

LOT 40
DP 20771

SITE AREA =724.2m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 382.82m²
PROPOSED NEW GROSS FLOOR AREA 129.37m²
TOTAL GROSS FLOOR AREA 512.19m²

TRUE NORTH:



NOTES (E & OE)

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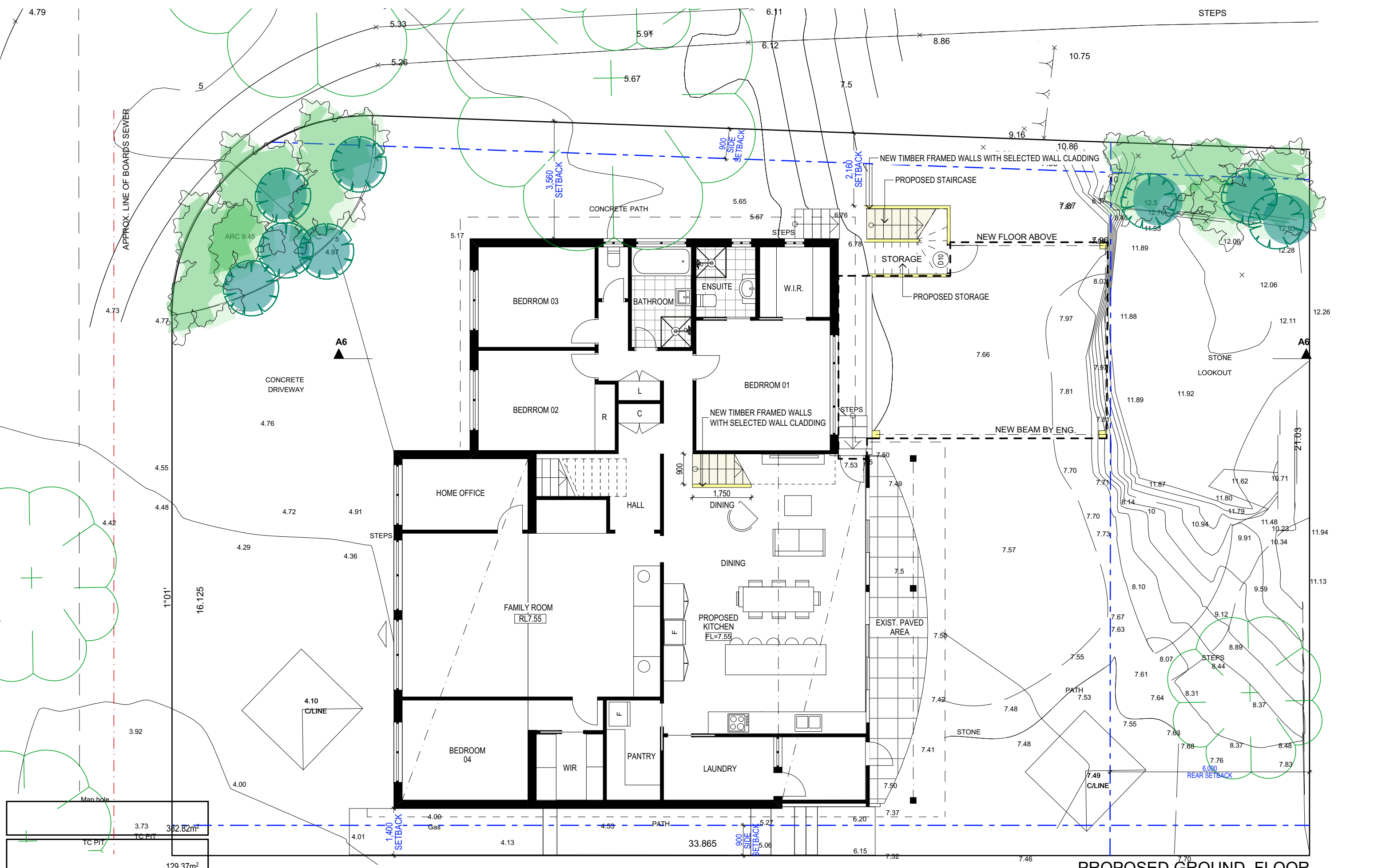
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REV:	DATE:	DESCRIPTION:
A	20.12.2021	MOVING STAIRCASE FORWARD
B	04.03.2022	AMENDMENTS TO PRELIM DRAWINGS
C	18.03.2022	DA DRAWINGS
D	30.03.2022	AMENDMENTS TO DA DRAWINGS
E	08.06.2022	ADDITIONAL INFORMATION

PROPOSED ALTERATIONS AND ADDITIONS 5 NENAGH STREET NORTH MANLY CLIENT: THOMAS AND ANNA	DATE: 12/21	DRAWN BY: EV	SCALE: 1:200 @ A3
DRAWING TITLE: SITE ANALYSIS PLAN	JOB No: 975/21	CHECKED BY: JJ	DRAWING No: DA.01

