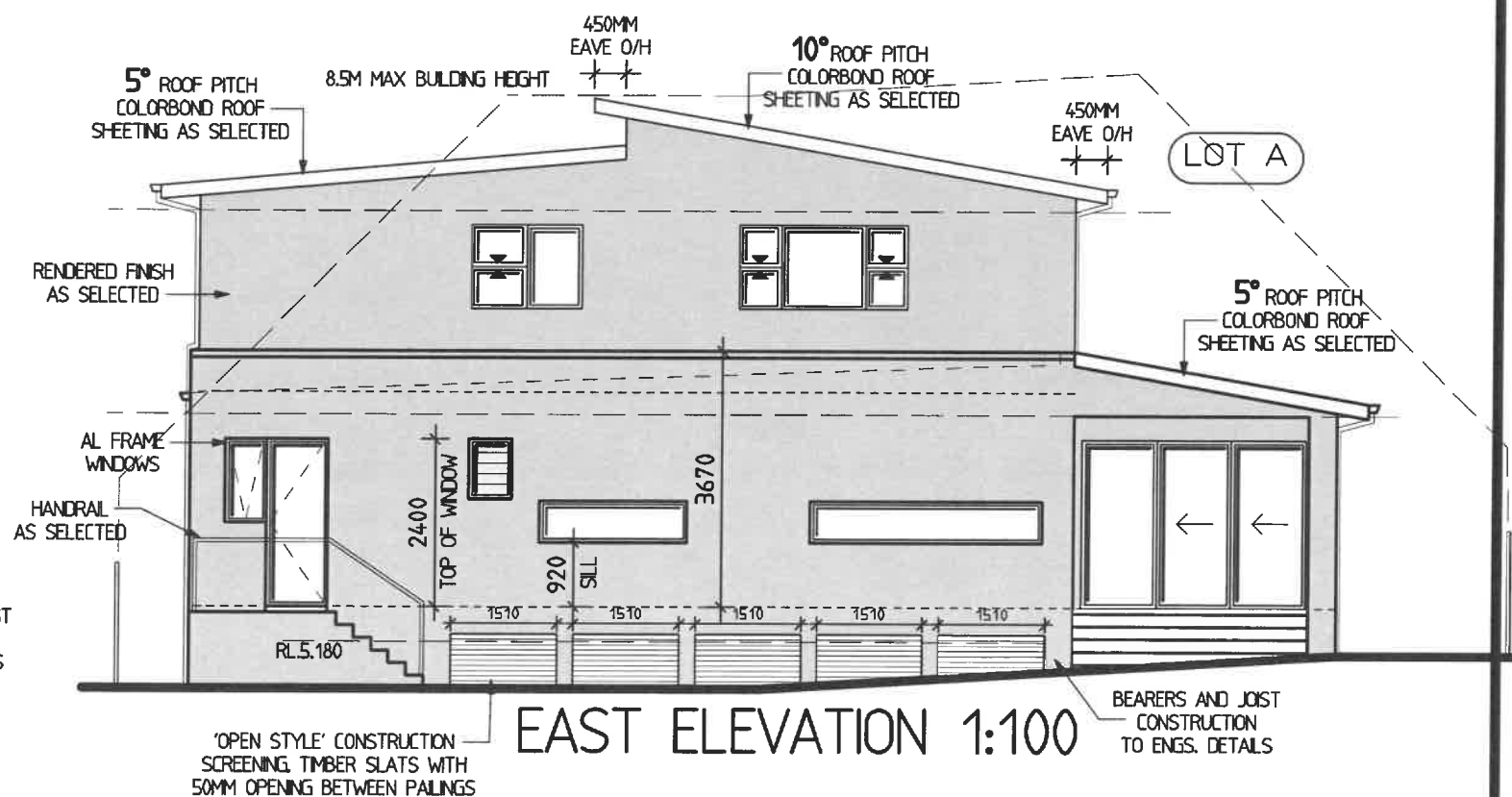
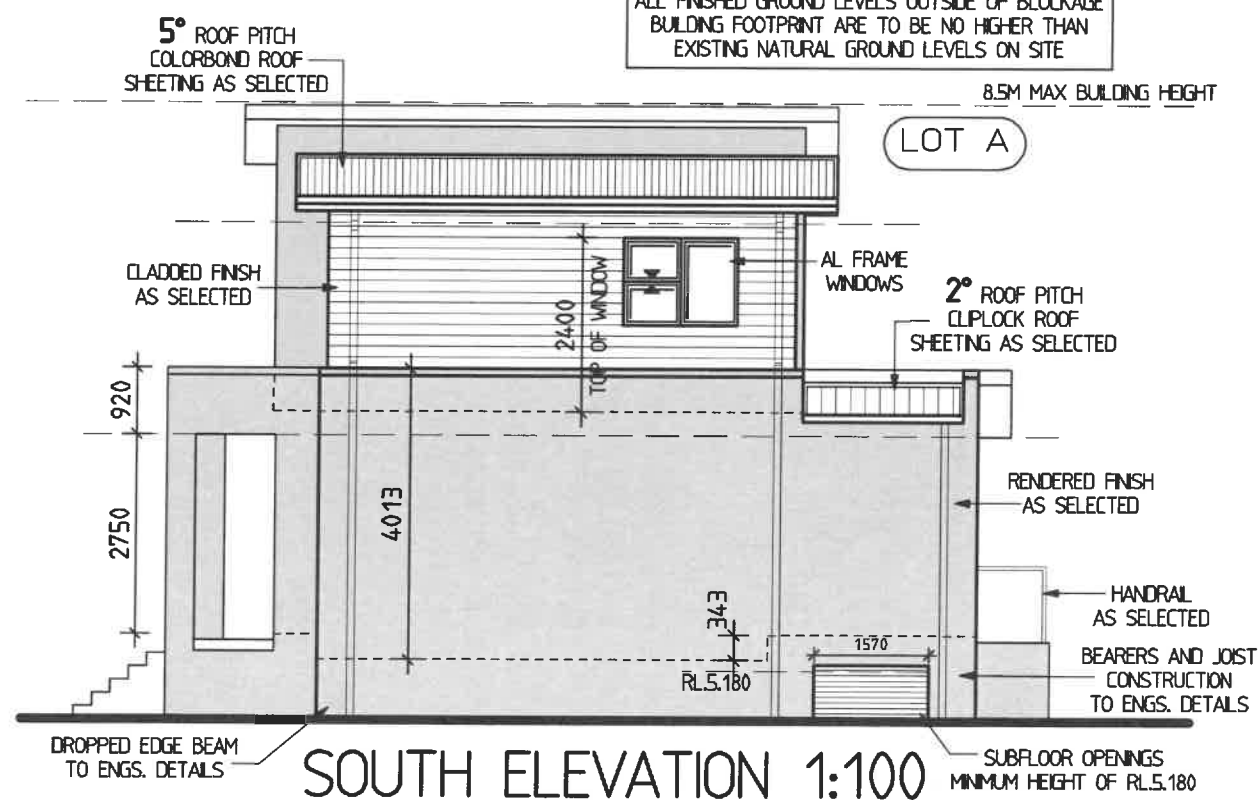
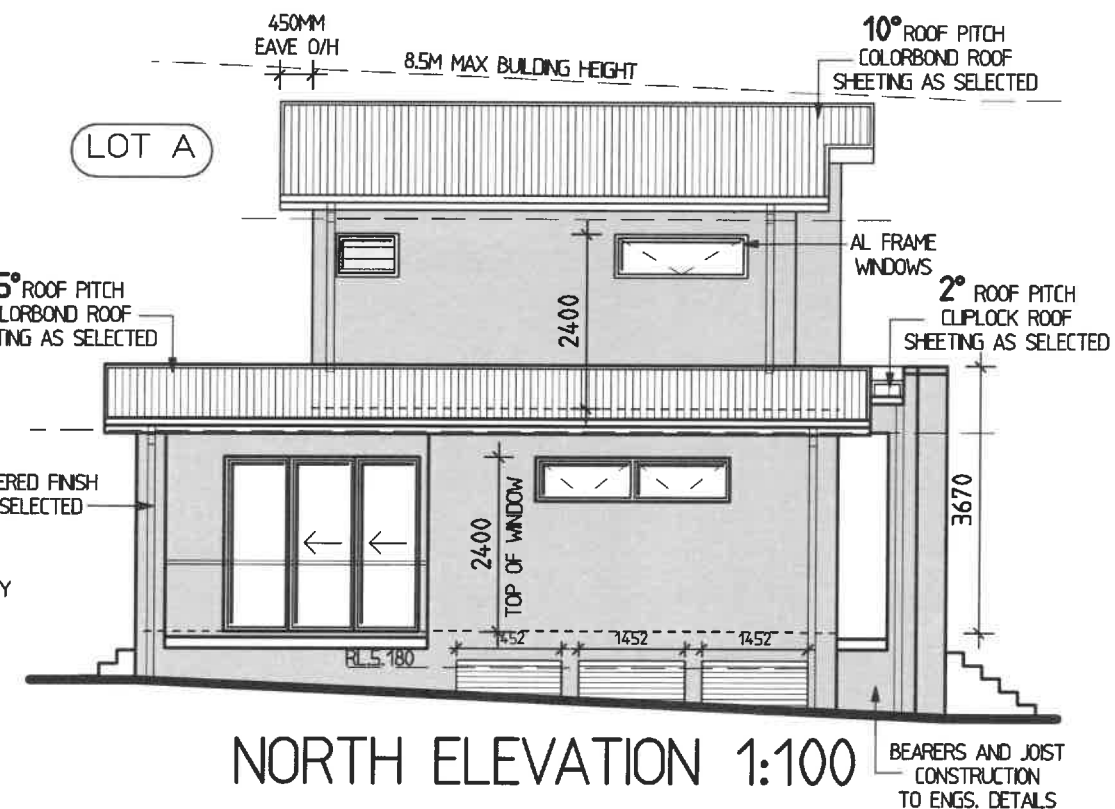
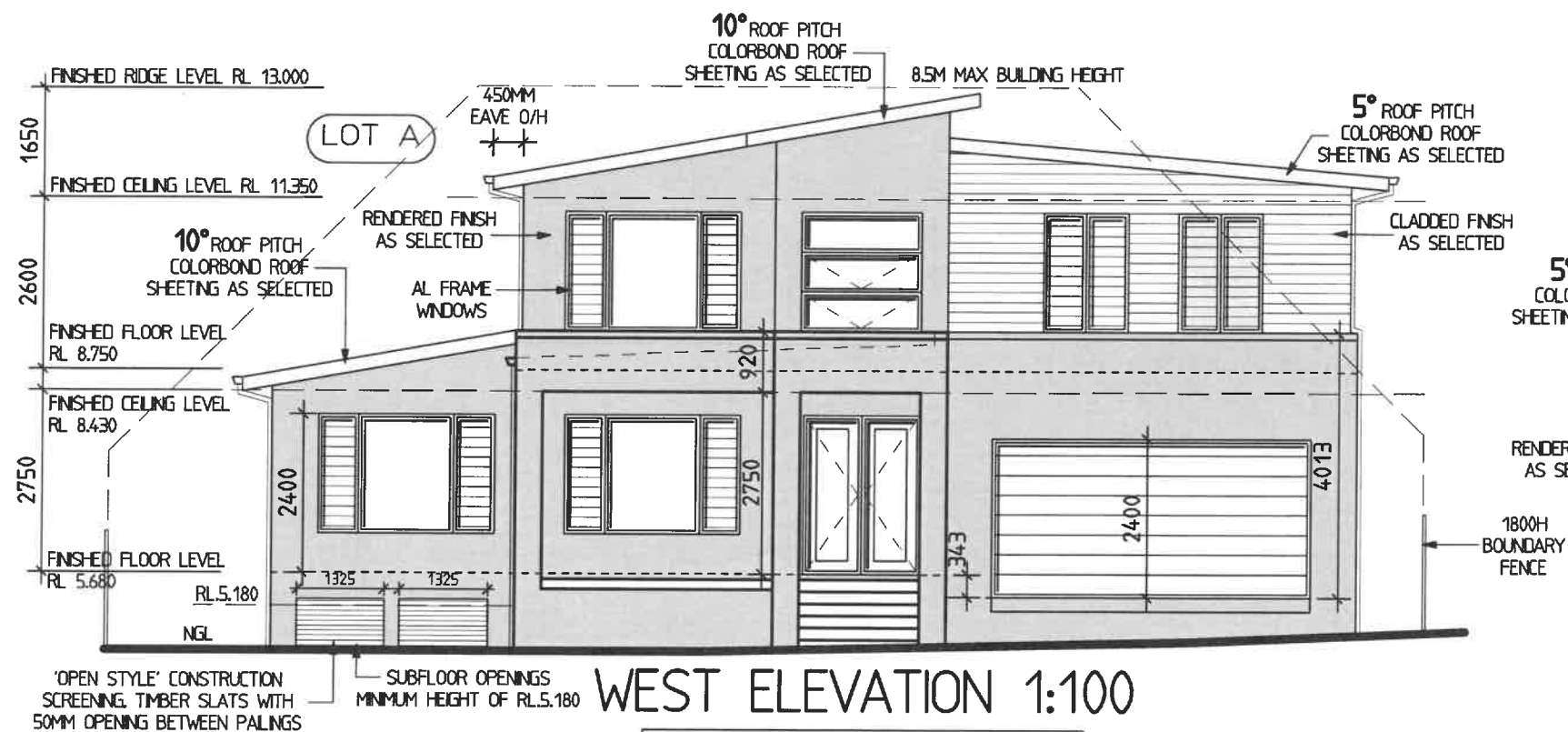
