

Statement of Environmental Effects

Additions and Alterations to Residential Flat Building

At

3/153 Balgowlah Road, Balgowlah 2093

For

Charlotte Vergnolle & Austin Ware
SP1173

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1. Introduction

The Statement of Environmental Effects herein has been prepared as part of the supporting documentation for a Development Application in relation to alterations and additions and strata lot subdivision to the existing two storey residential flat building at 3/153 Balgowlah Road, Balgowlah, Sydney. The Development Applications proposed works include: to the upper level, the addition of an open terrace with an operable louvre roof and the addition of a bedroom, an ensuite bathroom and a study; to the ground level, the proposal is to upgrade the existing garage to include lockable small storage areas and change of balcony of unit 1.

This Statement of Environmental Effects is accompanied by design drawings done by Studio Oulala Architects.

In preparation of this document, consideration has been given to the following:

- Environmental Planning and Assessment Act, 1979;
- Manly Local Environmental Plan 2013 and
- Manly Development Control Plan 2013

The proposal succeeds when assessed against the Heads of Consideration pursuant to Section 4.15 of the Environmental Planning and Assessment Act, 1979 as amended. It is considered that the application, the subject of this document, is appropriate on merit and is worthy of the granting of development consent for the following reasons:

- The application has considered and satisfies the various relevant planning controls applicable to the proposed use and associated works.
- The site is assessed as suitable for the proposal, having regard to the relevant land use and planning requirements.

Applicant and Owner

Applicant:

Charlotte Vergnolle
Studio Oulala Architects

Owner:

Austin Ware and Charlotte Vergnolle
3/153 Balgowlah Road, Balgowlah, 2093, NSW.

Location & Context

The site is identified as CP/Lot 3/SP1173. The subject site is a corner allotment with primary frontage to Balgowlah Road and secondary frontage to Majory Thomas Place, Balgowlah, Sydney. The site has an area of 571.8m². The topography of the site is relatively flat. The Balgowlah Road frontage to the north of the site is a busy road that has commercial buildings to the opposite side of the street from this Lot. Majory Thomas Place to the east of this Lot, is a Cul de Sac and most of the buildings are two storey apartment buildings. An aerial location view is provided as figure 1 below.



Figure 1: Site Location Map (Source: Six Maps)

Development on the site consists of a two storey apartment (Flat) building with a frontage to Balgowlah Road and a side street frontage to the cul de sac Marjory Thomas Place. Images are provided below of the existing development on the site.



Figure 2: Balgowlah Road frontage



Figure 3: Marjory Thomas Place frontage



Figure 4 : Marjory Thomas Place frontage, building entrance

2. Proposed development

The proposed development is an addition to the south of the existing two storey apartment building. The new addition will provide (at the upper level) a new Main Bedroom with an Ensuite and a Study that are separated from the existing apartment by a new Terrace (that has an operable louvre roof system) that has been designed as a breezeway between the existing apartment and the new addition. At ground level, the existing garage will be upgraded and include new small lockable storage areas.

