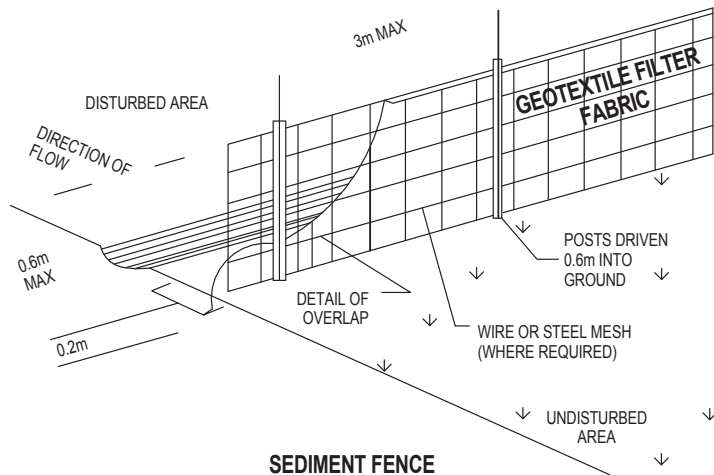




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**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
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CONSENT**

**MOD2020/0173**



**DUST CONTROL :**

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**SEDIMENT NOTE :**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

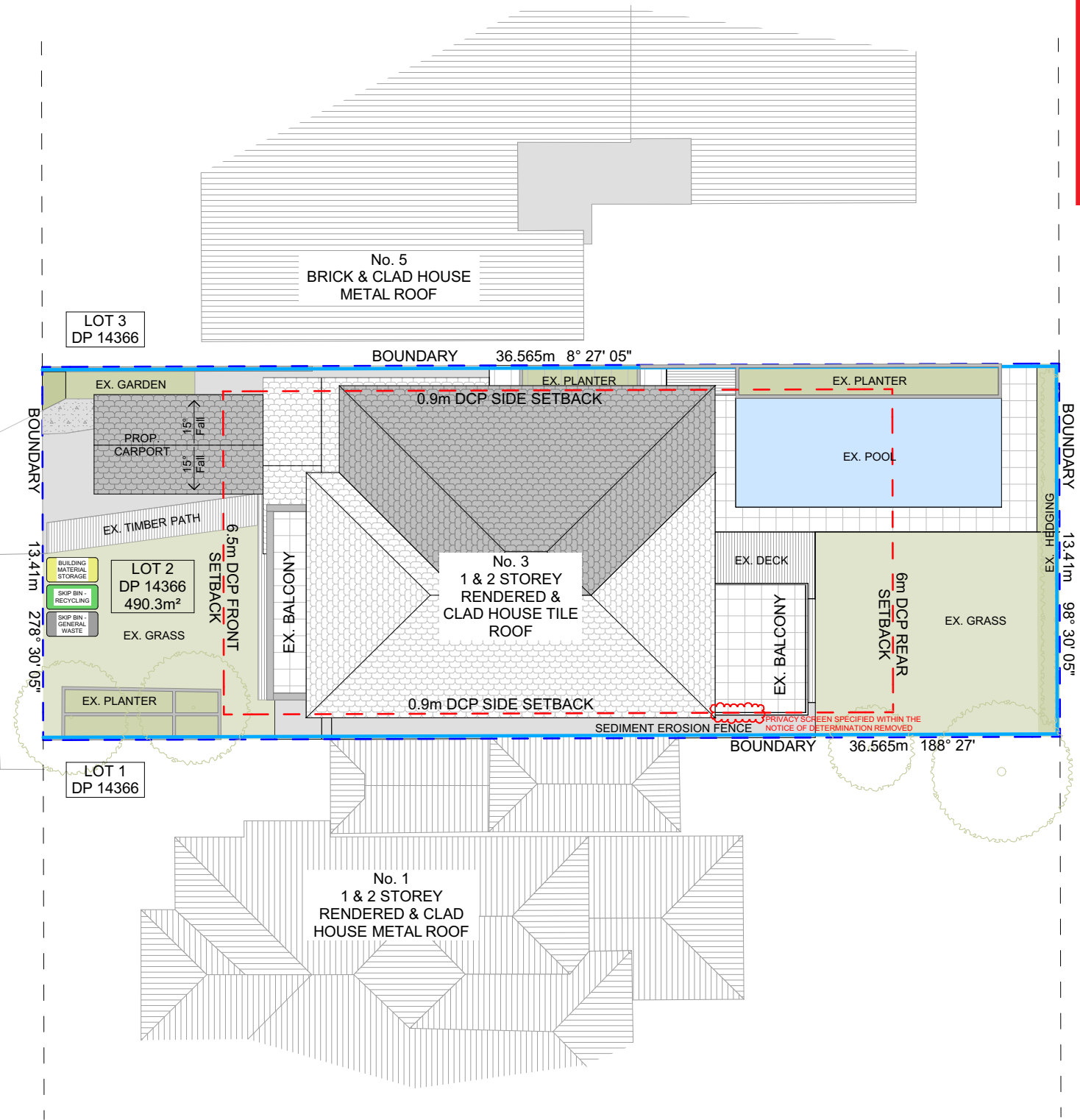
**STOCKPILES :**

ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION. ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES. IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

**GUTTER PROTECTION :**

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE:** ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



1

**SITE / ROOF / SEDIMENT EROSION / WASTE / STORMWATER CONCEPT MANAGEMENT PLAN**

**1:200**



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A	29.04.2020	SECTION 4.55 LODGEMENT SET	AM