SITE ANALYSIS PLAN





PROPOSED GROUND FLOOR

TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS

5 NENAGH STREET NORTH MANLY

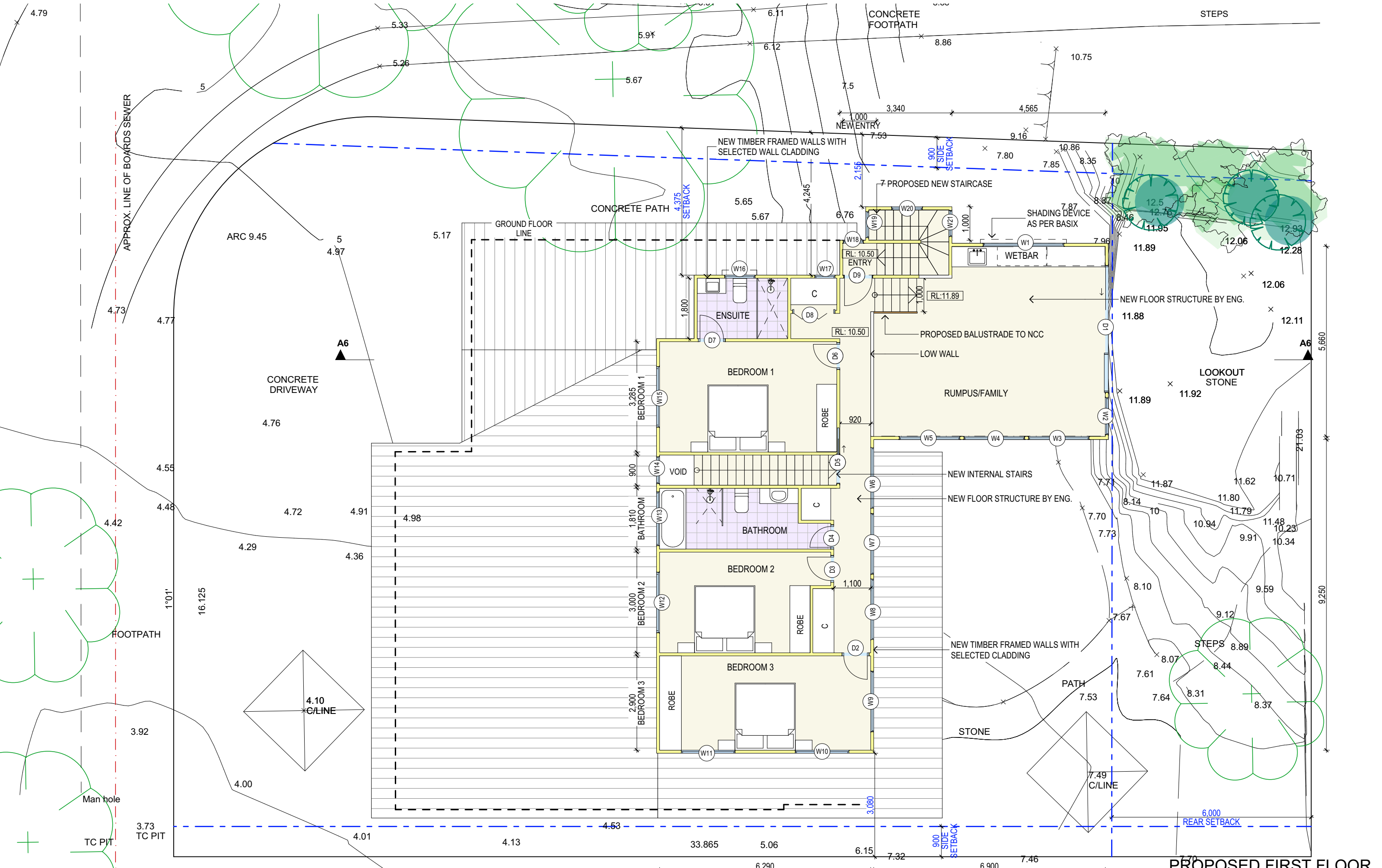
CLIENT:

THOMAS AND ANNA

DRAWING TITLE:

GROUND FLOOR PLAN

DATE:	12/21	DRAWN BY:	EV	SCALE:	1:100 @ A3
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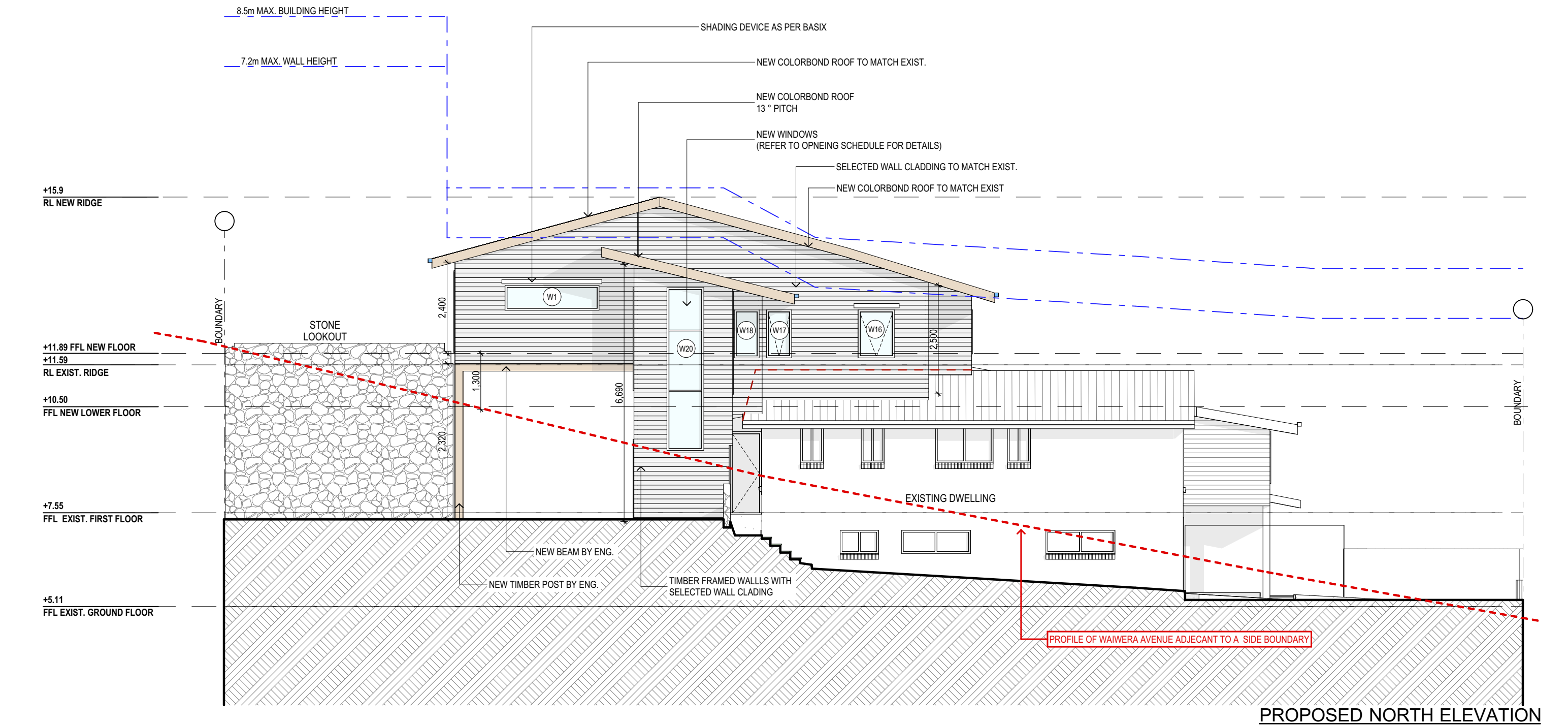
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5 NENAGH STREET NORTH MANLY

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DRAWING TITLE: FISRT FLOOR PLAN

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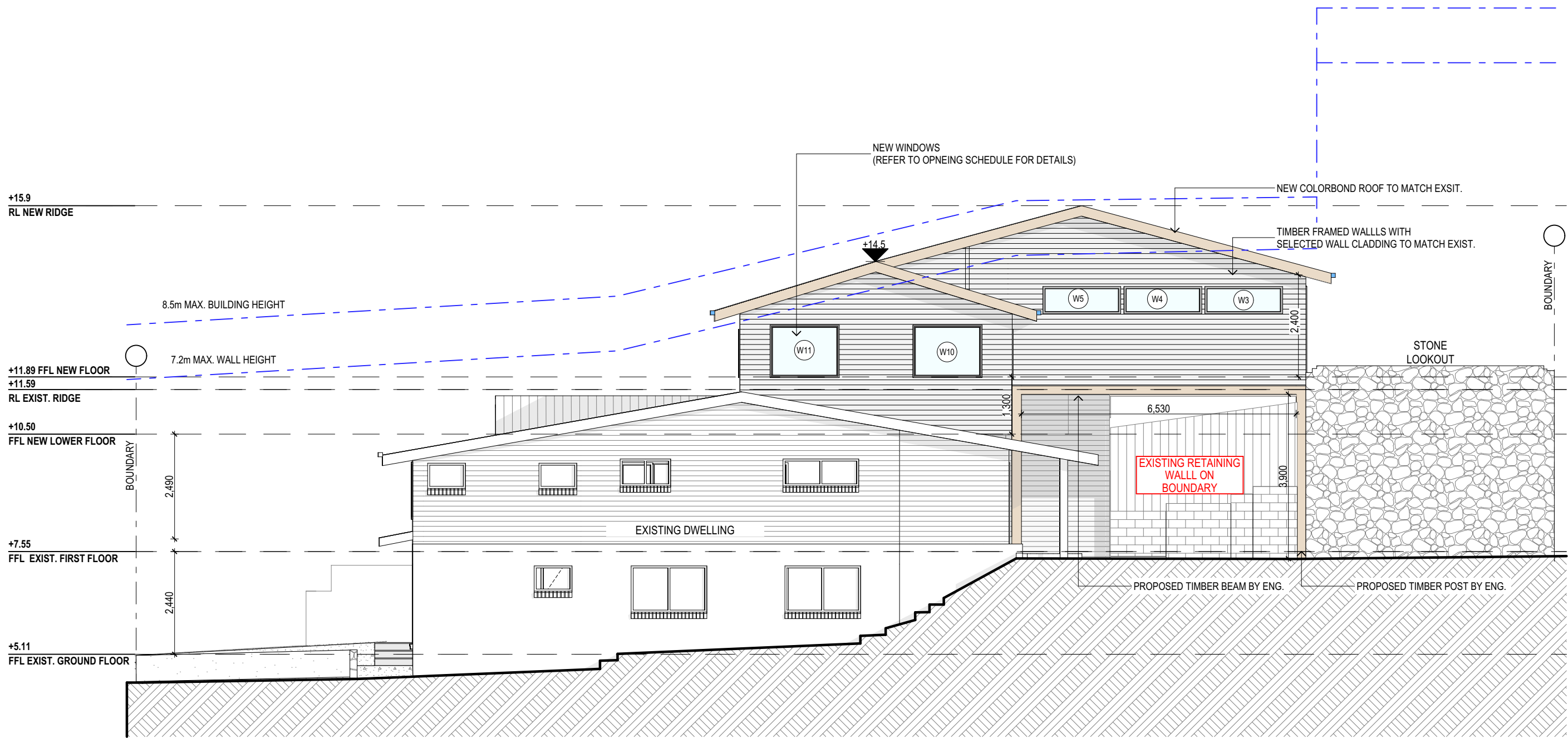
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PROPOSED ALTERATIONS AND ADDITIONS 5 NENAGH STREET NORTH MANLY CLIENT: THOMAS AND ANNA	DRAWING TITLE: ELEVATIONS SHEET 1
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PROPOSED SOUTH ELEVATION

