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1A Edward Street, Willoughby, NSW 2068
annelize@akplanning.com.au
Mobile: 0423444470

Proposed alterations and additions at No. 70A Iris Street, Beacon Hill

Statement of Environmental Effects

June 2021

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1 EXECUTIVE SUMMARY

This Statement of Environmental Effects (SEE) has been prepared for the owners of No. 70A Iris Street, Beacon Hill by AK Planning to accompany a Development Application (DA) to Northern Beaches Council. The proposed development is located at **No. 70A Iris Street, Beacon Hill** this being **Lot 57 in DP807341**. The site has a site area of **806.7m²** and is zoned **R2 Low Density Residential** under Warringah Local Environmental Plan 2011 (WLEP 2011).

The Development Application seeks consent for alterations and additions to the existing dwelling. A detailed description of the proposal is provided under **Section 3**.

This SEE has been prepared pursuant to Section 4.12 of the Environmental Planning and Assessment Act, 1979 and Clause 50 of the Environmental Planning and Assessment Regulation, 2000. The purpose of this document is to:-

- describe the existing improvements on the site;
- detail the proposed development;
- review the applicable planning regime relating to the proposal;
- assess the degree of compliance; and
- examine the environmental effects of the development when measured against the Evaluation Criteria prescribed under Section 4.15 of the Environmental Planning and Assessment Act, 1979.

The SEE concludes that the proposed development is considered to be of an appropriate scale without adversely impacting on the amenity of adjoining land by way of loss of views; overshadowing or overlooking. Accordingly, it is considered that the proposal will deliver a suitable and appropriate development within Northern Beaches LGA and is worthy of approval.

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2 THE SITE AND CONTEXT

2.1 The Site

The site is located at **No. 70A Iris Street, Beacon Hill** and has a legal description of **Lot 57 DP807341**. The site has an area of approximately **806.7sqm**. The site is an irregular shaped lot situated at the end of a long winding right of way. It has a second access handle in the north western corner which connects to the public open space. The site slopes down from south to north and currently contains a two storey dwelling and a swimming pool.



Figure 1 – Site location plan

Source: SIX Maps



Figure 2: Aerial View of site

Source: SIX Maps



Photo 1: Existing dwelling



Photo 2: View of existing dwelling from access handle

2.2 Surrounding Development

The immediate locality is characterised by single and two storey dwellings. The subdivision pattern results in the subject site adjoining multiple dwellings:-

- to the north is Nos. 70E and 70 C Iris Street;
- towards the west is Nos. 12 and 13 Karabah Place (refer to **Photo 4**);
- to the south is Nos. 62; 62A; 64 and 66 Iris Street; and
- to the east the subject site adjoins No 70 Iris Street a two storey dwelling (refer to **Photo 3**).

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Photo 3: No 70 Iris Street



Photo 4: No 12 and 13 Karabah Place

Source: Google street view

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3 DESCRIPTION OF THE DEVELOPMENT

3.1 General description

The proposed Development Application seeks consent for the alterations and additions to the existing dwelling. In more detail the proposed development consists of the following components:-

Lower / garage Level (RL123.6)

- New garage door in existing opening
- Shifting entry door to the north
- Resurfacing existing driveway

Ground Floor (RL126.16)

- Reconfiguration of rooms to allow for:
 - New kitchen dining and living room
 - New laundry and pantry
 - New study
 - Formal living area to remain
- Extending existing balcony slightly to the north to align with existing façade and new wrap around on eastern elevation joining existing rear deck with a new screen on northern and eastern elevations
- New access stairs to garden from new balcony

First Floor (RL128.85)

- Void over living room
- Reconfiguration of rooms to allow for:
 - Master bedroom with ensuite, and robe
 - Bedroom 2 & 3
 - Family bathroom

Roof

- New roof form over void
- Metal sunshade blade along northern elevation; wrapping around north-eastern and north western corners
- New skylights over stairs

Other

Infill of existing openings to allow for new window proportions

New windows to existing void space and existing stairs

3.2 Demolition

The proposal includes the demolition as demonstrated on the architectural plans. All demolition works will be undertaken in accordance with AS 2601 - 1991: The Demolition of Structures.

4 STATUTORY PLANNING CONSIDERATIONS

4.1 Environmental Planning and Assessment Act 1979

The Act is the principle planning and development legislation in New South Wales. In accordance with Section 1.3, the relevant objectives of the Act in relation to the proposed development are:-

- “(a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State’s natural and other resources,*
- (b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,*
- (c) to promote the orderly and economic use and development of land,*
- (d) to promote the delivery and maintenance of affordable housing,*
- (e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,*
- (f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),*
- (g) to promote good design and amenity of the built environment,*
- (h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,*
- (i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,*
- (j) to provide increased opportunity for community participation in environmental planning and assessment”.*

The proposal is consistent with the objects of the Act as:-

- The proposal will result in the orderly and economic use and development of land as the site is of an appropriate size, location and land use zoning to enable the proposed development;
- Good design outcome consistent with the surrounding built form;
- Appropriate utility services are available; and
- There will be no unreasonable adverse amenity impacts on the environment.

