

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1294

HYDE AVENUE

Boundary 18.41m

EX GRASS
Site Area Approx.
758.3 sqm

EX DRIVEWAY

No. 7
EXISTING
RESIDENCE
DP: 217209
LOT: 625

EX GRASS

Boundary 42.455m

Boundary 40.385m

EX PATH

EX POOL
TERRACE

EX TERRACE

EX POOL

EX PEBBLES

3504
2407
TO BDY

EX
NEIGHBOURING
GARAGE

12162

4522
TO BDY

SITE ANALYSIS

EXISTING TOTAL SITE AREA =	758.3	sq.m.
EXISTING HOUSE=	215	sq.m.
EXISTING TERRACE, TILE & PATH=	156	sq.m.
EXISTING DRIVEWAY=	861	sq.m.
EXISTING LANDSCAPE, GRASS, PEBBLES=	241.4	sq.m.
EXISTING PRIVATE SPACE=	>30	sq.m.

PROPOSED VERGOLA = 29.3 sq.m.

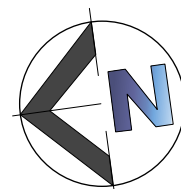
PROPOSED ADDITIONAL SITE COVERAGE= 0 sq.m.
(NO CHANGE PROPOSED)

NOTES:-

AS THE PROPOSED VERGOLA IS TO BE BUILT
OVER AN EXISTING TERRACE HARDSTAND AREA THERE WILL BE NO
PROPOSED INCREASE TO THE EXISTING SITE COVERAGE.
ALL DOWNPIPES TO BE DIRECTED INTO
THE EXISTING STORMWATER DISPOSAL SYSTEM.
ALL DIMENSIONS ARE TO BE CONFIRMED WITH
A SITE MEASURE PRIOR TO MANUFACTURE.

SITE PLAN

Scale 1:200



ALL MEASUREMENTS TO
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GENERAL NOTES

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Local and State Government Ordinances, relevant Australian Standards, Local
Electricity and Water Authorities Regulations and all other relevant Authorities
concerned.

All timbers to be in accordance with SAA Timber Structure Code
AS1720 and SAA Timber Framing Code AS 1684.

All work to be carried out in a professional and workmanlike manner
according to the plans and specification.

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in preference.

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any work.

Locate and protect all services prior to construction.



7 TEPKO ROAD TERREY HILLS NSW 2084
TEL: (02) 9450 3300
FAX: (02) 9450 3333

Project:

**PROPOSED VERGOLA
LOUVERED ROOF SYSTEM
AT EXISTING RESIDENCE**

Client:

CARL MCCREATH

Address:

**7 HYDE AVENUE
KILLARNEY HEIGHTS - X**

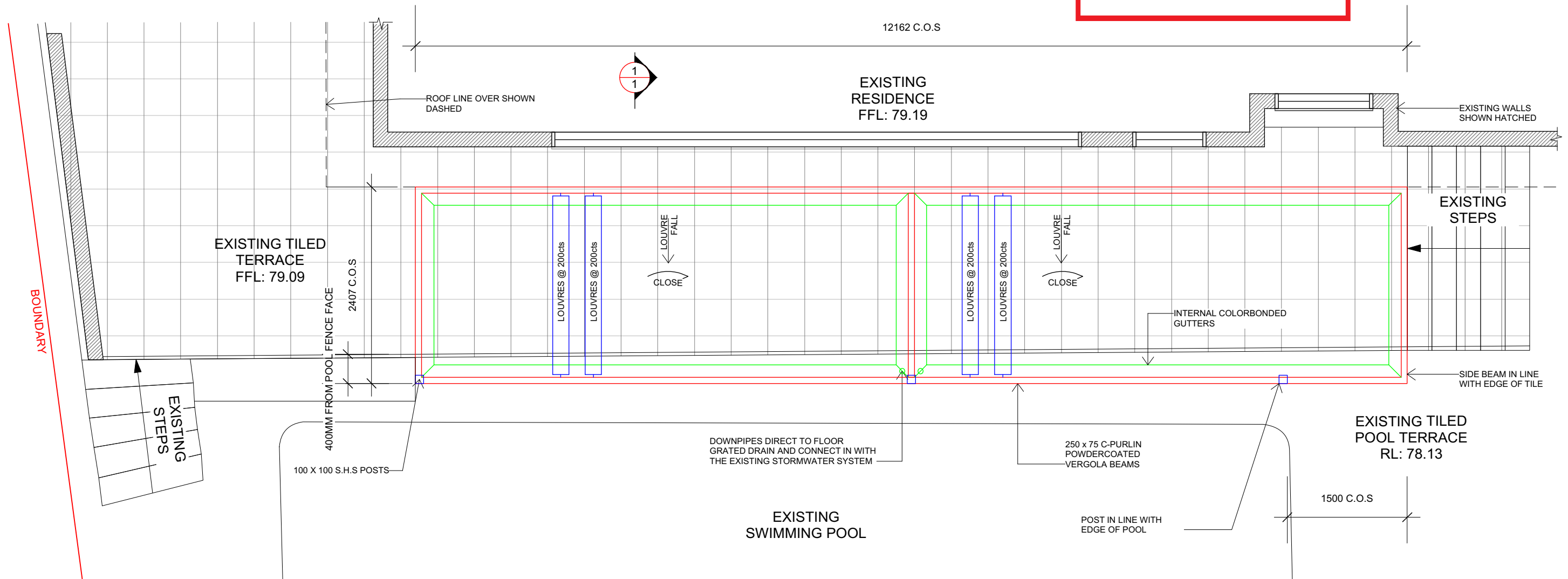
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SALES REP.	B.P		B -
			C -
DRAWN	JGW	SHEET No.	1 OF 4
DRAWING No.	18249	DATE SIGNED	
SCALE.	AS NOTED @A		
CLIENTS SIGNATURE			



