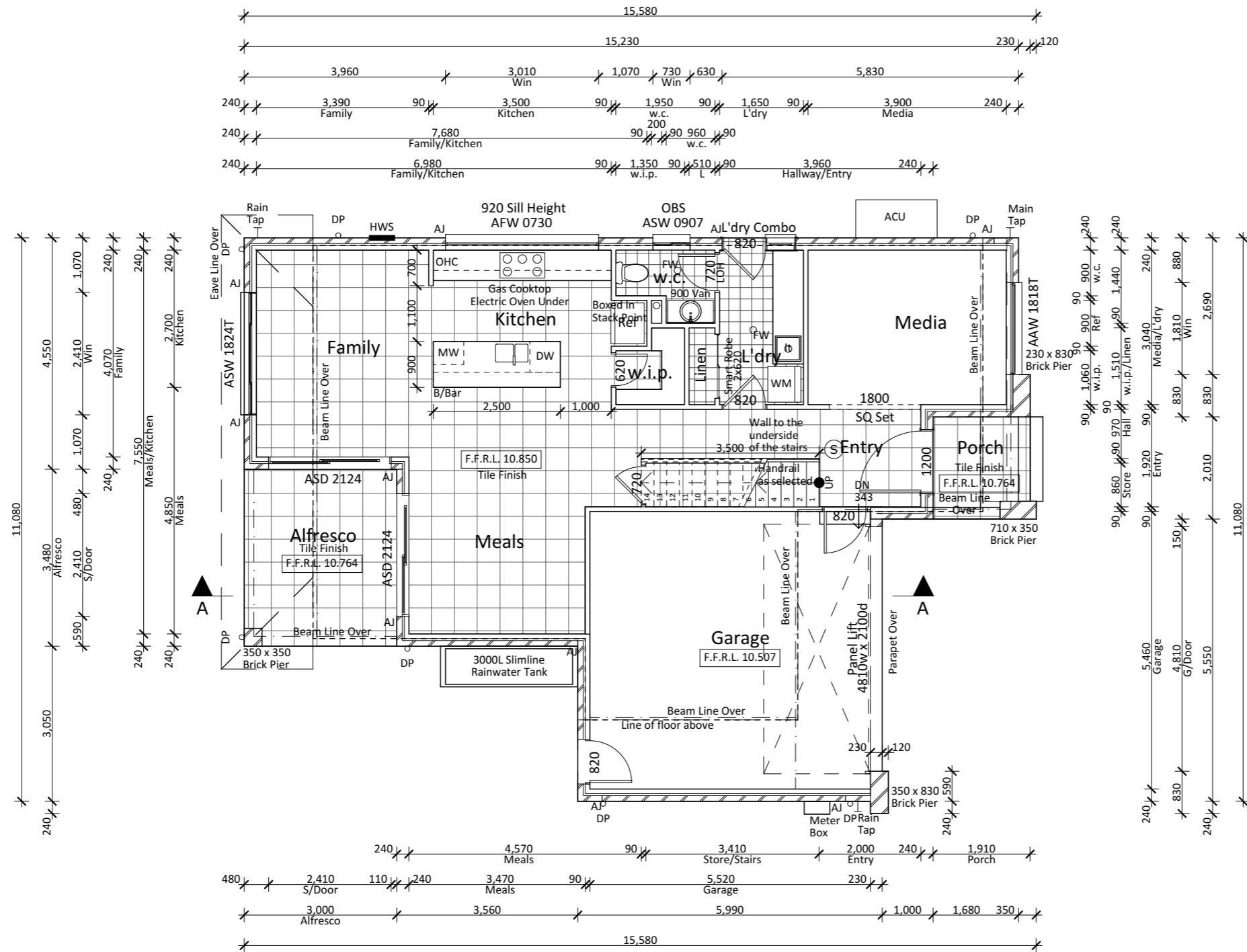


Note:
Fiberglass mesh fly screens
to all openable windows

Note:
All doors and SQ Sets to be 2,040
high unless notated otherwise



Ground Floor Plan
1:100

Floor Area (m2)	
Porch	4.07
Alfresco	10.44
Garage	34.43
Ground Living	85.78
Upper Living	96.47
	231.19 m²



