

- General notes**
1. New guttering and downpipes routed into existing system and routed to the street to council requirements and Australian standards.
  2. New waste water system routed into existing sewer lines to council requirements.
  3. Unless noted otherwise it is understood the site is free from easements or rights of ways.
  4. All work is to comply with the BASIX certificate.
  5. All work to be performed in a tradesman like manner in accordance with local regulations, Australian standards and building code of Australia requirements

- Stormwater notes**
1. Roof guttering is to be connected to the stormwater system as soon as practicable.
  2. All roof water to be directed to water tank. Tank overflow to be connected to existing stormwater system

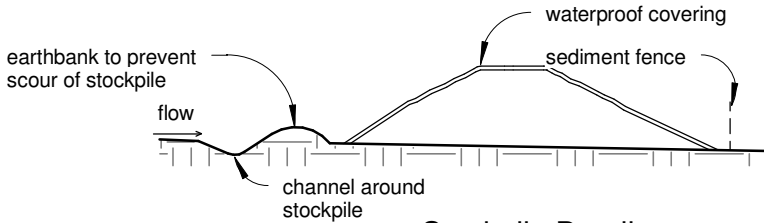
- Sedimentation notes**
1. Site works will not start until the erosion and sediment controls measures are installed and functional.
  2. Entry and departure of vehicles is to be confined to the stabilised site access.
  3. Topsoil is to be stripped and stockpiled for later use in landscaping the site. Topsoil is to be respread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works.
  4. Sediment traps to be constructed around all inlet pits consisting of 300w x 300d trench. These shall be cleared when the structures are a maximum 60% full of soil materials including the maintenance period.
  5. The footpath, other than the stabilised site access is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated as soon as possible.
  6. Bins are to be provided within the development site (NOT on footpath or roadway) for building waste and arrangements are to be make for regular collection and disposal.
  7. Roof guttering is to be connected to the stormwater system as soon as practicable.
  8. All erosion controls are to be checked daily (at a minimum weekly) and after all rein events to ensure they are maintained in fully functional condition.

- Dust Control**
- Adequate measures are to be taken during excavation, demolition and construction to prevent dust from affecting the amenity of the neighborhood by using the following measures:
1. barriers are to be erected at right angles to prevent wind direction or shall be placed around/over dust sources to prevent wind or activity from generating dust.
  2. all dust creating activities shall be time managed to coincide with the next stage of development to minimise the amount of time the site is left cut or exposed.
  3. all materials shall be stored or stockpiled at the appropriate locations.
  4. the ground surface should be dampened slightly to prevent dust but not to the extent of creating run-off.
  5. all vehicles carrying soil or rubble shall be covered at all times to prevent dust escaping.
  6. all equipment wheels are to be washed on exiting the site.
  7. gates fitted with shade cloth are to be closed between vehicle movements.
  8. footpaths and roadways are to be cleaned daily.
  9. all site waste that is not usable for landscaping shall be removed from the site on completion of works.

# Site Plan

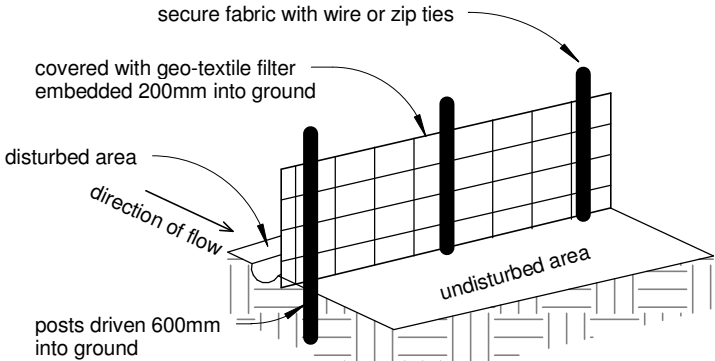
## BARRENJOEY ROAD

1 : 200



### Stockpile Detail

designated area for waste and material stockpile, excess waste to be removed from site.  
Stockpile to be protected to prevent scout and erosion and placed at least 2 metres clear of all areas of possible concentrated water flow, including driveways



### Sediment Control Fence

to be erected to local council requirements



FFL to be confirmed onsite

**BUDGET APPROVALS**  
Unless expressly stated otherwise in writing, these drawings have not been design checked or certified and are not approved for construction.  
Budget Approvals is not responsible for the accuracy, completeness or any contamination of electronically transmitted data and is not responsible for the accuracy of dimensions or scale to size.  
All levels and dimensions are to be checked on site before building work commences.  
All structural work is to Engineers details.