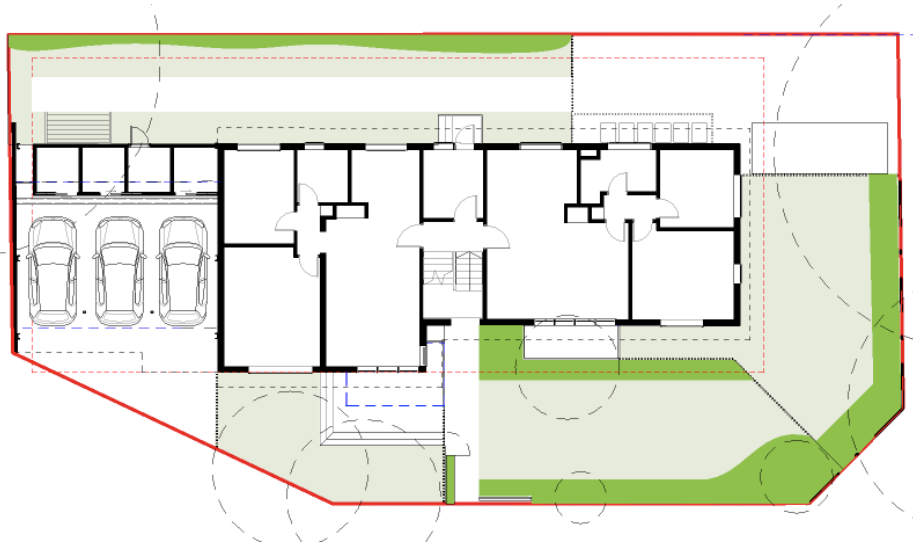


Figure 1 : Ground Floor level

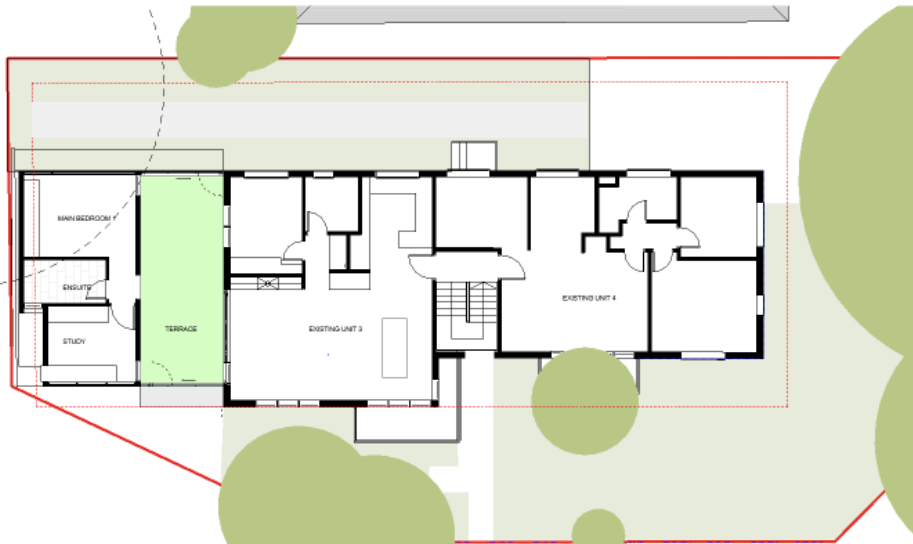


Figure 2 : Level 1

3. Planning Considerations

The following section of this report will assess the proposed development having regard to the statutory planning framework and matters for consideration pursuant to Section 4.15 of the Environmental Planning & Assessment Act, 1979 as amended. Those matters which are required to be addressed are outlined, and any steps to mitigate against any potential environmental impacts are discussed below.

State Environmental Planning Policies:

The relevant State Environmental Planning Policies applicable to the land and the development types have been considered. No further investigation is required pertaining to this development.

Manly Local Environmental Plan 2013

Zoning and Permissibility

The subject site is Zoned R1 General Residential. The objectives of R1 General Residential zone are as follows:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposed works relate to alterations and additions to an existing residential flat building which is a permissible use in the R1 zone. As such, the works are permissible with consent.

Floor Space Ratio (FSR)

Pursuant to clause 4.4 in the LEP, the site has a maximum floor space ratio control calculated at 0.6:1. The objectives of the FSR control are as follows:

- a) to ensure the bulk and scale of development is consistent with the existing and desired Streetscape character,*
- b) to control building density and bulk in relation to a site area to ensure that development does not obscure important landscape and townscape features,*
- c) to maintain an appropriate visual relationship between new development and the existing character and landscape of the area,*
- d) to minimise adverse environmental impacts on the use or enjoyment of adjoining land and the public domain,*
- e) to provide for the viability of business zones and encourage the development, expansion and diversity of business activities that will contribute to economic growth, the retention of local services and employment opportunities in local centres*

