

CLIENT: MR & MRS FREWEN
59 LORIKEET GROVE, WARRIEWOOD
CC/DA APPLICATION

<u>SHEET No.:</u>	<u>SHEET TITLE:</u>	<u>SCALE:</u>	<u>REVISION:</u>
1	COVER SHEET	N/A	
2	SITE PLAN	1:200 ON A3	A
3	GROUND FLOOR LAYOUT	1:100 ON A3	A
4	UPPER FLOOR LAYOUT	1:100 ON A3	A
5	ELEVATION LAYOUT	1:100 ON A3	A
6	ELEVATION LAYOUT	1:100 ON A3	A
7	SECTIONS 1 & 2 LAYOUT	1:100 ON A3	A
8	SITE ANALYSIS	1:200 ON A3	A
9	SHADOW DIAGRAM	1:100 ON A3	A
10	WASTE & DRAINAGE	1:200 ON A3	A
11	SLAB FLOOR LAYOUT	1:100 ON A3	A
12	SUB FLOOR LAYOUT	1:100 ON A3	A
13	ELECTRICAL LAYOUT	1:100 ON A3	A
14	ROOF LAYOUT	1:100 ON A3	A
15	LANDSCAPE LAYOUT	NTS ON A3	A
16	LANDSCAPE DETAILS	NTS ON A3	A
17	SLIDING DOOR & WINDOW SCHEDULE	NTS ON A3	A

LOT No.	5
DP :	271139
L.G.A:	NORTHERN BEACHES COUNCIL
SITE AREA:	303.60 m ²
TOTAL GROSS AREAS :	213.39 m ²
SITE COVERAGE	38.57 %

NOTES:

- USE FIGURED DIMENSION ONLY (DO NOT SCALE).
- * CHECK ALL DIMNESIONS PRIOR TO STARTING ANY WORK AND REPORT ANY DISCREPANCIES
- * FINISHED GROUND LEVELS SHOWN ON TH EPLAN ARE SUBJECT SITE CONDITIONS
- * ALL CALCULATED DIMENSIONS ARE SUBJECT TO SITE MEASURE DURING CONSTURCTION
- * NO ALLOWANCE HAS BEEN MADE FOR ANY SHRINKAGE OR MILLING
- * POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE

PROPOSED NEW DWELLING

AREA	SQM
GROUND FLOOR:	
LIVING:	94.02
GARAGE:	19.09
PORCH:	3.99

UPPER FLOOR:	
LIVING:	88.58
VOID:	7.71

TOTAL AREAS: 213.39 SQM

PROOF OF EXISTANCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITIES. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO ANY COMMENCEMENT OF EXCAVATION

Site Calculations:

Site Area:	303.60m²
Building Envelope Area:	115.71m²
Proposed Site Coverage :	117.10m²

REVISION NOTES:	
DATE:	NOTES:
A	CC/DA SUBMISSION
B	
C	
D	
E	
F	

GENERAL NOTES:

- * All works to be carried out in accordance with the requirements of the building code of Australia and the relevant local authority.
- * All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
- * All reinforcement concrete, steel beams, including supports, and nominated beams including support as per Engineers Detials.
- * Structural Engineers to check, details and certify brickwork to garage area with a height greater than 3000mm between horizontal support.
- * All brickwork to be constructed in accordance with the requirements of the building code of Australia.
- * Control jointsin brickwork to be provided in accordance with the requirements of the building code of Australia.
- * Door way openings with inward opening doors to room containing toilets which is closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

CONSTRUCTION NOTES & CONDITIONS

- * Hoouse levels are approximate only and will be setetermined on site by the Builder/Supervisor prior to any construction.
- * All existing structures in the proposed building area are to be removed by owner.
- * Existing fencing are to be secured by owner prior to construction and to remain outside the Building Platform.
- * Any existing trees & vegetation to be cut & removed from building site prior to construction by owner.
- * R2.20 External Wall Insulation (including Construction) and R3.5 Ceiling Insulation
- * Provide Foil & Sarking to Roof
- * Control Joints to be checked in accordance with Engineer Plans
- * Centre of kitchen Sink, Vanities, WC, Range Hood to be confirmed with owner & Manufacturer's Details
- * All Windows, Insulation Requirements , Lighting to Comply with Basix Certificate Approved by Council
- *Structural Slab must refer to Engineers Details
- *Meter Box & Gas Meter must be confirmed with Builder/Site Supervisor on site
- * Downpipes to be confirmed with the Plumber on site

DRAWN & DESIGN BY:



Triple9 Drafting & Design
 ABN:63 973 037 637
 Mob: 0416 237 594
 Email: triple9drafting@hotmail.com

NOTE: DO NOT SCALE DRAWINGS IF THERE IS ANY DISCREPANCIES CONTACT THE JOB SUPERVISOR OR HEAD OFFICE
DIAL 1100 BEFORE YOU DIG (www.1100.com.au)

SITE DETAILS :

Lot No: 5 (No. 59)
Government Authority: NORTHERN BEACHES COUNCIL
D.P : 271139
Parish:
County:

Proposed Dwelling : 222.45m²
Site Area : 303.06 m²
Site Coverage: 41%

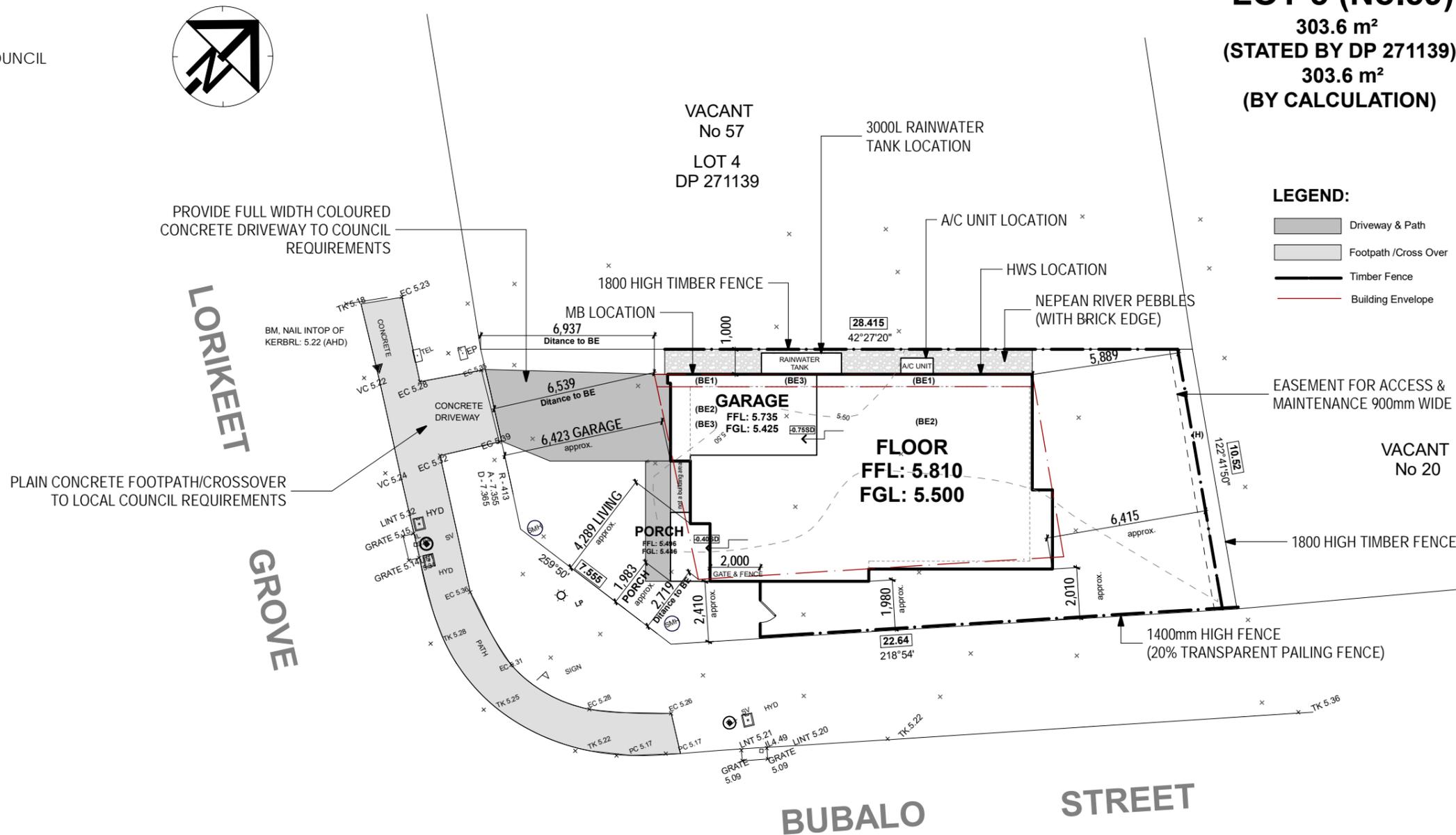
Site Notes:
Ground Surface Water
Fall Ground min.50mm in first 1m from building
The height of slab above external finished surface to be not less than:
(a) 150mm above finished ground level
(b) 100mm above sandy well-drained areas
(c) 50mm above paved or concrete areas with fall away from the building

Roof Drainage
Face gutters to have min. fall of 1:500
Box gutters to have min.fall of 1:100
Catchment Area Gutter Description
30 m2 115mm D Gutter
40m2 125mm D Gutter
50m2 150mm D Gutter
60m2 150mm D Gutter