The relevant matters for consideration under Part 4 Section 4.15 of the Environmental Planning and Assessment Act, 1979, have been addressed in table 2 below:

Table 2: Part 4 Section 4.15 consideration

“MATTERS FOR CONSIDERATION”	COMMENTS
Section 4.15 (1) (a)(i) – Provisions of any environmental planning instrument	The subject development is lodged pursuant to WLEP 2011 and is located within the Northern Beaches LGA. See discussions under Section 4.3 of this report.

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Section 4.15 (1) (a)(ii) – Provisions of any proposed/draft instrument	None
Section 4.15 (1) (a)(iii) – Provisions of any development control plan	See discussion on Development Control Plans at Section 5.1 within this report below.
Section 4.15 (1) (a) (iiia) - Any planning agreement that has been entered into under Section 7.4	None applicable to this proposal.
Section 4.15 (1) (a)(iv) – Provisions of the regulations	<p>All demolition work will be undertaken in accordance with Clause 92 of the EPA Regulations 2000 requiring the consent authority to consider AS 2601 - 1991: <i>The Demolition of Structures</i>.</p> <p>Clause 93 and/or 94 of the EPA Regulation 2000 requires a certifying authority to have regard to fire safety measures. This matter can be been addressed by introducing smoke alarms as a condition of consent prior to the issue of a construction certificate.</p> <p>All building work will be carried out in accordance with Clause 98 of the EPA Regulations 2000 requires the consent authority to consider the provisions of the National Construction Code.</p>
Section 4.15 (1) (a)(v) – Provisions of any coastal zone management plan	None
Section 4.15 (1) (b) – the likely impacts of the development, including environmental impacts on the natural and built environment and social and economic impacts in the locality	<p>Public Domain The proposal will not impact on existing and future opportunities for public recreation or use of public open spaces within the locality. There is no public access across the site.</p> <p>Utilities and Services Existing utility services will adequately service the proposal.</p> <p>Other land resources The proposal will not impact on other land resources such as productive agricultural land, mineral and extractive resources or water supply catchments.</p> <p>Water Management The proposed development will not impact on conservation of water resources. Existing utility services will adequately service the development.</p> <p>Waste It is considered that normal domestic waste collection would apply to this development.</p> <p>Noise & vibration</p>

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	<p>It is anticipated that there would be no more noise than that generally anticipated by the use of a residential premises.</p> <p>Natural hazards The subject is located within a Bushfire Prone land. A planning for bushfire report is attached at Appendix 4.</p> <p>Construction Construction works will be required as a consequence of the proposed development. Appropriate conditions of consent may be incorporated should the application be considered worthy of approval which ensures the management of the site during construction works as well as the site safety for both the general public and anyone working on the subject site.</p> <p>Environmental Impact The environmental impacts of the proposed development on the natural and built environment, are noted above and in more detail within the WDCP section at Section 5.1. In summary potential impacts include wall height or building massing, view loss, and geotechnical. These impacts is not considered to adversely impact on adjoining properties or the natural environment and is appropriate in the context.</p> <p>Social Impact The proposed new dwelling will not have a detrimental social impact in the locality considering the character of the proposal.</p> <p>Economic Impact The proposal will not have a detrimental economic impact on the locality considering the nature of the existing and proposed land use (being retained as low-density residential).</p>
Section 4.15 (1) (c) – the suitability of the site for the development	<p>Location – there are no prohibitive constraints on the site. The site is considered to be suitably located with regard to public transport and utility services.</p> <p>Physical - The proposal is compatible with conserving the existing development form in the area.</p> <p>Natural – the site is identified as being located within potential landslip land. A geo-Technical report is attached at Appendix 3. In this regard, the report states as follows:-</p> <p><i>“With reference to the Australian Geomechanics Society’s definitions, the existing conditions and proposed development are considered to constitute an ‘ACCEPTABLE’ risk to life and a ‘LOW’ risk to property provided that the recommendations outlined in Table 2 are adhered to”.</i></p>
Section 4.15 (1) (d) – any submissions made in	<p>It is envisaged that any resident concerns raised can be addressed where relevant.</p>

accordance with the Act or Regs	
Section 4.15 (1) (e) – the public interest	<p>Pursuant to case law of Ex Gratia P/L v Dungog Council (NSWLEC 148), the question that needs to be answered is “<i>Whether the public advantages of the proposed development outweigh the public disadvantages of the proposed development</i>”.</p> <p>There are no unreasonable impacts that will result from the proposed development, therefore, the benefits outweigh any disadvantage and as such the proposed development will have an overall public benefit.</p>

4.2 State Environmental Planning Policy No 55—Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Contaminated Lands (SEPP 55) establishes State-wide provisions to promote the remediation of contaminated land. The policy states that land must not be developed if it is unsuitable for a proposed use because it is contaminated. If the land is unsuitable, remediation must take place before the land is developed. The policy makes remediation permissible across the State, defines when consent is required, requires all remediation to comply with standards, ensures land is investigated if contamination is suspected, and requires councils to be notified of all remediation proposals. The Managing Land Contamination: Planning Guidelines were prepared to assist councils and developers to determine when land has been at risk.