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**LEGEND**

- EXISTING
- PROPOSED
- DEMOLISHED

**CLIENT**

James & Kelly Mooney

**PROJECT ADDRESS**

3 Wyadra Avenue,  
Freshwater NSW 2096

**DRAWING NO.**

**S4.55-02**

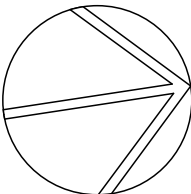
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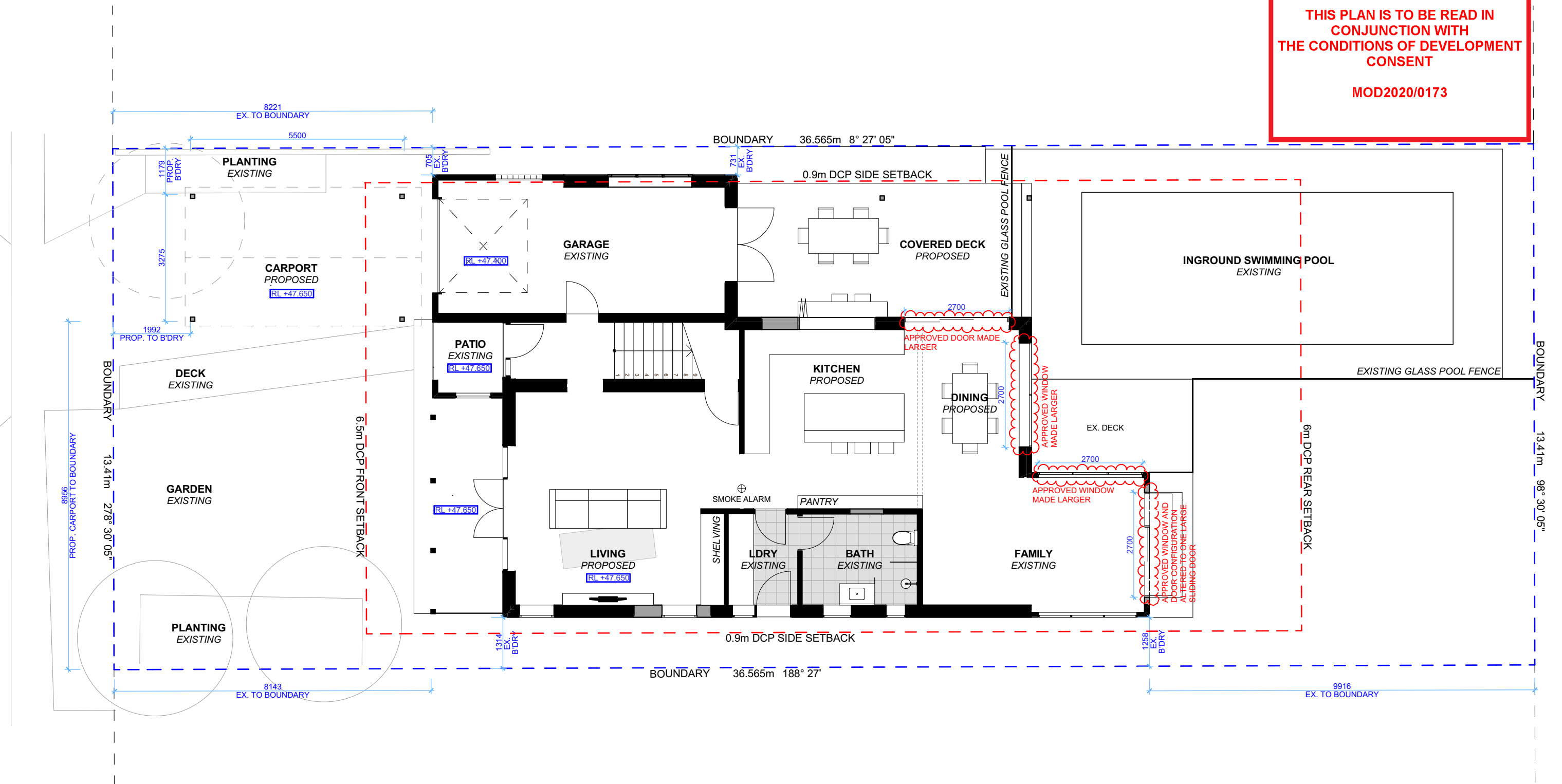
Wednesday, April 29,  
2020

**DRAWING NAME**

SITE / ROOF / SEDIMENT  
EROSION / WASTE  
MANAGEMENT / STORMWATER  
CONCEPT PLAN  
**SCALE**

1:200 @A3





1

## PROPOSED GROUND FLOOR PLAN

1:100

NOTE: ALL SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC

NOTE:  
All new West facing Windows within 900mm of the boundary are to comply with the following:

(c) Openings in external walls required to be fire-resisting (referred to in 3.7.2.2 or 3.7.2.5) must be protected by-

(i) non-openable fire windows or other construction with an FRL of not less than -/60/-; or

(ii) self-closing solid core doors not less than 35 mm thick.



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### LEGEND

EXISTING  
PROPOSED  
DEMOLISHED  
HARD WIRED SMOKE ALARM

### CLIENT

James & Kelly Mooney

### PROJECT ADDRESS

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### DRAWING NO.