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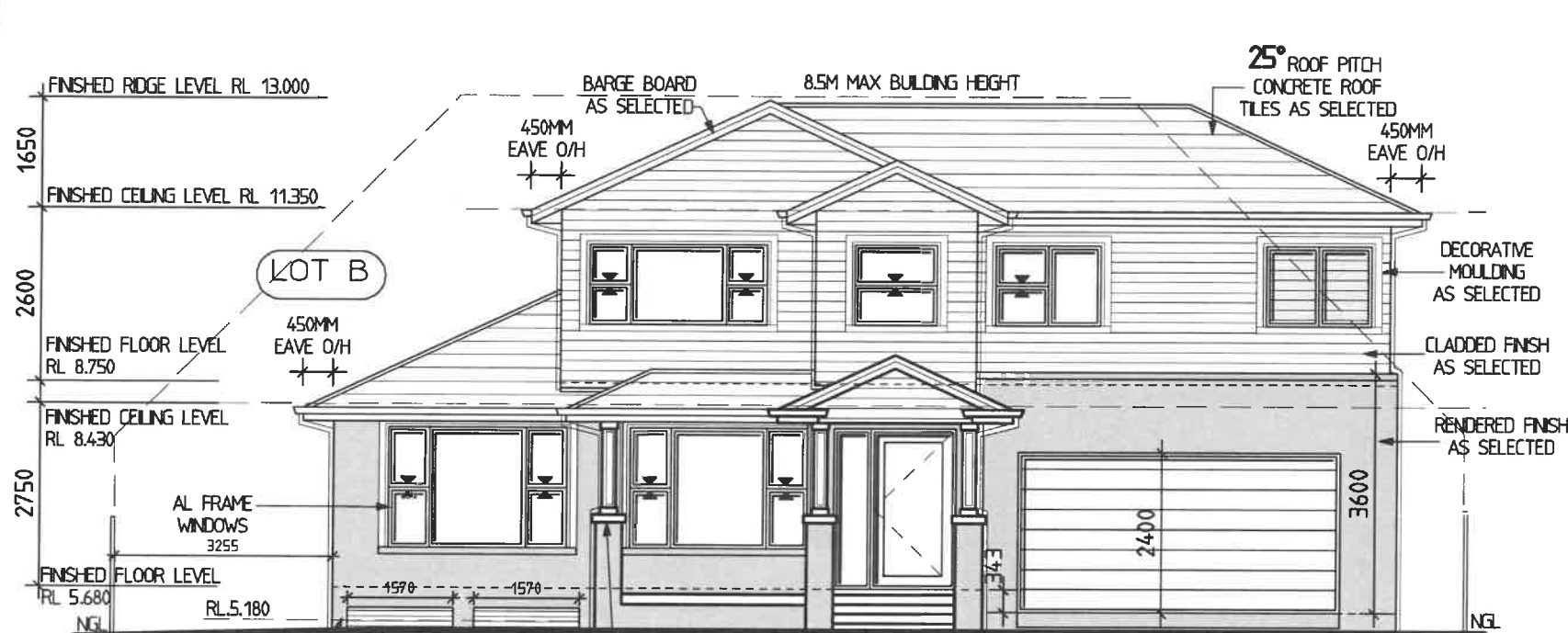
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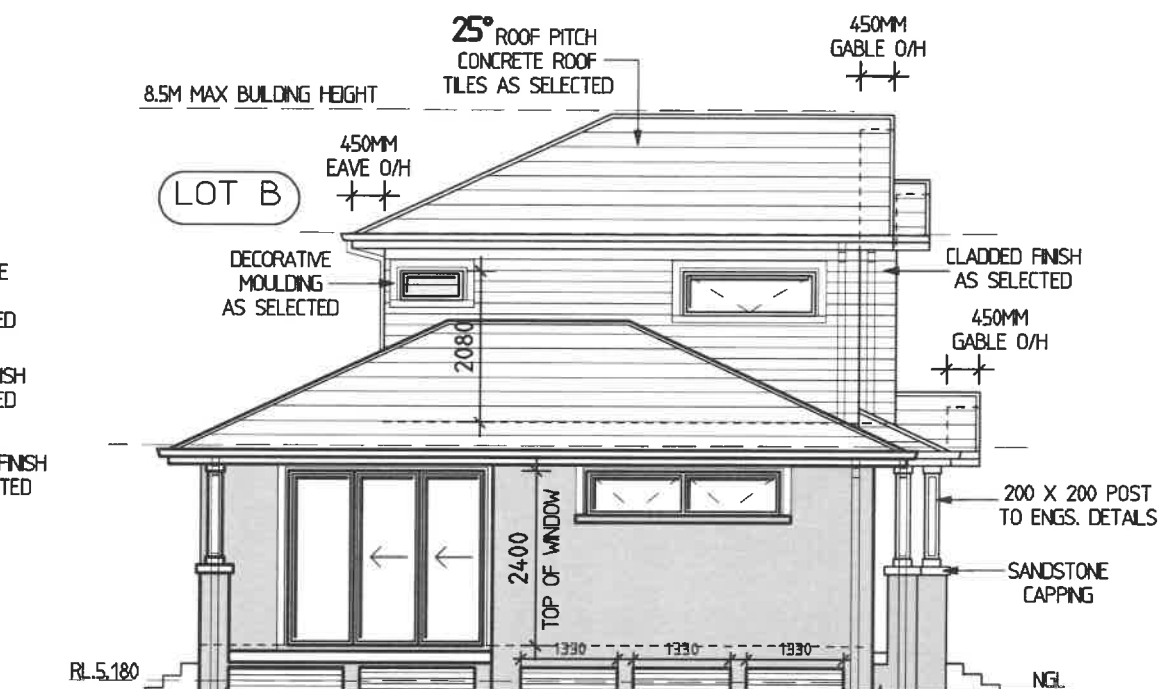