Downpipes
Min. size 90mm dia.
Max. Spacing of downpipes is 12m
Downpipes to be fixed as close as possible to valley gutters and if more than 1.2m from valley provision for overflow is needed.
Stormwater lines for 2 or more downpipes to be 100mm dia. and all branches to be 90mm dia.
Stormwater lines shall be to a min. fall of 1:60 and where possible placed as shown.
100mm cover to stormwater drainage

Contours & Levels provided by: C&A Surveyors P/L

LOT 5 (No.59)
303.6 m²
(STATED BY DP 271139)
303.6 m²
(BY CALCULATION)



LEGEND:

- Driveway & Path
- Footpath /Cross Over
- Timber Fence
- Building Envelope

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(H) - EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE (DP271139)
(BE1), (BE2), (BE3) - RESTRICTION ON THE USE OF LAND

LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BM	BENCH MARK
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
EC	EDGE OF CONCRETE
HYD	HYDRANT
IL	INVERT LEVEL
LH	LAMP HOLE
LP	LIGHT POST
NS	NATURAL SURFACE
PP	POWER POLE
RL	REDUCED LEVEL
SL	SURFACE LEVEL
SV	STOP VALE
SMH	SEWER MANHOLE
TEL	TELSTRA PIT
TK	TOP OF KERB
VC	VEHICLE CROSSING
W	WINDOW
WM	WATER METER

SITE LAYOUT

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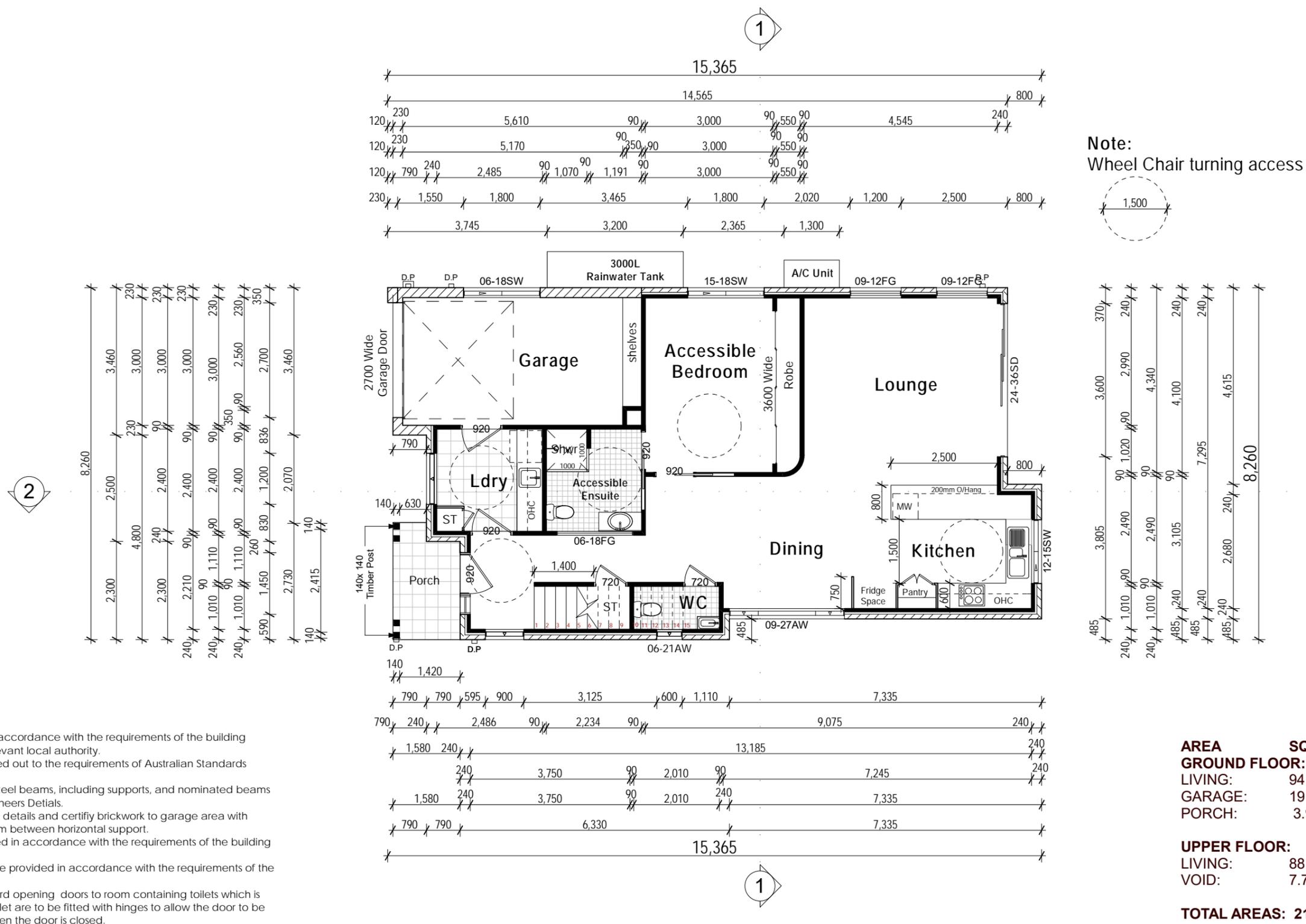
JOB ADDRESS: 59 LORIKEET GROVE, WARRIEWOOD
DRAWING DESCRIPTION: TWO STOREY RESIDENTIAL DWELLING
CLIENT PARTICULARS: MR & MRS FREWEN

DRAWN: JHA
DESIGN: CUSTOM DESIGN
JOB No.: FRE-WD
SCALE: 1:200 ON A3
DATE: 24/08/2020
SHEET: 2

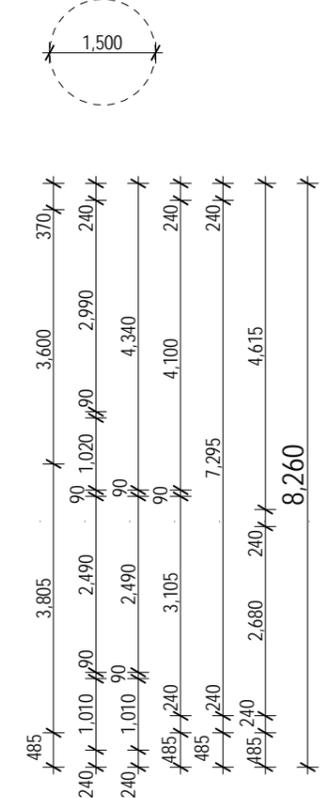
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Note:
Wheel Chair turning access



AREA SQM
GROUND FLOOR:
LIVING: 94.02
GARAGE: 19.09
PORCH: 3.99

UPPER FLOOR:
LIVING: 88.58
VOID: 7.71

TOTAL AREAS: 213.39 SQM

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GROUND FLOOR LAYOUT

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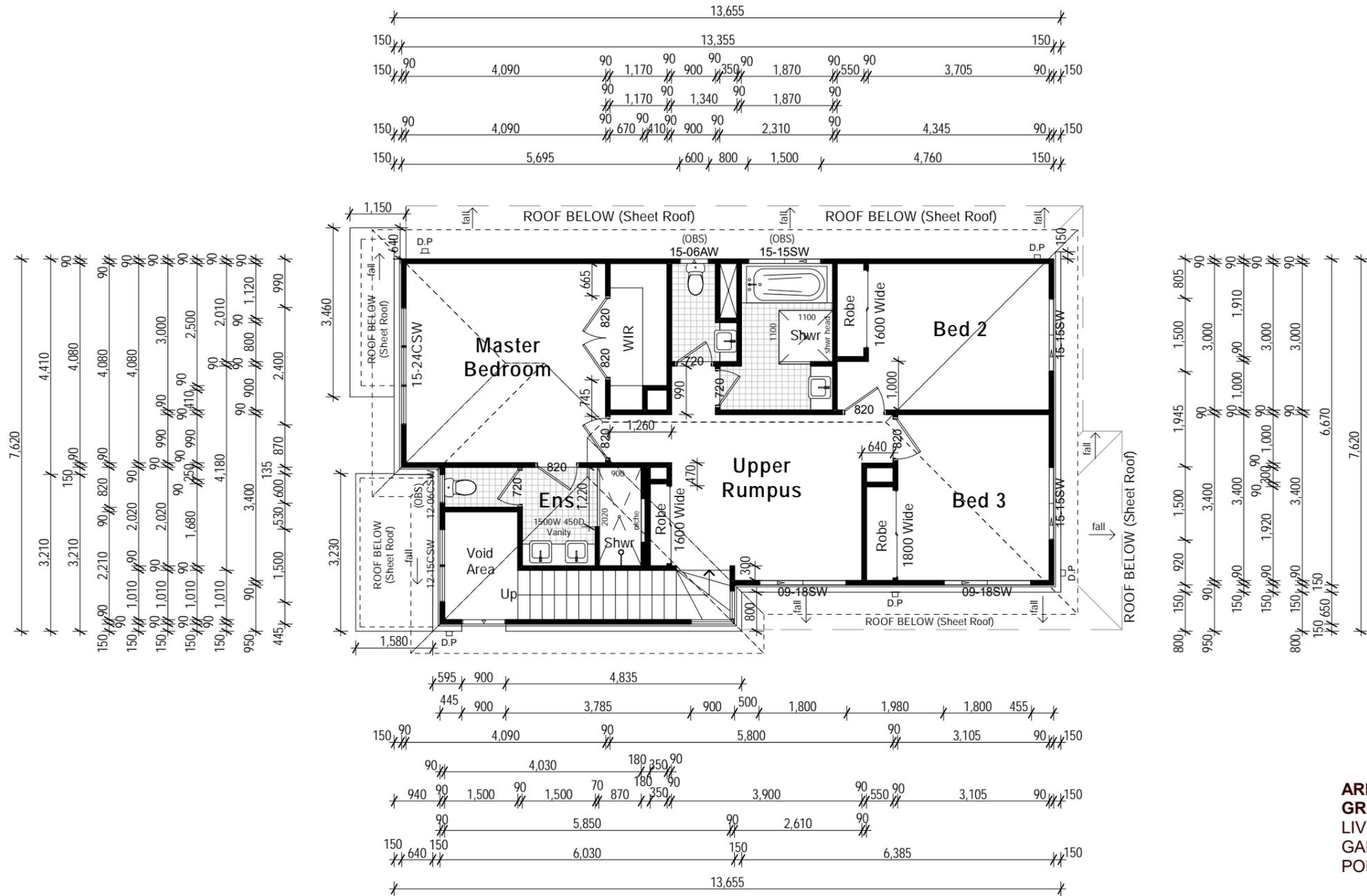
CLIENT PARTICULARS: MR & MRS FREWEN