**S4.55-05**

### DATE

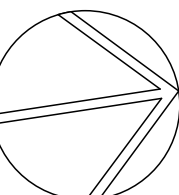
Wednesday, April 29,  
2020

### DRAWING NAME

PROPOSED GROUND FLOOR  
PLAN

### SCALE

1:100 @A3

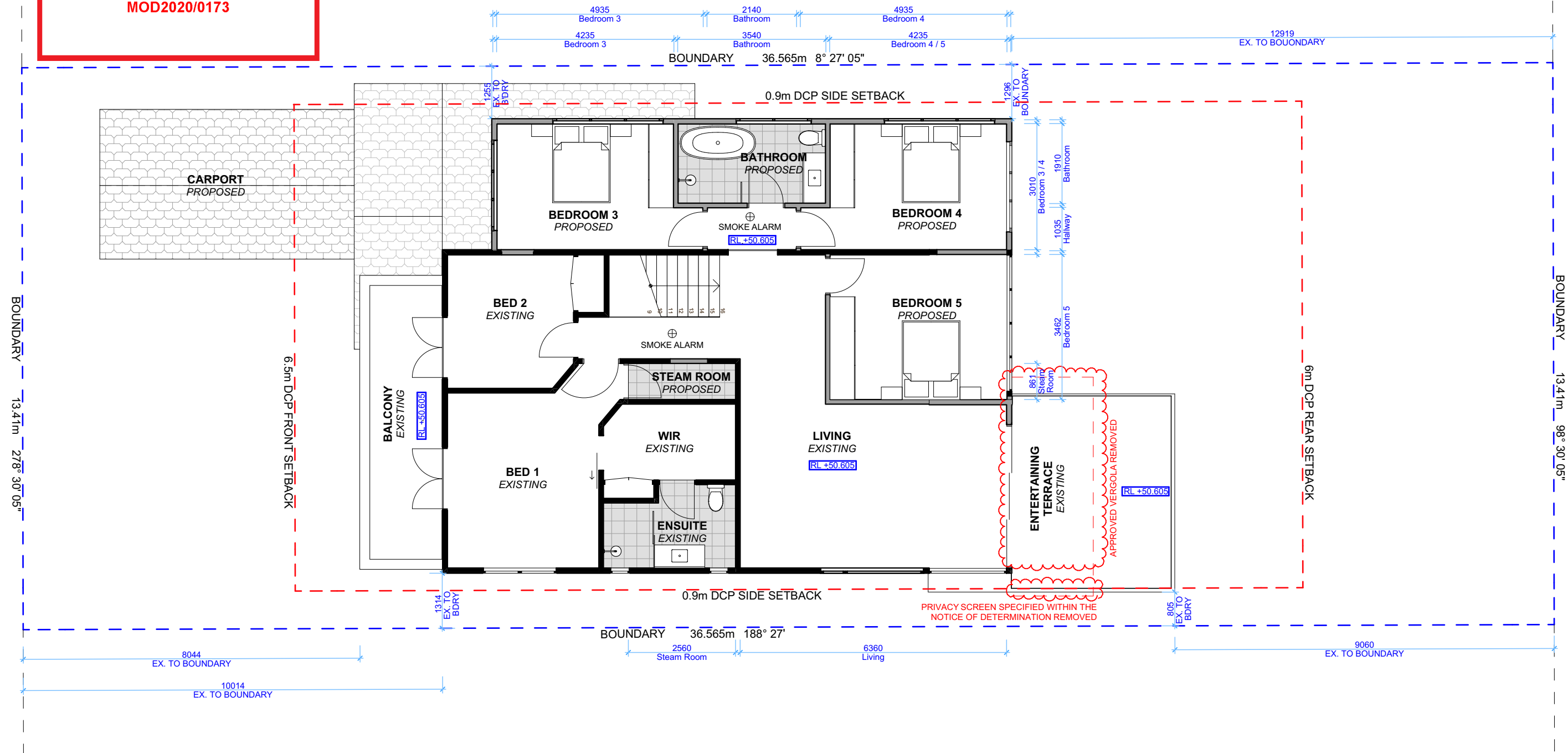




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THIS PLAN IS TO BE READ IN  
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1

PROPOSED FIRST FLOOR PLAN

1:100

NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS

NOTE: ALL SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

HARD WIRED SMOKE ALARM

CLIENT

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DRAWING NO.