Clause 7 of SEPP 55 requires that a consent authority must not grant consent to a development if it has considered whether a site is contaminated, and if it is, that it is satisfied that the land is suitable (or will be after undergoing remediation) for the proposed use.

The site has historically been used for residential purposes, there is no evidence to suggest that the site is contaminated therefore the requirements of SEPP 55 have been satisfactorily addressed.

4.3 State Environmental Planning Policy (Building Sustainability Index – BASIX) 2004

As the proposal involves a new residential dwelling a valid BASIX certificate is required detailing energy efficiency commitments to be undertaken with the proposed works. A BASIX certificate is submitted with the application (refer to **Appendix 5**) and commitments where relevant have been reflected on the plans as submitted.

4.4 State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 (Vegetation SEPP) works together with the Biodiversity Conservation Act 2016 and the Local Land Services Amendment Act 2016 to create a framework for the regulation of clearing of native vegetation in NSW.

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The SEPP will ensure the biodiversity offset scheme (established under the Land Management and Biodiversity reforms) will apply to all clearing of native vegetation that exceeds the offset thresholds in urban areas and environmental conservation zones that does not require development consent.

The proposal meets the objectives of the SEPP because the application does not involve clearance of existing native vegetation and would have no materials impacts on bushland in the vicinity of the subject site.

4.5 Warringah Local Environmental Plan 2011

Warringah LEP 2011 defines the zoning regime, objectives and provisions to be considered in the assessment of any application for development within Warringah LGA.

4.5.1 Permissibility and Zone Objectives

The subject site is zoned **R2 Low Density Residential** under the provisions of the Warringah LEP 2011 (WLEP 2011) see **Figure 3**. Development for the purposes of alterations and additions to an existing dwelling is permissible in the zone with Council consent.

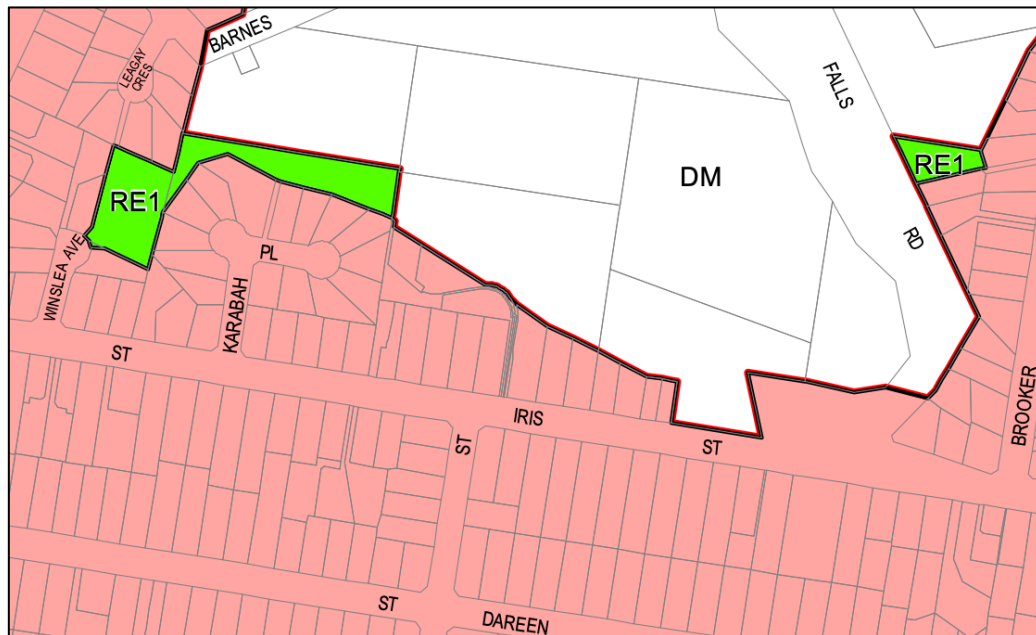


Figure 3: Zoning R2 Low Density Residential

The objectives of the R2 zone are as follows:-

- *“To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.”*

The proposed development is considered consistent with the zone objectives for the following reasons:-

- The proposal provides for the housing needs of a growing family wishing to stay within the Beacon Hill community;
- The proposal maintains a consistent scale with surrounding residential premises whilst providing for a variety of housing types and built forms,
- The proposal result in no adverse amenity impacts on surrounding properties whilst providing for good internal amenity for future occupants; and
- The proposed maintains the low density residential environment and landscape setting.