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0387

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - B/Bar - Breakfast Bar
 - BLO - Beam Line Over
 - DP - Downpipe
 - DW - Dishwasher
 - Ens - Ensuite
 - F/P - Fire Place
 - FW - Floor Waste
 - HWS - Hot Water System
 - L - Linen
 - LC - Laundry Chute
 - LOH - Lift off Hinge
 - LT - Laundry Tub
 - MH - Manhole
 - MW - Microwave Oven
 - OBS - Obscure
 - OHC - Over Head Cupboard
 - P - Pantry
 - R - Robe
 - RHS - Rolled Hollow Steel
 - S - Smoke Detector
 - Shr - Shower
 - TR - Towel Rail
 - Van - Vanity
 - w.i.l. - Walk in Linen
 - w.i.r. - Walk in Robe
 - w.i.p. - Walk in Pantry
 - w.c. - Wash Closet
 - WM - Washing Machine

- Notes:**
- Levels shown are approx and should be verified on site
 - Figured dimensions are to be taken in preference to scaling
 - All measurements are in mm unless otherwise stated
 - Window sizes are nominal only. Final window sizes by builder
 - Dimensions are to be verified on site by builder before commencement of work.
 - All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
 - Final AJ's to engineers specifications
 - Plus or minus 200mm to floor levels
 - Steel beam required if any openings have more than 6 courses of brickwork above

Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 21 DP: 270907
28 Baz Retreat, Warriewood

Drawing:
Ground Floor Plan

Scale: **1:100** Date: **05-03-20**

Drawing No: **19139-4** Sheet: **3/11** Issue: **E**

House Design: Tampa 24 (Norfolk Facade)