northern
beaches
council

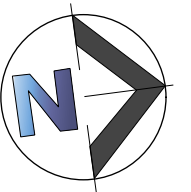
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PLAN

SCALE 1:50



NOTES:-

VERGOLA FRAME: POWDERCOAT FRAME "IRONSTONE" COLOUR FINISH
VERGOLA POSTS: POWDERCOAT "IRONSTONE" COLOUR FINISH
FLASHING & GUTTER: MADE IN COLORBOND COLOUR "IRONSTONE"
VERGOLA LOUVRES: MADE IN COLORBOND COLOUR "WINDSPRAY"
S/WATER: 65mm PVC DOWNPIPE TO EXISTING GUTTER & STORMWATER SYSTEM WITH PAINT COLOUR "IRONSTONE"

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(NSW) PTY. LTD.

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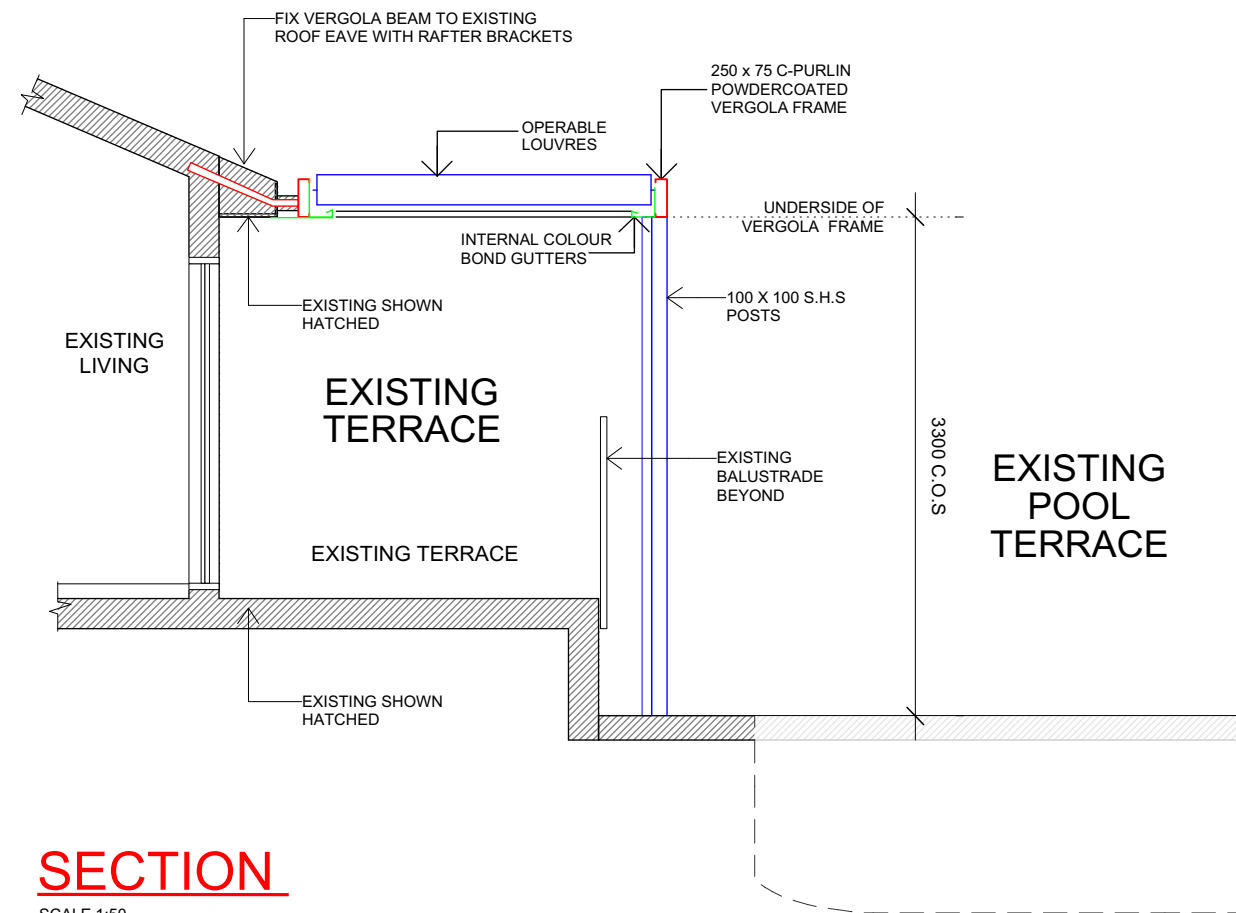
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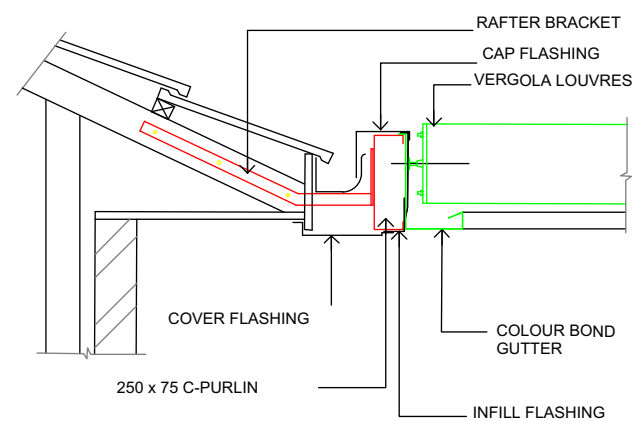
**7 HYDE AVENUE
KILLARNEY HEIGHTS - X**

