

Drawing Register

Issue Date  
day 23  
month 9  
year 22

Drawing Number	Drawing Title	Revision
DA00	Drawing Register & Location Plan	A
DA01	Site Analysis/ Site Plan 1:200	A
DA02	Existing Lower Ground Floor Plan/ Demolition Plan 1:100	A
DA03	Existing Ground Floor Plan/ Demolition Plan 1:100	A
DA04	Existing First Floor Plan/ Demolition Plan 1:100	A
DA05	Existing Roof Plan/ Demolition Plan 1:100	A
DA06	New Lower Ground Floor Plan 1:100	A
DA07	New Ground Floor Plan 1:100	A
DA08	New First Floor Plan 1:100	A
DA09	New Roof Plan 1:100	A
DA10	Elevations 1:100	A
DA11	Elevations 1:100	A
DA12	Elevations 1:100	A
DA13	Elevations 1:100	A
DA14	Section 1:100	A
DA15	Stormwater Concept Plan 1:200	A
DA16	Erosion & Sediment Control Plan 1:200	A
DA17	Shadow Diagram 1:200	A
DA18	Shadow Diagram 1:200	A
DA19	Shadow Diagram 1:200	A
DA20	Door Schedule	A
DA21	Basix	A
DA22	3D Images	A
DA23	External Materials & Finishes	A
DA24	Landscape/Hardscape Plan 1:100	A

Document Distribution:

Client	1
Structural Engineer	1
Hydraulic Engineer	
Landsc. Consultant	
Approval Authority	1



LOCATION PLAN (NTS)

(Source Google maps)

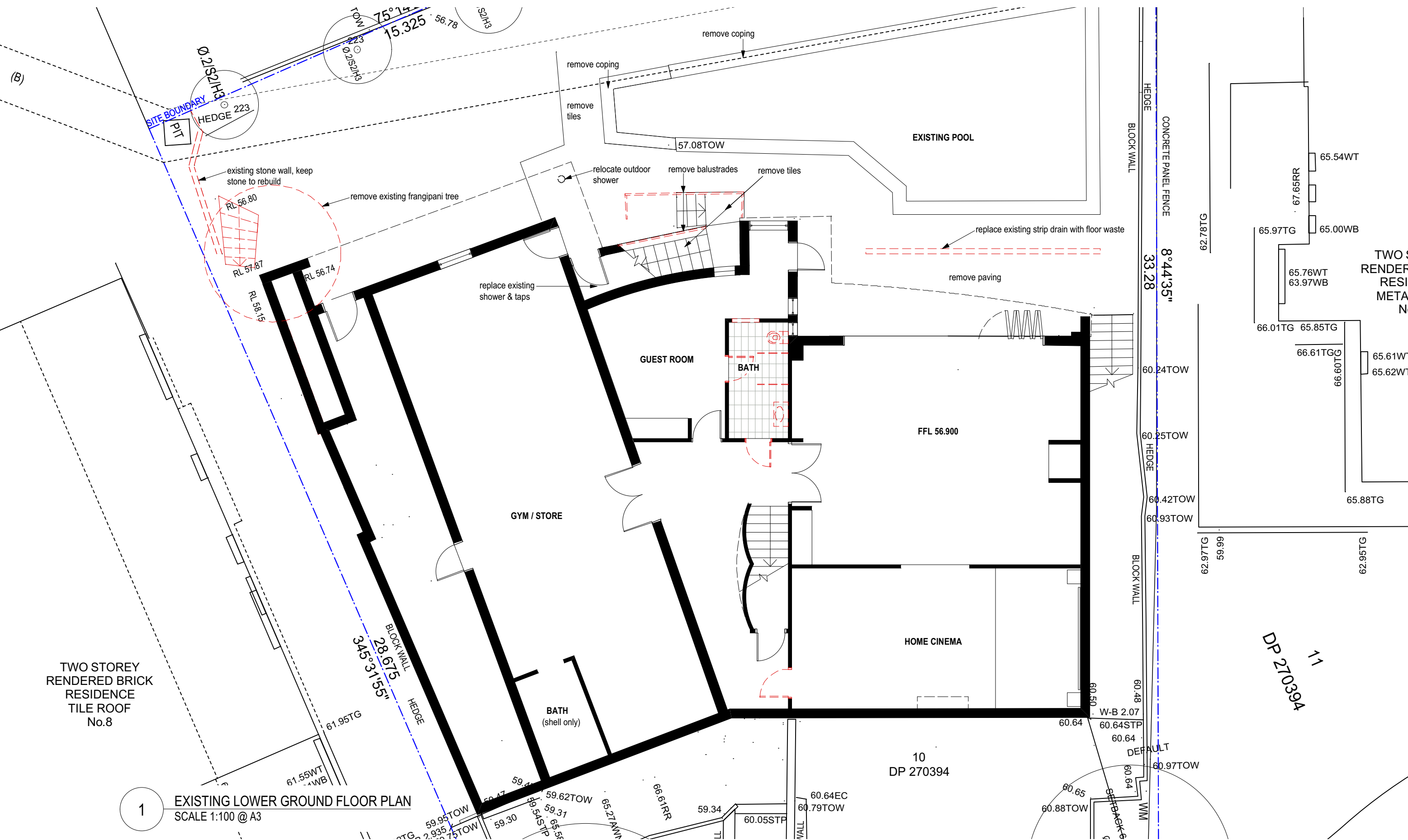
GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

Legend:	Revision: A	Date: 23/9/22	For: Development Application	Project: Alterations & Additions	Drawing Title: DRAWING REGISTER & LOCATION PLAN	North:	CADENCE & CO DESIGN
				Client: Sylvie and Stuart Korchinski	Stage: Development Application		Suite 7, 287 Mona Vale Rd Terrey Hills NSW 2084 P 94501950 E info@cadenceandco.com.au
				Address: 9 Keith Payne VC Place Narraweena, NSW 2099	Scale: 1:50 @ A1 1:100 @ A3	Drawing No: DA00	Rev: A
					Drawn: TN		
					Chkd: JE		
							ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD







**Legend:**

AD	ALUMINIUM DOOR	F	FRIDGE	WALL LEGEND
AW	ALUMINIUM WINDOW/DOOR	FC	FIBRE CEMENT	EXISTING WALL
BAL	NEW GLASS BALUSTRADE	FFL	FINISHED FLOOR LEVEL	
CL	CEILING	FW	FLOOR WASTE	WALL TO BE DEMOLISHED
CT	CERAMIC TILE	GD	NEW GRATED DRAIN	
EXG	EXISTING	MRS	METAL ROOF SHEETING	NEW WALL
EXW	EXISTING GLASS WINDOW/DOOR	PF	NEW POOL FENCE	

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Date: 23/9/22  
For: Development Application