S4.55-06

DATE

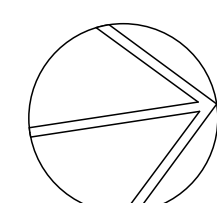
Wednesday, April 29,  
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DRAWING NAME

PROPOSED FIRST FLOOR  
PLAN

SCALE

1:100 @A3

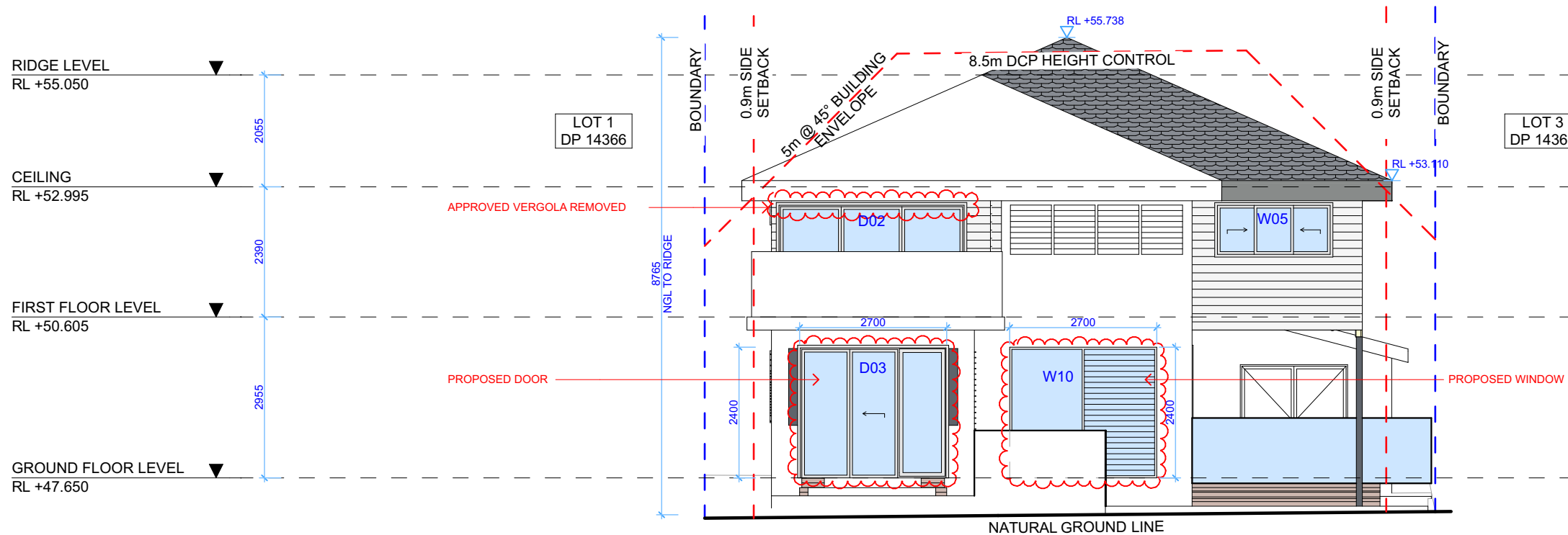




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**MOD2020/0173**

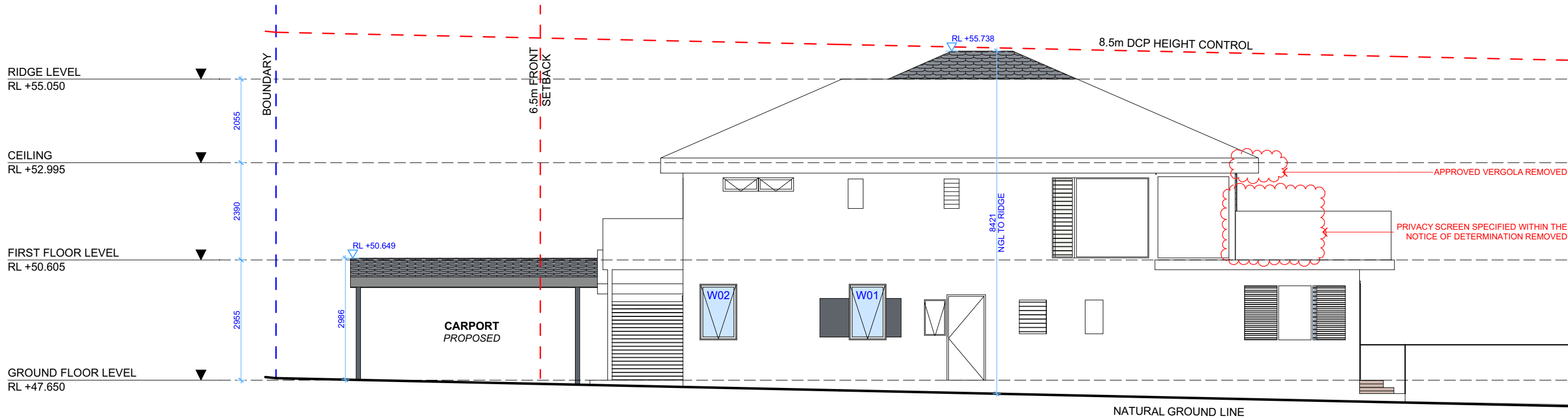


1

## NORTH ELEVATION

1:100

NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS



2

## EAST ELEVATION

1:100



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### LEGEND

NEW FLOOR AREA	CONCRETE
NEW WET FLOOR AREA	BRICKWORK
METAL ROOFING	METAL
TILED ROOFING	EXISTING
TIMBER	DEMOLISHED

### CLIENT

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### DRAWING NO.