4.5.2 Development Controls

Table 2 below identifies the relevant WLEP 2011 controls.

Table 2: Compliance with WLEP 2011

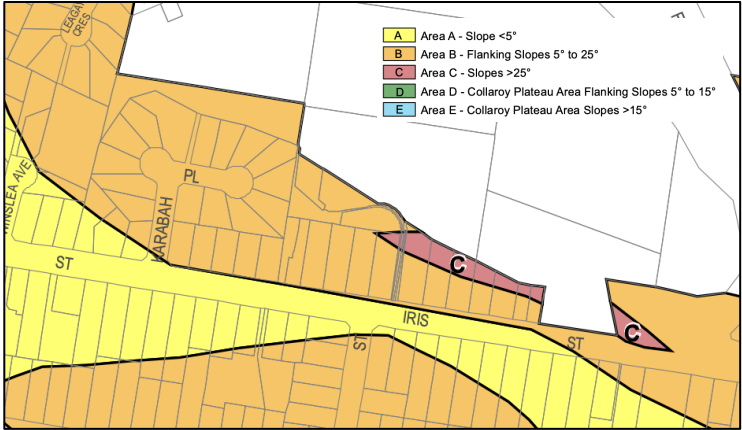
CLAUSE	COMMENT	COMPLY
Clause 4.3: Height of Buildings Required = 8.5m	Existing height = 10m Proposed new roof = 6.9m The proposal is generally for internal alterations with no change to the existing max. ridge height. All proposed new works is within the max. 8.5m height	New works comply Existing non-compliance
Clause 5.9: Preservation of trees or vegetation	The application does not seek removal of any trees.	N/A
Clause 5.10 Heritage conservation	The subject site is not heritage nor is it located within a Heritage Conservation area	N/A
Clause 6.4 Development on sloping Land	The subject site is located within Area B (subject to slopes between 5-25 degrees). 	Yes

Figure 4: Landslip Map

	<p>A Geo-Tech report is attached at Appendix 3 which includes a site specific recommendations within Table 2. In this regard the report states as follows:-</p> <p><i>“With reference to the Australian Geomechanics Society’s definitions, the existing conditions and proposed development are considered to constitute an ‘ACCEPTABLE’ risk to life and a ‘LOW’ risk to property provided that the recommendations outlined in Table 2 are adhered to.”</i></p>	
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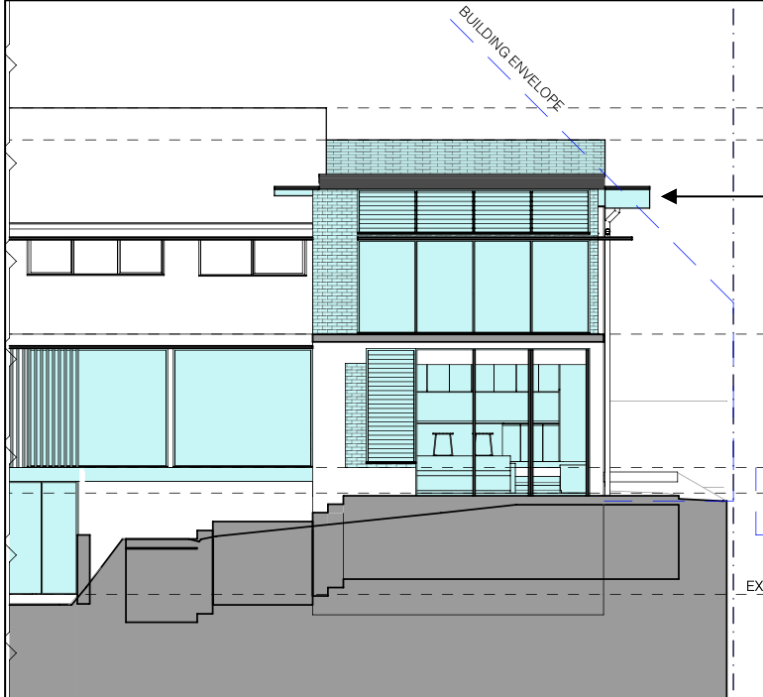
5 NON-STATUTORY CONSIDERATION

5.1 Warringah Development Control Plan

The application has been assessed against the Warringah DCP as detailed in the table below:

Table 3: Consistency with DCP

CLAUSE	COMMENT	COMPLY
Part B: Built Form Controls		
B1 Wall Heights 7.2m to underside of topmost ceiling	<p>Proposed = 6.2m</p> <p>The proposal is generally for internal alterations with a new roof form over the void adjoining the western boundary. This element complies with the wall heights.</p>	Yes
B3 Side Boundary Envelope 4m at 45degrees	<p>The Architectural plans include side boundary envelope analysis which demonstrate that there are no “new” non-compliance.</p> <p>The existing roof form remains beyond the building envelope whilst the new roof form over the void space complies.</p> <p>In addition Councils’ controls allows discretion for eaves or sun shading devices to encroach beyond the side boundary envelope – refer to image below.</p>	Yes