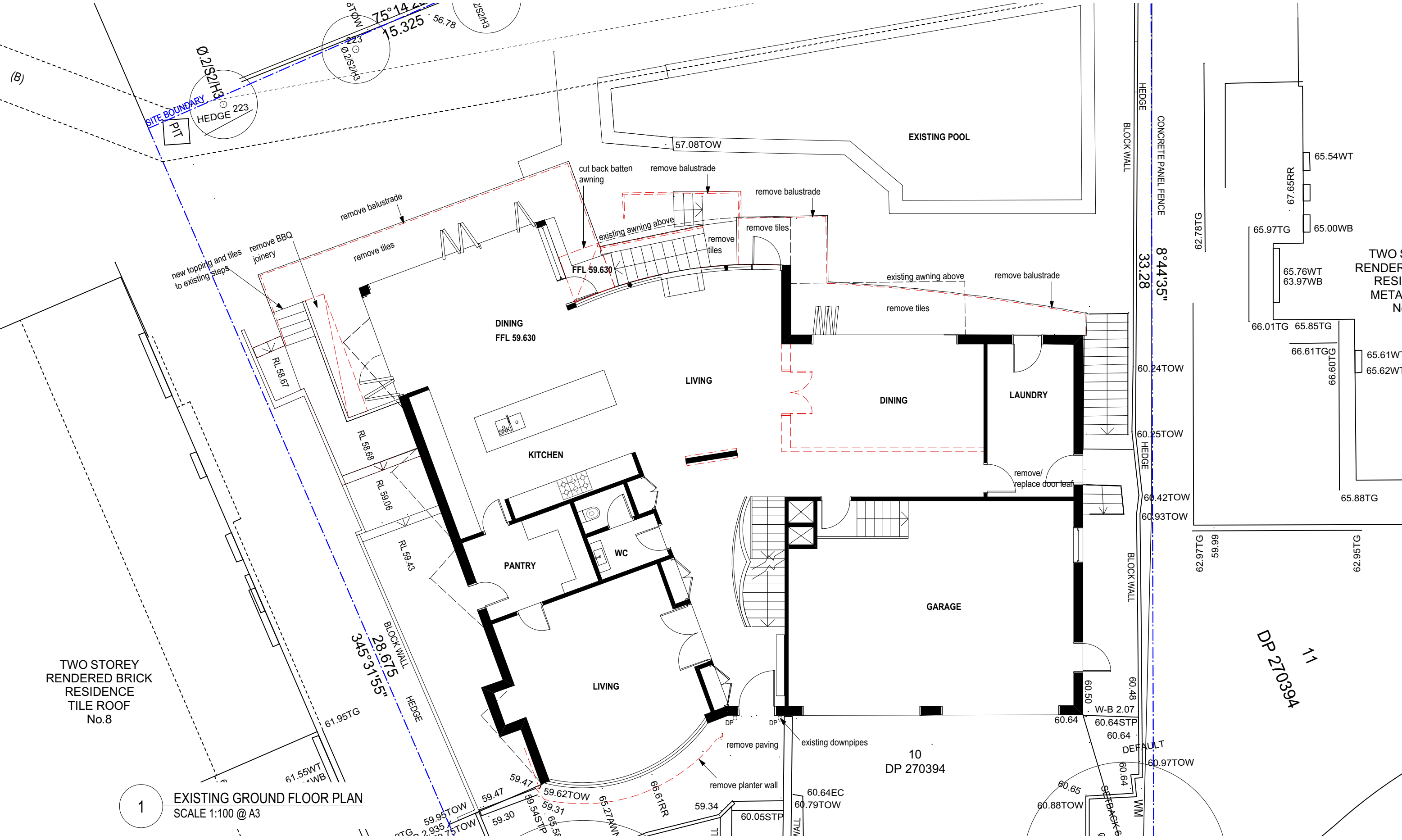
Project: Alterations & Additions  
Client: Sylvie and Stuart Korchinski  
Address: 9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title: EXISTING & DEMOLITION PLAN  
Stage: Development Application  
Scale: 1:50 @ A1  
1:100 @ A3  
Drawn: TN  
Chkd: JE

North:

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1 EXISTING GROUND FLOOR PLAN  
SCALE 1:100 @ A3

Legend:

AD  
AW  
BAL  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING GLASS WINDOW/DOOR

F  
FC  
FFL  
FW  
GD  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

**WALL LEGEND**  
— EXISTING WALL  
- - - WALL TO BE DEMOLISHED  
— NEW WALL

Revision:  
A

Date:  
23/9/22

For:  
Development Application

Project:  
Alterations & Additions

Client:  
Sylvie and Stuart Korchinski

Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
EXISTING & DEMOLITION PLAN

Stage:  
Development Application

Scale:  
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1:100 @ A3

Drawn:  
TN

Chkd:  
JE

North:



Drawing No:  
DA03

Rev:  
A

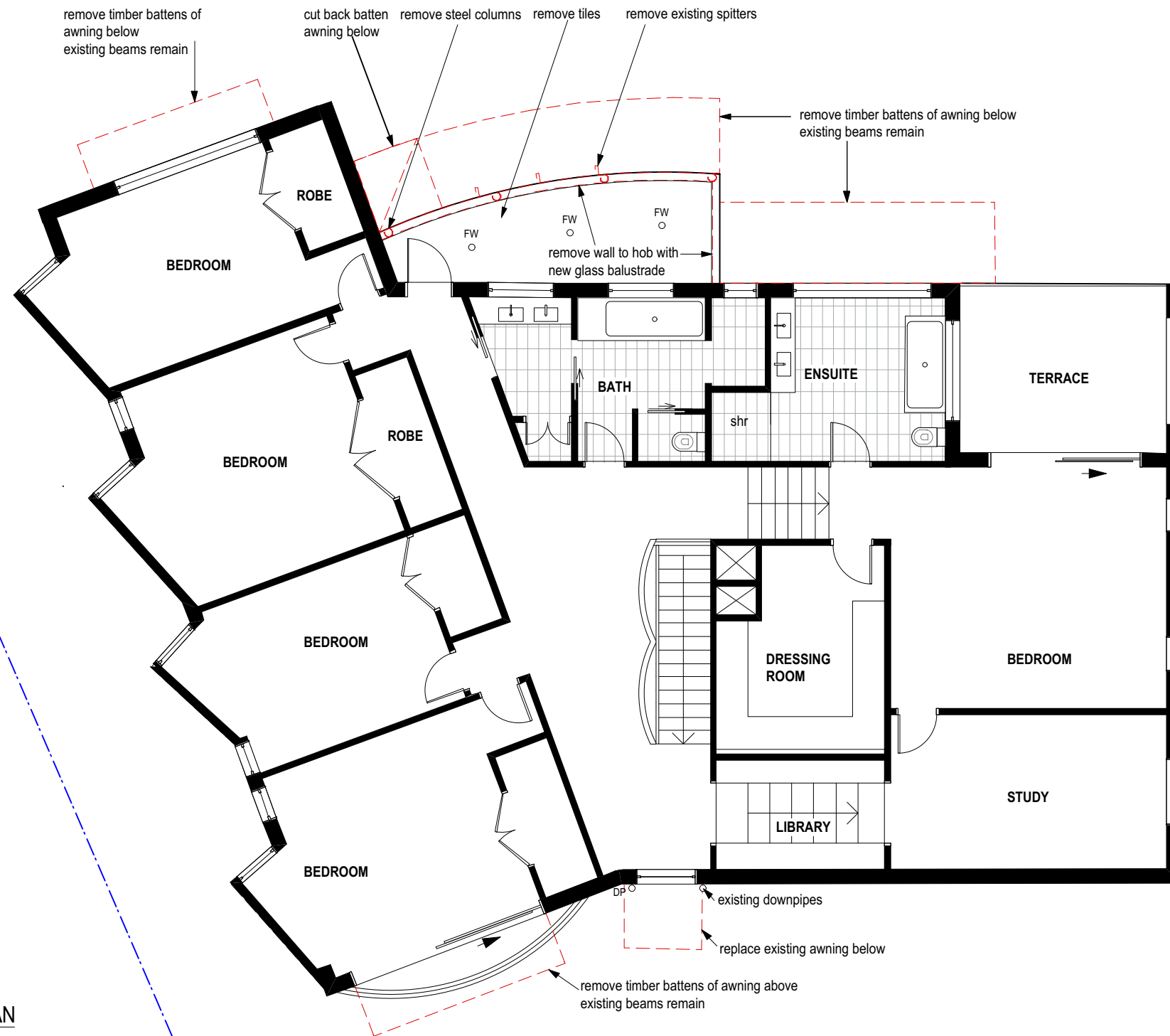
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SITE BOUNDARY



1

EXISTING FIRST FLOOR PLAN  
SCALE 1:100 @ A3

Legend:

AD  
AL  
BAL  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING  
EXISTING GLASS WINDOW/DOOR

F  
FC  
FFL  
FW  
GD  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

WALL LEGEND  
EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

Revision:  
A

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Client:  
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Drawing Title:  
EXISTING & DEMOLITION PLAN

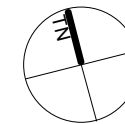
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Drawn:  
TN

Chkd:  
JE

North:



Drawing No:  
DA04

Rev:  
A

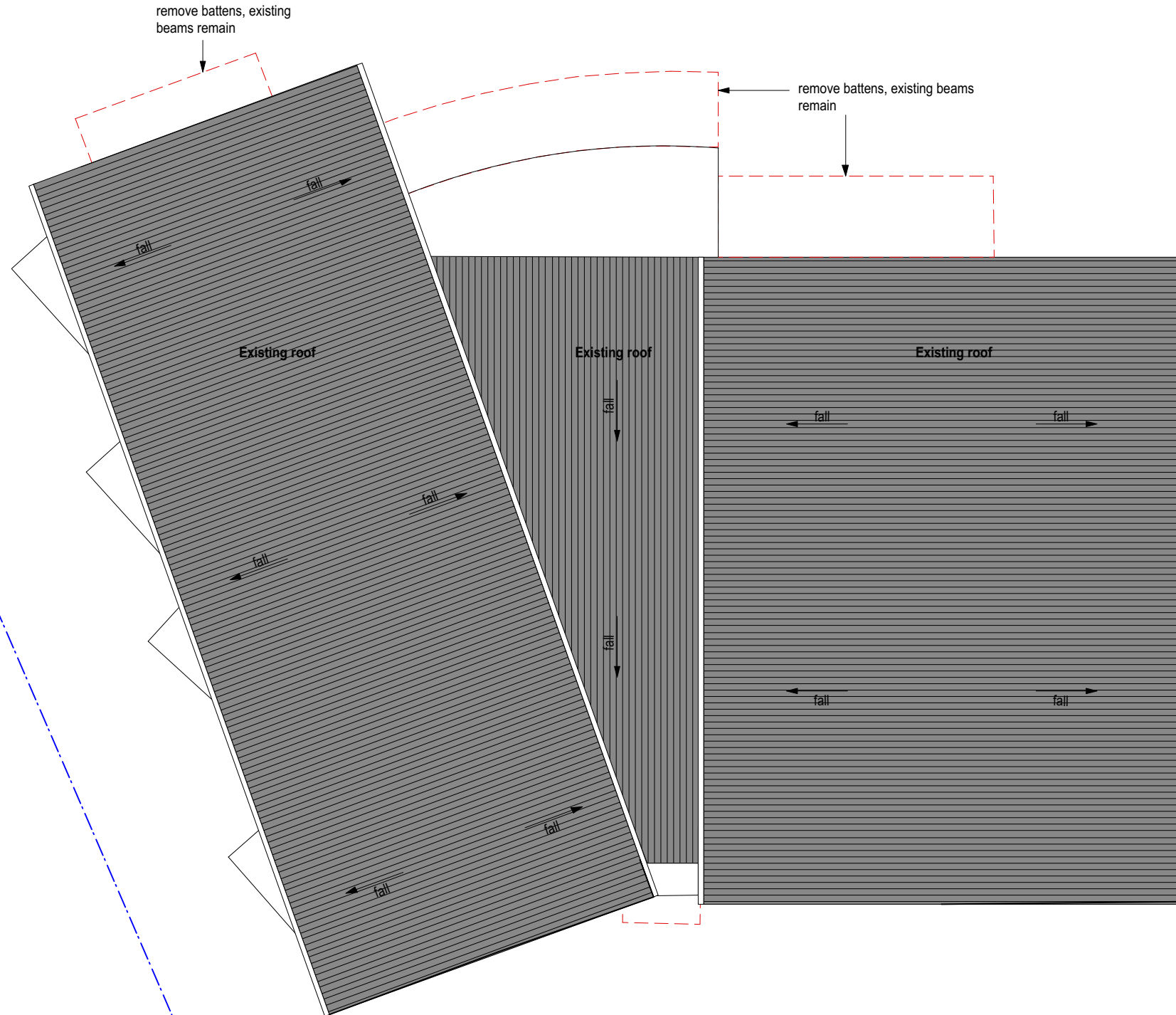
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SITE BOUNDARY



1

EXISTING ROOF PLAN  
SCALE 1:100 @ A3

Legend:

AD  
AW  
BAL  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/ DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING  
EXISTING GLASS WINDOW/ DOOR

F  
FC  
FFL  
FW  
GD  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

WALL LEGEND

EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

Revision:  
A

Date:  
23/9/22

For:  
Development Application

Project:  
Alterations & Additions

Client:  
Sylvie and Stuart Korchinski

Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
EXISTING & DEMOLITION ROOF PLAN

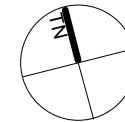
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Development Application

Scale:  
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Drawn:  
TN

Chkd:  
JE

North:



Drawing No:  
DA05

Rev:  
A

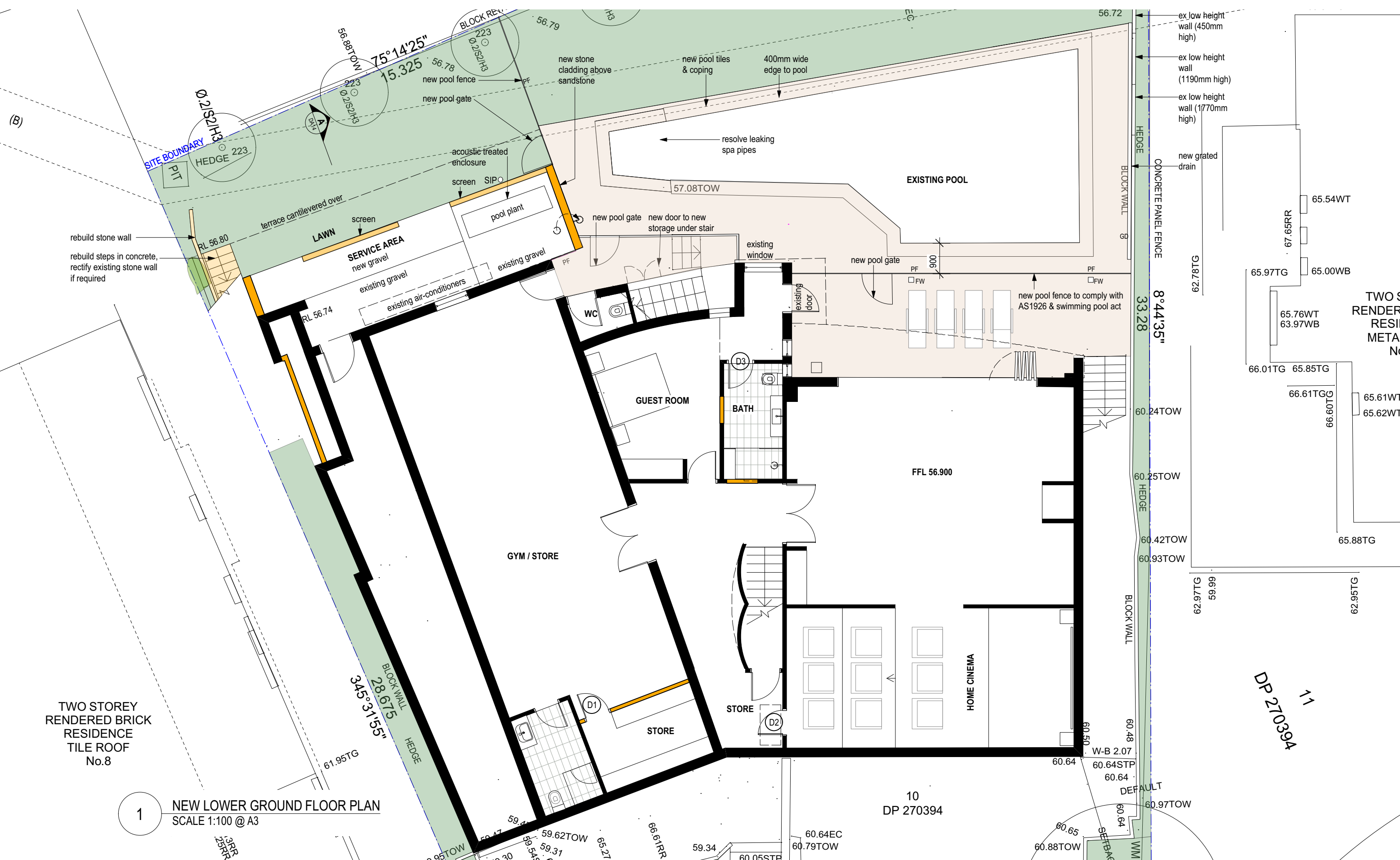
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1 NEW LOWER GROUND FLOOR PLAN  
SCALE 1:100 @ A3

Legend:

AD ALUMINIUM DOOR  
AW ALUMINIUM WINDOW/DOOR  
BAL NEW GLASS BALUSTRADE  
CL CEILING  
CT CERAMIC TILE  
EXG EXISTING  
EXW EXISTING GLASS WINDOW/DOOR

F  
FC  
FFL  
GO  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

WALL LEGEND  
EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

Revision:

A

Date:

23/9/22

For:

Development Application

Project:

Alterations & Additions

Client:

Sylvie and Stuart Korchinski

Address:

9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:

NEW LOWER GROUND FLOOR PLAN

Stage:

Development Application

Scale:

1:50 @ A1  
1:100 @ A3

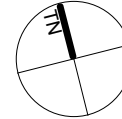
Drawn:

TN

Chkd:

JE

North:



Drawing No:

DA06

Rev:

A

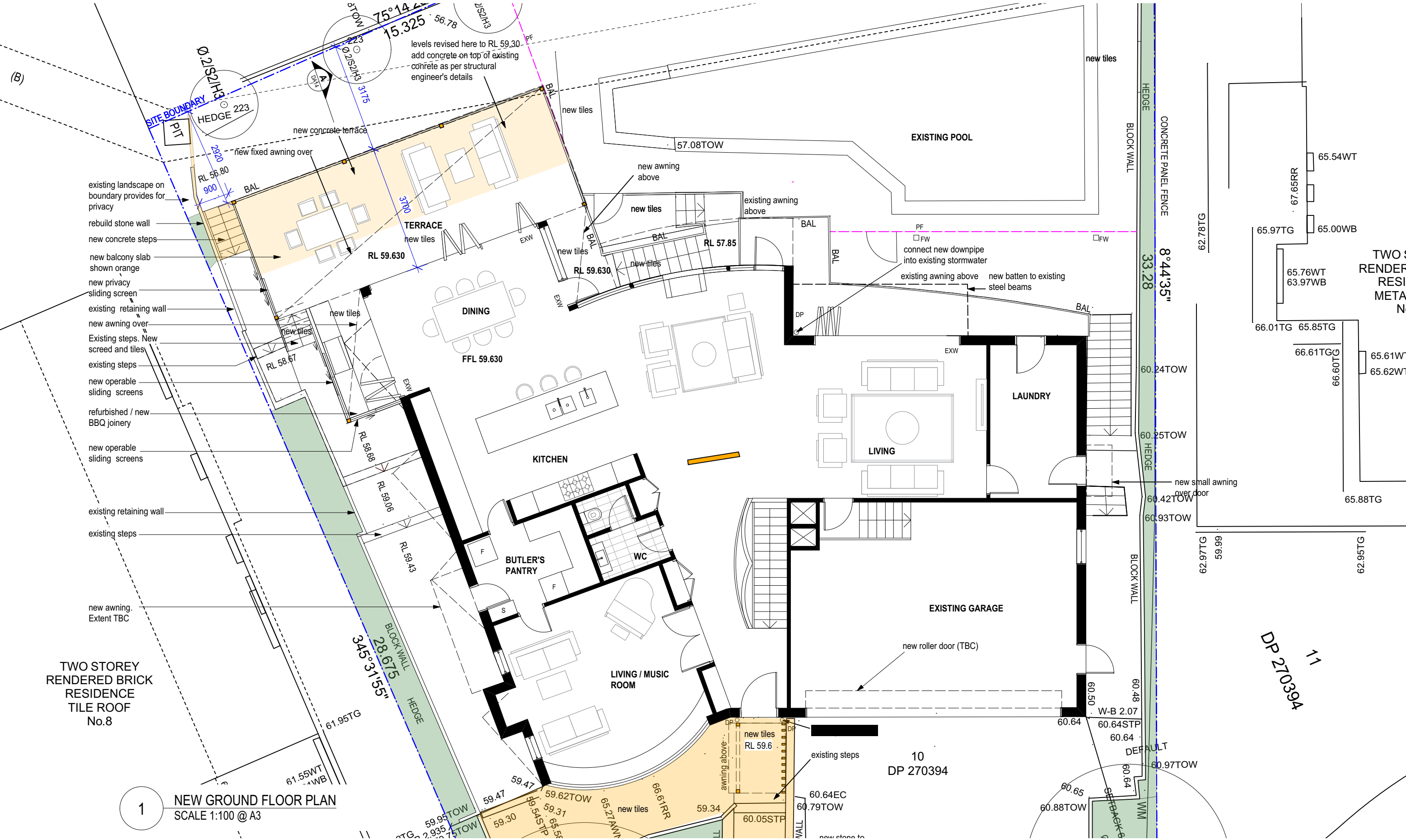
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**Legend:**

AD	ALUMINIUM DOOR	F	FRIDGE	WALL LEGEND
AW	ALUMINIUM WINDOW/DOOR	FC	FIBRE CEMENT	EXISTING WALL
BAL	NEW GLASS BALUSTRADE	FFL	FINISHED FLOOR LEVEL	WALL TO BE DEMOLISHED
CL	CEILING	FW	FLOOR WASTE	NEW WALL
CT	CERAMIC TILE	GD	NEW GRATED DRAIN	
EXG	EXISTING	MRS	METAL ROOF SHEETING	
EXW	EXISTING GLASS WINDOW/DOOR	PF	NEW POOL FENCE	

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For: Development Application

Project:  
Alterations & Additions

Client:  
Sylvie and Stuart Korchinski

Address:  
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Drawing Title:  
NEW GROUND FLOOR PLAN

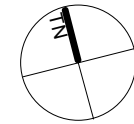
Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn:  
TN

Chkd:  
JE

North:



Drawing No:  
DA07

Rev:  
A

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SITE BOUNDARY



new sheet steel awning

# EXISTING FIRST FLOOR PLAN

SCALE 1:100 @ A3

1

Roof below

ROBE

BEDROOM

BEDROOM

ROBE

BEDROOM

BEDROOM

BATH

ENSUITE

TERRACE 2

DRESSING ROOM

BEDROOM

LIBRARY

STUDY

BEDROOM

existing downpipes

aluminium to new awning. Glass to top or similar

awning above

re-waterproofing and re-tile & add new floor wastes to drain to new stormwater connection/ downpipe

new battens to existing steel beams

new downpipe to drain balcony

new battens to existing steel beams

new balustrade

new sheet steel awning

## Legend:

AD  
AW  
BAL  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/ DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING GLASS WINDOW/ DOOR

F  
FC  
FFL  
FW  
GD  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

### WALL LEGEND

EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

Revision:

A

Date:

23/9/22

For:

Development Application

Project:

Alterations & Additions

Client:

Sylvie and Stuart Korchinski

Address:

9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:

NEW FIRST FLOOR PLAN

Stage:

Development Application

Scale:

1:50 @ A1  
1:100 @ A3

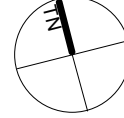
Drawn:

TN

Chkd:

JE

North:



Drawing No:

DA08

Rev:

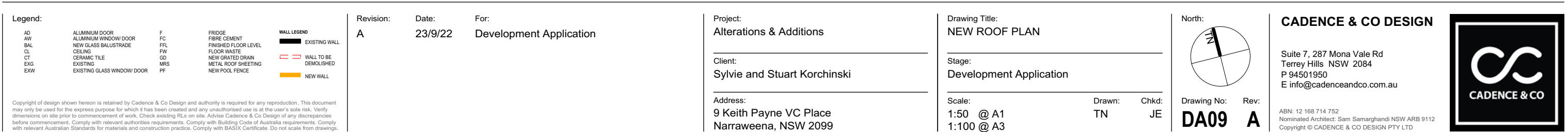
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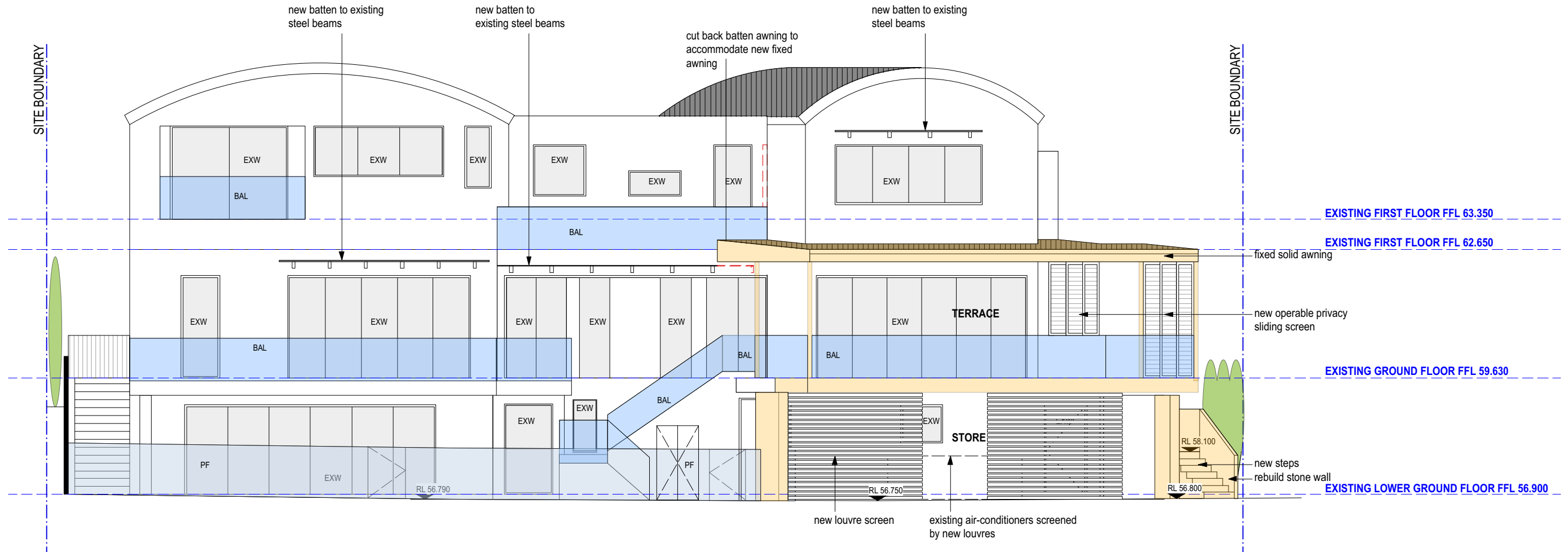
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1 NORTH ELEVATION  
SCALE 1:100 @ A3