DRAWN: JHA	DESIGN: CUSTOM DESIGN
JOB No.: FRE-WD	SCALE: 1:100 ON A3
DATE: 19/08/2020	SHEET: 3

ISSUE:	AMENDMENTS:	DATE:

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GROUND FLOOR:	
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VOID:	7.71

TOTAL AREAS: 213.39 SQM

UPPER FLOOR LAYOUT

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CLIENT PARTICULARS:

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DRAWN: JHA

DESIGN: CUSTOM DESIGN

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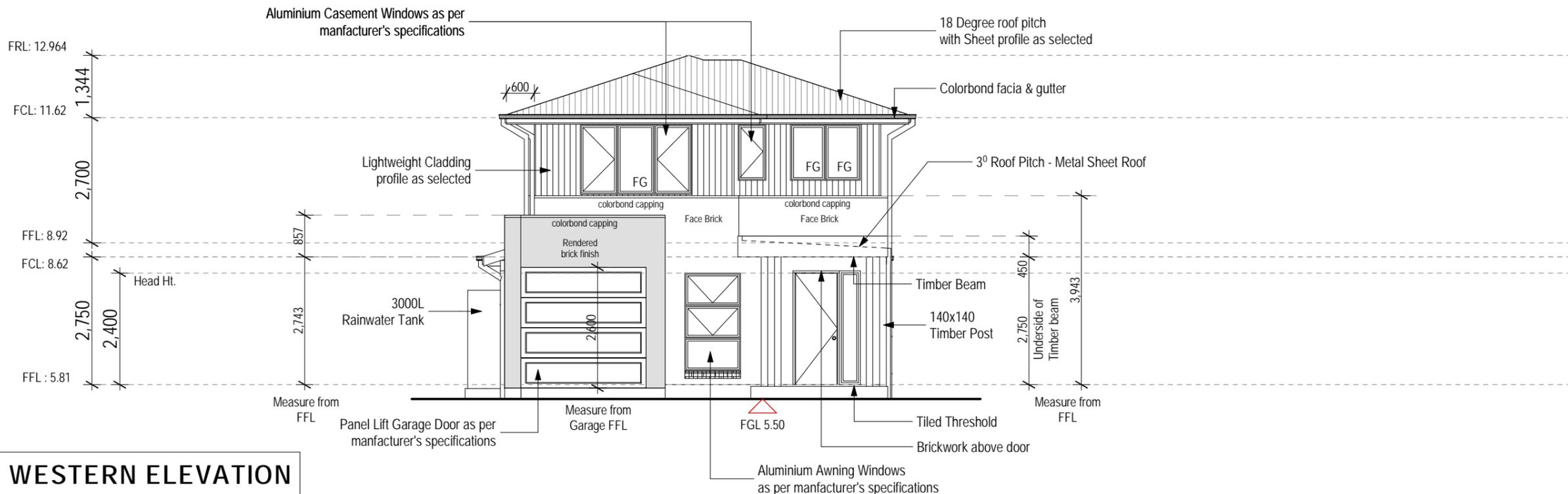
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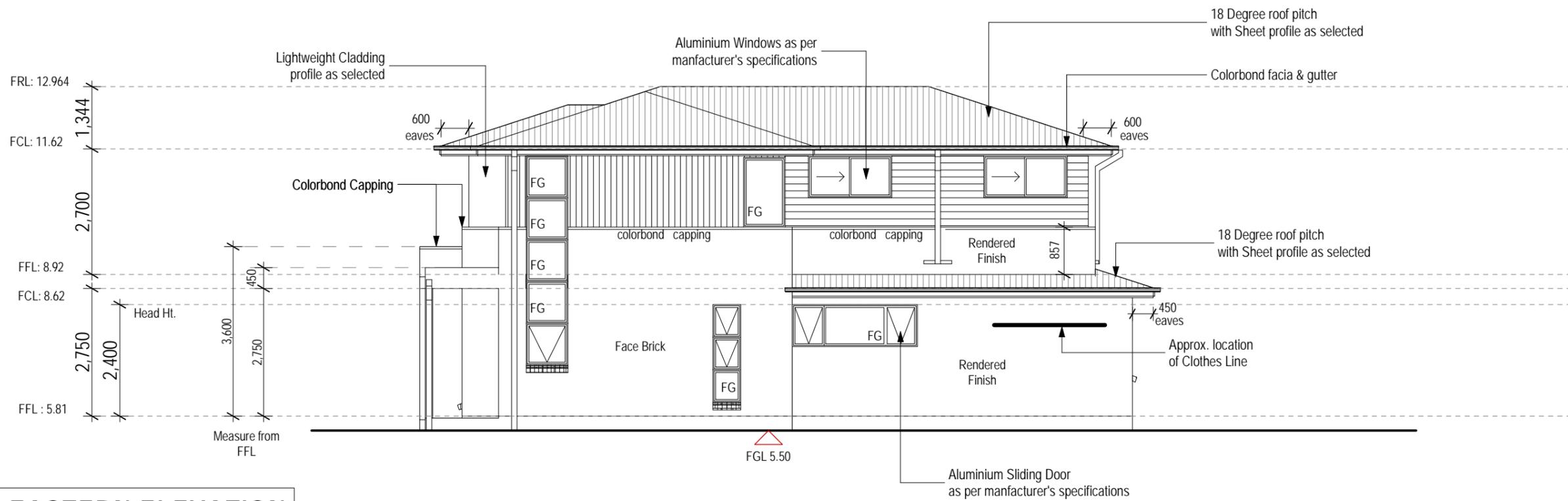
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SOUTH WESTERN ELEVATION



SOUTH EASTERN ELEVATION

ELEVATIONS LAYOUT

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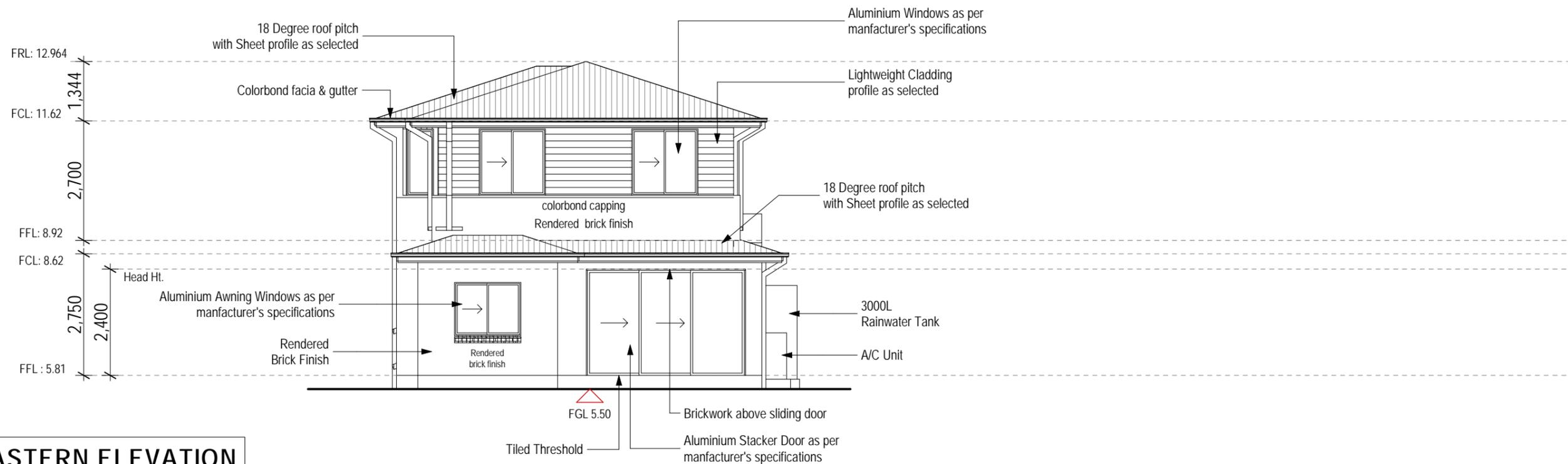
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 TWO STOREY RESIDENTIAL DWELLING
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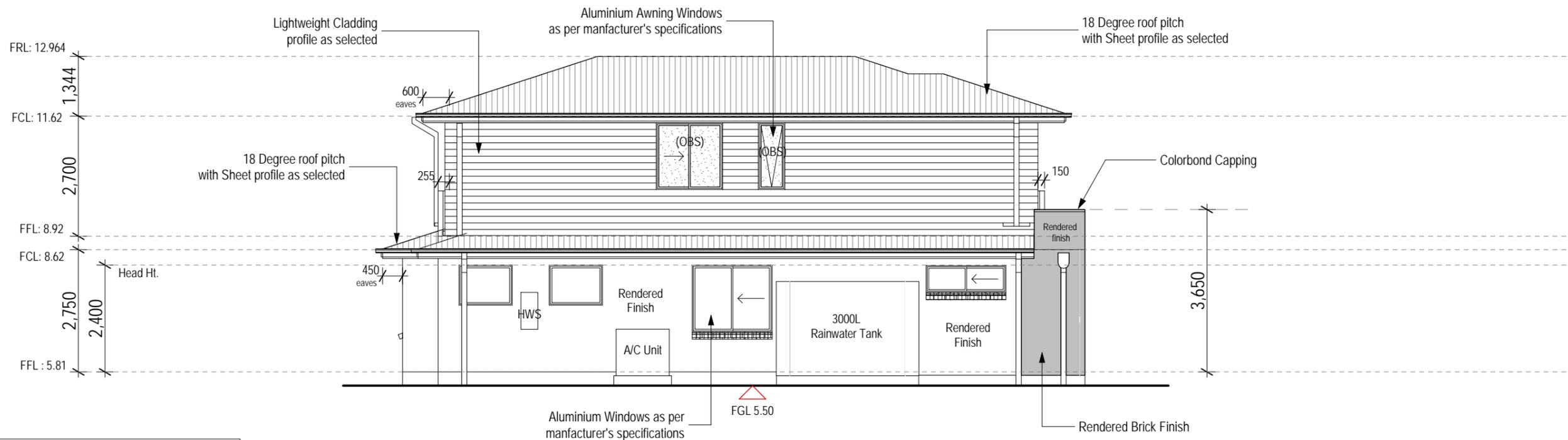
DRAWN: JHA	DESIGN: CUSTOM DESIGN	ISSUE:	AMENDMENTS:	DATE:
JOB No.: FRE-WD	SCALE: 1:100 ON A3			
DATE: 19/08/2020	SHEET: 5			