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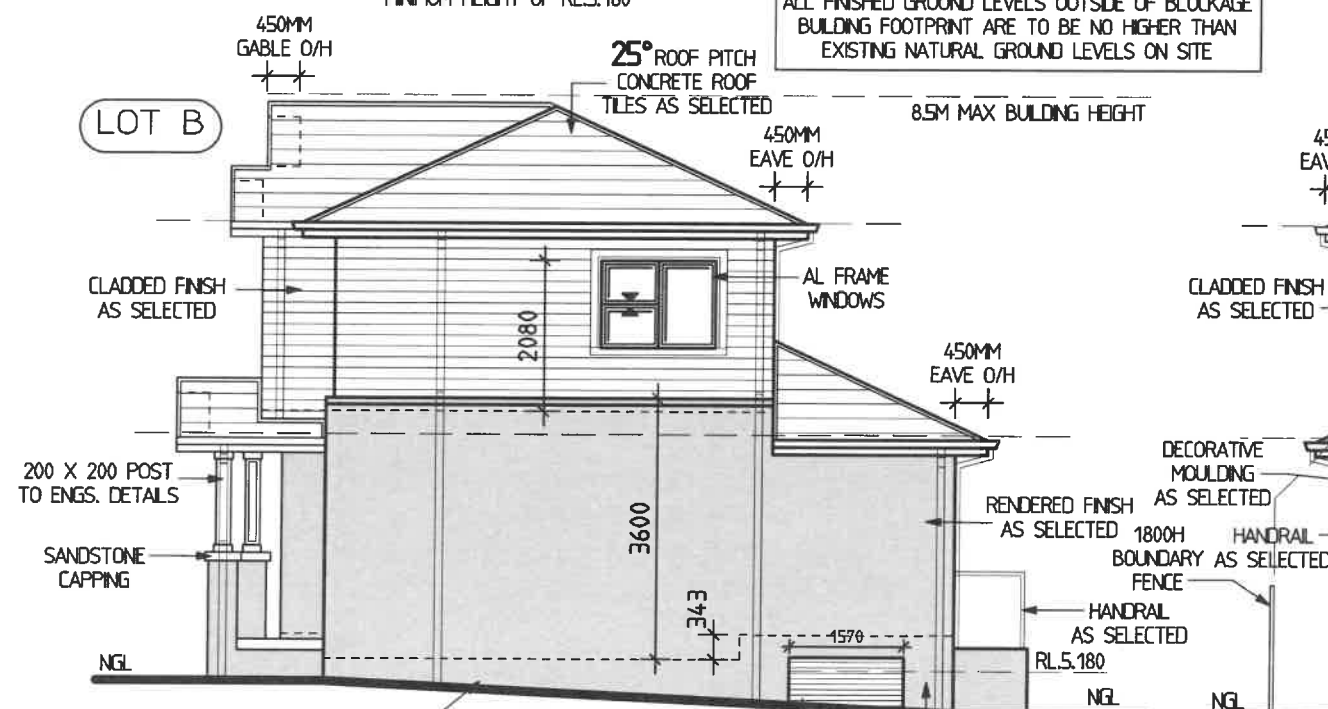
SOUTH ELEVATION 1:100
GLADSTONE STREET