**S4.55-07**

### DATE

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2020

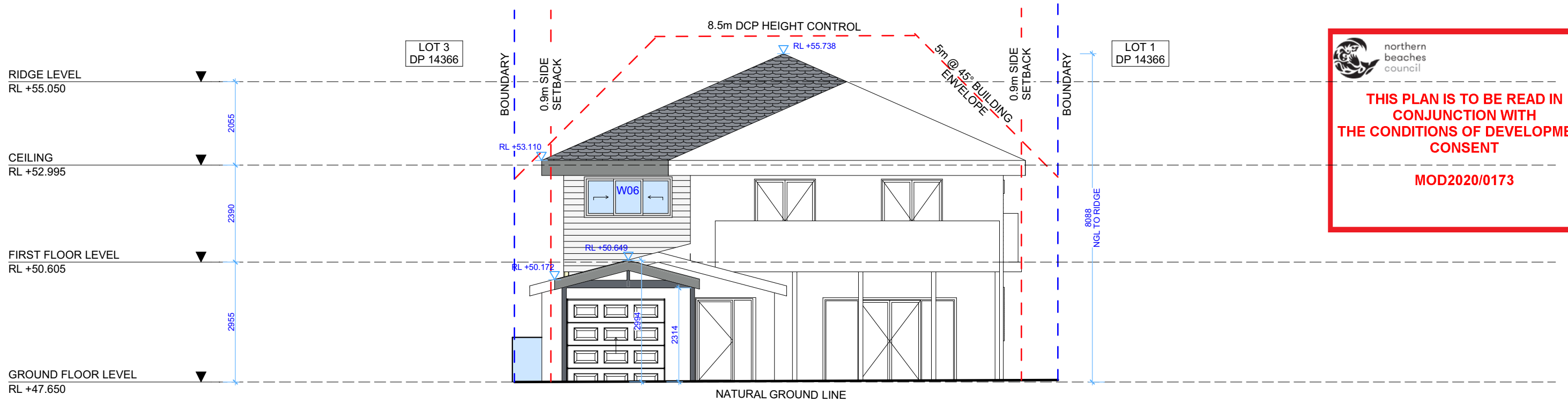
### DRAWING NAME

NORTH / EAST ELEVATION

### SCALE

1:100 @A3





**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

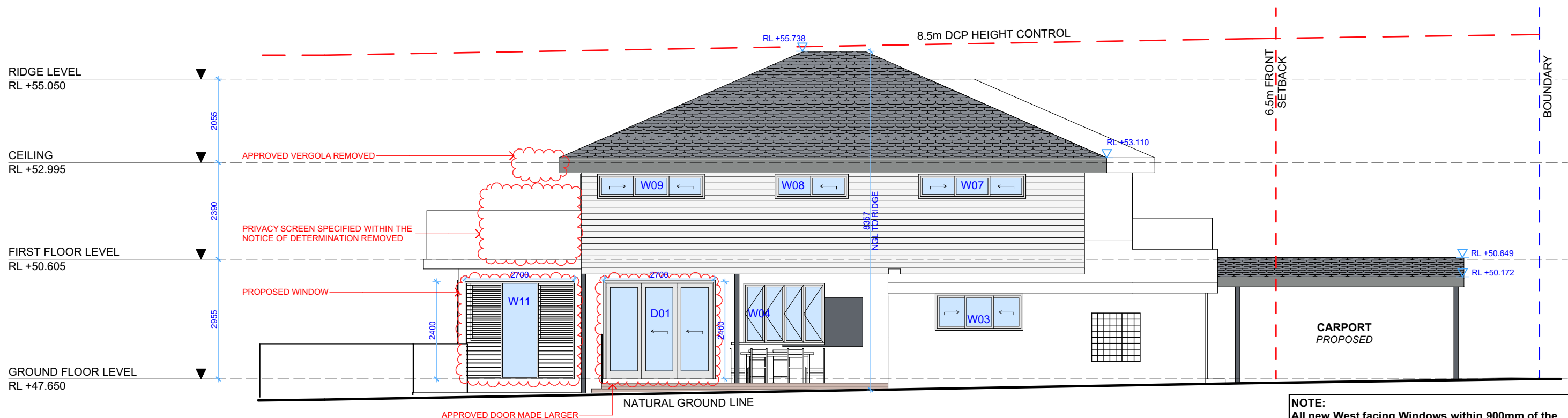
**MOD2020/0173**

1

**SOUTH ELEVATION**

**1:100**

**NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS**



2

**WEST ELEVATION**

**1:100**

**NOTE:**  
All new West facing Windows within 900mm of the boundary are to comply with the following:

(c) Openings in external walls required to be fire-resisting (referred to in 3.7.2.2 or 3.7.2.5) must be protected by-

(i) non-openable fire windows or other construction with an FRL of not less than -/60/-; or

(ii) self-closing solid core doors not less than 35 mm thick.