			
		<p>Figure 5: Extract from Section B</p> <p>The proposal is generally for internal alterations with no change to the building envelope other than the extension of the balcony to the north and eastern elevations which is well within the building envelope controls.</p>	
<p>B5 Boundary Setback 900mm</p>	<p>Side</p> <p>DA2012/1410 was approved by Council on 8 February 2013, for <i>alterations and additions to a dwelling house and construction of a swimming pool and fencing</i>, at the subject site.</p> <p>During the assessment of DA2012/1410 Council's assessment officer acknowledged that the site does not have obvious front or rear setbacks. For the purposes of the assessment, the eastern boundary was considered as the front setback (given that the access driveway approaches from that direction). Given the subdivision pattern and unusual shape of the lot, no rear setback was applied. <i>"There is no clear rear boundary, and it would be more accurate to describe all boundaries as side boundaries"</i>.</p> <p>This application has applied the same rationale for the purposes of setbacks</p> <p>Southern side boundary setback Lower / Garage level = no change Ground floor = 2m First Floor = 2m</p> <p>Western side boundary setback Lower / Garage level = no change Ground floor = 2.5m First Floor = 2.5m</p>	<p>Yes</p>	

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	Northern side boundary setback Lower / Garage level = no change Ground floor = 2.7m to balcony First Floor = 6.7m existing & 8.5m to new void space	
B7 Front Boundary Setback 6.5m	Front or eastern boundary setback 18m	Yes
B9 Rear Boundary Setback 6m	N/A	N/A
Part C Sitting Factors		
C2 Traffic, Access and Safety	Vehicular and pedestrian access to the site is facilitated via the right of way. The proposal does not seek to alter the existing arrangement.	Yes
C3 Parking Facilities	The existing situation allows for a double garage. The proposal does not seek to alter the existing arrangement.	Yes
C4 Stormwater	Refer to Stormwater plans at Appendix 6 . The roof drains to existing downpipes which connects to the existing Stormwater line which in turns connects to Councils existing infrastructure within Iris Street.. A new <i>Klassikdrain</i> is proposed over the driveway crossing at the boundary which will assist with the driveway drainage connecting to an existing SWP. As the works is for alterations and additions no OSD is required.	Yes
C5 Erosion and Sedimentation	An Erosion and Sediment Control Plan has been prepared and is attached at Appendix 2 . Appropriate conditions associated with management of erosion and sedimentation for the duration of works on the site is considered satisfactory to meet the requirements of this clause.	Yes
C7 Excavation and Landfill	No excavation is proposed.	N/A
C8 Demolition and Construction	A Waste Management Plan has been provided at Appendix 2 .	Yes
C9 Waste Management		
Part D Design		
D1 landscape Open Space and Bushland Setting 40% LOS	Existing landscape open space = 281.31sqm or 34.9% Proposed landscape open space = no change Note: The previous application excluded the access handle (right of carriageway easement B) from the site area calculation, resulting in a site area of 672.7sqm and a landscape area requirement of 269.08sqm. However the WLEP 2011 defines site area as follows:- “the area of any land on which development is or is to be carried out. The land may include the whole or part of one lot, or more than one lot if they are contiguous to each other, but does not include the area of any land on which development is not permitted to be carried out under this Plan”.	Existing non-compliance not being altered.