ALL FINISHED GROUND LEVELS OUTSIDE OF BLOCKAGE BUILDING FOOTPRINT ARE TO BE NO HIGHER THAN EXISTING NATURAL GROUND LEVELS ON SITE

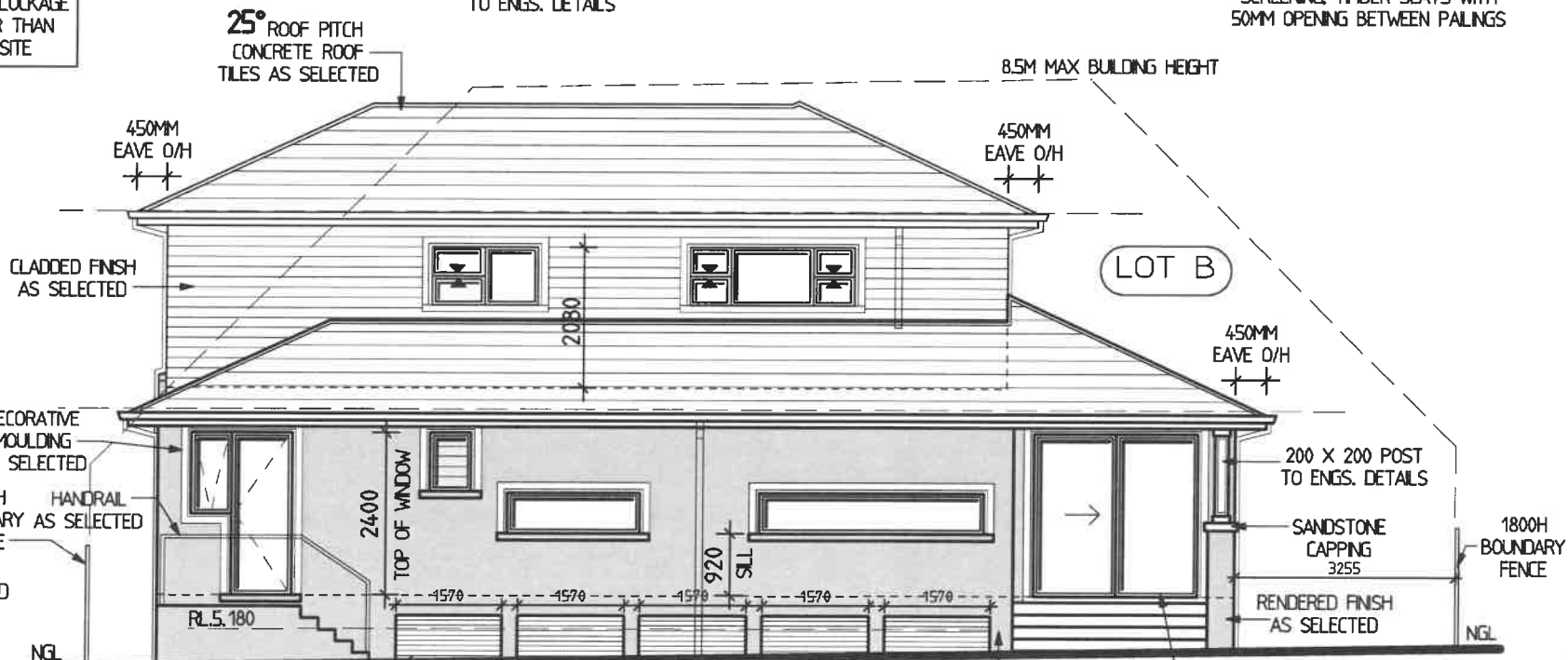


WEST ELEVATION 1:100

'OPEN STYLE' CONSTRUCTION SCREENING, TIMBER SLATS WITH 50MM OPENING BETWEEN PALINGS