Legend:

AD  
AW  
BAL  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING  
EXISTING GLASS WINDOW/DOOR

F  
FC  
FFL  
FW  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

WALL LEGEND

EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

Revision:  
A

Date:  
23/9/22

For:  
Development Application

Project:  
Alterations & Additions

Client:  
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Address:  
9 Keith Payne VC Place  
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Drawing Title:  
NORTH ELEVATION

Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn:  
TN

Chkd:  
JE

North:

Drawing No:  
DA10

Rev:  
A

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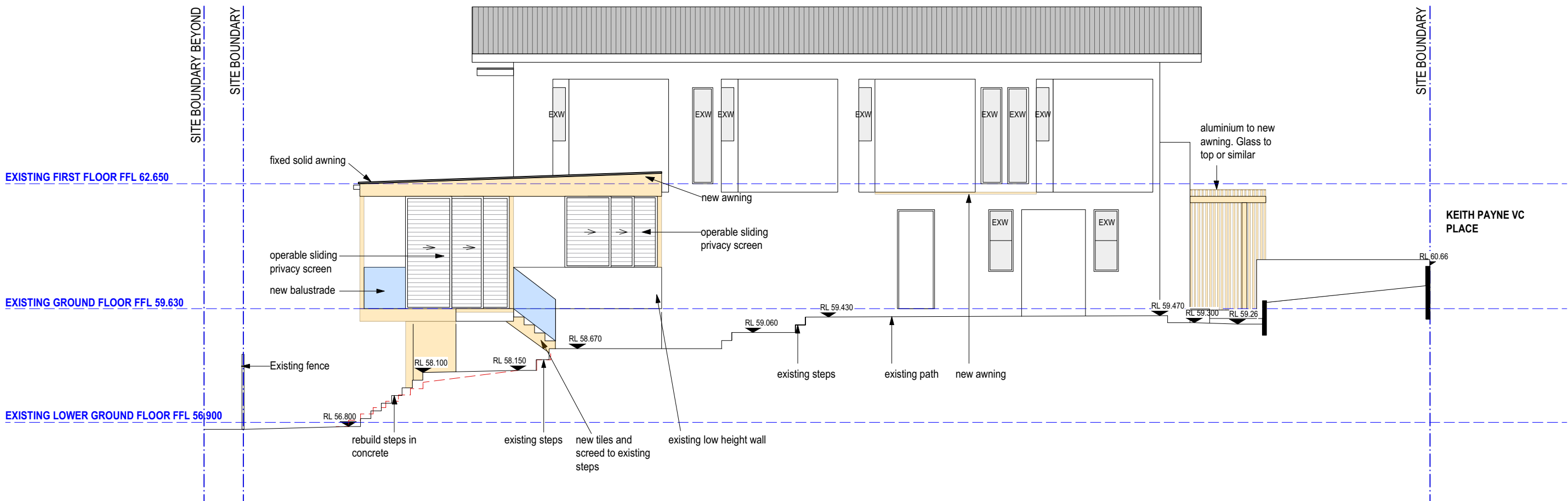
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1 WEST ELEVATION  
SCALE 1:100 @ A3

AD	ALUMINIUM DOOR	F	FRIDGE	WALL LEGEND
AW	ALUMINIUM WINDOW/DOOR	FC	FIBRE CEMENT	EXISTING WALL
CL	NEW GLASS BALUSTRADE	FFL	FINISHED FLOOR LEVEL	WALL TO BE DEMOLISHED
CT	CEILING	FW	FLOOR WASTE	NEW WALL
EXG	CERAMIC TILE	GD	NEW GRATED DRAIN	
EXW	EXISTING GLASS WINDOW/DOOR	MRS	METAL ROOF SHEETING	
		PF	NEW POOL FENCE	

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Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
WEST ELEVATION

Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn:  
TN

Chkd:  
JE

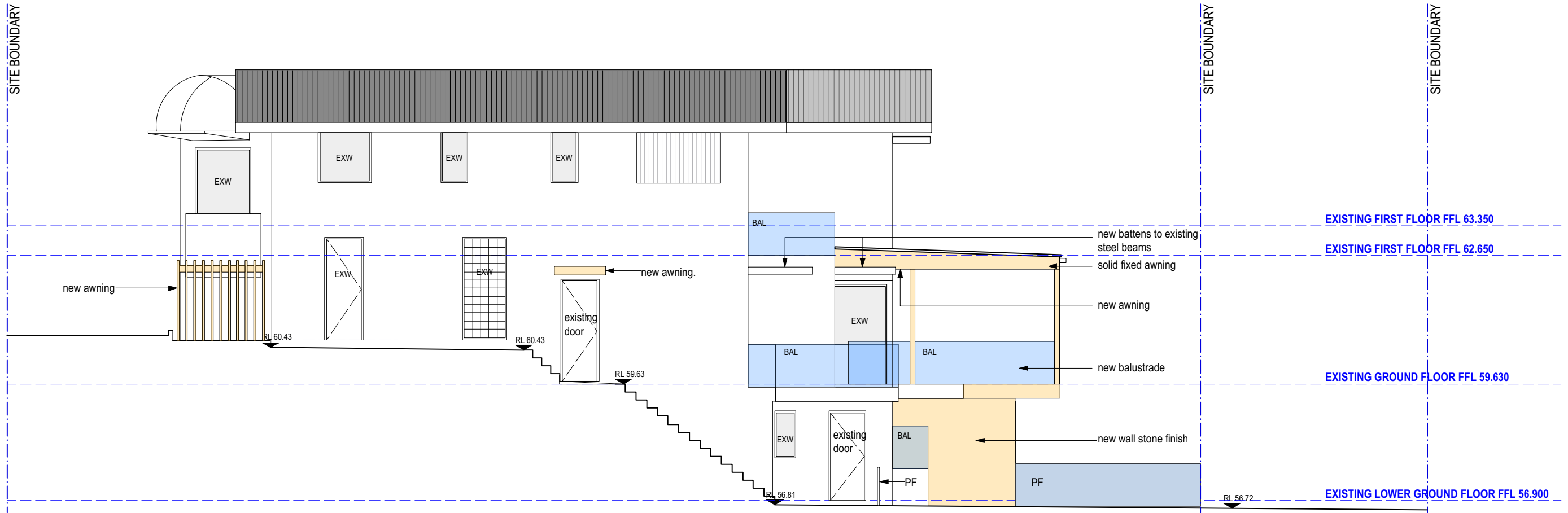
North:

Drawing No:  
DA11

Rev:  
A

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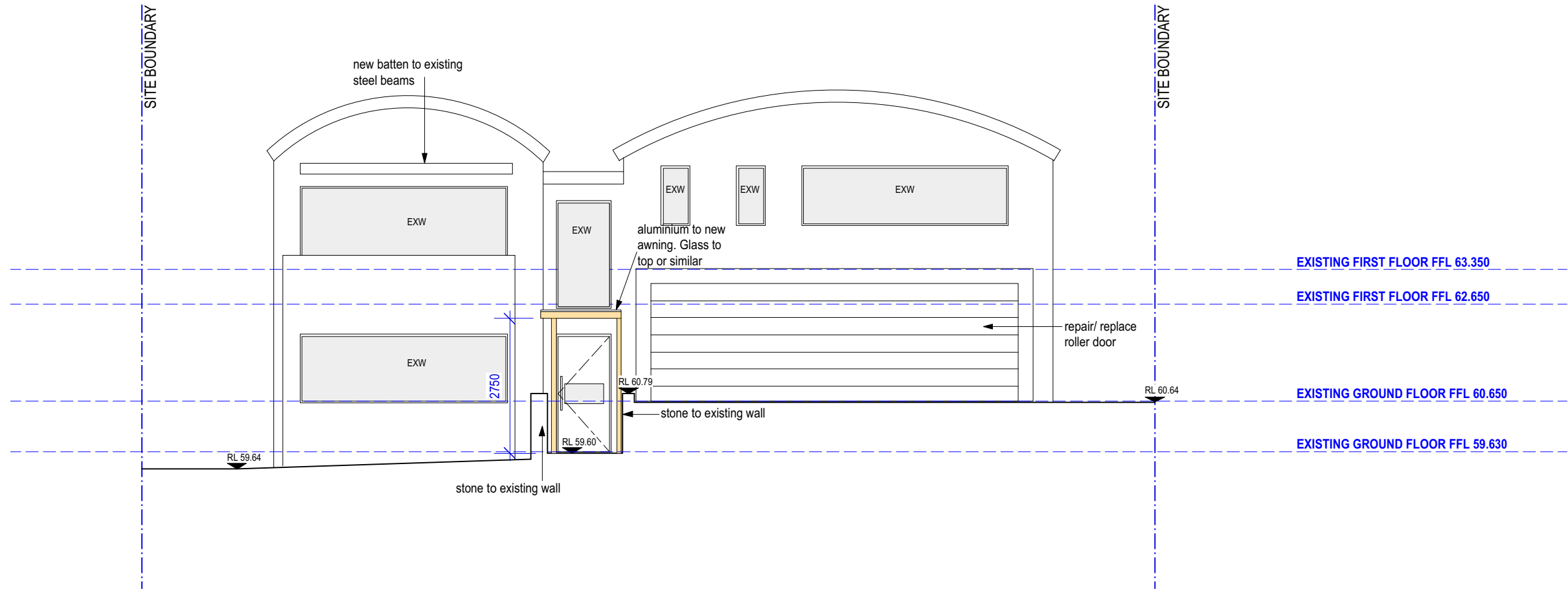
1 EAST ELEVATION  
SCALE 1:100 @ A3

AD ALW CL CT EXG EXW	ALUMINIUM DOOR ALUMINIUM WINDOW/DOOR NEW GLASS BALUSTRADE CEILING CERAMIC TILE EXISTING EXISTING GLASS WINDOW/DOOR	F FC FFL FW GD MRS PF	FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL FLOOR WASTE NEW GRATED DRAIN METAL ROOF SHEETING NEW POOL FENCE	<b>WALL LEGEND</b> — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL
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Revision: A	Date: 23/9/22	For: Development Application	Project: Alterations & Additions	Drawing Title: EAST ELEVATION	North:	<b>CADENCE &amp; CO DESIGN</b>  Suite 7, 287 Mona Vale Rd Terrey Hills NSW 2084 P 94501950 E info@cadenceandco.com.au  ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD
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			Address: 9 Keith Payne VC Place Narraweena, NSW 2099	Scale: 1:50 @ A1 1:100 @ A3	Drawn: TN Chkd: JE	
					Drawing No: <b>DA12</b>	Rev: <b>A</b>





1 SOUTH ELEVATION  
SCALE 1:100 @ A3

AD  
AIW  
Legal  
CL  
CT  
EXG  
EXW

ALUMINIUM DOOR  
ALUMINIUM WINDOW/DOOR  
NEW GLASS BALUSTRADE  
CEILING  
CERAMIC TILE  
EXISTING  
EXISTING GLASS WINDOW/DOOR

F  
FC  
FFL  
FW  
GD  
MRS  
PF

FRIDGE  
FIBRE CEMENT  
FINISHED FLOOR LEVEL  
FLOOR WASTE  
NEW GRATED DRAIN  
METAL ROOF SHEETING  
NEW POOL FENCE

WALL LEGEND  
EXISTING WALL  
WALL TO BE DEMOLISHED  
NEW WALL

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Sylvie and Stuart Korchinski

Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
SOUTH ELEVATION

Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn:  
TN

Chkd:  
JE

North:

Drawing No:  
DA13

Rev:  
A

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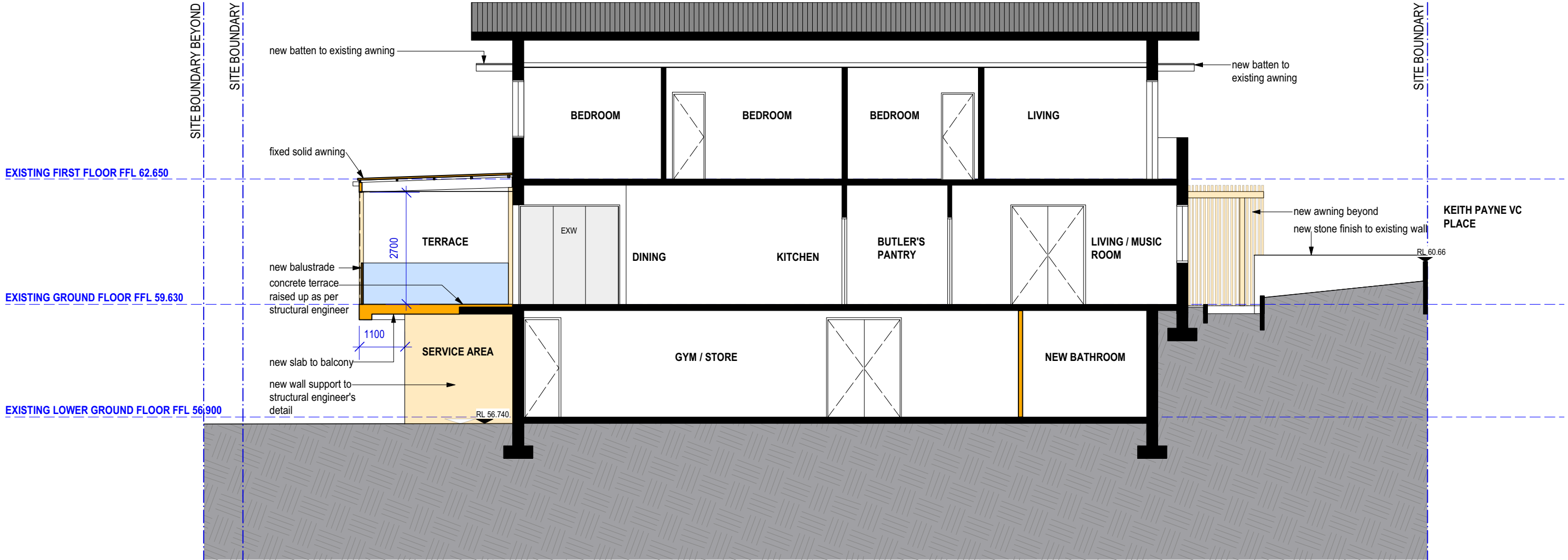
Suite 7, 287 Mona Vale Rd  
Terrey Hills NSW 2084  
P 94501950  
E info@cadenceandco.com.au

ABN: 12 168 714 752  
Nominated Architect: Sam Samarhandi NSW ARB 9112  
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1 SECTION A  
SCALE 1:100 @ A3

extra roof of 32m2 has little impact on existing stormwater system.

new stormwater drainage  
connected to existing  
system



North:



Drawing No: DA15 Rev: A

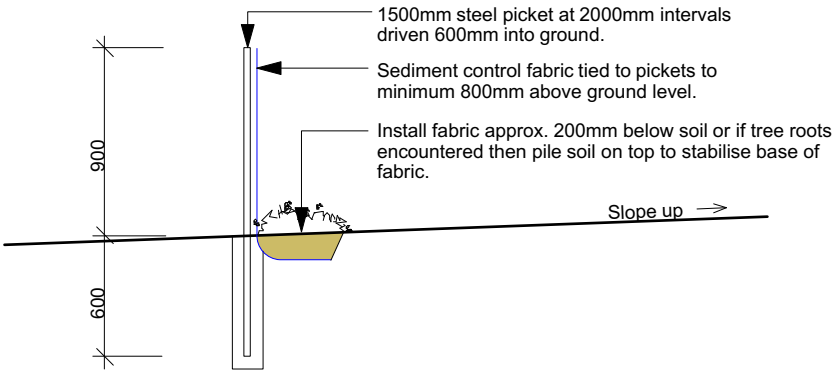
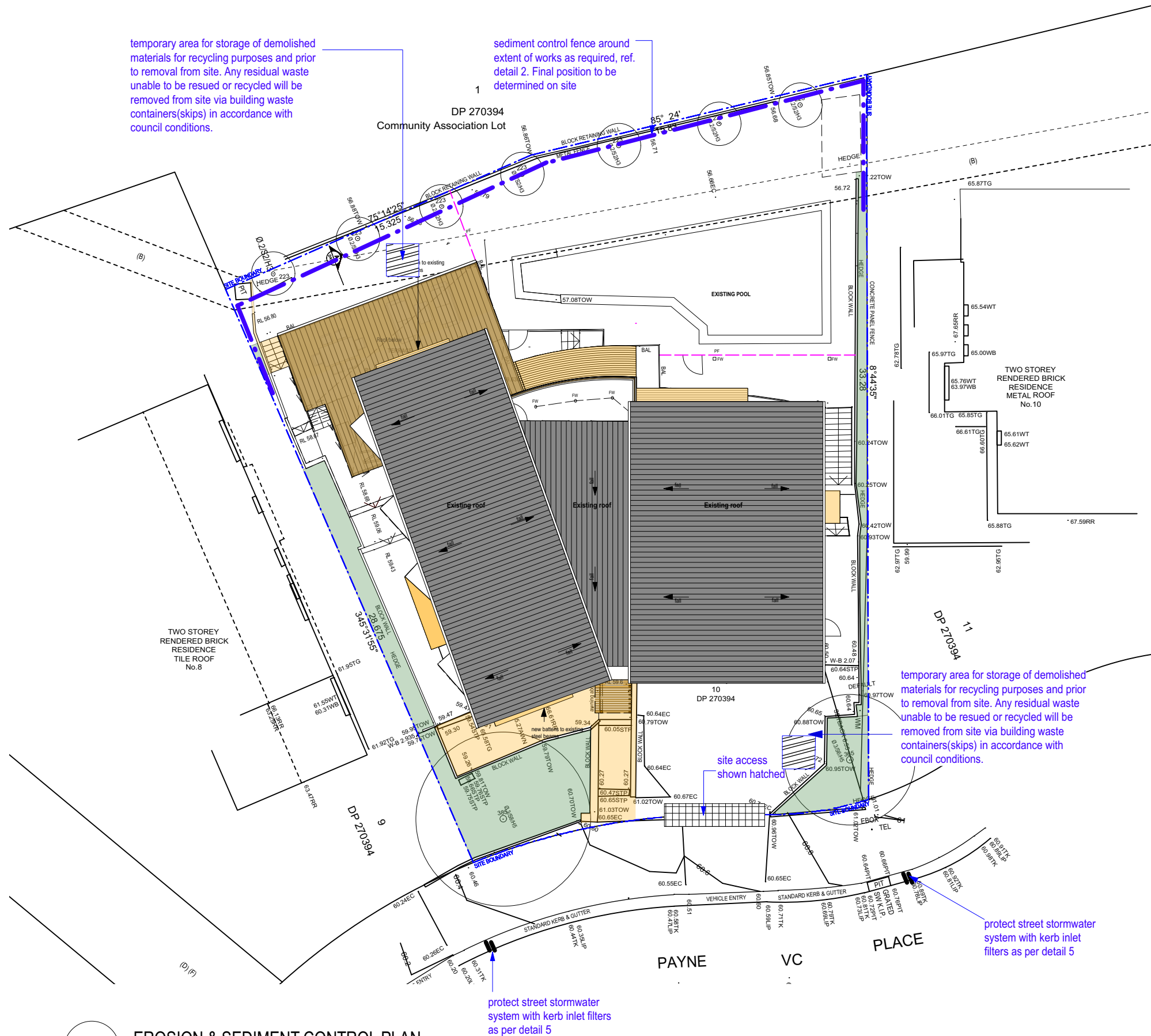
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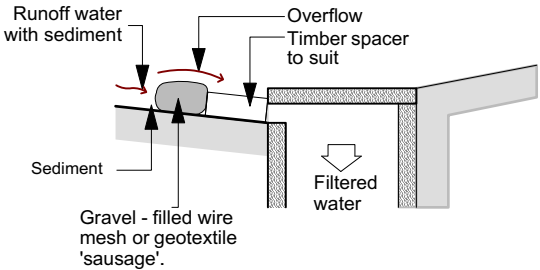
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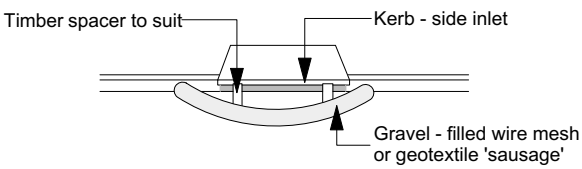
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2 SEDIMENT CONTROL FENCE  
Section NTS



3 MESH & GRAVEL INLET FILTER  
Section NTS



4 MESH & GRAVEL INLET FILTER  
Plan NTS

1 EROSION & SEDIMENT CONTROL PLAN  
SCALE 1:200 @ A3

Legend:

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Revision:

A

Date:

23/9/22

For:

Development Application

Project:

Alterations & Additions

Client:

Sylvie and Stuart Korchinski

Address:

9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:

EROSION & SEDIMENT CONTROL PLAN

Stage:

Development Application

Scale:

1:100 @ A1  
1:200 @ A3


Drawn:

TN

Chkd:

JE

North:



Drawing No:

DA16


Rev:

A

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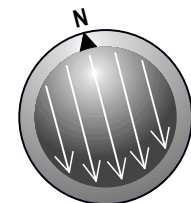






1

SITE SHADOW - 21 JUNE @ 12PM  
SCALE 1:200 @ A3



12:00 PM  
Sydney  
June 21  
Azimuth: 359.1°[0.9° west]  
Altitude: 32.7°  
Solar Time: 12:00 PM

SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

Legend:

Revision: A Date: 23/9/22 For: Development Application

Project: Alterations & Additions

Client: Sylvie and Stuart Korchinski

Address: 9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title: SHADOW DIAGRAM

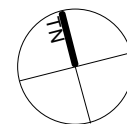
Stage: Development Application

Scale: 1:100 @ A1  
1:200 @ A3

Drawn: TN

Chkd: JE

North:



Drawing No: DA18

Rev: A

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Nominated Architect: Sam Samarghandi NSW ARB 9112  
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DOOR SCHEDULE								<b>NOTES:</b> 1. All external glazing units to have powdercoated aluminium frames as selected. Owner to give final approval to external glazing units before ordering/ manufacture. 2. All glazing to comply with Part 3.6 of the current BCA. 3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co if dimenstions conflict. 4. Refer to Elevations for fixed/ openable sashes. 5. Internal door sizes generally as noted on plan, to be painted flush solid core doors unless noted otherwise. 6. Refer to current Basix certificate
ID	Type	Opening Height (mm)	Opening Width (mm)	Unit Area (m2)	Glazing Type	Head (nom.)	Comments	
D1	hinged door	2100	800	N/A	no glazing	2100	New door to new store at lower ground floor	
D2	hinged door	2100	800	N/A	no glazing	2100	New door to new store at lower ground floor	
D3	hinged door	2100	800	N/A	no glazing	2100	New door to bathroom at lower ground floor	

# BASIX®Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A430139\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Friday, 05, August 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	9 Keith Payne_02
Street address	9 Keith Payne VC Crescent Narraweena 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 270394
Lot number	10
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Jane Anderson Architecture
ABN (if applicable): 79628347350

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Legend:

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Revision:

A

Date:

23/9/22

For:

Development Application

Project:

Alterations & Additions

Client:

Sylvie and Stuart Korchinski

Address:

9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:

BASIX

Stage:

Development Application

Scale:

1:50 @ A1  
1:100 @ A3

Drawn:

TN

Chkd:

JE

North:

Drawing No:

DA21

Rev:

A

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Nominated Architect: Sam Samarghandi NSW ARB 9112  
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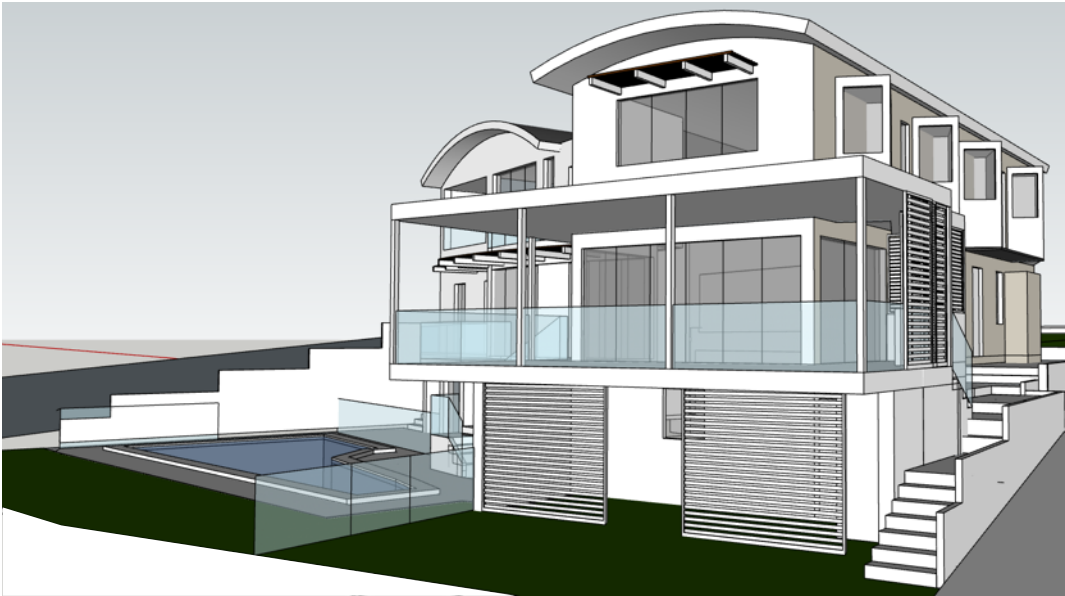




View from rear boundary



View from rear boundary



View from rear boundary



View from side boundary



View from street



View from street

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Revision: A  
Date: 23/9/22  
For: Development Application

Project:  
Alterations & Additions

Client:  
Sylvie and Stuart Korchinski

Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
3D IMAGES

Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn:  
TN

Chkd:  
JE

North:

Drawing No:  
DA22

Rev:  
A

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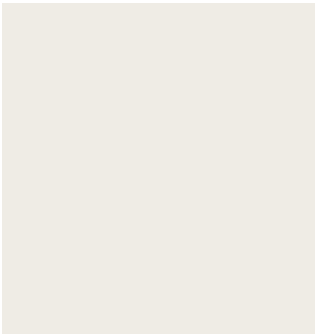
METAL SHEET ROOFING-over new terrace



Existing doors



Steel hood over laundry, butlers door



New wall terrace colour



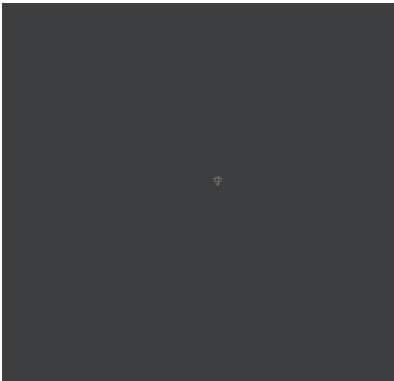
Light coloured tile



New entry tile



New stone cladding to existing entry walls



batten hoods



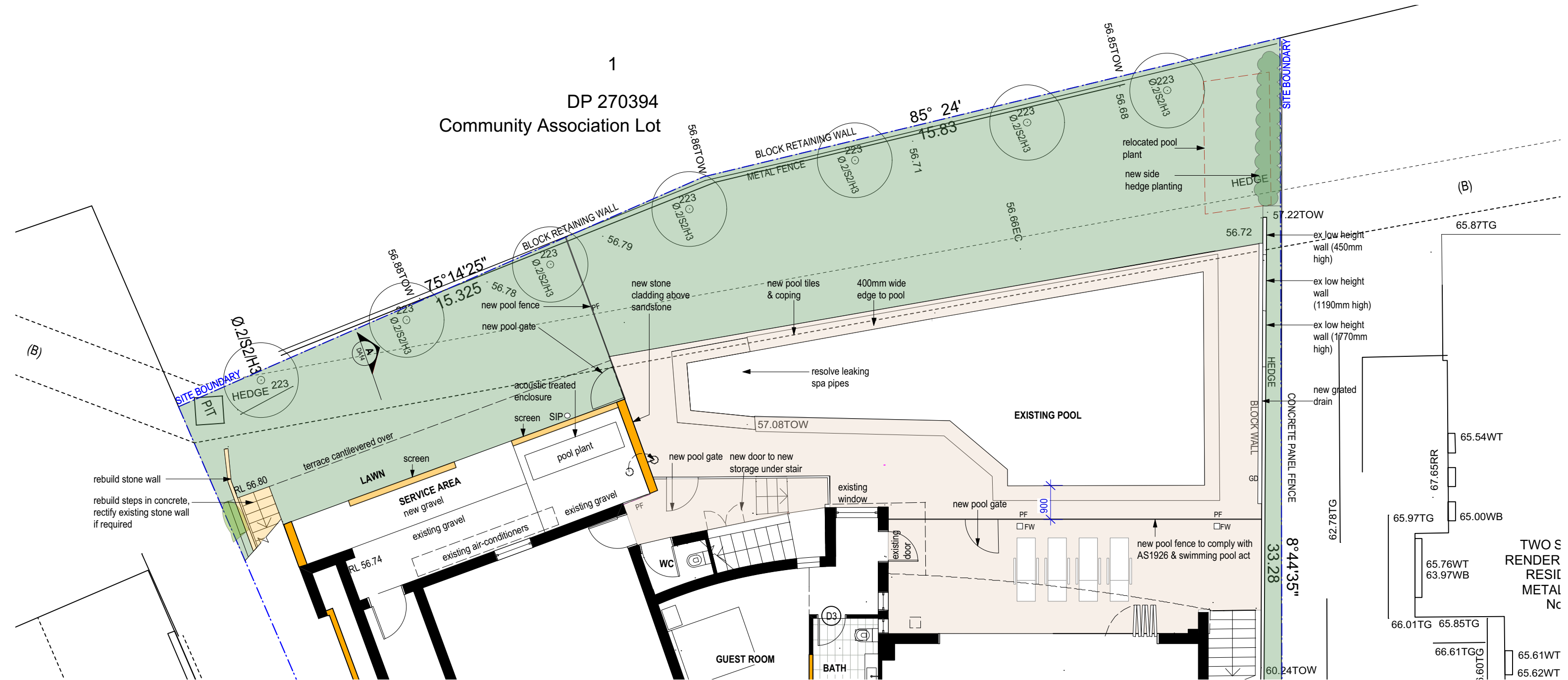
Feature stone shower wall

Legend:	Revision:		Date:	For:	Project:	Drawing Title:			North:	CADENCE & CO DESIGN			
	A		23/9/22	Development Application		EXTERNAL MATERIALS & FINISHES							
					Client:	Stage:			Drawing No:			Rev:	
					Sylvie and Stuart Korchinski		Development Application			DA23			A
					Address:	Scale:			Drawn:	Chkd:	Suite 7, 287 Mona Vale Rd Terrey Hills NSW 2084 P 94501950 E info@cadenceandco.com.au		
					9 Keith Payne VC Place Narraweena, NSW 2099		1:50 @ A1 1:100 @ A3			TN	JE	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	
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1  
DP 270394  
Community Association Lot



1 LANDSCAPE/HARDSCAPE PLAN  
SCALE 1:100 @ A3

[illegible]

Revision: A      Date: 23/9/22      For: Development Application

Project:  
Alterations & Additions

Client:  
Sylvie and Stuart Korchinski

Address:  
9 Keith Payne VC Place  
Narraweena, NSW 2099

Drawing Title:  
LANDSCAPE/HARDSCAPE PLAN

Stage:  
Development Application

Scale:  
1:50 @ A1  
1:100 @ A3

Drawn: Chkd:  
TN JE

North:

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P 94501950  
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