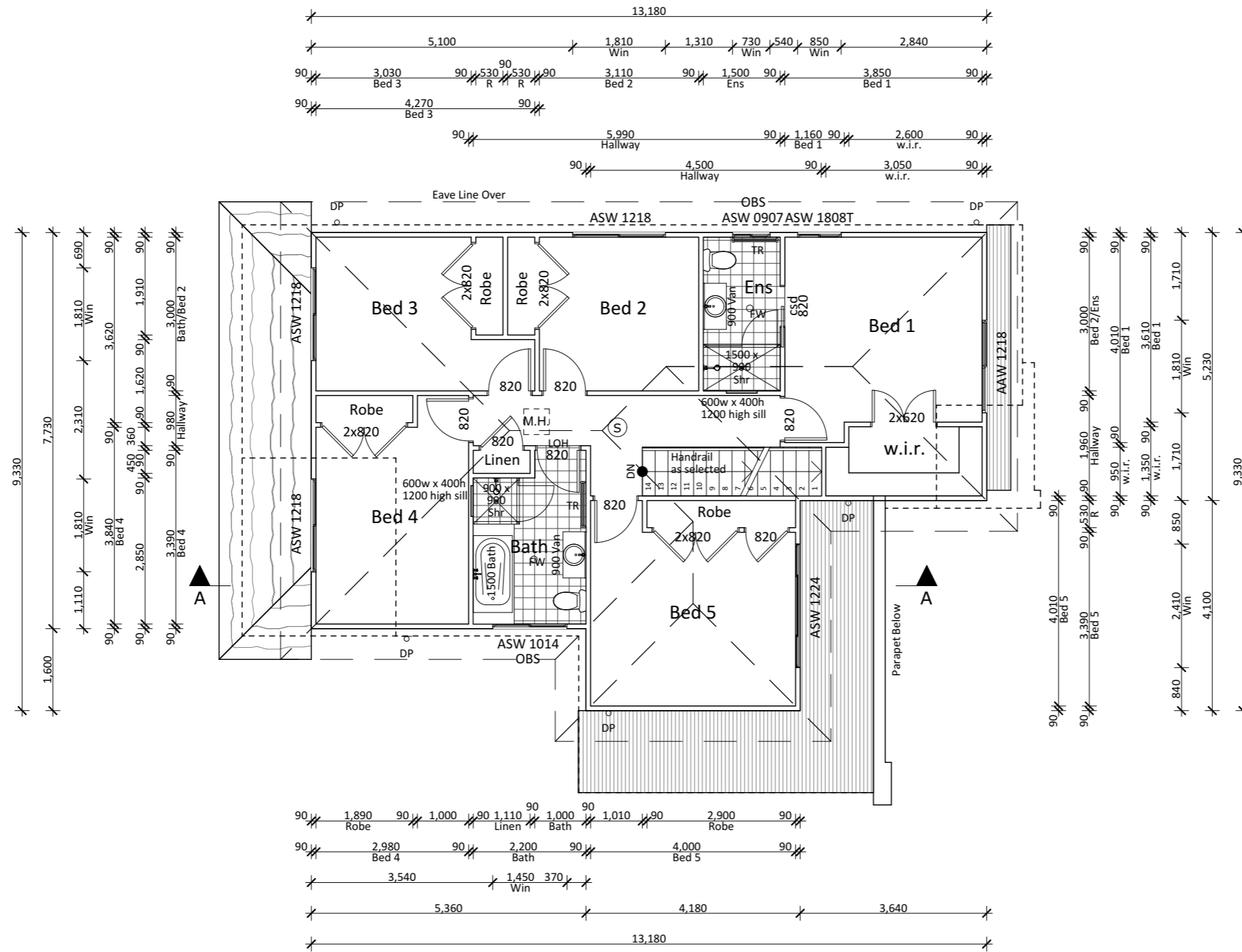


Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Email: info@accuratedesign.com.au

Note:
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to all openable windows

Note:
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Notes:
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8. Plus or minus 200mm to floor levels
9. Steel beam required if any openings have more
than 6 courses of brickwork above



Floor Area (m2)	
Porch	4.07
Alfresco	10.44
Garage	34.43
Ground Living	85.78
Upper Living	96.47
	231.19 m²

Upper Floor Plan
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0387

- Legend:**
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
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 - DP - Downpipe
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 - w.i.r. - Walk in Robe
 - w.i.p. - Walk in Pantry
 - w.c. - Wash Closet
 - WM - Washing Machine

Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 21 DP: 270907
28 Baz Retreat, Warriewood

Drawing:
Upper Floor Plan

Scale: **1:100** Date: **05-03-20**

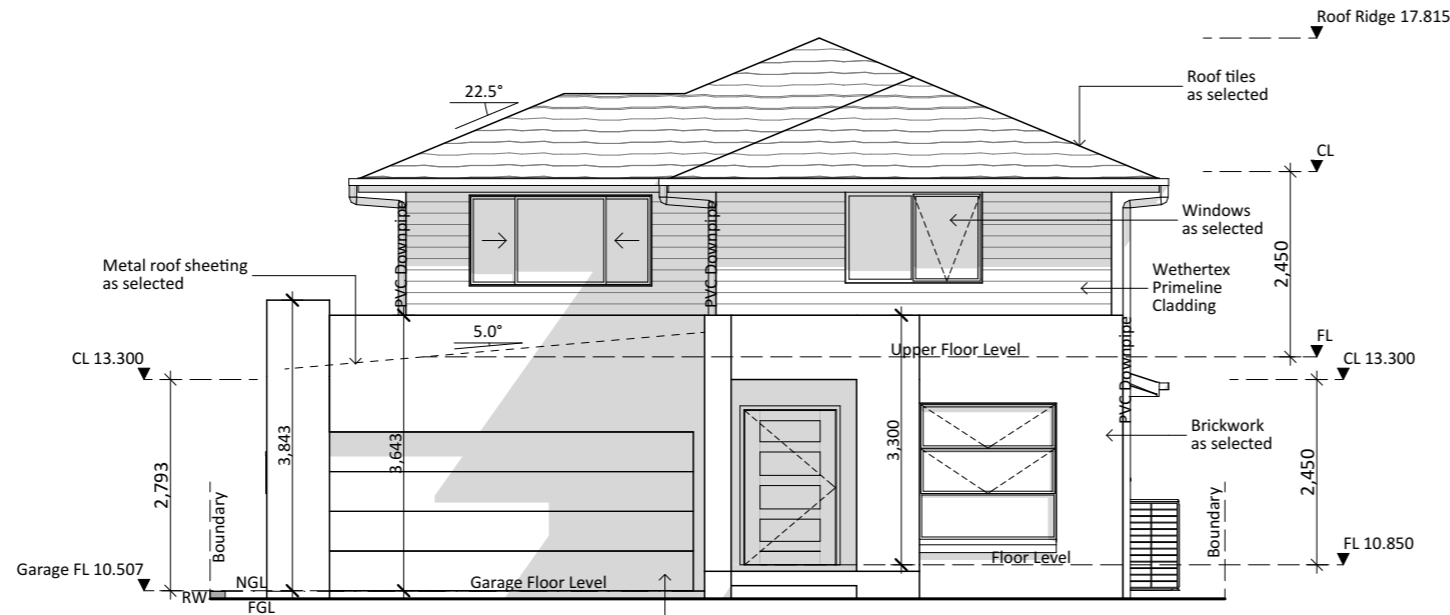
Drawing No: **19139-4** Sheet: **4/11** Issue: **E**