EAST ELEVATION 1:100



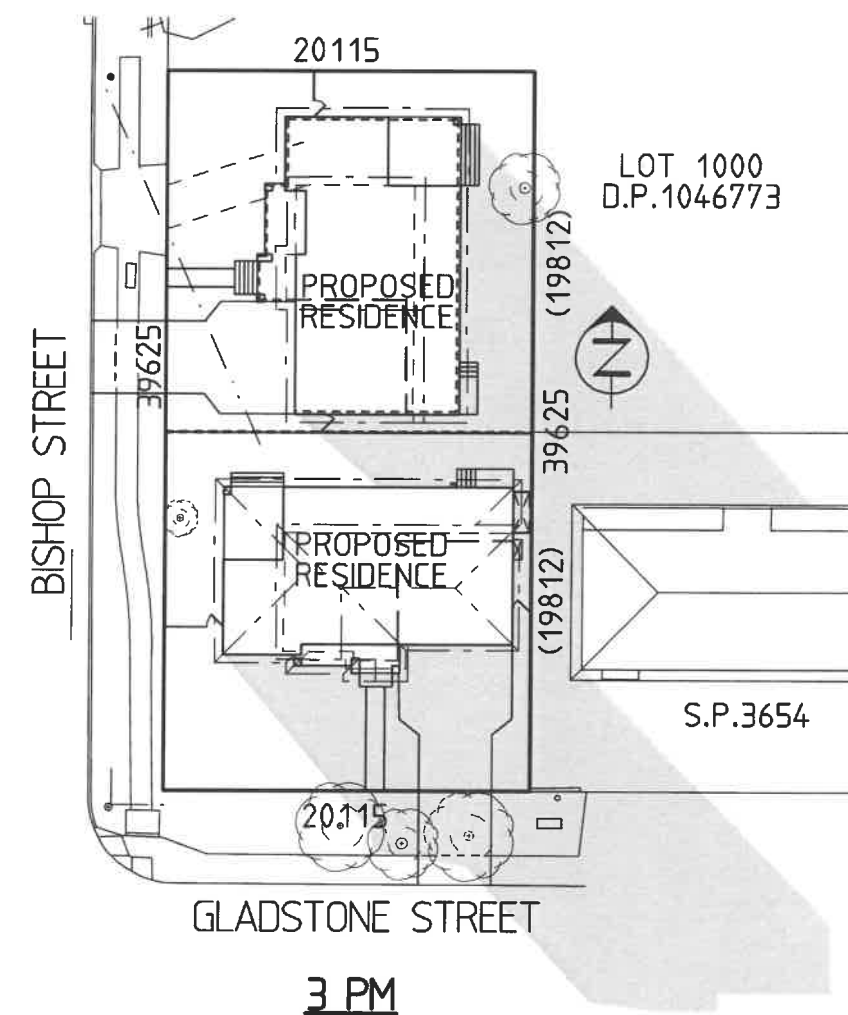
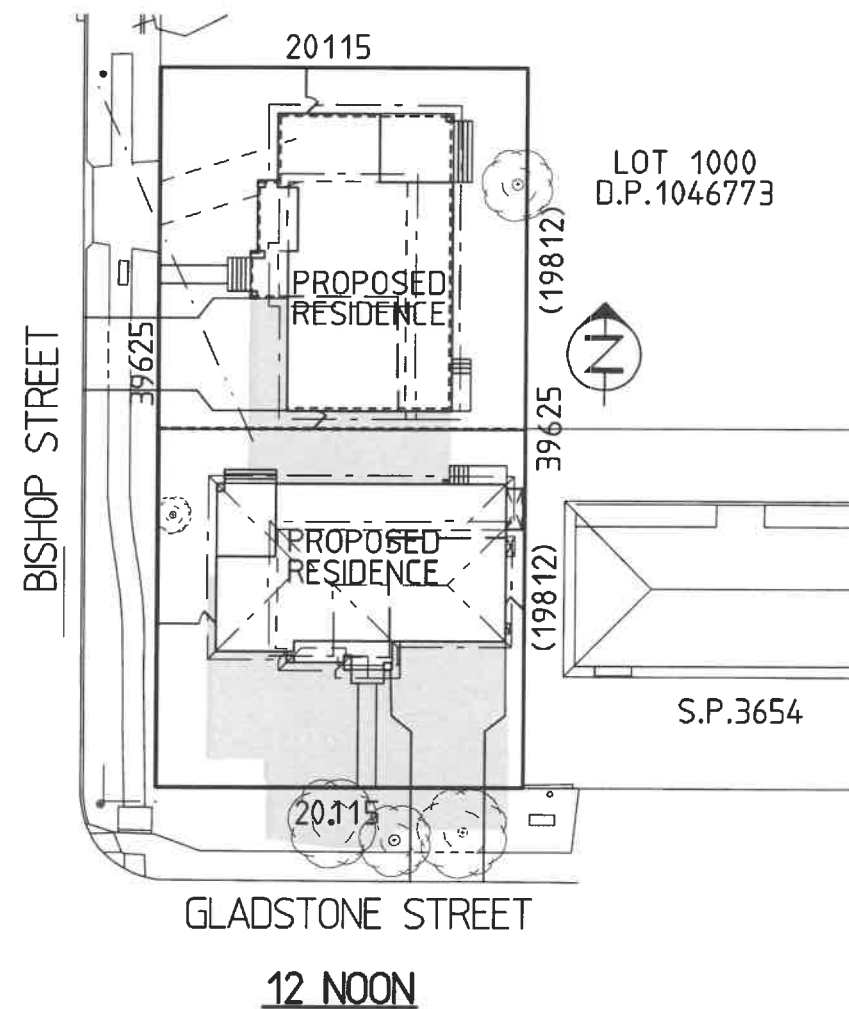
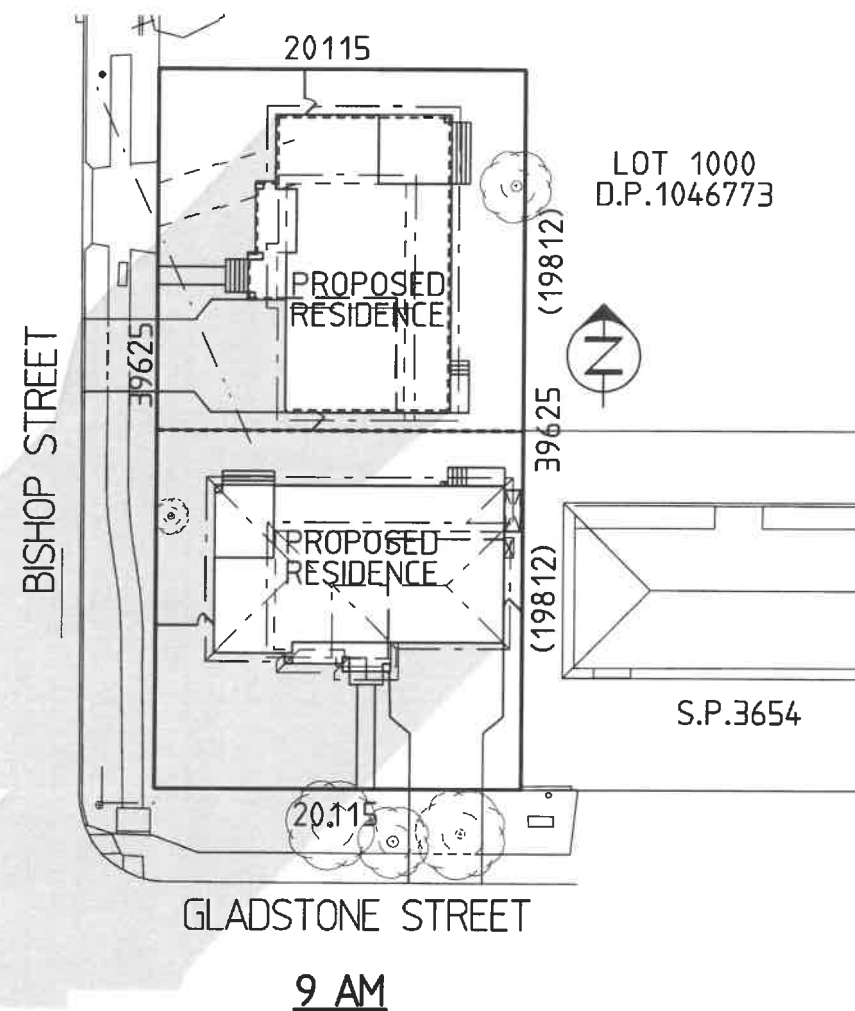
NORTH ELEVATION 1:100

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SHADOW DIAGRAMS JUNE 21ST MID-WINTER 1:400