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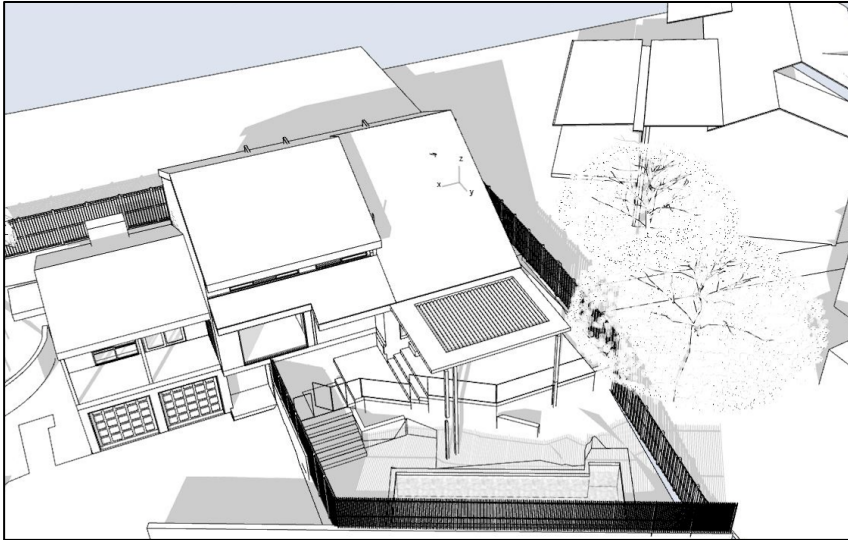
	<p>Accordingly, the only land excluded from site area is land on which development is not permitted. In this regard the calculation of site area included both access handles.</p> <p>Notably the proposed development is within the existing building footprint with no change to the existing landscape open space.</p>	
D2 Private Open Space 60sqm with min dim of 5m	The proposal is generally for internal alterations however the site allows for sufficient private open space (142sqm) with min. dimensions of 5m.	Yes
D3 Noise	It is not anticipated that the development will result in any noise intrusion other than normal domestic/ residential noise.	Yes
D6 Access to Sunlight	<p>The proposal is generally for internal alterations with minimal change to the existing building envelope. The maximum height of the dwelling also remains unchanged. Shadow diagrams are attached at Appendix 2.</p> <p>9am Additional shadow will occur to No. 13 Karabah Place, during the 9am mid-winter period (refer to Figure 6 and 7). However at 10am the shadow has moved with no additional shadow falling across No. 13 Karabah Place (refer to Figure 8). It is worth noting that the additional shadow at 9am falls within existing shadows cast by large trees on the common boundary.</p> 	Yes

Figure 6: Existing shadow at 9am mid-winter



Figure 7: Proposed shadow at 9am mid-winter

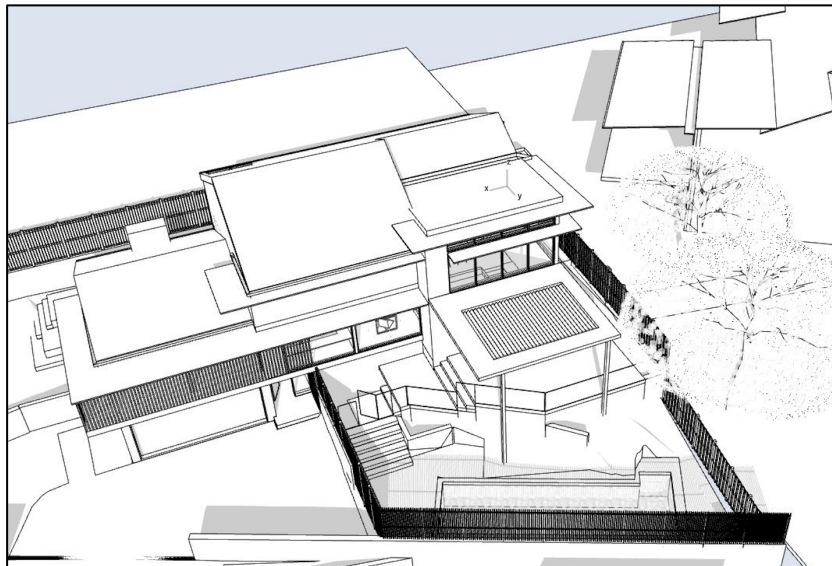


Figure 8: Proposed shadow at 10am mid-winter

At 12 noon and 3pm mid-winter periods there are no additional shadow to adjoining properties with shadows falling across the subject site.

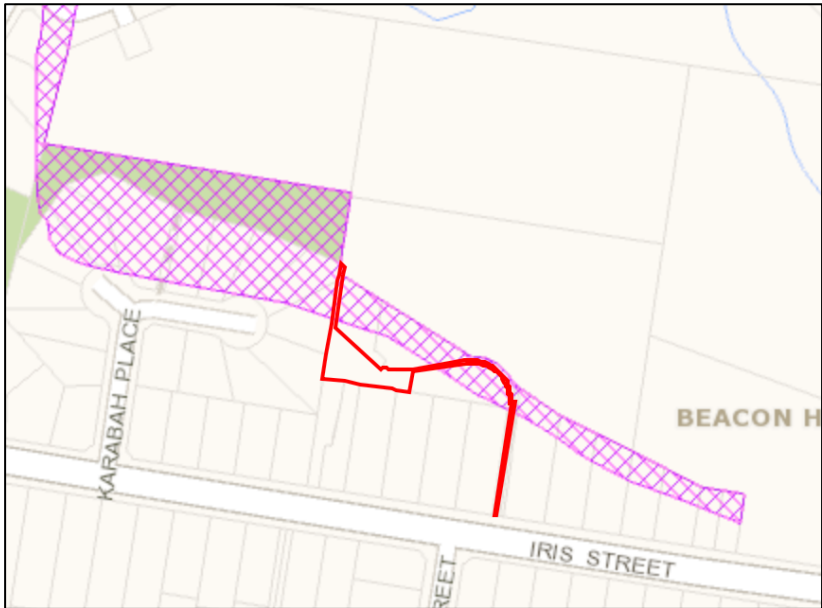
Accordingly, at least 50% of the required area of private open space of No 13 Karabah Place, receive a minimum of 3 hours of sunlight between 9am and 3pm during mid-winter (21 June).