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CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
ELEVATIONS SHEET 2

DATE:
12/21

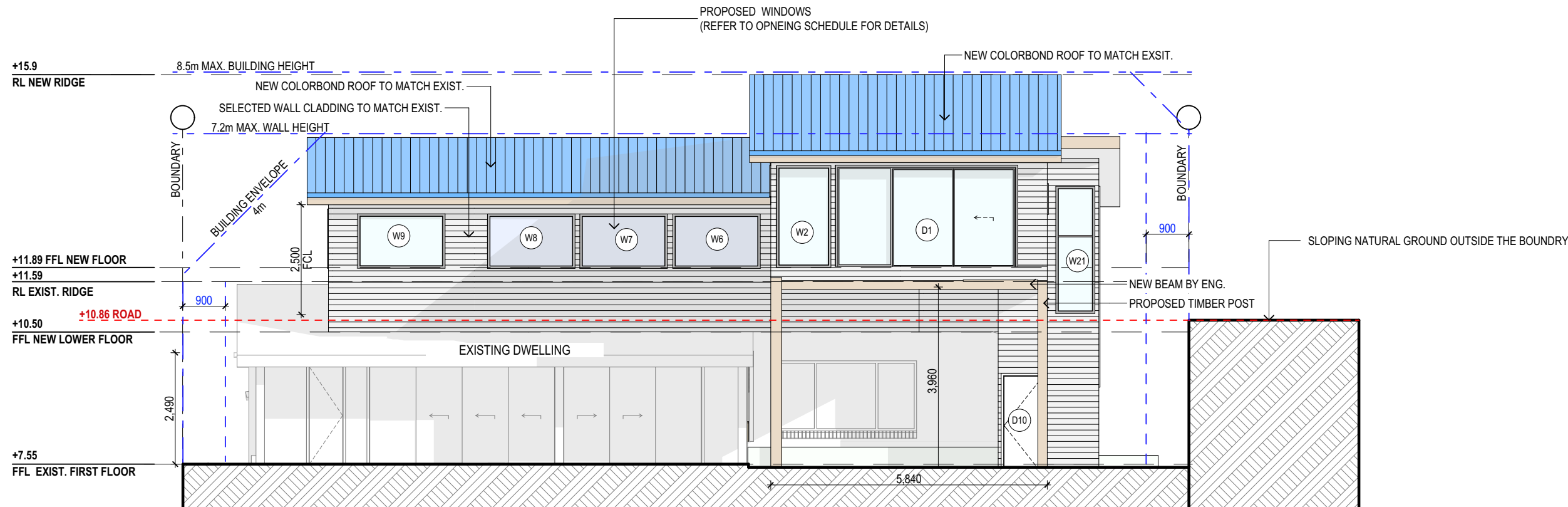
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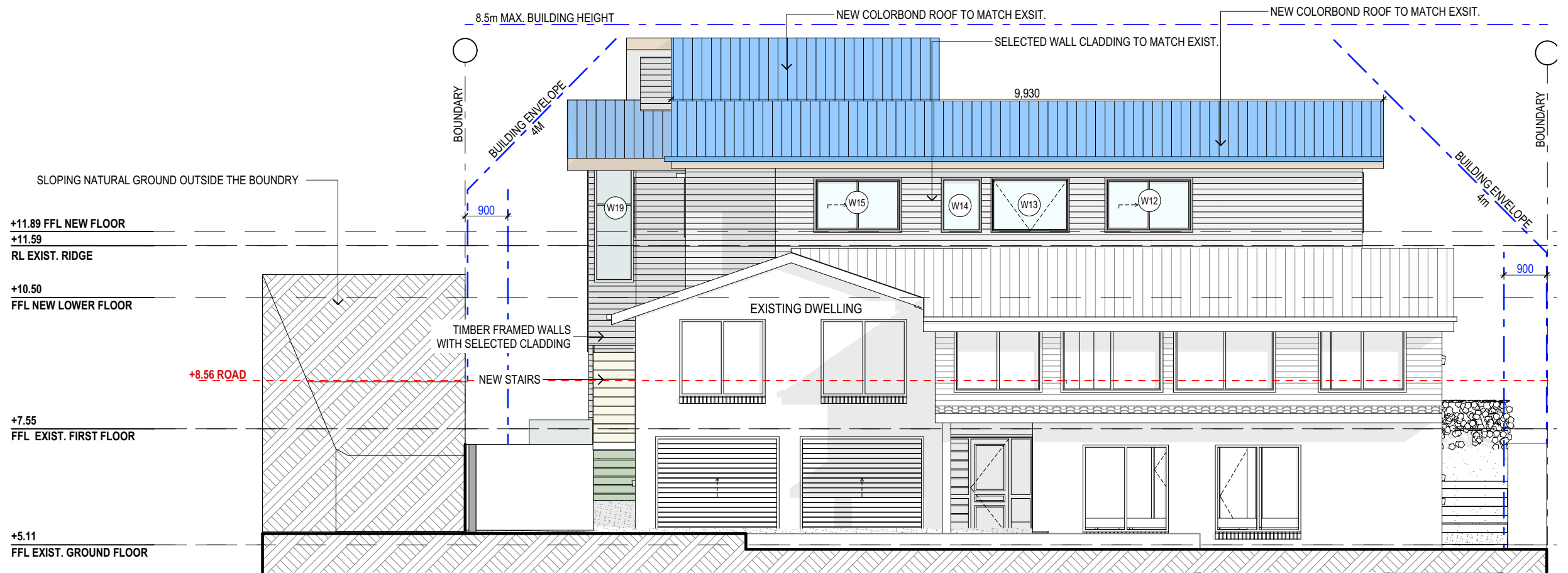
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CHECKED BY:
JJ