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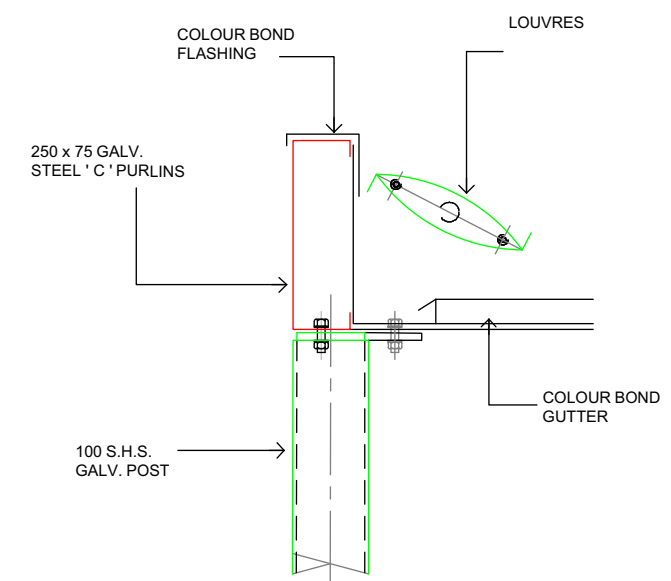
SECTION