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NORTH EASTERN ELEVATION



NORTH WESTERN ELEVATION

ELEVATIONS 3-4 LAYOUT

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CLIENT PARTICULARS:

MR & MRS FREWEN

DRAWN: JHA

DESIGN: CUSTOM DESIGN

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SCALE: 1:100 ON A3

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SHEET: 6

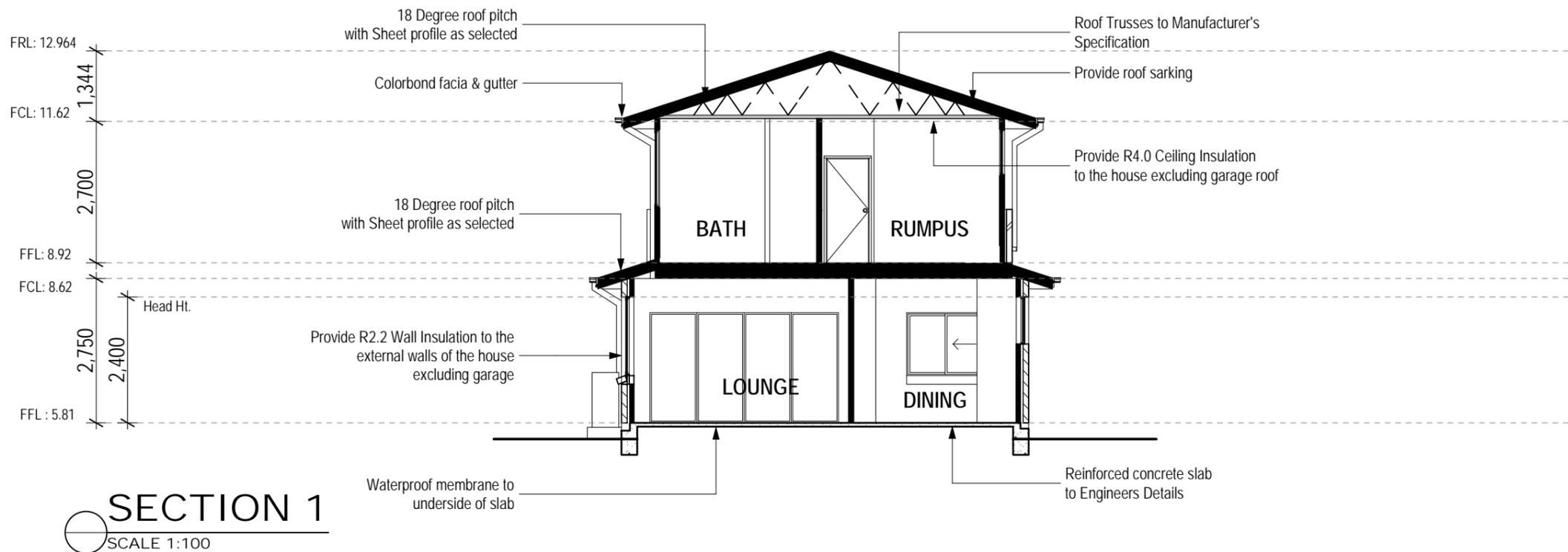
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CONDENSATION MANAGEMENT :

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER :

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3

BALCONIES:

- Balcony construction to comply with Part 3.10.6 of Volume 2 of the NCC 2019.
- Provide stepdown to prevent ingress of water: Compliant with NCC Clause 3.1.3.3

STAIRS, RAMP & LANDINGS:

- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

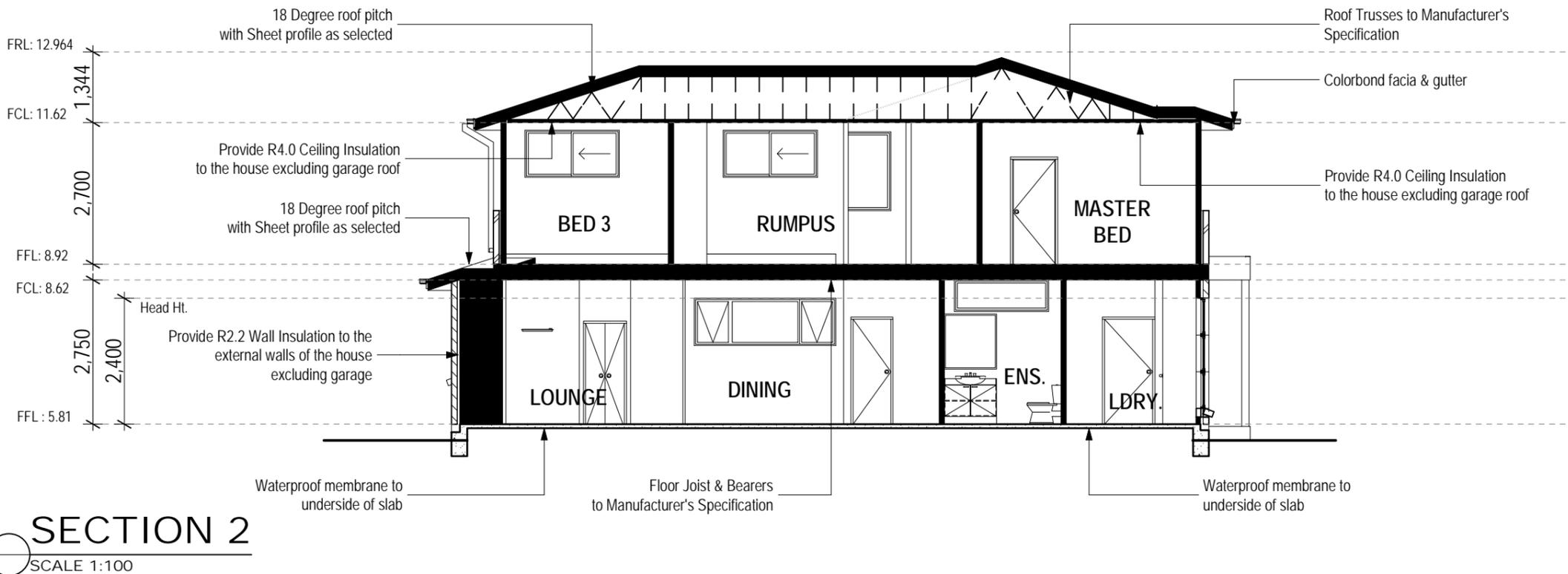
- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

- Lighting: In accordance with BASIX commitments
- Smoke Alarms: Installation to NCC Clause 3.7.5

GLAZING:

- Fall Protection: All first floor glazing to bedroom and living areas shall be fitted with a restrictive device installed in accordance with NCC 3.9.2 and comply with Clause 3.9.2.6 as applicable. Windows with (R) suffix denotes restricted opening for bedrooms & Clause 3.9.2.7 for other Windows.