DRAWING No:
DA.06



PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

TRUE NORTH:



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5 NENAGH STREET NORTH MANLY

CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
ELEVATION SHEET 3

DATE:
12/21

JOB No:
975/21

DRAWN BY:
EV

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.07

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 5 NENAGH STREET NORTH MANLY 2100

LIGHTING

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WATER

SHOWER RATING	MIN. 3 STARS
TAP RATING	MIN. 3 STARS
WC RATING	MIN. 3 STARS

INSULATION

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)
Suspended floor with open subfloor: frames (R0.7)	RO.8 (Down) (or R1.50 including construction)
Floor above existing dwelling or building	Nil
External wall: Framed (Weatherboard, fibro, Metal clad)	R1.30 (or R1.70 including construction)
Raked ceiling,pitched/skillion roof: framed	Ceiling: R2.24 (up), Roof: foil backed blanket (55mm). Medium solar absorptanced 0.475 - 0.70)

GLAZING - DOORS & WINDOWS

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3, W4,W5,W10,W11,W12,W13,W14,W15,W17,W18,W19
Standard aluminium, single pyrolytic low-e, (or U-value: 5.7, SHGC: 0.47)
W1,W2,W6,W7,W8,W9,W16,W20,W21,D1

SPECIFICATION NOTES

INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

EXTERNAL WALLS:

- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.

FLOOR:

SECOND FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:

- ALL WATERPROOFING TO AS 3740
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS
- WALLS TO MANUFACTURES INSTRUCTIONS

BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:

- COLORBOND ROOF CLADDING
- NCC VOL.2 PART 3.5.1.
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

CONCRETE:

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

TIMBER FRAMING:

- TO COMPLY WITH NCC VOL.2 PART 3.4
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING. WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

DOORS & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

STAIRS, HANDRAILS AND BALUSTRADES:

- NCC VOL.2 PARTS 3.9.1 AND 3.9.2
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

STORMWATER:

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

WATERPROOFING FOR EXTERNAL TILED BALCONIES:

- WATERPROOFING TO COMPLY WITH AS4654

GLAZING:

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

SMOKE DETECTORS/ALARMS:

- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

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5 NENAGH STREET NORTH MANLY

CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
BASIX

DATE:

12/21

DRAWN BY:

EV

SCALE:

@ A3

JOB No:

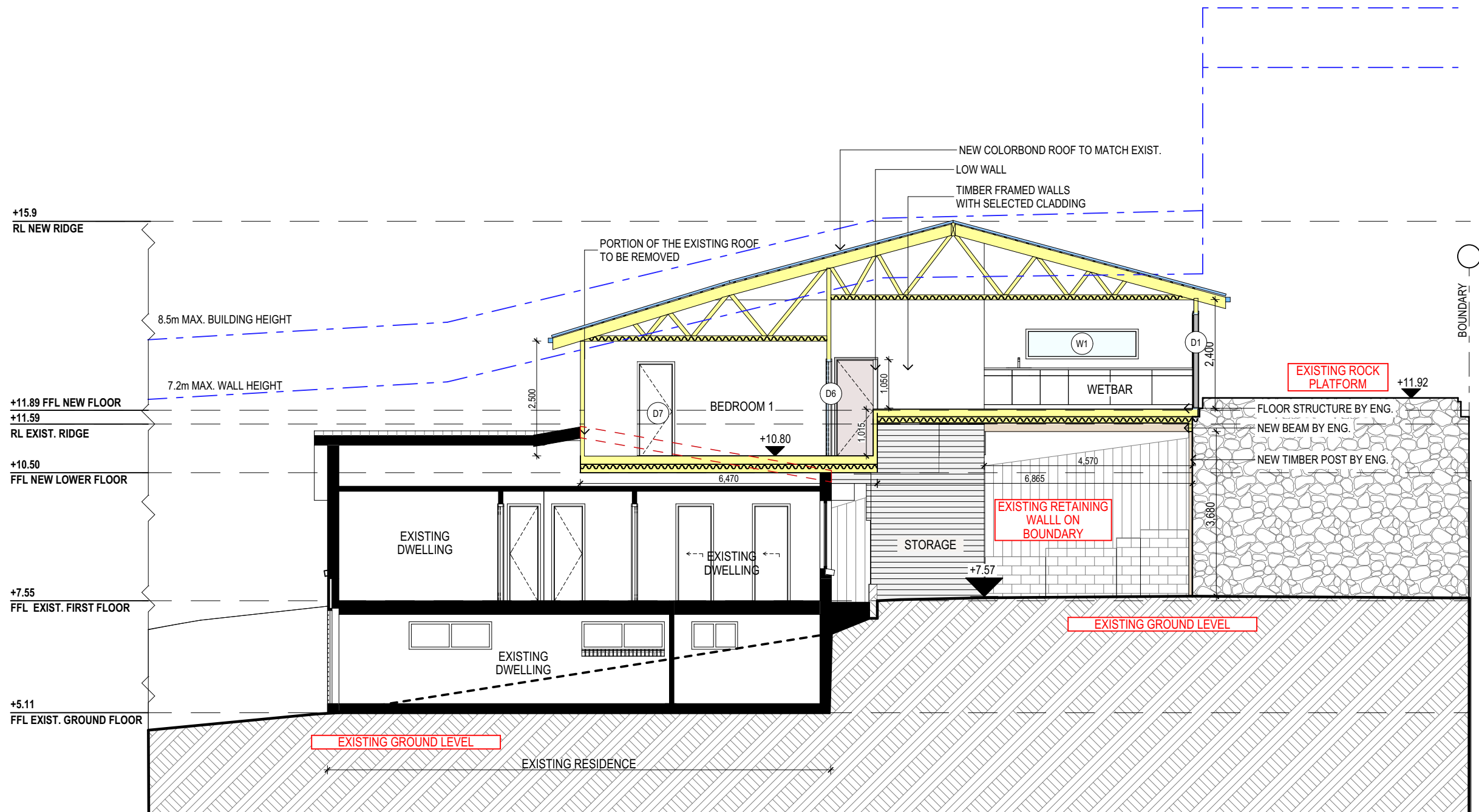
975/21

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JJ

DRAWING No:

DA.08



AA SECTION

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EXISTING LANDSCAPE AREA CALCULATION



PROPOSED LANDSCAPE CALCULATION

CALCULATIONS			
SITE AREA			724.20m ²
LANDSCAPE CONTROL		40%	289.68m ²
EXISTING LANDSCAPED AREA	<div></div>	47%	340.4m ²
TOTAL NEW LANDSCAPE AREA	<div></div>	41%	302.09m ²
LANDSCAPE AREA NOT COUNTED	<div></div>		20.03m ²
EXISTING HARD SURFACE AREA	<div></div>		358.78m ²
HARD SURFACE AREA TO BE RETAINED	<div></div>		358.78m ²
NEW HARD SURFACE AREA	<div></div>		43.39m ²
TOTAL HARD SURFACE AREA			402.17m ²