House Design: Tampa 24 (Norfolk Facade)

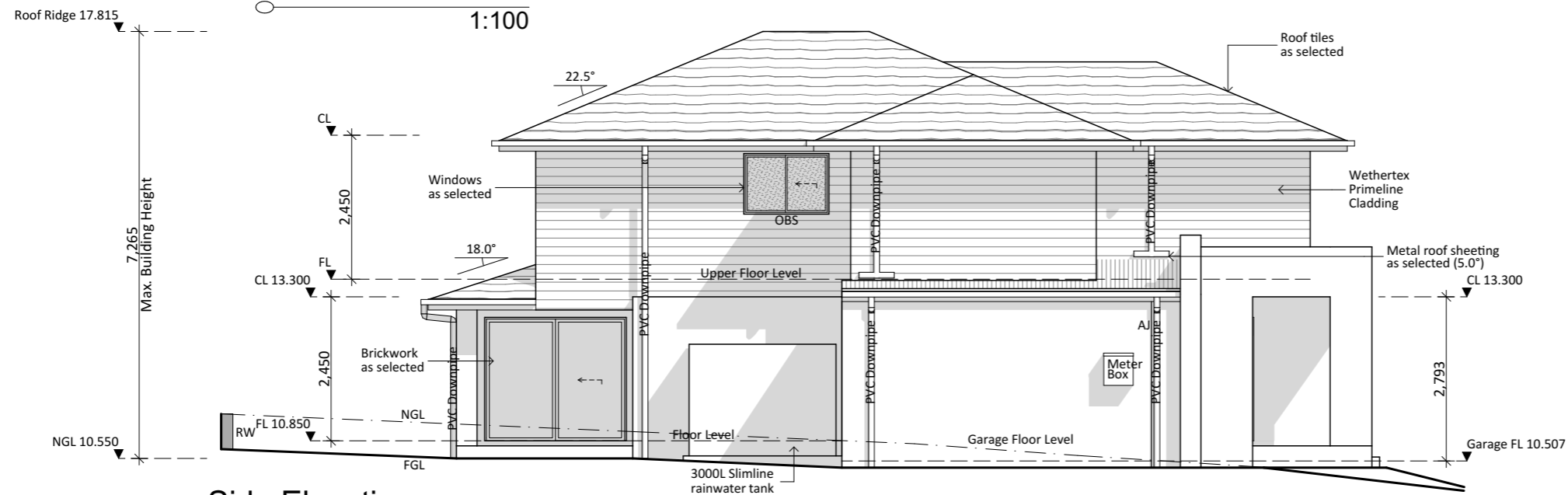
Accurate
design and drafting

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Narellan NSW 2567
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Email: info@accuratedesign.com.au