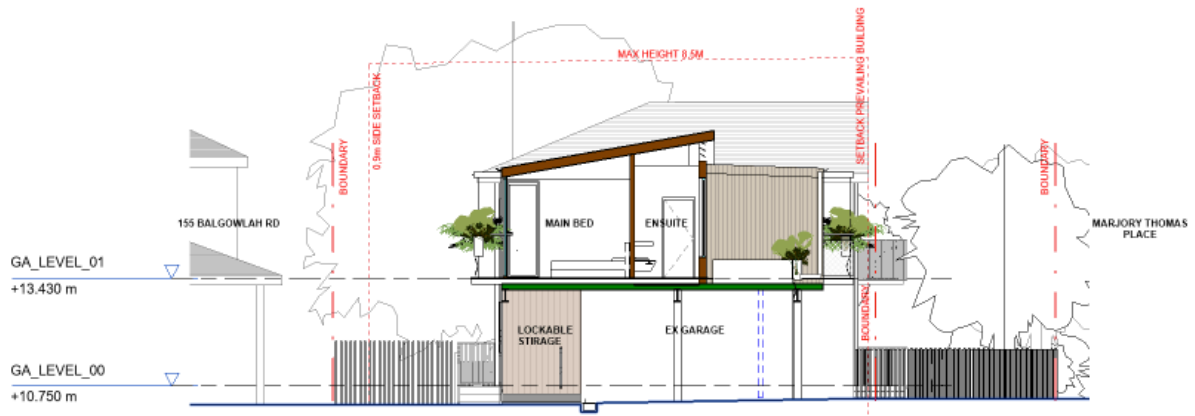
The FSR requirement for this Lot calculates as 343.08 square metres. The FSR for the proposed additions and existing calculates as a total of 304,5 square metres and meet the requirements.

Height of Buildings

Pursuant to clause 4.3 in the LEP the maximum building height is measured at 8.5m. The objectives of the control are as follows:

- a) to provide for building heights and roof forms that are consistent with the topographic landscape, prevailing building height and desired future Streetscape character in the locality,
- b) to control the bulk and scale of buildings,
- c) to minimise disruption to the following:
 - i. views to nearby residential development from public spaces (including the harbour and foreshores),
 - ii. views from nearby residential development to public spaces (including the harbour and foreshores),
 - iii. views between public spaces (including the harbour and foreshores),

The proposed new addition of the louvered roof to the Terrace and the roof of the new Main Bedroom, Ensuite and Study are comfortably below the 8.5 metre height development standard requirement. Refer to architectural drawing No. DA 05 “North South Section”.



Acid Sulfate Soils

Pursuant to clause 6.1 of the LEP the objective is to ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage. The subject site is mapped as being within class 5 acid sulfate soils.

No excavation works are required with this application that would impact on acid sulfate soils.

Manly Development Control Plan 2013

This plan applies to the land and requires consideration based on the development type. The relevant development controls within the plan have been addressed within Table 2 below.

Section	Development Control	Objective	Statement of compliance
3.1	Streetscapes and Townscapes	<ul style="list-style-type: none"> - To minimise any negative visual impact of walls, fences and carparking on the street frontage. - To ensure development generally viewed from the street complements the identified streetscape. - To encourage soft landscape alternatives when front fences and walls may not be appropriate. - To ensure that all parking provision is designed and sited to respond to and respect the prevailing townscape. - To assist in maintaining the character of the locality. - To recognise the importance of pedestrian movements and townscape design in the strengthening and promotion of retail centres. - To minimise negative visual impact, in particular at the arterial road entry points into the Council area and the former Manly Council area, so as to promote townscape qualities. 	<p>The proposed architectural design of the additions to the Marjory Thomas Place elevation continue the rhythm of the existing buildings fenestration and the inclusion of balconies. Careful selection of materials and the introduction of planters to the balustrading adds visual softening to the elevation. The existing garages at ground level are to be upgraded with lockable storage and will give a more clean and tidy ground level appearance. The overall scale of the addition has a very low impact on the existing building and are suitable in the streetscape.</p>
3.3.1	Landscape design	<p>To encourage appropriate tree planting and maintenance of existing vegetation To retain and augment important landscape features and vegetation remnant populations of native flora and fauna.</p>	<p>The landscape design (refer to Landscape Design Plan) responds to the character of the area and the planting schedule comprises Australian Native plants. Various species have been included in the design such as <i>Lomandra</i> sp. <i>Banksia spinulosa</i>, <i>Grevillea juniperina</i>, <i>Gleichenia</i> sp. <i>Grevillea Kangaroo paw</i>. <i>The Existing native Australian plants will be unaffected by the proposed design and remain.</i></p>
3.3.2	Preservation of Trees	<p>To protect and enhance the urban forest of the Northern Beaches.</p>	<p>No trees are proposed to be removed</p>
3.4	Amenity Views, Overshadowing, Overlooking /Privacy, Noise)	<ul style="list-style-type: none"> -To protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts -To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade. 	<p>The proposed additions have little or no impact on neighbour's views or privacy including noise and vibration. Vegetation screen planters have been incorporated into the balconies as added privacy. Operable privacy screens to windows have also been included</p>