**Client sign off signature:**

**Date:** \_\_\_\_ / \_\_\_\_ / \_\_\_\_

22.05.19	SW MAPPING ADDED		
01.04.19	APPROVAL		
11.03.19	APPROVAL		
27.02.19	APPROVAL		
DATE	ISSUED	DATE	ISSUED

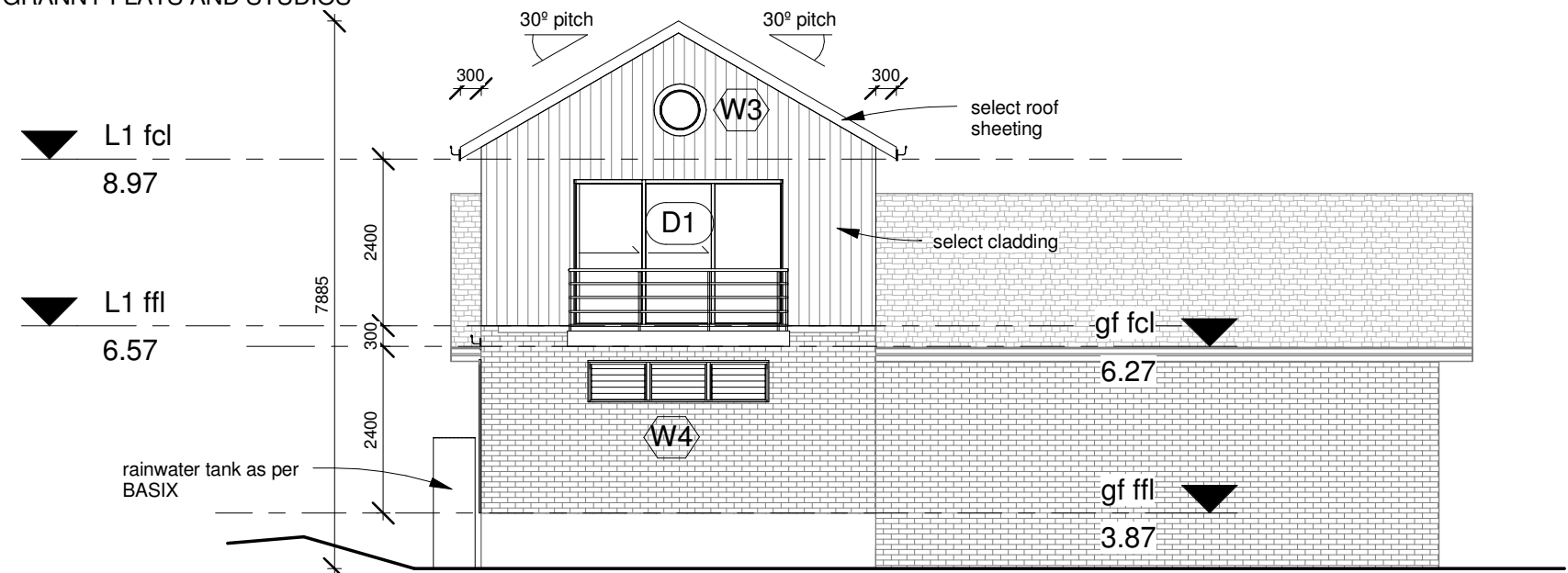
Proposed Alterations and Additions

Lot: 1 DP: 778031  
712A Barrenjoey Road  
Avalon Beach, NSW, 2263

Site Plan

Scale	As Shown (A3)
Date	December 2018
Drawn by	TMJ

A01



South Elevation

1 : 100

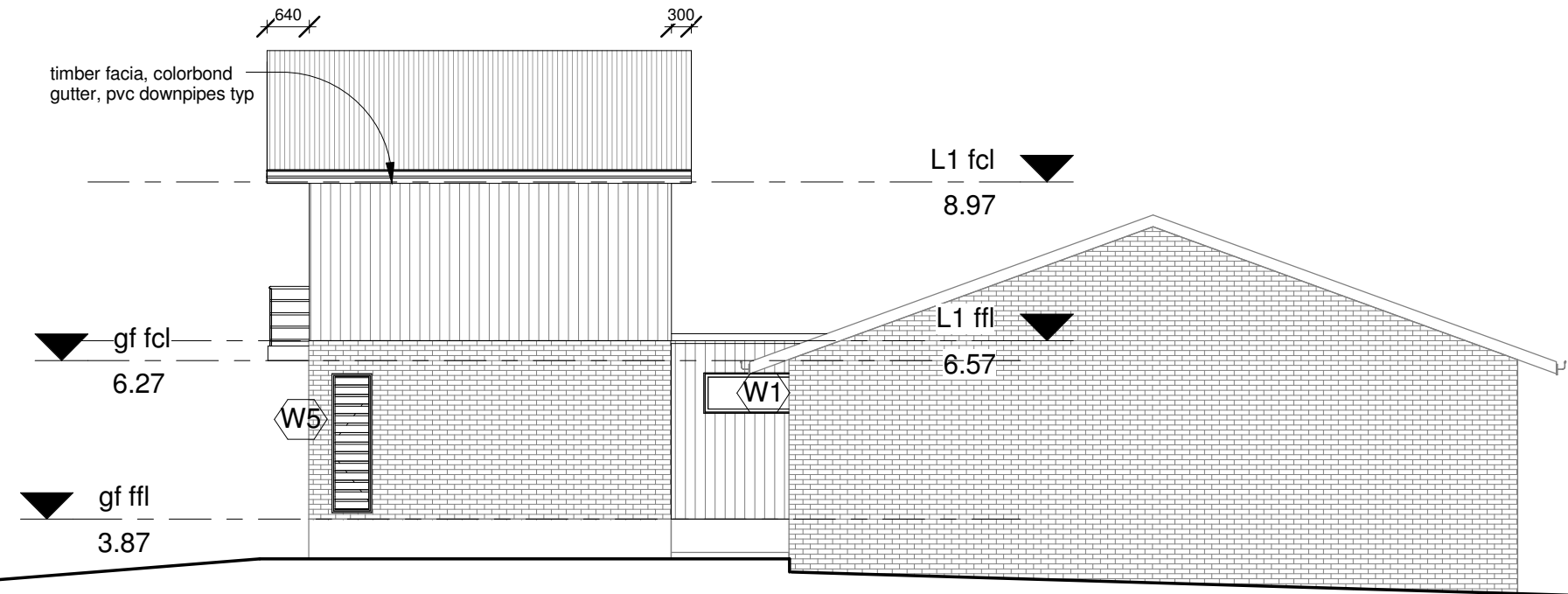
Window Schedule					
Mark	Window Style	Height	Width	Material	Area
W1	Sliding	610	1800	Powder Coated Aluminium	1.10 m <sup>2</sup>
W2	Fixed	610	2400	Powder Coated Aluminium	1.46 m <sup>2</sup>
W3	Fixed - 610 dia		610	Powder Coated Aluminium	
W4	Sliding	600	2600	Powder Coated Aluminium	1.56 m <sup>2</sup>
W5	Louvre	2100	600	Powder Coated Aluminium	1.26 m <sup>2</sup>
W6	Louvre	920	600	Powder coated aluminium	0.55 m <sup>2</sup>
Total Area					5.93 m <sup>2</sup>

Glazed Door Schedule					
Mark	Door Style	Height	Width	Material	Area
D1	Stacking	2100	3000	Powder Coated Aluminium	6.30 m <sup>2</sup>
Total Area					6.30 m <sup>2</sup>