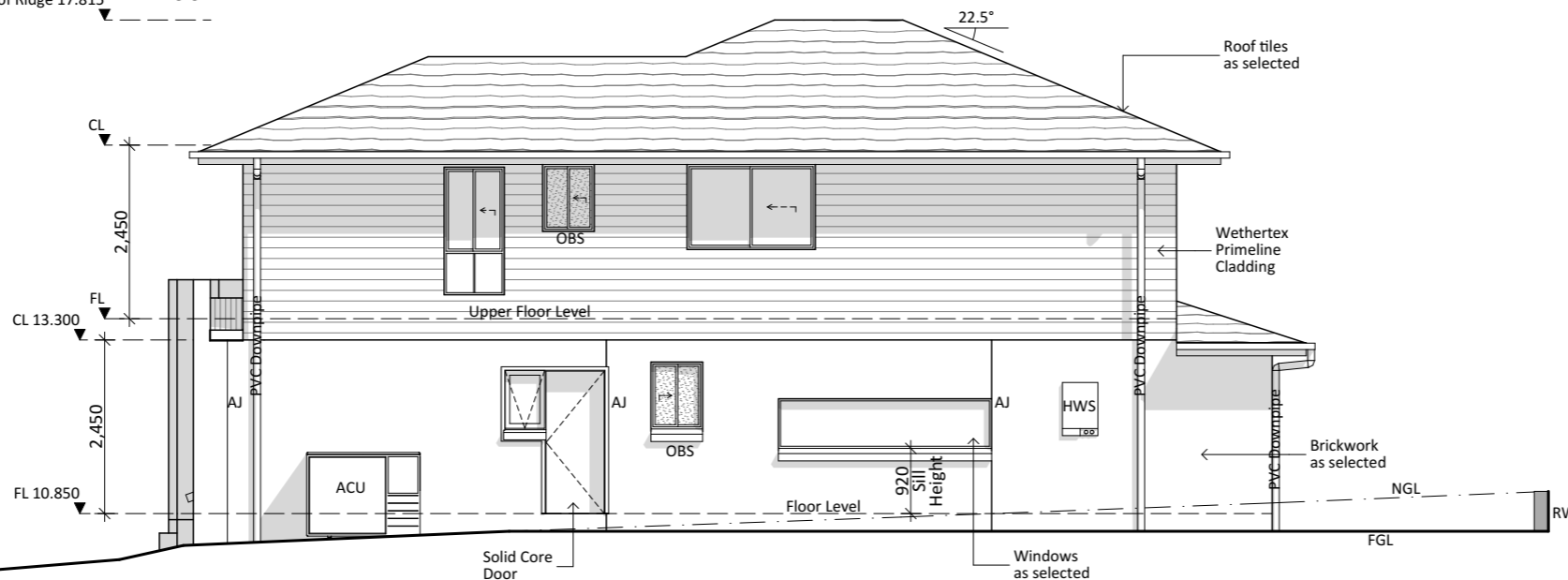
- Legend:**
 ACU - Air Conditioning Unit
 AJ - Articulation Joint
 CL - Ceiling Level
 FGL - Finish Ground Line
 FL - Floor Level
 HWS - Hot Water System
 NGL - Natural Ground Line
 OBS - Obscure
 DP - Downpipe
 RW - Retaining Wall



Front Elevation
1:100



Side Elevation
1:100



Side Elevation
1:100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0387

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Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 21 DP: 270907
28 Baz Retreat, Warriewood

Drawing:
Elevations

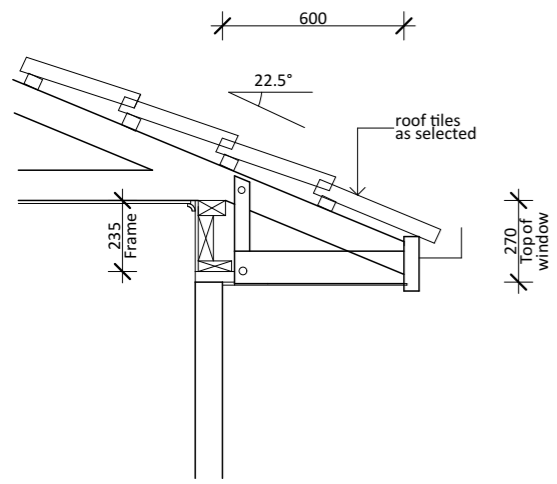
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Drawing No: **19139-4** Sheet: **5/11** Issue: **E**