SECTION LAYOUT

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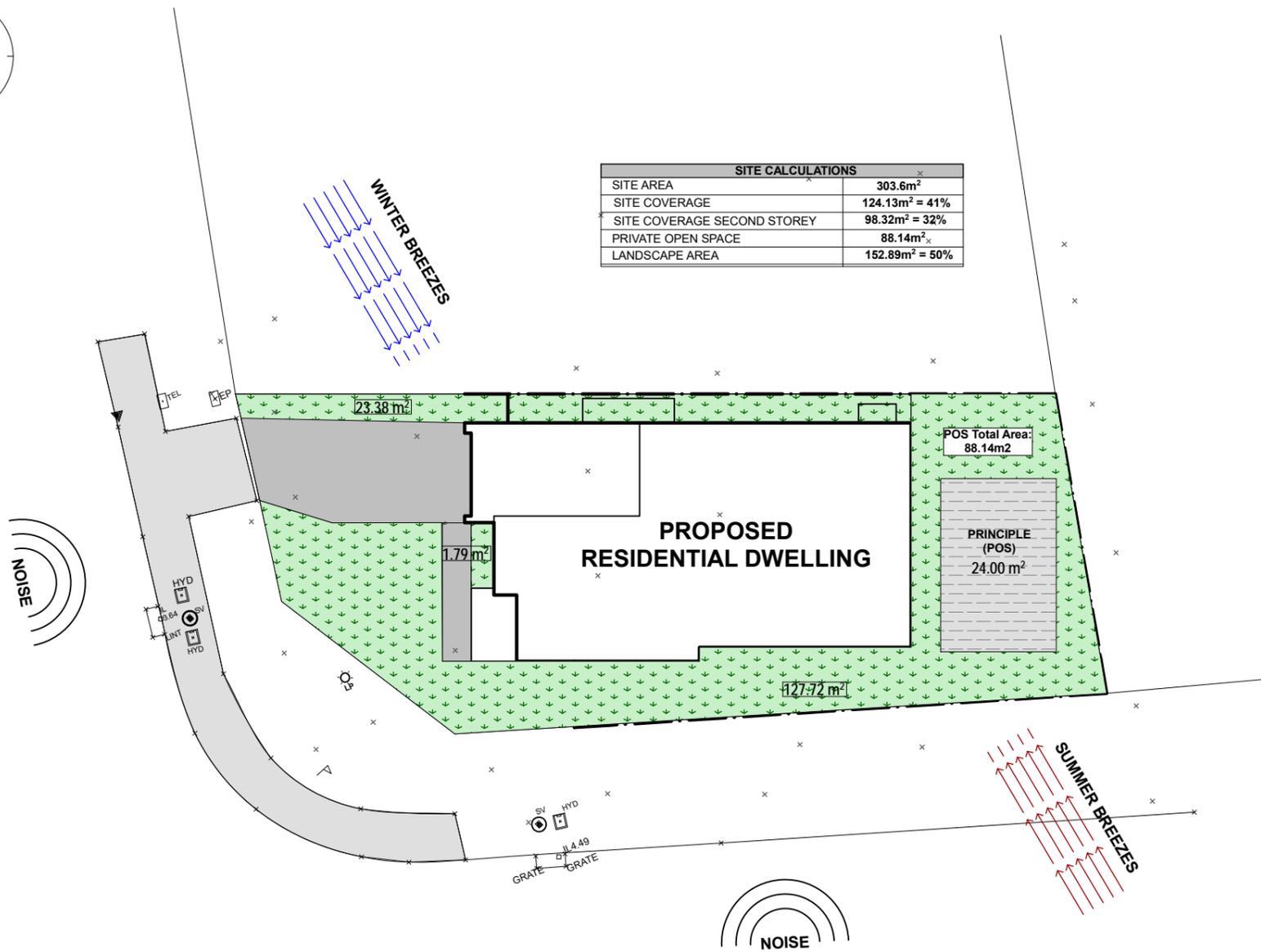
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SITE CALCULATIONS	
SITE AREA	303.6m ²
SITE COVERAGE	124.13m ² = 41%
SITE COVERAGE SECOND STOREY	98.32m ² = 32%
PRIVATE OPEN SPACE	88.14m ²
LANDSCAPE AREA	152.89m ² = 50%

SITE ANALYSIS

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CLIENT PARTICULARS:

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DRAWN: JHA

DESIGN: CUSTOM DESIGN

ISSUE:

AMENDMENTS:

DATE:

JOB No.: FRE-WD

SCALE: 1:100 ON A3

DATE: 19/08/2020

SHEET: 8

SIGNATURE
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 CLIENT 2:

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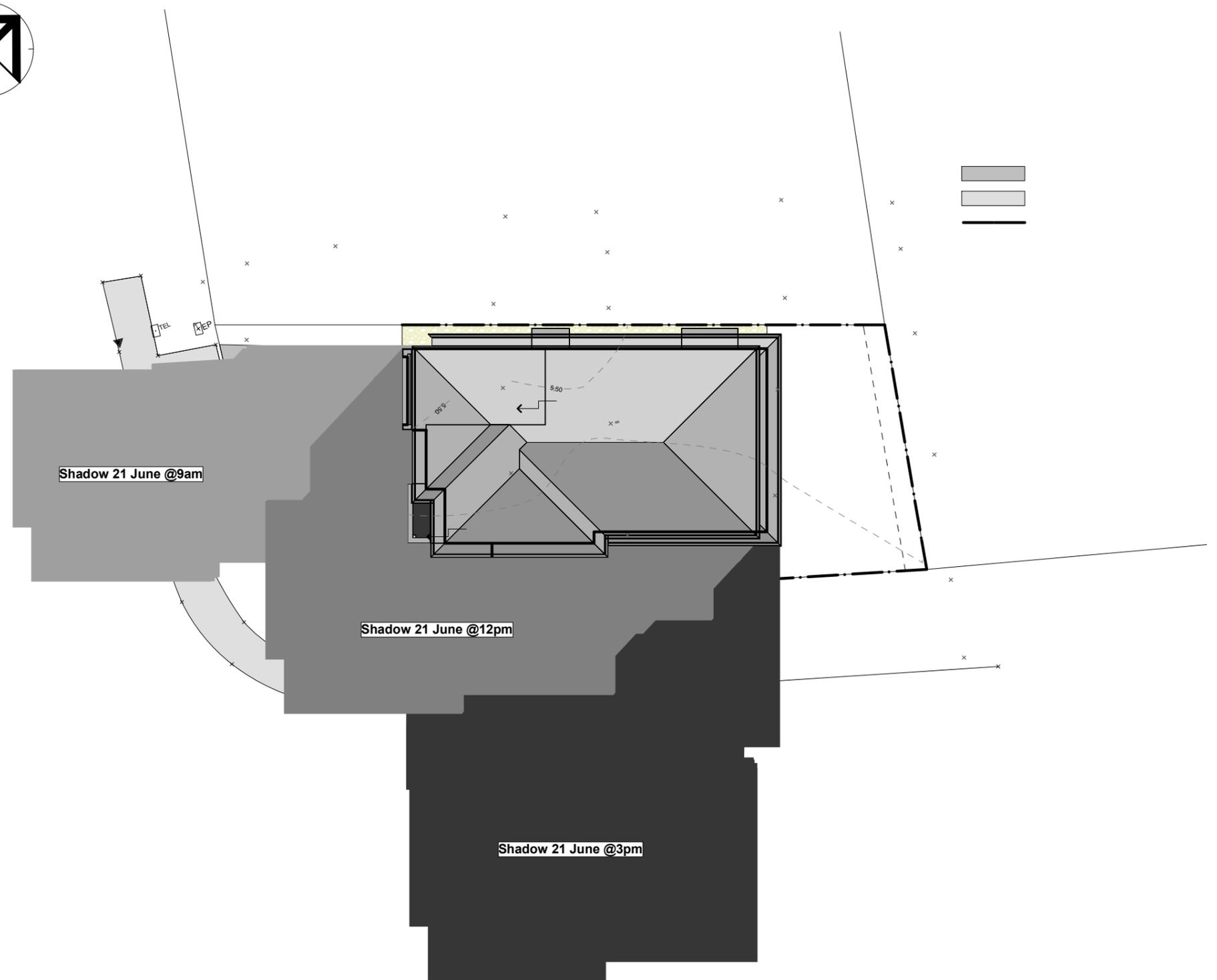
Shadow 21 June @9am



Shadow 21 June @12pm



Shadow 21 June @3pm



SHADOW DIAGRAM JUNE 21ST

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JOB ADDRESS:

59 LORIKEET GROVE, WARRIEWOOD

DRAWING DESCRIPTION:

TWO STOREY RESIDENTIAL DWELLING

CLIENT PARTICULARS:

MR & MRS FREWEN

DRAWN: JHA

DESIGN: CUSTOM DESIGN

JOB No.: FRE-WD

SCALE: 1:100 ON A3

DATE: 19/08/2020

SHEET: 9

ISSUE:

AMENDMENTS:

DATE:

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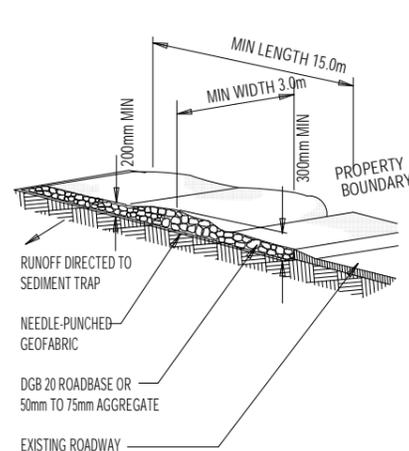
EROSION AND SEDIMENT CONTROL NOTES:

- CONSTRUCTION OF ALL SEDIMENT MANAGEMENT DEVICES SHALL BE COMPLETED AND EFFECTIVE PRIOR TO:
 - STRIPPING OF TOPSOIL AND GRASS
 - BULK EARTHWORKS TO THE SITE
 - SERVICE INSTALLATION
- ALL SEDIMENT MANAGEMENT DEVICES ARE TO REMAIN IN PLACE UNTIL WRITTEN NOTICE LICENSING AND COMPLIANCE.
- BOTH TEMPORARY AND PERMANENT SEDIMENT MANAGEMENT DEVICES SHALL BE MAINTAINED AT A SUITABLE LEVEL/CONDITION THROUGHOUT CONSTRUCTION. SEDIMENT FENCES ARE TO BE CLEANED OUT WHEN CAPACITY IS REDUCED BY 30%.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION APPROVAL IS TO BE OBTAINED FROM LICENSING AND COMPLIANCE FOR THE LOCATION OF THE SITE ACCESS POINT AND WASH DOWN AREA WHICH ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- AROUND GRATED PITS INSTALL STRAW BALES COMPLETE WITH METAL STAKES.
- ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE.
- ALL MATERIALS TRACKED ONTO, OR SILT WASHED ONTO COUNCIL'S ROADS FROM THE DEVELOPMENT IS TO BE BROOMED UP AND COLLECTED, NOT WASHED DOWN INTO THE COUNCIL'S DRAINS.
- ALL OPEN ENDED PIPEWORK LOCATED IN OPEN TRENCHES AND INCOMPLETE PITS ARE TO BE CAPPED/PLUGGED (SOLID, OR WITH A SUITABLE FILTER CLOTH FOR STORMWATER DRAINS) AT THE END OF EACH DAYS' WORK, AND IMMEDIATELY PRIOR TO ANY STORM EVENT.