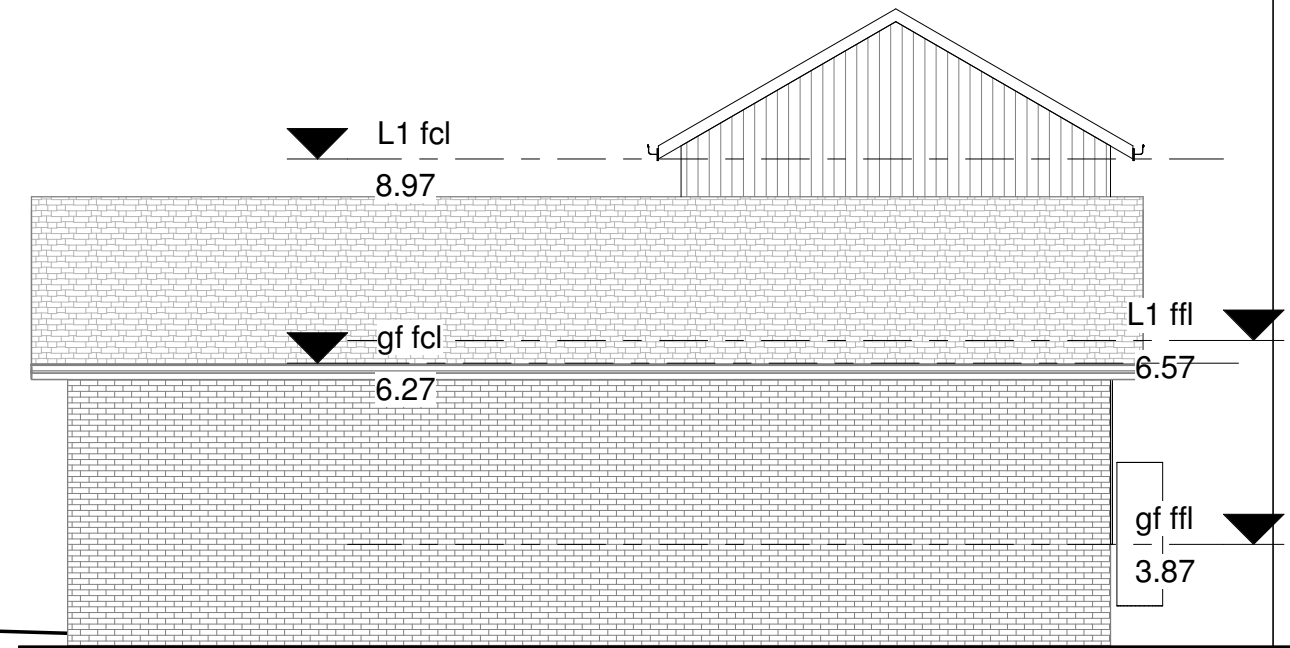
THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0354



East Elevation

1 : 100



North Elevation

1 : 100



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M: 0447 667 312

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All structural work is to Engineers details.

Client sign off signature:

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

10.04.19	APPROVAL		
27.02.19	APPROVAL		
DATE	ISSUED	DATE	ISSUED

Proposed Alterations and Additions

Lot: 1 DP: 778031  
712A Barrenjoey Road  
Avalon Beach, NSW, 2263

Elevations Sheet 1

Scale	As Shown (A3)
Date	December 2018
Drawn by	TMJ

A03

## EXTERNAL MATERIALS AND COLOUR FINISHES

Address: 712a Barrenjoey Road, Avalon Beach NSW 2107

Contact name: Adrienne & Wayne Doyle

### EXTERNAL

External wall  
Corner cladding  
External wall  
Corner cladding  
Roof barge  
Ridge flashing  
Fascia  
Eaves and downpipes  
Sliding doors  
Sliding windows

### MATERIAL

1st Floor Level - Scyon Axon Cladding
1st Floor Level - Scyon Axon Cladding
Ground Floor Level - Brick
Ground Floor Level - Brick
Colorbond
Colorbond
Colorbond
Colorbond & PVC
Aluminum Windows
Aluminum Windows

### COLOUR

Murabond - Newport Blue
Murabond - Newport Blue
Existing Brick Colour - Mid Brown
Existing Brick Colour - Mid Brown
Night Sky
Night Sky
Night Sky
Black
Black
Black



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0354**