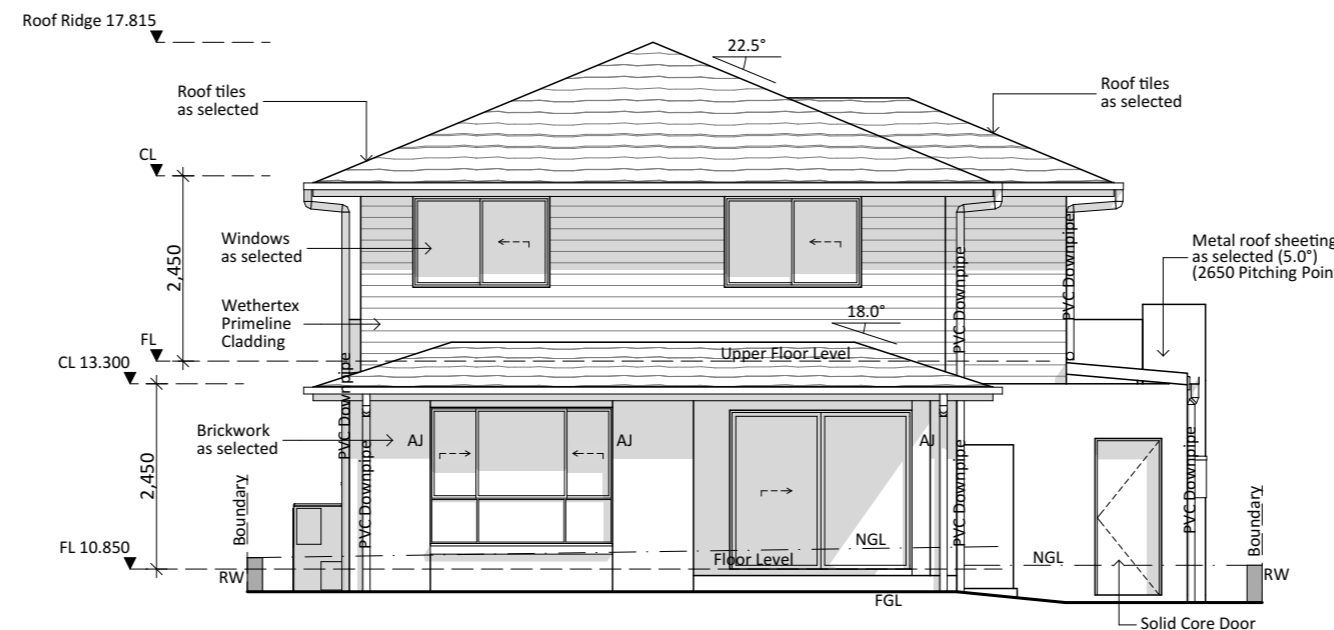
House Design: Tampa 24 (Norfolk Facade)



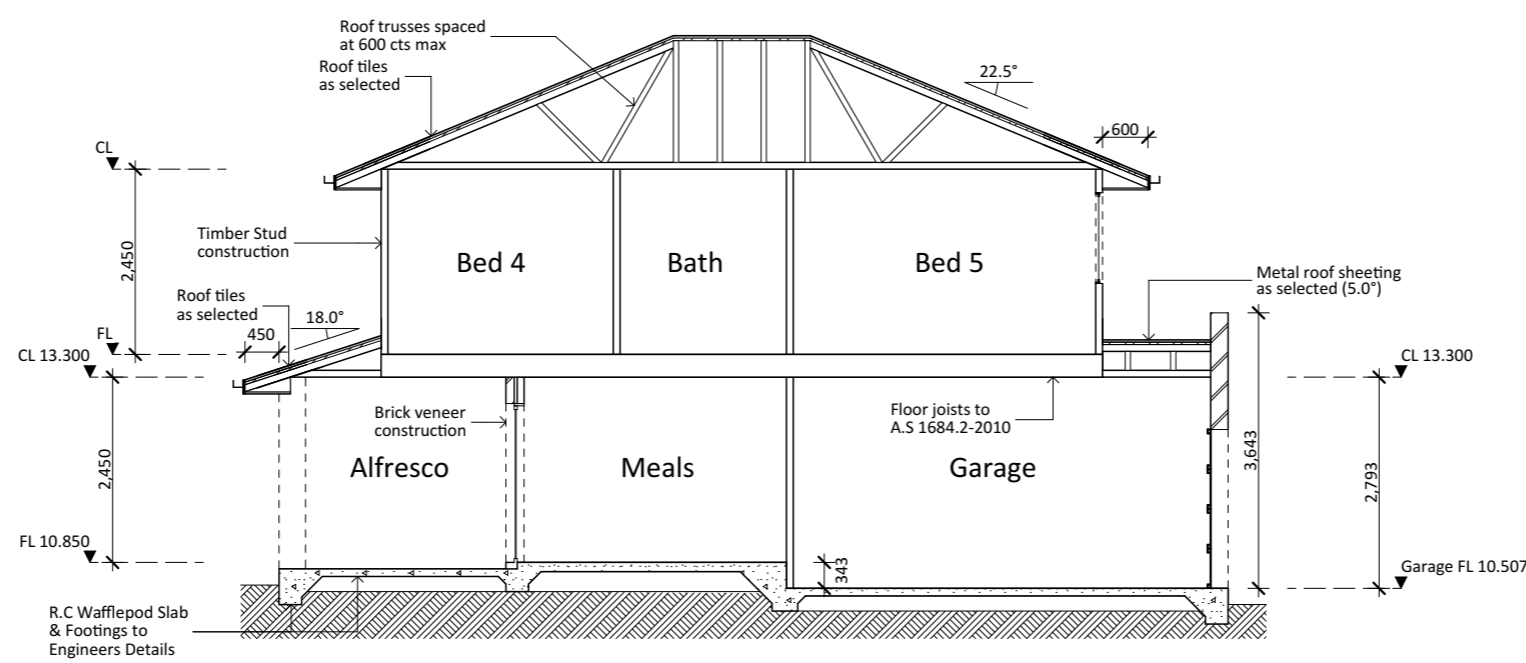
Office: 1a/10 Exchange Parade
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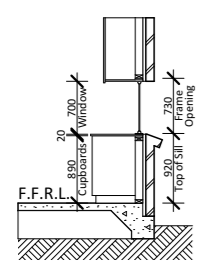
Eave Details
1:25