D7 Views	As the proposed works are generally all contained within the existing building envelope it is not anticipated that any public or private views will be impacted.	Yes
D8 Privacy	Ground floor (balcony) The existing balcony is proposed to be extended 500mm to the north and 1.1m to the east. A vertical louvred screen is proposed along the northern	Yes


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	<p>and eastern elevation of the balcony mitigating any opportunity for overlooking. Noting that overlooking from the balcony is limited to the shared access / driveway with limited opportunity for overlooking of habitable spaces.</p> <p>First floor</p> <p>Northern elevation New windows to the void area does not allow opportunity for overlooking as it is to a void (no standing opportunity).</p> <p>Eastern elevation The balcony is located 18m from the common boundary with No. 70 Iris Street and includes a louvred screen. The balcony is only 1.1m wide and facilitates access from the existing yard with the allowance of new stairs. The separation distance and screen mitigates any opportunity for overlooking.</p> <p>Southern elevation Existing openings are reduced in size to allow for new WIR window and new en-suite window with obscure glazing. A new window to the stairs is also proposed. These windows are to spaces with a low frequency of use with no direct opportunity for overlooking.</p> <p>Western elevation The windows to the void area do not allow opportunity for overlooking as there is standing opportunity.</p>	
D9 Building Bulk	<p>The proposed work is generally for internal alterations with no change to the existing building envelope or massing except for the extension of the balcony slightly to the north and extending the balcony along the eastern elevation.</p> <p>The bulk and scale of the existing built form remains consistent with the predominant built form of adjoining properties and does not dominate surrounding spaces.</p>	Yes
D10 Building Colours and Materials	As shown on the Architectural Plans, the proposal would be of appropriate materials and finishes and has been designed to integrate with the surrounding natural landscape.	Yes
D11 Roofs	<p>The proposal does not contain any lift overruns or plants.</p> <p>The proposal largely retains the existing pitched roof form with the inclusion of two skylights over the existing stairs (within existing roof form). The roof over the existing living space / void over is being altered to a skillion form to allow more light penetration.</p> <p>The proposed roof materials would not cause excessive glare and reflection.</p>	Yes
D12 Glare and Reflection	The materials for the proposed skillion roof and wall claddings are provided within the Architectural Plans, resulting in minimal glare or reflection.	Yes

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D13	Front Fences and front walls	Non proposed	Yes
D14	Site Facilities	No change to existing. Landscaped open space has been provided to allow adequate open air for clothes drying facilities. The garbage/bin area is located adjoining the garage with easy access to the street for collection.	
D15	Side and Rear Fences	Existing to remain.	N/A
D16	Swimming Pools and Spa	No change to existing proposed	N/A
D20	Safety and Security	CPTED principles are more appropriately applied to larger residential development and new dwellings. Alterations and additions to an existing dwelling does not lend great opportunity to implement these design principles. However, the proposed design does retain a clear and visible entry from the street.	Yes
D22	Conservation of Energy and Water	A BASIX certificate is attached at Appendix 5 .	Yes
Part E The Natural Environment			
E1	Preservation of Trees or Bushland Vegetation	There are no trees proposed for removal.	Yes
E4	Wildlife Corridors	<p>Due to the unique shape of the allotment only the secondary access handle is located within the wildlife corridor. The proposed works are located outside of the wildlife corridor area, and as such it will not significantly affect or have an impact on threatened species, populations or ecological communities, or their habitats.</p> <p>Notwithstanding, any new planting will include native vegetation that will sustain the ecological function of the wildlife corridor.</p> 	Yes
Figure 9: Wildlife Corridor			

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<p>E5 Native vegetation</p>	<p>Due to the unique shape of the allotment only the secondary access handle is located within the native vegetation map.</p> <p>The proposed works are located outside of the native vegetation area, and as such it will not significantly affect or have an impact on existing vegetation. Notwithstanding, any new planting will include native vegetation that will sustain the ecological function of the wildlife corridor.</p>  <p>Figure 10: Native vegetation Map</p>	
<p>E6 Retain unique environmental features</p>	<p>The design responds to the existing natural vegetation through retaining existing rock outcrops and not altering the existing landscape open space.</p>	<p>Yes</p>
<p>E7 Development on land adjoining public open space</p>	<p>The subject site is identified as adjoining public open space, however only the secondary access handle adjoins the identified public open space.</p> <p>The works which are largely contained within the existing building envelope will not impact on the outlook or views to the public open space. The proposal does not impact on the public access to the open space.</p> <p>Moreover, the proposal complements the landscape character of the adjoining public open spaces.</p>	<p>Yes</p>