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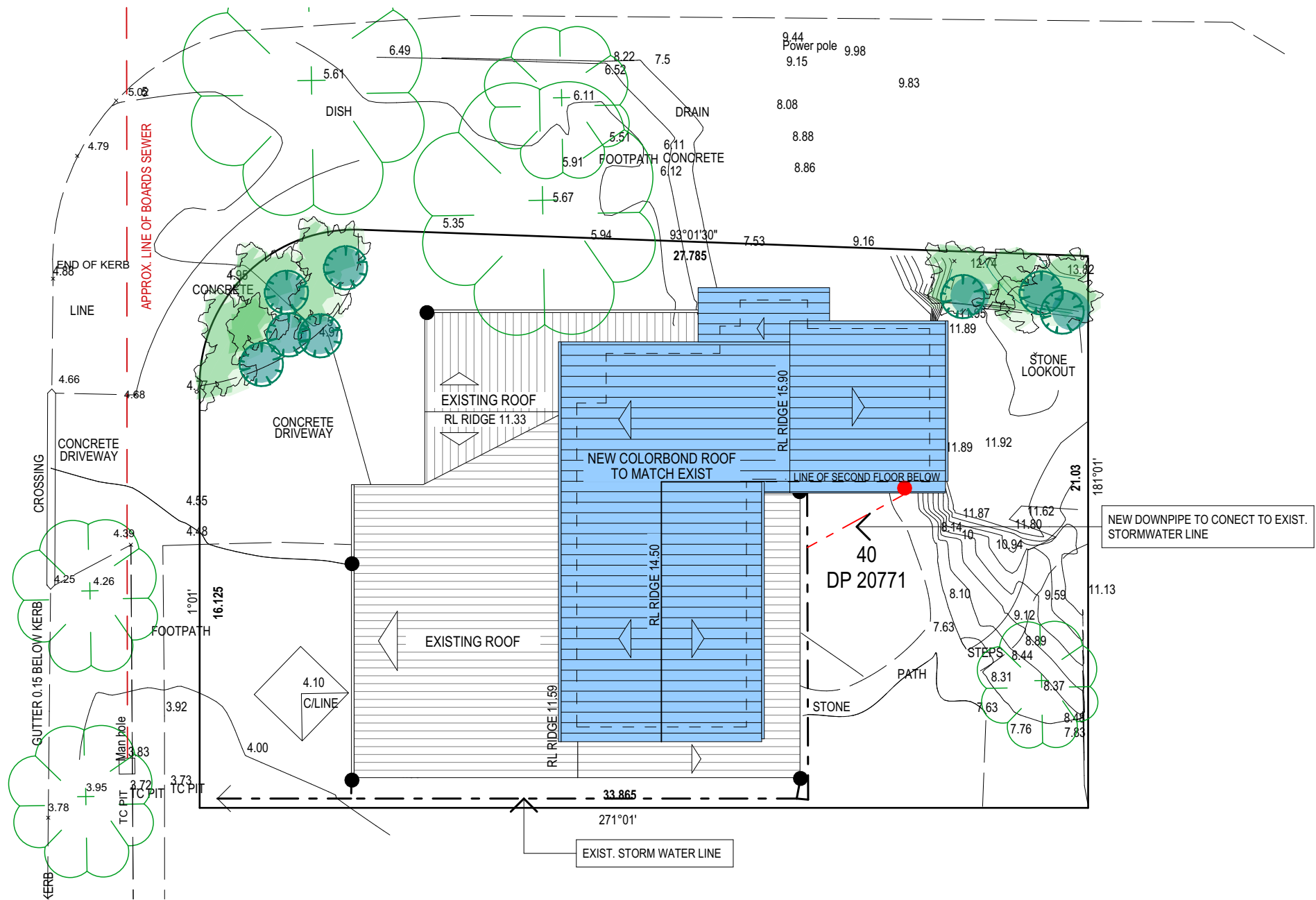
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STORMWATER CONCEPT LEGEND

EXISTING DOWNPIPES	●
NEW DOWNPIPES	●
EXISTING STORMWATER LINE	---
NEW STORMWATER LINE	---

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THOMAS AND ANNA

DRAWING TITLE:
ROOF & STORMWATER CONCEPT PLAN

STROM WATER CONCEPT PLAN

DATE: 12/21	DRAWN BY: EV	SCALE: 1:200 @ A3
JOB No: 975/21	CHECKED BY: JJ	DRAWING No: DA.11

DESIGNATED SITE MANAGER/BUILDER

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



WIRE MESH 800mm HIGH MAX.

PROVIDE HAYBAILS WHERE SLOPE IS TOO STEEP TO SLOW FLOW

DISTURBED AREA

DIRECTION OF FLOW

CHANNEL MINIMUM 200mm DEEP

FABRIC OVERLAP


STAR PICKET POSTS DRIVEN 600mm INTO GROUND @ 3000cts. MAX.

GEOTEXTILE FILTER FABRIC

UNDISTURBED AREA

Diagram illustrating the cross-section of a rockcheck dam. The dam structure is shown with a batter slope of 1:2 or less. The upstream side is covered with coarse aggregate wrapped in geotextile fabric. The downstream side is a rockcheck dam. The diagram also shows the direction of flow and the spillway at least 0.15m below the sides. Key dimensions and specifications are listed:

- DRAINAGE AREA 4ha MAX.
- HEIGHT 0.6m MAX.
- SPILLWAY AT LEAST 0.15m BELOW SIDES.
- BATTER SLOPE 1:2 OR LESS
- DIRECTION OF FLOW
- COURSE AGGREGATE WRAPPED IN GEOTEXTILE FABRIC
- ROCKCHECK DAM

<div>TRUE NORTH:</div> 	<div>NOTES (E & OE)</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div><h1>JJ Drafting</h1><p>Division of JJ DRAFTING AUSTRALIA PTY LTD</p><p>26/90 Mona Vale Road, Mona Vale, NSW, 2103</p><p>PO Box 687, Dee Why, NSW, 2099</p><p>Mob. 0414 717 541 Email: jjdraft@tpg.com.au</p><p>www.jjdrafting.com.au</p><p>ACN 651 693 346</p></div>	REV:	DATE:	DESCRIPTION:	PROPOSED ALTERATIONS AND ADDITIONS 5 NENAGH STREET NORTH MANLY CLIENT: THOMAS AND ANNA	DATE:	DRAWN BY:	SCALE:	
			A	20.12.2021	MOVING STAIRCASE FOWARD		12/21	EV	1:200 @ A3	
			B	04.03.2022	AMENDMENTS TO PRELIM DRAWINGS		DRAWING TITLE: EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PI AN	JOB No: 975/21	CHECKED BY: JJ	DRAWING No: DA.12
			C	18.03.2022	DA DRAWINGS					
			D	30.03.2022	AMENDMENTS TO DA DRAWINGS					
			E	08.06.2022	ADDITIONAL INFORMATION					