			(refer Architectural drawings DA06, DA07)
3.4.1	Sunlight Access Overshadowing	<p>To provide equitable access to light and sunshine.</p> <p>To allow adequate sunlight to penetrate</p> <ul style="list-style-type: none"> • private open spaces within the development site; and • private open spaces and windows to the living spaces/ habitable rooms of both the development and the adjoining properties <p>To maximise the penetration of sunlight including mid-winter sunlight to the windows, living rooms and to principal outdoor areas by:</p> <ul style="list-style-type: none"> • encouraging modulation of building bulk to facilitate sunlight penetration into the development site and adjacent properties; and • maximising setbacks on the southern side of developments to encourage solar penetration into properties to the south. 	<p>Refer Shadow Diagrams: Architectural Drawing DA08.</p> <p>The development has no impact and is compliant with this control.</p>
3.4.2	Privacy and security	<p>To minimise loss of privacy to adjacent and nearby development by:</p> <ul style="list-style-type: none"> • appropriate design for privacy (both acoustical and visual) including screening between closely spaced buildings; • mitigating direct viewing between windows and/or outdoor living areas of adjacent buildings. <p>To increase privacy without compromising access to light and air. To balance outlook and views from habitable rooms and private open space.</p> <p>To encourage awareness of neighbourhood security</p>	<p>The proposed design takes into consideration the privacy of the adjacent neighbour (to the west) by setting the window line behind a balcony of vegetated planter boxes (refer Architectural drawings DA04 and DA07). The windows to this western façade also have privacy screening.</p> <p>There are no windows to the South elevation looking at #5 Marjory Thomas Place.</p>
3.5	Sustainability	<p>Section 5(a)(vii) of the <i>Environmental Planning and Assessment Act 1979</i> encourages ecologically sustainable development. Council require that the principles of ecologically sustainable development be taken into consideration when determining development applications under section 79C of the <i>Environmental Planning and Assessment Act 1979</i> and under this plan</p>	<p>The proposed design incorporates a number of energy efficient strategies.</p> <p>Notably the design has introduced a terrace breezeway that will separate the existing from the new addition. This Breezeway will allow cool breezes to cross ventilate all of the flat. A louvre roof system to the breezeway will allow the option of solar control to heat internal walls or prevent direct sun.</p> <p>The proposed design has a concrete slab floor that will provide a useful thermal mass.</p> <p>The windows privacy screens dually function as solar ingress control.</p> <p>All new walls and roofing will be specified to install high R value performance insulation materials.</p>