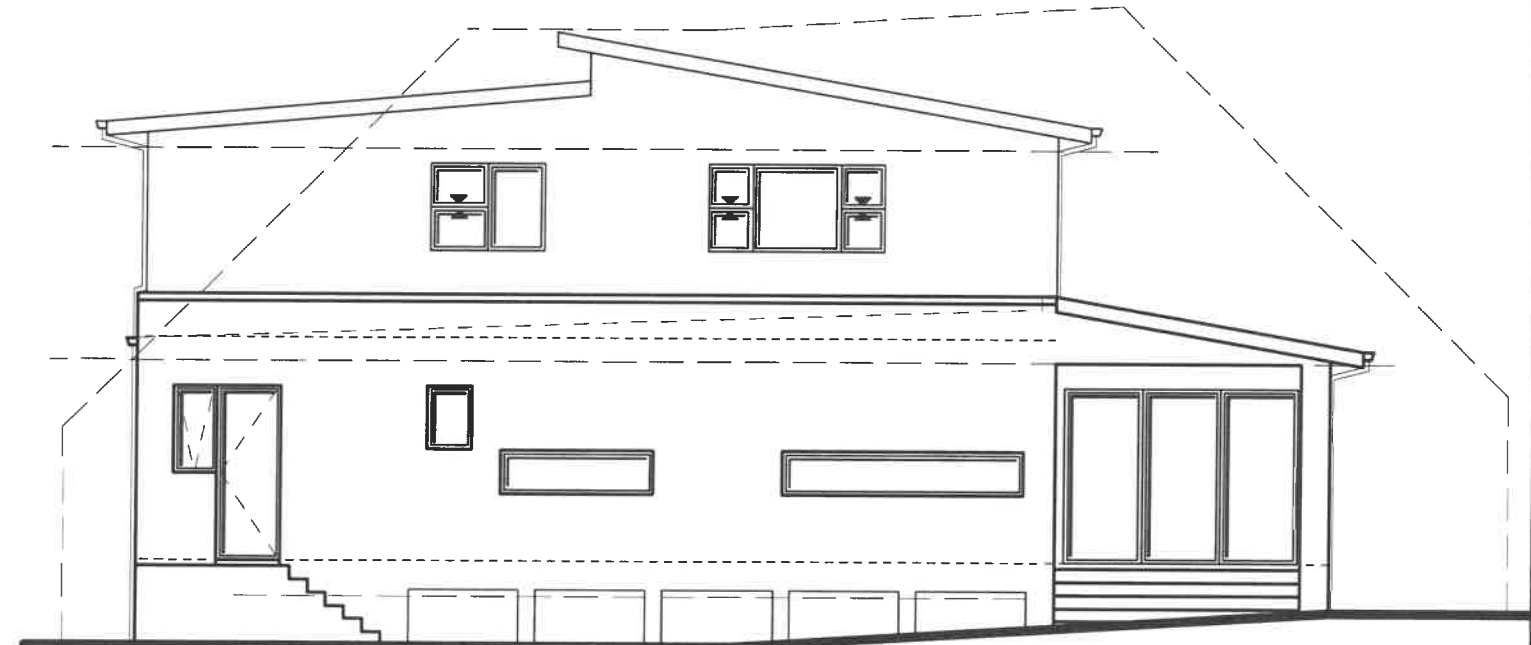
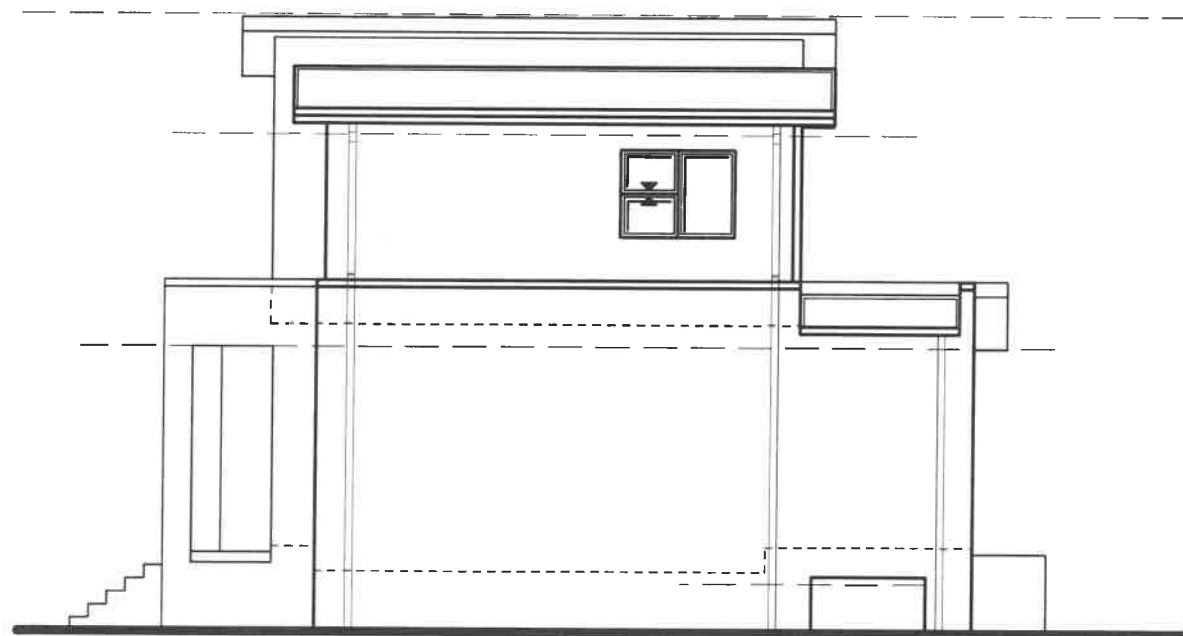
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS

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AT LOT 11, N14 GLADSTONE STREET, NEWPORT			DP NO. 10548	B	19-11-19	AMEND PLANS	IZ



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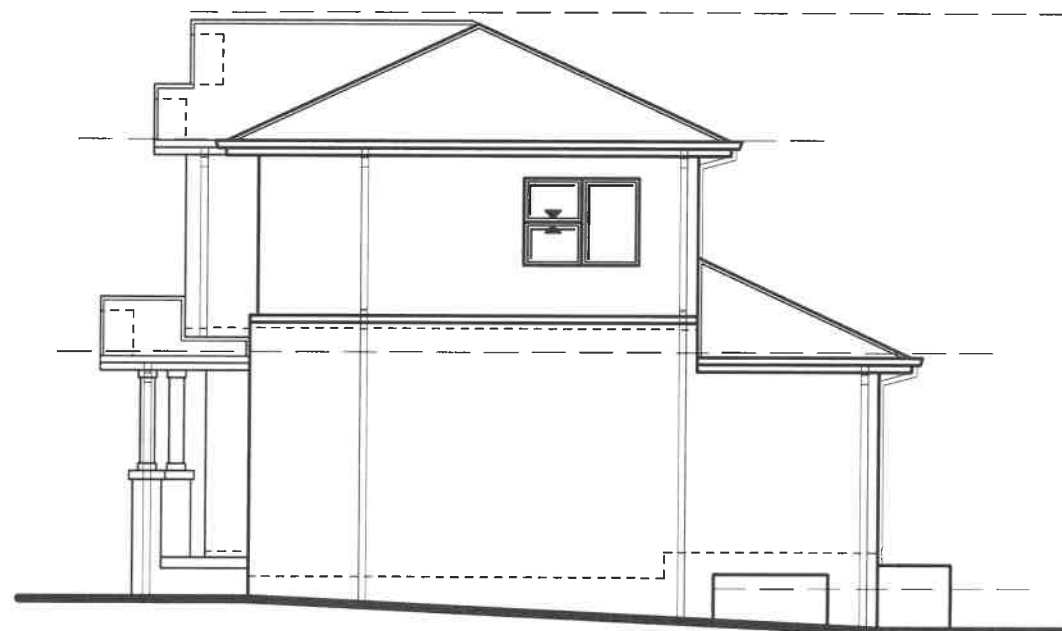
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MATERIALS AND FINISHES SELECTION

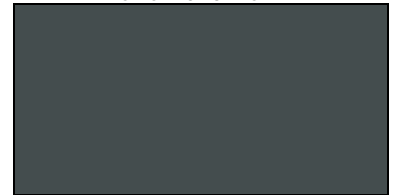
Tel. 0414 418 695

P.O.Box 134 –Broadway 2007 NSW

Date: 04/04/19	Ref: NEWFIED
Client: MR PETER FIEDLER	Builder: NEWPORT HOMES
Building Address: LOT 11, NO 14, GLADSTONE STREET, NEWPORT	
NOTE: This is Unit A, being 1 of 2 homes on this lot	

BRICKS-MANUFACTURER: N/A HEBEL TO BE RENDERED
FINISH: PAINT FINISH
COLOUR Main: TAUBMANS – BLACK FOREST T10 49L-2

FOR OFFICE USE ONLY



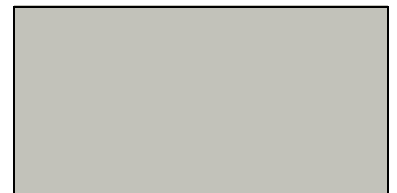
Are exposure grade bricks/mortar required?