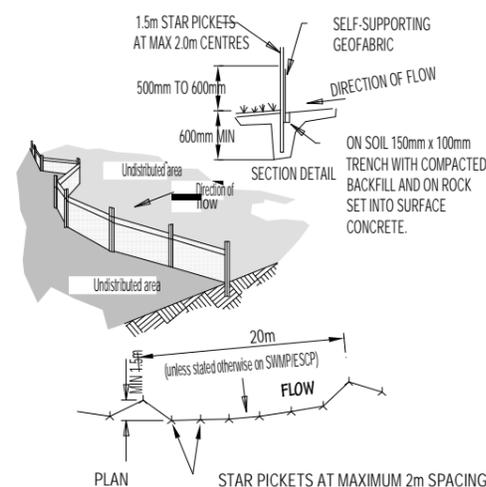


CONSTRUCTION NOTES:

- STRIP TOPSOIL AND LEVEL SITE.
- COMPACT SUBGRADE.
- COVER AREA WITH NEEDLE-PUNCHED GEOFABRIC.
- CONSTRUCT 200mm THICK PAD OVER GEOFABRIC USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
- CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.



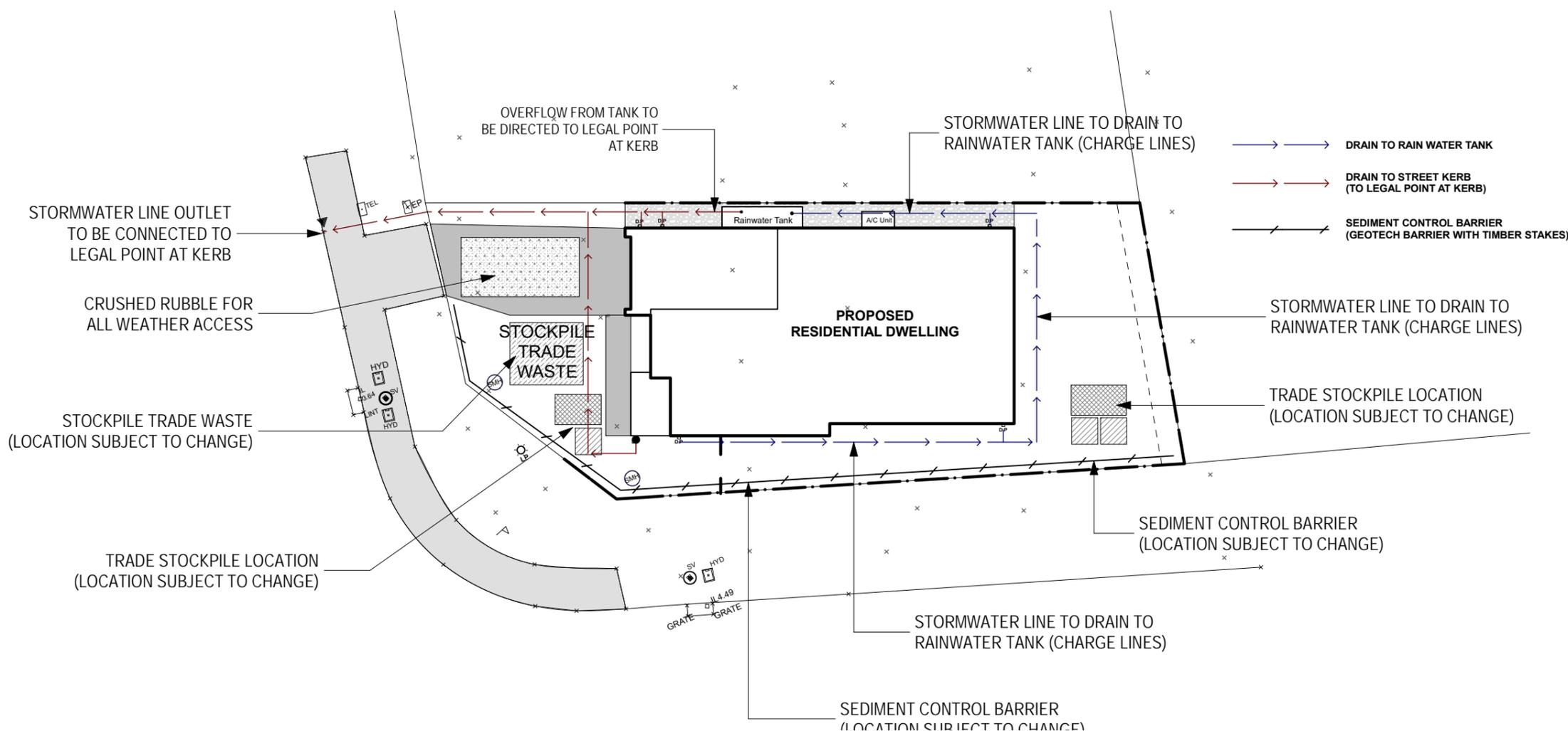
STABILIZED SITE ACCESS
NOT TO SCALE



SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION NOTES:

- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
- DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
- DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- BACKFILL TRENCH OVER BASE OF FABRIC.
- FIX SELF-SUPPORTING GEO-FABRIC TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOFABRIC MANUFACTURER.
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.



WASTE & DRAINAGE

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59 LORIKEET GROVE, WARRIEWOOD

DRAWING DESCRIPTION:

TWO STOREY RESIDENTIAL DWELLING

CLIENT PARTICULARS:

MR & MRS FREWEN

DRAWN: JHA

DESIGN: CUSTOM DESIGN

ISSUE:

AMENDMENTS:

DATE:

JOB No.: FRE-WD

SCALE: 1:200 ON A3

DATE: 19/08/2020

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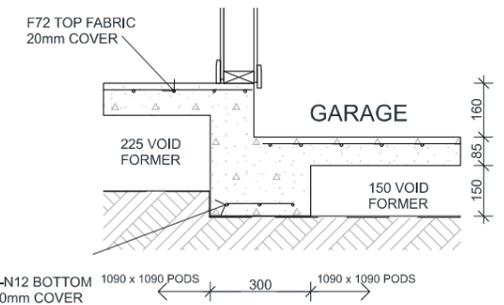
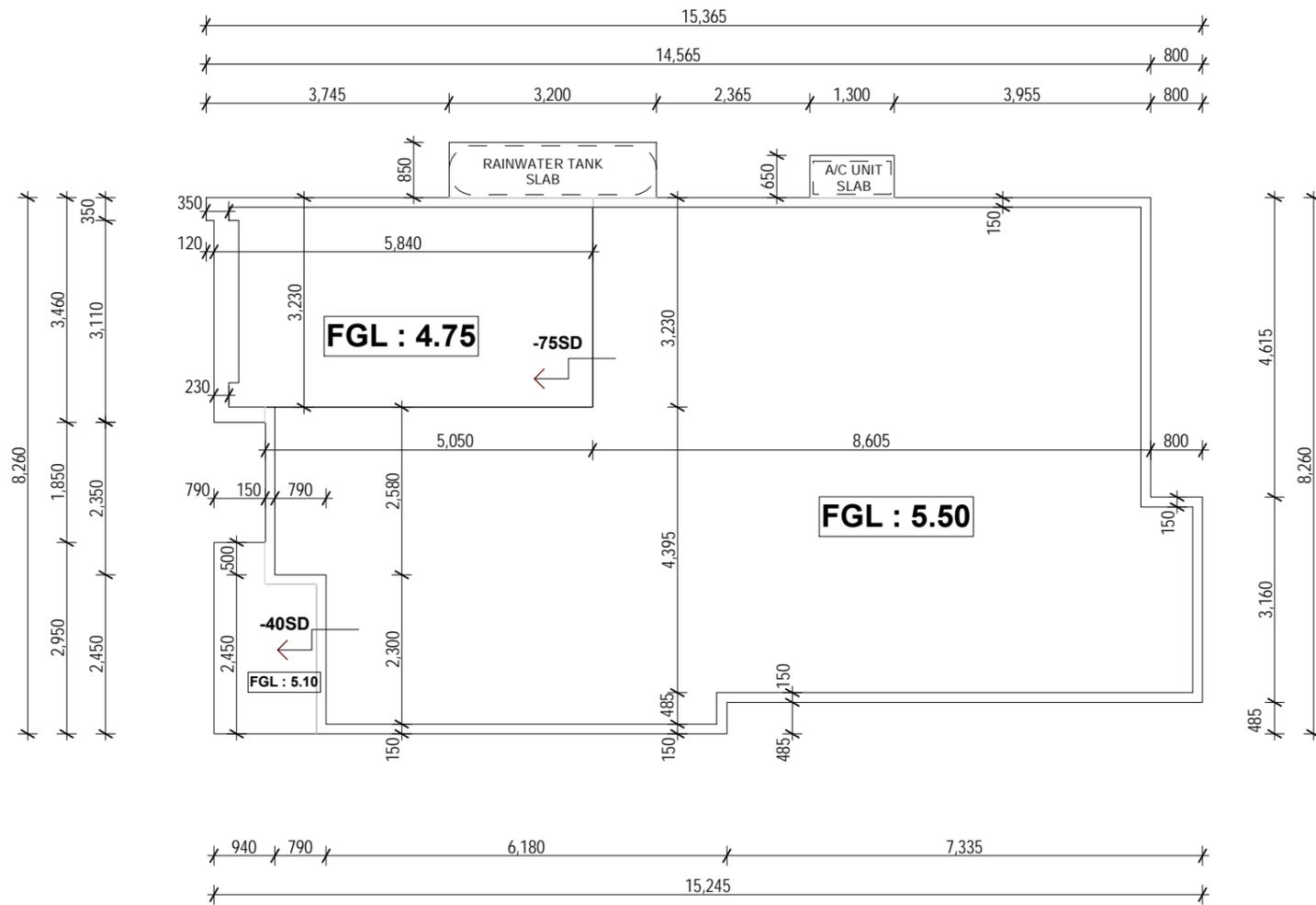
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CONSTRUCTION NOTES & CONDITIONS