			A rain water tank will be installed to re-use roof runoff.
3.7	Stormwater	To manage urban stormwater within its natural catchments and within the development site without degrading water quality of the catchments or cause erosion and sedimentation. To manage construction sites to prevent environmental impacts from stormwater and protect downstream properties from flooding and stormwater inundation.	The drainage from the terrace roof and the roof over the Main bedroom area will be able to be connected to a new rainwater tank and the existing drainage system on the site.
3.8	Waste management		Provided for consideration
4.1.3	Floor Space ratio	0.6:1	Compliant
4.1.4.1	Front Setback	Street Front setbacks must relate to the front building line of neighbouring properties and the prevailing building lines in the immediate vicinity	The proposed development is consistent with the existing building line setback.
4.1.4.2	Side Setback	Setbacks between any part of a building and the side boundary must not be less than one third of the height of the adjacent external wall of the proposed building. Side setbacks must provide sufficient access to the side of properties to allow for property maintenance, planting of vegetation and sufficient separation from neighbouring properties For secondary street frontages of corner allotments, the side boundary setback control will apply unless a prevailing building line exists. In such cases the prevailing setback of the neighbouring properties must be used. Architecturally the building must address both streets.	The existing garage sits on the Southern boundary line and is setback 5.5m from the Western boundary and is compliant. The proposed addition (at level 1) will be setback 1200mm from the Southern boundary adjacent to the new study and 360mm adjacent to the main bedroom. While this part of the addition is not in strict accordance with the 1/3 wall height control, it is considered reasonable in this instance: being located next to a driveway, being 10.1m away from the nearest building that is not directly opposite the proposed addition. There will be ample access for property maintenance and sufficient separation from neighbouring properties. The new extension does not give rise to any unreasonable amenity impacts with regard to overshadowing, privacy or loss of view. It is considered that this proposed extension will not result in any unreasonable visual impacts when viewed from neighbouring properties.
4.1.5	Open Space and Landscaping	55% Open Space 35% Soft Landscaping	The works proposed will increase the existing open space and landscape area on the site. Refer to architectural drawing number DA11.

4.1.5.1	Minimum open spaces	at least 50% of site area A minimum unbroken area of 12sqm	Improves and Complies. Refer Architectural Drawing number DA11.
4.1.6.2	Parking Design and the Location of Garages, Carports or Hardstand Areas	The design and location of all garages, carports or hardstand areas must minimise their visual impact on the streetscape and neighbouring properties and maintain the desired character of the locality. Garage and carport structures forward of the building line must be designed and sited so as not to dominate the street frontage. In particular	No change to existing location. The garage will be upgraded and will provide new lockable storages and a tidier street front appearance. The structure will comply.
4.1.7	First floor addition	First floor additions must complement the architectural style of the ground floor and where possible retain existing roof forms. Notwithstanding setback provisions, the addition may follow the existing ground floor wall setbacks providing adjoining properties are not adversely impacted by overshadowing, view loss or privacy issues. The dwelling and the form of alterations and additions must retain the existing scale and character of the street and should not degrade the amenity of surrounding residences or the aesthetic quality of the former Manly Council area. In this regard, it may be preferable that the addition be confined to the rear of the premises or be contained within the roof structure.	The addition to the south of the existing building that is located over the existing carport, compliments the existing building in colour, selected finishes and continues the rhythm of fenestration and use of balconies. No amenity impacts are foreseen with the new addition with respect to privacy and overshadowing. Design care has been taken to incorporate planter boxes on balconies and the glazing line is setback to help provide privacy and a visually softer treatment of the façade. The bulk of the addition is greatly reduced by the introduction of a Terrace breezeway that separates the existing from the proposed new addition. The roof lines of the proposed addition have been kept below the existing roof line.
4.1.10	Fencing Exceptions to maximum height of Fences	In relation to open/ transparent fences, height may be increased up to 1.5m where at least 30 percent of the fence is open/ transparent for at least that part of the fence higher than 1m In relation to development along busy roads: - where a development will be subjected to significant street noise, Council may consider exceptions to the permitted fence height where the use of double glazing or thicker glazing for the residence is not available	A 1.5m high open fence is proposed to help reduce noise disturbance but more effectively provide a visual privacy and will be consistent with the existing fence around the whole of the site.
4.4.8	Subdivision Access and Services	All subdivisions will provide adequate vehicular access to a public road	There will be no impact to access.

4.15(1)(A)(IIIA) – Provisions of any Planning Agreement that has been entered into under Section 7.4, or any Draft Planning Agreement that a Developer has offered to enter into under Section 7.4

Not applicable.

4.15(1)(A)(IV) – Provisions of the Regulations that apply to the Land

Not applicable.