SCALE 1:50



RAFTER BRACKET DETAIL

SCALE 1:20



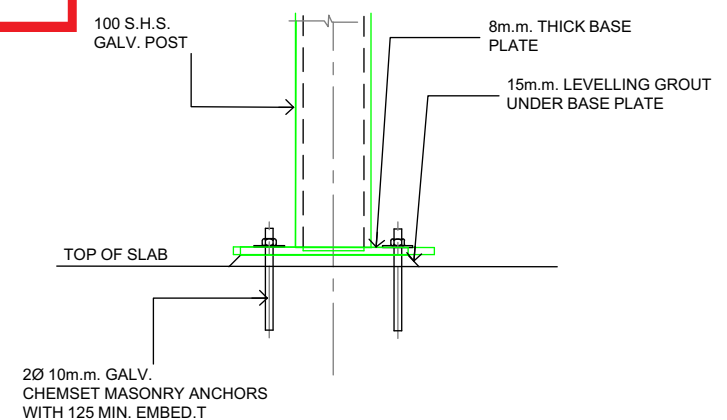
POST DETAIL

SCALE 1:10



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POST BASE PLATE DETAIL

SCALE 1:10

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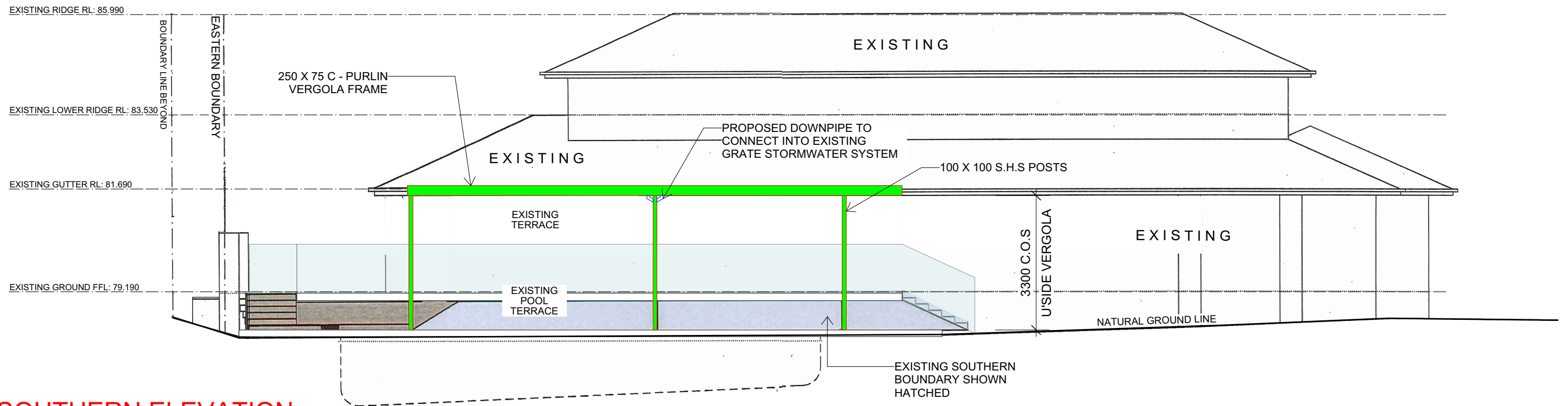
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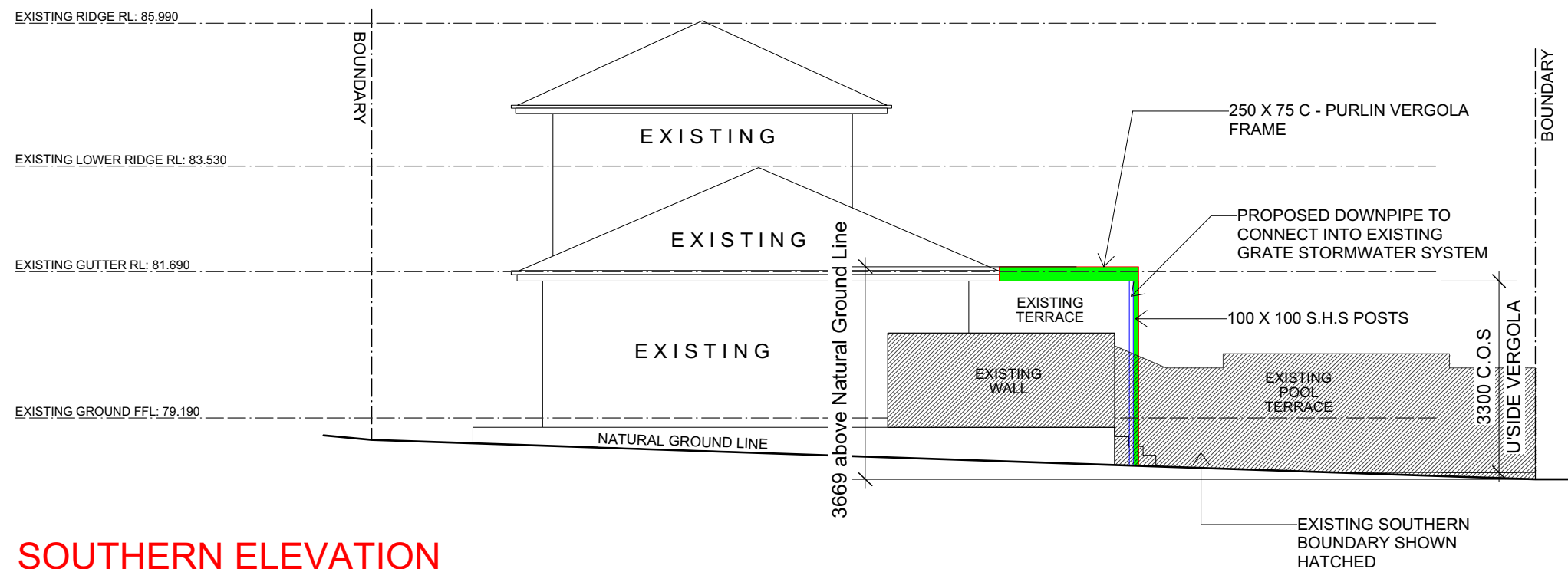
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SOUTHERN ELEVATION
SCALE 1:100



SOUTHERN ELEVATION
SCALE 1:100



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