YES

MORTAR COLOUR:
FINISH:

N/A

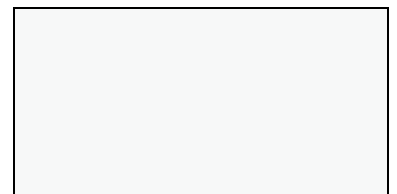
FEATURE: CLADDING
FINISH: PAINT FINISH
COLOUR: TAUBMANS – GREY GRANITE T08 168-2



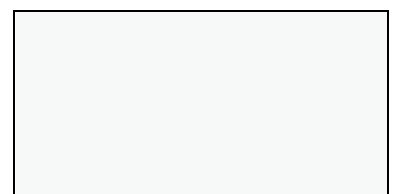
ROOFING:
PROFILE: STD ORB
COLOUR: COLORBOND – SHALE GREY



GARAGE DOOR TYPE: DYNAMIC DOORS
COLOUR: PERISHER WHITE
PROFILE: SLIMLINE



WINDOW FRAMES: WIDELINE WINDOWS
COLOUR: PEARL WHITE



GUTTERING:**COLOUR – ACE GUTTERS - DURKOTE WHITE**

FASCIA:**COLOUR – ACE GUTTERS - DURKOTE WHITE**

DOWN PIPES AND WATER TANK: PVC TO BE PAINTED**COLOUR – TAUBMANS – BLACK FOREST T10 49L-2**

DRIVEWAYS:**TYPE****COLOUR**

N/A

FENCING:**TYPE****COLOUR****Others:**

N/A

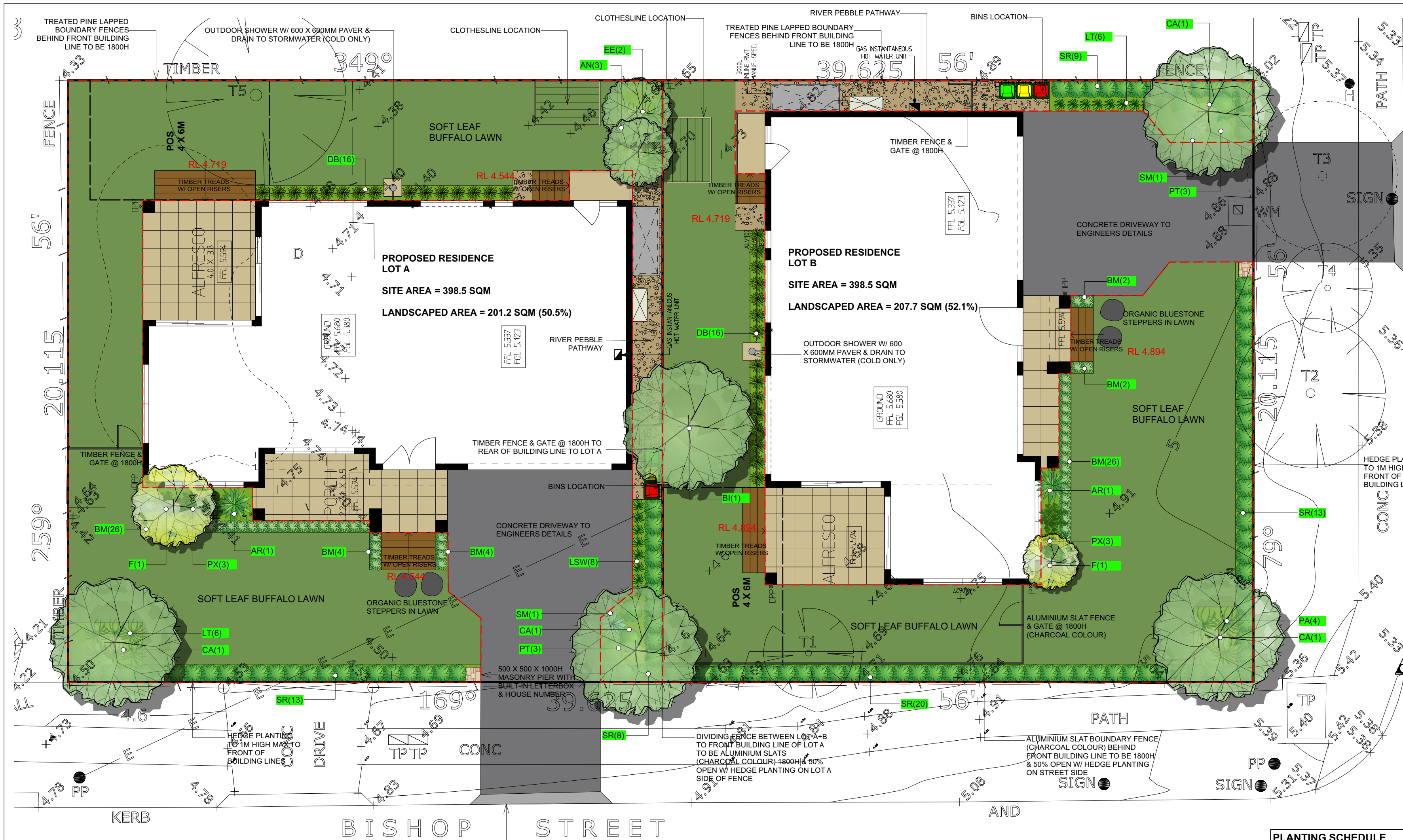
RETAINING WALLS:**TYPE****COLOUR**

N/A

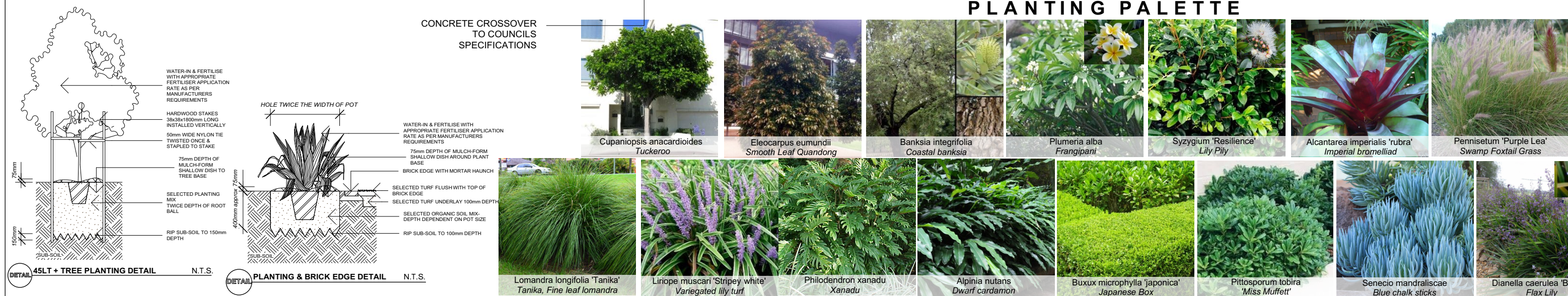
Owners Signature

Date _____

COUNCIL STAMP



- ### GENERAL SOFTWARE NOTES
- #### GARDEN EDGING
- Garden edging to be brick paver, steel or timber as specified
 - Brick edging to be laid on a sand/cement mortar bed and haunched around the edges.
 - Bricks to be laid length-ways unless otherwise specified
 - Steel to be 5 x 75mm w/ rods welded in-situ every 1.2m
 - Timber to be treated pine w/ hardwood pegs screwed every 1.2m
- #### LAWN
- Grade areas of lawn removing large stones, rocks & sticks
 - Install drainage lines as required and grade lawn toward stormwater pits
 - Spread out a high quality turf underlay mix to a thickness of 150mm
 - Screen soil to the desired levels & grades
 - Roll out selected turf in stretcher bond pattern ensuring no gaps between rolls.
 - Water well after installation
- #### SOIL
- All soils to be weed free & sterilised.
 - All lawn areas to be excavated to a depth of 150mm and filled with new turf underlay.
 - Base of excavation to allow for drainage fall to drainage points.
 - Garden beds to be excavated to a depth of 400mm.
 - Organic garden mix to be imported into new garden beds
 - If clay sub-base is uncovered, gypsum is to be added & cultivated into bed of clay.
 - All pots to be filled with high quality fertilised 'Debco' potting mix with filter fabric to base.
- #### CONCRETE CROSSOVER TO COUNCILS SPECIFICATIONS
- #### PLANTING
- All plants and trees to be planted as per planting plan. Refer to shrub & tree planting details.
 - Excavate holes for plants twice the size of the plants root ball
 - Ensure to remove tags and pots from plants prior to installation, all rubbish to be disposed of.
 - Trees to be staked and tied as required (refer to tree detail if required)
 - Water plants before and after planting
 - All plants especially trees are to have a small well around base to allow for watering.
 - Plant material showing poor signs of health, poor root to shoot ratio and any signs of pest & diseases or weed infestation should be rejected
 - Once plants have been delivered it is the contractors responsibility to water plants and maintain their health.
 - Any plants that die due to lack of water or neglect are to be replaced by the contractor at their expense.
 - Fertilise all plants after planting with slow release Osmocote fertiliser to manufacturers guidelines.
 - Irrigation system is to be fully operational prior to planting.
- #### MULCHING
- Install selected mulch to a depth between 50-75mm to all garden beds.
 - Keep mulch free from touching the stem of the plant / tree.
 - Selected mulch to finish 15mm below finished paving or lawn level.
 - Mulch & garden material is to be kept clear of house slab due to Termguard requirements
- #### IRRIGATION
- Irrigation system is to be fully automated, connected to 240 volt wall mounted irrigation controller.
 - Contractor is to install a sub-surface drip irrigation system to the entire garden including planter boxes.
 - Irrigation system is to be designed by a qualified irrigation specialist.
 - Landscape contractor is to provide all necessary information to irrigation designer such as mains water & tap locations.
 - All plants to receive even moisture coverage, allow appropriate overlap.
 - All solenoid boxes to be hidden at back of garden beds.
 - Install pressure reduction valve, flush valve & air relief valve.
 - Irrigation to be installed by qualified tradesperson
 - Irrigation system to be fully operational prior to planting and run as per installers recommendations.
 - Landscape contractor is to liaise with garden maintenance contractor in programming the irrigation system.
- #### DRAINAGE NOTES
- Drainage design by Hydraulic Engineer / Stormwater Consultant
 - Install pits where required & connect to stormwater system (to engineers details)