4.15(1)(B) – The Likely Impact of the Development including Environmental Impacts on both the Natural and Built Environments, and Social and Economic Impacts in the Locality

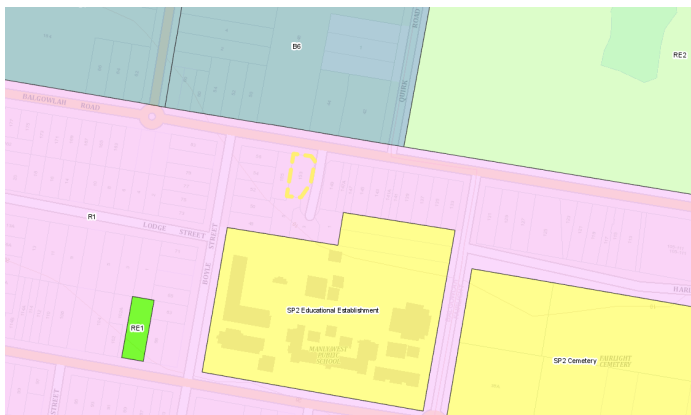
Context and Setting:

The site is situated at 153 Balgowlah Road in the Northern Beaches Local Government Area. The site is approximately 571.8m² in area (Refer to **Survey Plan**).

The site is occupied by an existing two storey brick residential flat building with a pitched tiled roof and attached garage that will be accessed by a driveway from Marjory Thomas Place.

Surrounding development consists of commercial development to the north, and residential development to the east and south and West.

Land surrounding the development is zoned 'R1 General Residential' and 'SP2 Infrastructure and B6 Enterprise corridor'. (Refer **Figure below**).



Soils and Geology:

Not applicable to this development, no further action is required.

Hydrology, Flooding and Water Quality:

Not applicable to this development, no further action is required.

Flora and Fauna:

Not applicable to this development, no further action is required.

Bushfire:

Not applicable to this development, no further action is required.

Aboriginal and Cultural Heritage:

A search of the NSW Environment and Heritage was undertaken and did not identify any Aboriginal or cultural heritage items on this site.

Not applicable to this development, no further action is required.

Noise and Vibration:

Noise generated from the subject site development works will be minor and occur between normal operating hours and will not adversely affect the surrounding properties.

Current surrounding noise is generated by traffic along Balgowlah Road with consistent noise for most parts of the day.

Not applicable to this development, no further action is required.

Air Quality / Climate / Energy:

Minimal impact, no further investigation is required.

Traffic and Transportation:

Minimal impact, no further investigation is required.

Visual Characteristics:

Minimal impact, no further investigation is required.

Social / Economic:

Minimal impact, no further investigation is required.

Waste Management:

Waste management plan provided for consideration.

Cumulative Environmental Impacts:

Minimal impact, no further investigation is required.

Environmentally Sustainable Development:

Minimal impact, no further investigation is required.

Climate Change:

Minimal impact, no further investigation is required.

4.15(1)(C) – The Suitability of the Site for the Development

The proposal is in keeping with the existing character of the locality based on the current and existing use of the land, it is in alignment with the objectives of the relevant strategies, is deemed to satisfy the relevant development controls and standards as well as being consistent with the objectives of the 'R1 General Residential Zone'. Being an existing and established use, on this basis it is considered that the site is suitable for the proposed development.

4.15(1)(D) – Any Submissions made in accordance with this Act or the Regulations

The application will be notified in accordance with the relevant plan or policy applicable and at Council's discretion. Additional information required to address any submissions received will be provided to enable the assessment of the application.

4.15(1)(E) – The Public Interest

The public interest is best served through the orderly use of the land for purposes which it is zoned and in accordance with the relevant planning controls and policies. The proposed development is consistent with the relevant strategies and complies substantially with the relevant policies and controls governing the land.

4. Conclusion

The proposal described in this document and the accompanying architectural drawings produced by Studio Oulala Architects, to build an addition to the existing two storeys flat at 3/153 Balgowlah Road, Sydney, overall is consistent with the development standards and controls within the local environmental plan and development control plan that apply to the land.

The proposal has addressed the matters referred to in Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the matters required to be considered by the consent authority.

The architects design provides a high level of amenity for the future occupants whilst appropriately addressing the sites setting and maintaining the amenity of the nearby residential properties. The development will provide a quality addition to the existing building and a fine outcome on the site.

Overall, it is considered that the proposal will not have any significant environmental impact and will not jeopardise the public interest. As such, it is considered that there is no reason as to why this proposed development should not be granted approval.