Rear Elevation
1:100



Section A-A
1:100



Kitchen Sill Detail
1:100

- Legend:**
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 - NGL - Natural Ground Line
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Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 21 DP: 270907
28 Baz Retreat, Warriewood

Drawing:
Elevation, Section & Details

Scale: **1:100, 1:25** Date: **05-03-20**

Drawing No: **19139-4** Sheet: **6/11** Issue: **E**

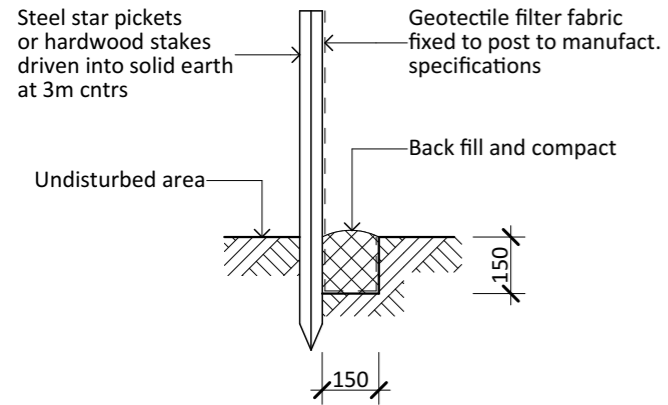
House Design: Tampa 24 (Norfolk Facade)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0387