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

9AM JUNE

TRUE NORTH:



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D	30.03.2022	AMENDMENTS TO DA DRAWINGS
E	08.06.2022	ADDITIONAL INFORMATION

PROPOSED ALTERATIONS AND ADDITIONS
5 NENAGH STREET NORTH MANLY

CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 9:00 am

DATE:

12/21

DRAWN BY:

EV

SCALE:

1:200 @ A3

JOB No:

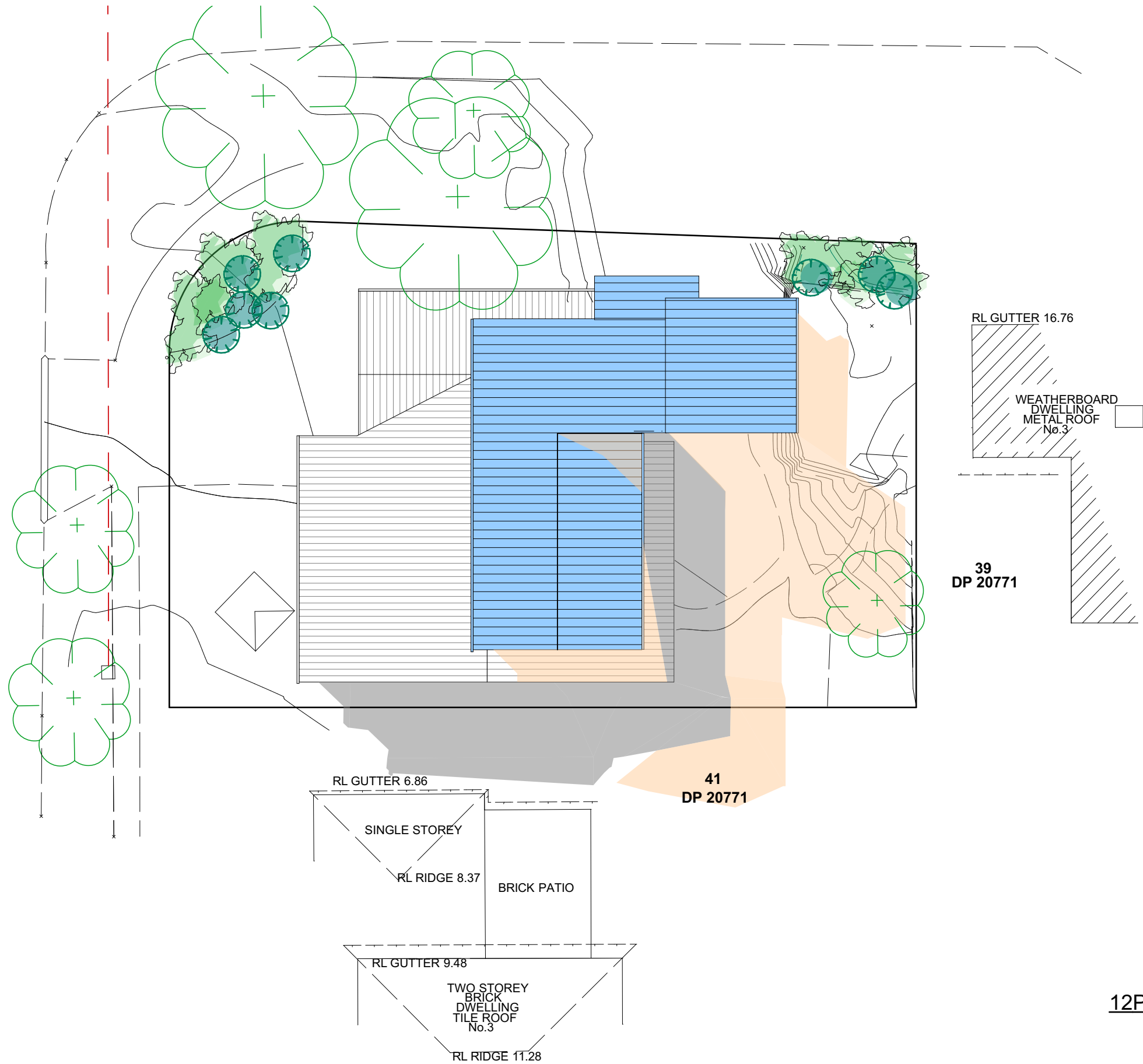
975/21

CHECKED BY:

JJ

DRAWING No:

DA.13



12PM JUNE

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



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PROPOSED ALTERATIONS AND ADDITIONS
5 NENAGH STREET NORTH MANLY

CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 12 noon

DATE:
12/21

DRAWN BY:
EV

SCALE:
1:200 @ A3

JOB No:
975/21

CHECKED BY:
JJ

DRAWING No:
DA.14



3PM JUNE

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



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5 NENAGH STREET NORTH MANLY

CLIENT:
THOMAS AND ANNA

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 3:00 pm

DATE:
12/21

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