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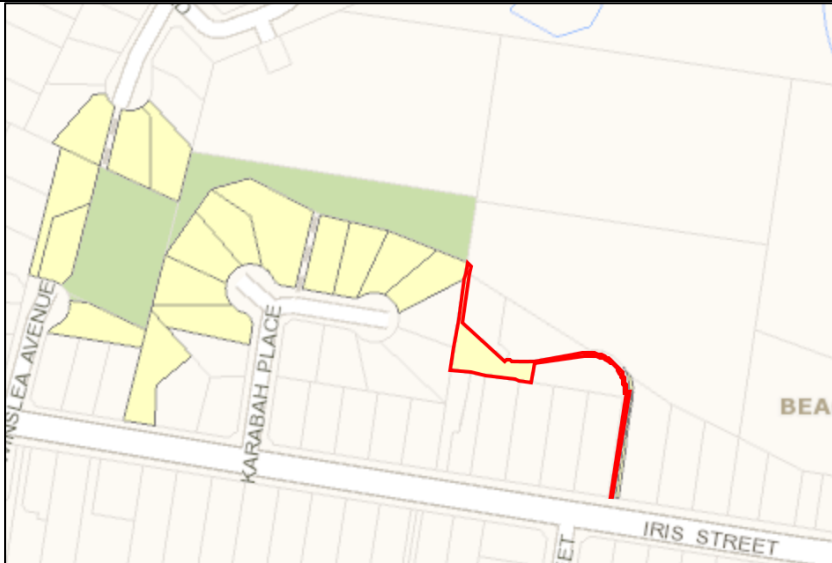
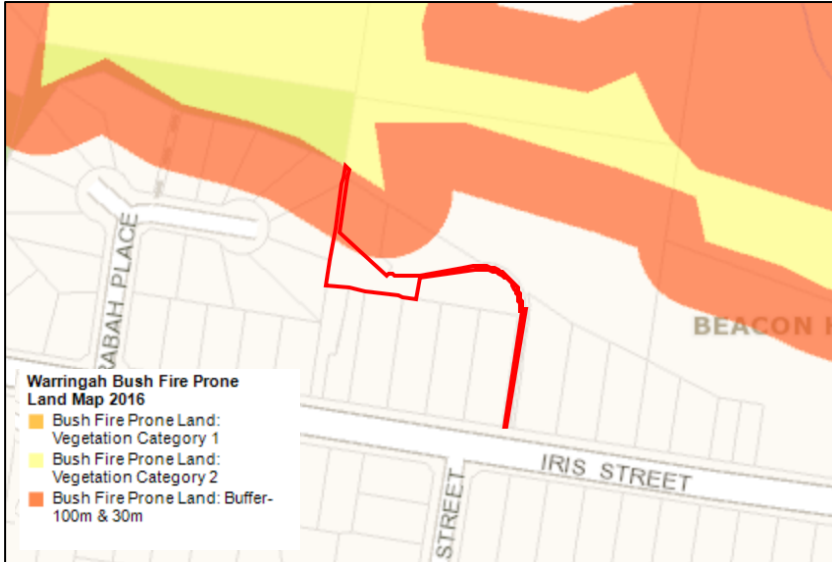
		
Figure 11: Adjoining public open space		
E10 Landslip Risk	The site has been identified as being sloped 5-25 degree (Area B). a Geo-Technical report is attached at Appendix 3 and concludes that subject to following the recommendations within the Geo-Tech report, the subject site is suitable for the proposed development.	Yes
Bushfire	<p>The subject site is also subject to planning for bushfire (refer to Figure 8). A planning for bushfire protection report is attached at Appendix 4. The report concludes as follows:-</p> <p><i>“Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and ‘Planning for Bushfire Protection’ guidelines”.</i></p> 	Yes

Figure 12: Bushfire Prone Land

6 CONCLUSION

The proposed alterations including a new single storey with attic rear addition at **No. 70A Iris Street, Beacon Hill** is considered to:

- be a suitable and desirable use for the site and meets the relevant heads of consideration under **Section 4.15** of the Act;
- be in accordance with the aims, objectives and provisions of the relevant statutory and non-statutory planning instruments; and
- have no adverse environmental effect and no adverse impact by way of overshadowing; acoustic or visual privacy to adjoining properties.

Based on the above assessment, is it recommended to the Council that consent be granted to the application.

APPENDIX 1

SURVEY PLAN

APPENDIX 2

ARCHITECTURAL PLANS SHADOW DIAGRAMS WASTE MANAGEMENT PLAN

APPENDIX 3

GEO-TECHNICAL REPORT

APPENDIX 4

BUSHFIRE REPORT

APPENDIX 5

BASIX CERTIFICATE

APPENDIX 6

STORMWATER PLANS SEDIMENT & EROSION CONTROL PLAN