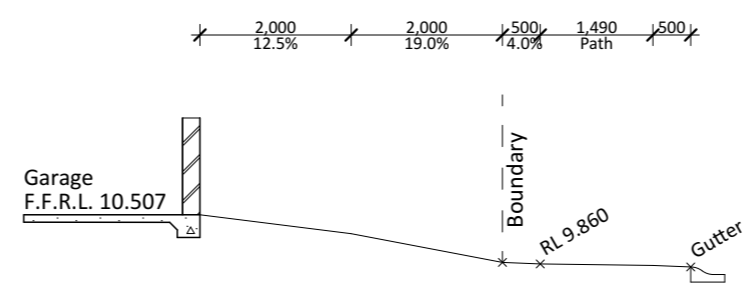


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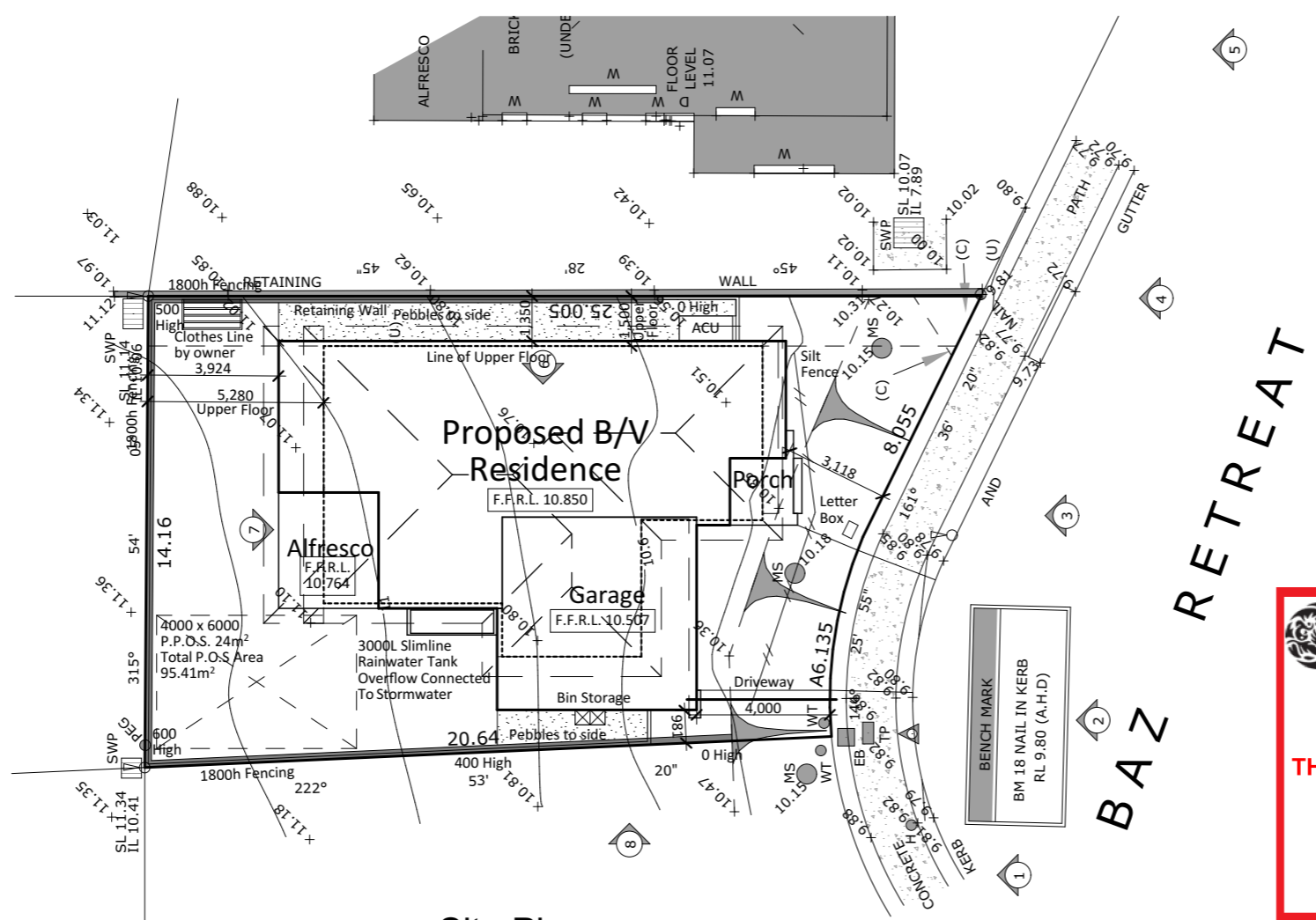


Soil Erosion and Sediment Control Fence
 1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed
 2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence
1:20



Driveway Profile
1:100



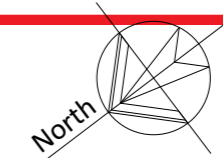
Site Plan
1:200


 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0387

Lot 21
302.53m²
DP: 270907



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Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed B/V Residence

LOT: 21 DP: 270907
28 Baz Retreat, Warriewood

Drawing:
Site Plan

Scale: **1:200, 1:20** Date: **05-03-20**

Drawing No: **19139-4** Sheet: **7/11** Issue: **E**

House Design: Tampa 24 (Norfolk Facade)



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