 - Install 100mm 'SOCKED' agricultural line behind all walls to link with stormwater
 - Waterproof behind all retaining walls & masonry planter boxes
 - Fall turf areas to pits, pits to drain to existing stormwater
 - Ensure paved areas are free draining
 - Ensure adequate drainage to all garden beds and lawn areas.
 - Encase in 300x300mm of blue metal and cover with filter cloth.
 - Agricultural pipes to drain to junction pits.
- #### EXISTING TREE PROTECTION MEASURES
- Ensure the protection of all existing trees to be retained, indicated on the plan, from any damage during construction works.
 - Take necessary precautions, including the following:
 - Mark trees & shrubs to be retained using non-injurious, easily visible and removable means of identification.
 - Prior to commencement of any construction works, install protective fencing. Maintain in place and in good order for the duration of the construction period. The protection fencing is to consist of 4 strands of fencing wire, or plastic mesh barrier, supported on star pickets spaced at not more than 4m. Installed 1m outside the dripline of existing trees to be retained.
 - Use timber boarding to protect base of trees, where there is insufficient room protective fencing.
 - Storage/stockpiling of materials, soil or any debris shall not be carried out within the drip line of existing trees.
 - Rectify immediately any damage to or destruction of any existing trees.
 - Where excavation is necessary within the drip line of trees, hand methods shall be used to preserve root systems intact and minimise damage.
 - Where it is necessary to cut tree roots, use a hand saw as to not disturb the remaining root system.
- #### PLANT ESTABLISHMENT/ MAINTENANCE PERIOD
- Regular maintenance is to be carried out, including the following works:
 - Watering- to maintain healthy growth, adjusted on regular basis to suit seasonal conditions
 - Weeding to all garden and lawn areas
 - Pest and disease control
 - Trim hedge plantings to maintain desired heights
 - Tip pruning as required and fertilising to species recommendations
 - Mowing and edging of all turfed areas



PLANTING SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (m)	POT SIZE (mm)	QTY
TREES					
F	Plumeria acutifolia	Frangipani	4	45Lt	2
EE	Eleocharpus eumundii	Quandong	6	45Lt	2
CA	Cupaniopsis anacardioides	Tuckeroo	8	75Lt	4
BI	Banksia integrifolia	Coast banksia	6	45Lt	1
SHRUBS					
PA	Pennisetum alopecuroides 'Purple Leaf'	Fountain grass	1	150	4
LT	Lomandra tanika	Fine leaf lomandra	0.5	150	6
BM	Buxus microphylla japonica	Japanese box	Hedge to 0.4	140	64
SR	Syzygium australe 'Resilience'	Lily Pily	Hedge to 1 - 1.8H	200	57
AR	Alcantarea rubra	Giant bromeliad	0.8	300	2
AN	Alpinia nutans	Dwarf ginger	1	140	3
PT	Pittosporum tobira 'miss muffett'	Miss muffett	0.5	200	6
PX	Philodendron xanadu	Xanadu	0.7	200	6
LSW	Liriope 'stripey white'	Variegated lily turf	0.5	150	16
DB	Dianella caerulea 'Breeze'	Flax lily	0.7	150	32
GROUNDCOVERS					
SM	Senecio mandraliscae	Blue chalk sticks	groundcover	150	2

Note: If the status of this drawing is not signed off for construction, it may be subject to change, alteration or amendment at the discretion of Fluid Design. No liability will be accepted for any loss, damage, harm or injury whether special, consequential, direct or indirect suffered by you or any other person as a result of the use of this drawing.

Construction site safety and health measures and procedures shall be implemented prior to commencement of any work. Report any discrepancies to designer before proceeding with any work. Location of underground services to be given on site & protected if necessary prior to construction. Any damage to services caused by excavation works, shall be made good by contractor at contractors expense and to project managers satisfaction. All works shall comply with relevant authority requirements, building codes & local council guidelines.

All materials to be fixed according to manufacturers recommendations. Works are to be carried out by qualified tradespersons. Fluid Design takes no responsibility for any variations in design, construction methods, materials or specifications without written permission by project manager.

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AMENDMENTS
25.3.19 - Landscape plan issued for DA
23.10.19 - Revised as per council requests

CHECKED
JD
JD

LANDSCAPE PLAN FOR DA

LOT & DP: Lot 11, DP 10548
CLIENT: MR FIEDLER
SCALE: 1:100 @ A2
DRAWING: L.P.1
SHEET NO: 1 of 1

PROJECT: LOT 11 N.14 GLADSTONE ST, NEWPORT
DATE: 23rd October 2019
DRAWN BY: Justin Dibble

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