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**LEGEND**

NEW FLOOR AREA	CONCRETE
NEW WET FLOOR AREA	BRICKWORK
METAL ROOFING	METAL
TILED ROOFING	EXISTING
TIMBER	DEMOLISHED

**CLIENT**

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**DRAWING NO.**

**S4.55-08**

**DATE**

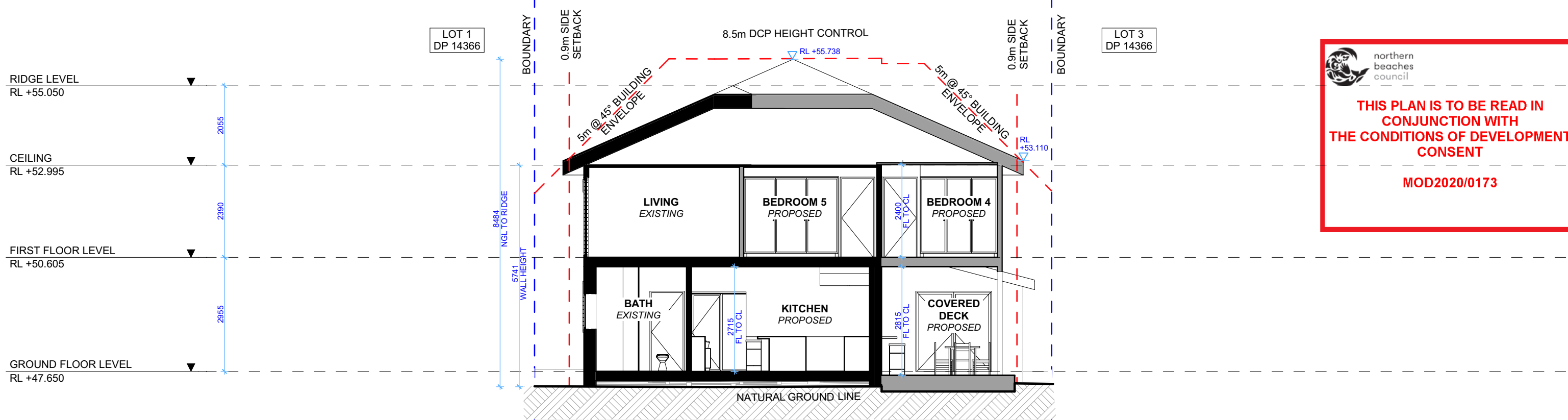
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2020

**DRAWING NAME**

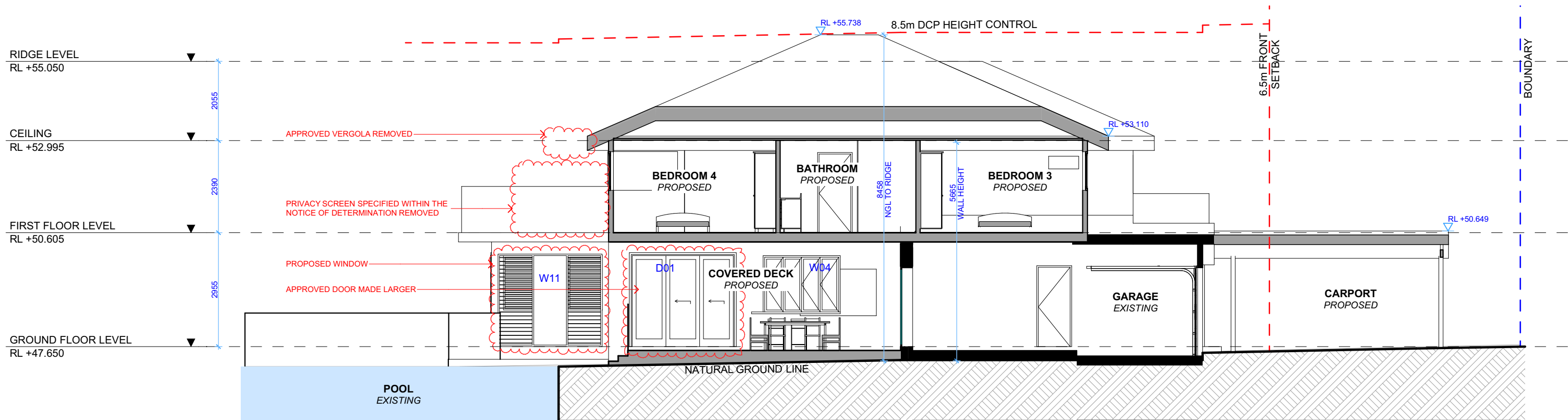
SOUTH / WEST ELEVATION

**SCALE**

1:100 @A3




1 CROSS SECTION 1:100



2 LONG SECTION 1:100

NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS



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**LEGEND**

- NEW FLOOR AREA
- NEW WET FLOOR AREA
- METAL ROOFING
- TILED ROOFING
- TIMBER
- CONCRETE
- BRICKWORK
- METAL
- EXISTING
- DEMOLISHED

**CLIENT**  
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**DRAWING NO.**  
**S4.55-09**

**DATE**  
Wednesday, April 29,  
2020

**DRAWING NAME**  
LONG / CROSS SECTION

**SCALE**  
1:100 @A3