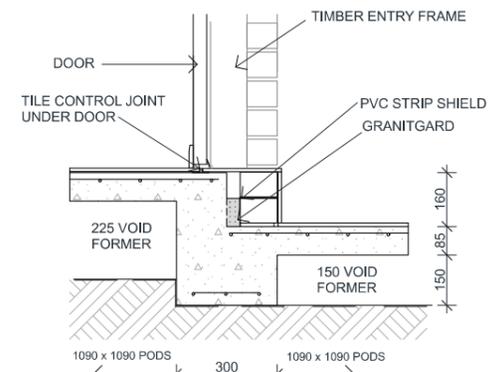
- * House levels are approximate only and will be determined on site by the Builder/Supervisor prior to any construction.
- * All existing structures in the proposed building area are to be removed by owner.
- * Existing fencing are to be secured by owner prior to construction and to remain outside the Building Platform.
- * Any existing trees & vegetation to be cut & removed from building site prior to construction by owner.
- * External Wall Insulation and Ceiling Insulation accordance with Basix Certificate
- * Provide Foil & Sarking to Roof accordance to Basix Certificate
- * Control Joints to be checked in accordance with Engineer Plans
- * Centre of kitchen Sink, Vanities, WC, Range Hood to be confirmed with owner & Manufacturer's Details
- * All Windows, Insulation Requirements, Lighting to Comply with Basix Certificate Approved by Council
- * Structural Slab must refer to Engineers Details
- * Meter Box & Gas Meter must be confirmed with Builder/Site Supervisor on site
- * Downpipes to be confirmed with the Plumber on site

SLAB LAYOUT

REFERS TO ENGINEERS DETAILS



INTERNAL BEAM-HOUSE/GARAGE THRU WALL



INTERNAL BEAM-HOUSE / ENTRY DOOR

SLAB LAYOUT

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 TWO STOREY RESIDENTIAL DWELLING

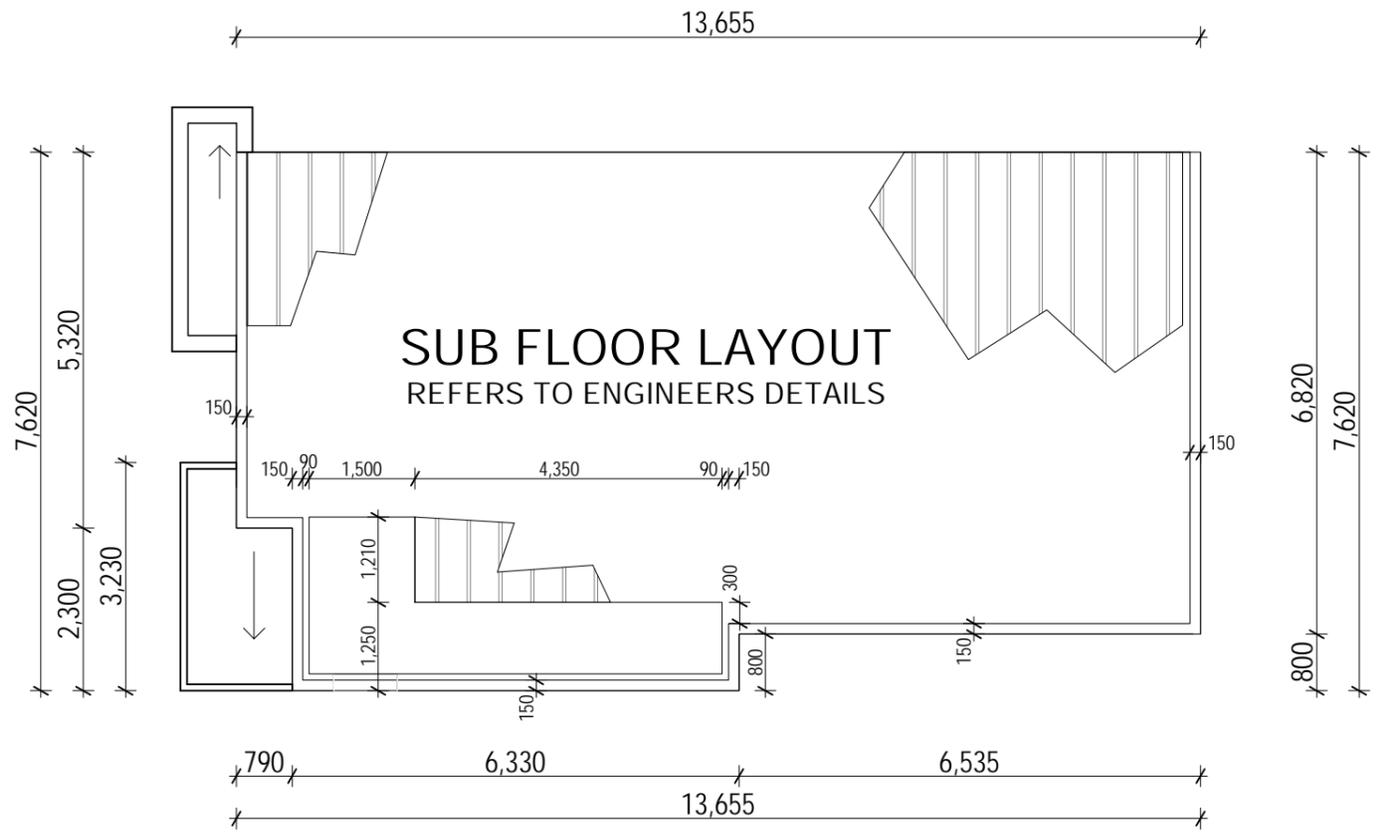
CLIENT PARTICULARS:
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59 LORIKEET GROVE, WARRIEWOOD

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DATE: 19/08/2020	SHEET: 11				

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NOTE:
 BEARERS & JOIST DIRECTION
 AS PER FRAMERS & ENGINEERS
 DETAILS



SUB FLOOR LAYOUT

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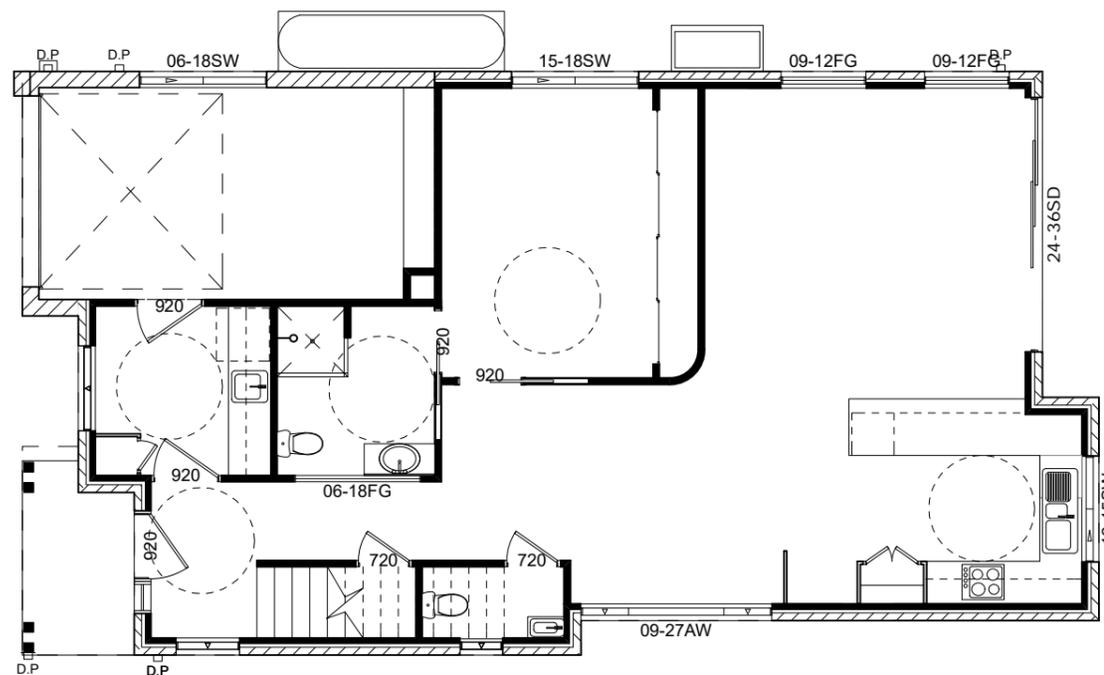
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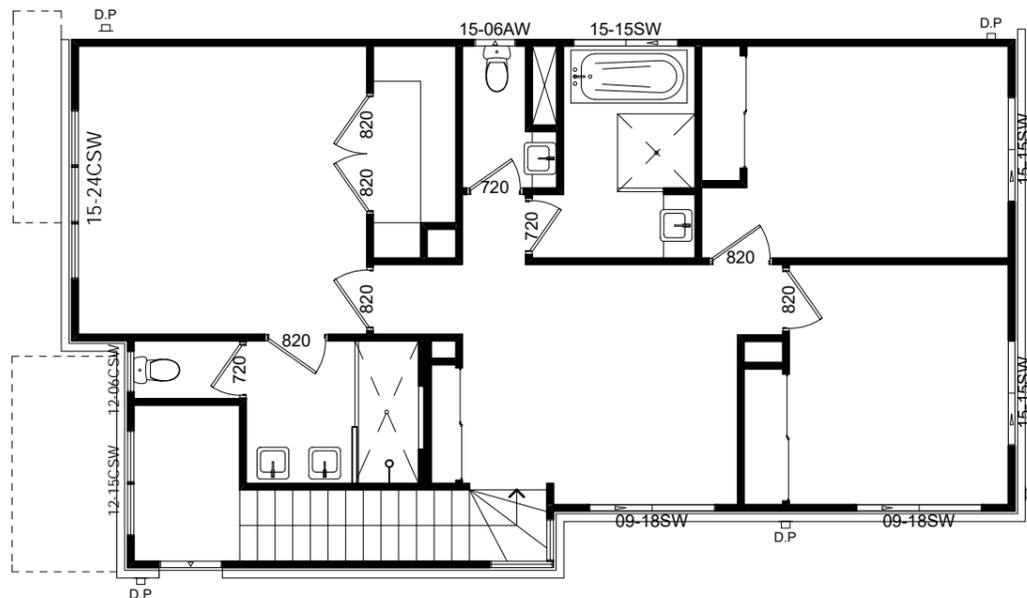
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-  Ceiling Compact Fluro
-  Downlight LED
-  External Sensor
-  Internal Wall @ 1900
-  External Wall @ 1900
-  Exhaust Fan (Ducted To External)
FLOWRATE: 111 L/S
-  Phone Point @ 300L
-  Data Point @ 300
-  T.V. Point @ 300FL
-  Light/Heat/Fan (Ducted To External)
FLOWRATE: 66.6 L/S
-  Light Switch
-  Hot Water System
(Refer to BASIX)
-  A/C Air-conditioner Compressor
-  Meter Box
-  Internal COMS
-  KP Alarm Key Panel
-  CB Alarm Control Box
-  Single GPO
-  Double GPO
-  Quad GPO
-  Single Ext GPO
-  Double Ext GPO
-  S Smoke Alarm
-  2W Denotes two way control
-  D Denotes dimmer control
-  G.P Gas Point (Bayonet)
-  Future Modem Install
(Supplied by other)



GROUND FLOOR



UPPER FLOOR

General Notes: NCC Approval

1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
5. Prewire for future alarm and video intercom/security camera including 2 SGPO's (to be located by electrician on site).
6. Double GPO to meter box.
7. All smoke alarms to be hardwired and installed according to relevant specifications & practices

INSULATION RATING

All recessed luminaires included in these documents have an IC insulation rating. This means insulation may abut or cover the LED luminaire.

Range Hood
FLOWRATE: min 83.3 L/S

ELECTRICAL LAYOUT

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DRAWN: JHA

DESIGN: CUSTOM DESIGN

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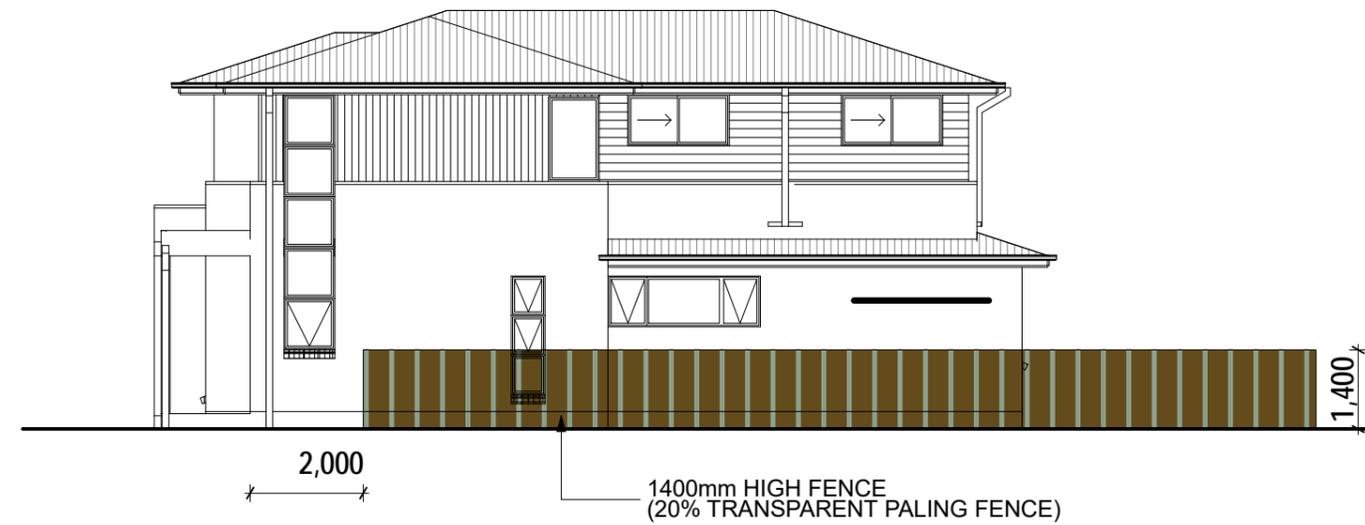
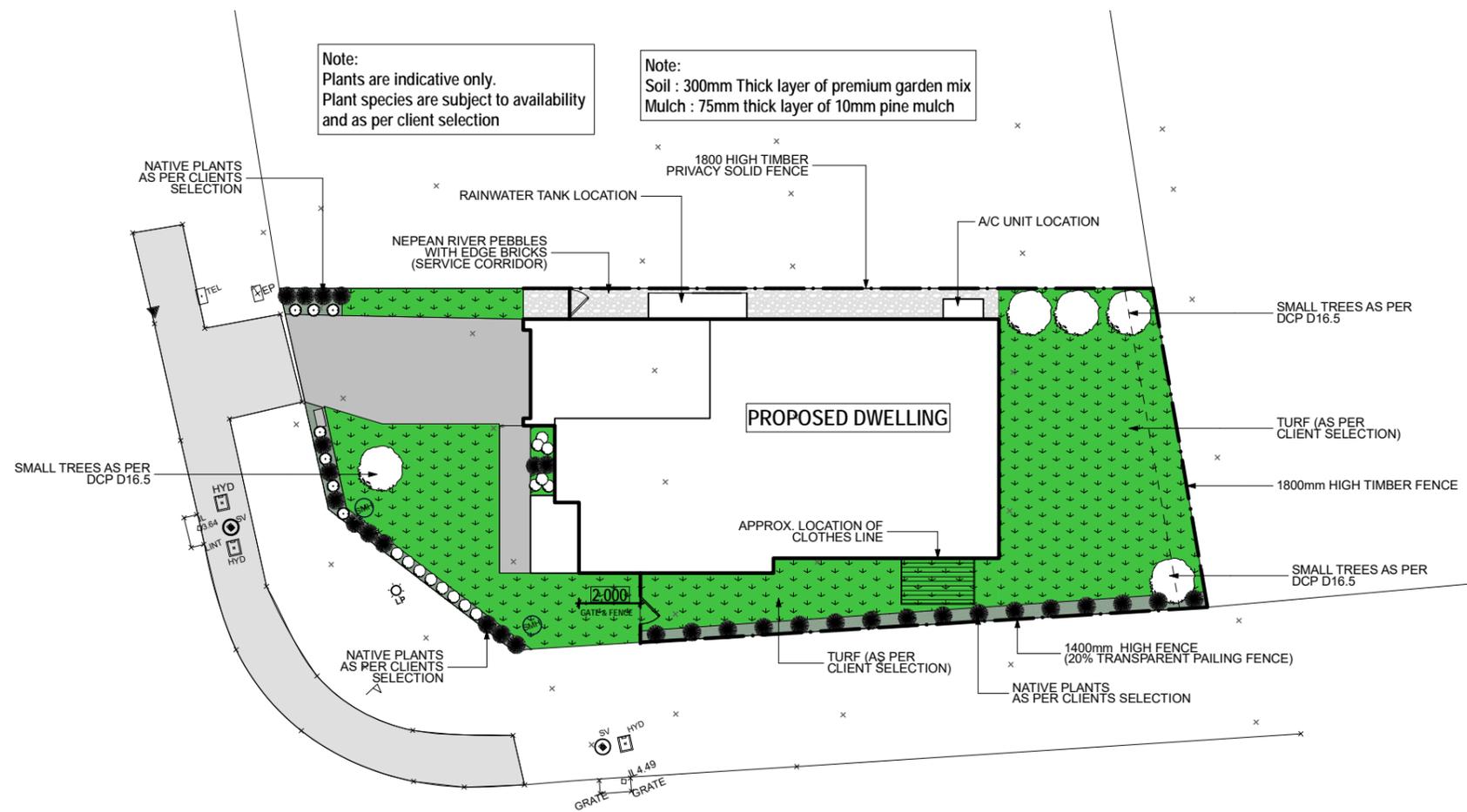
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LANDSCAPE LAYOUT

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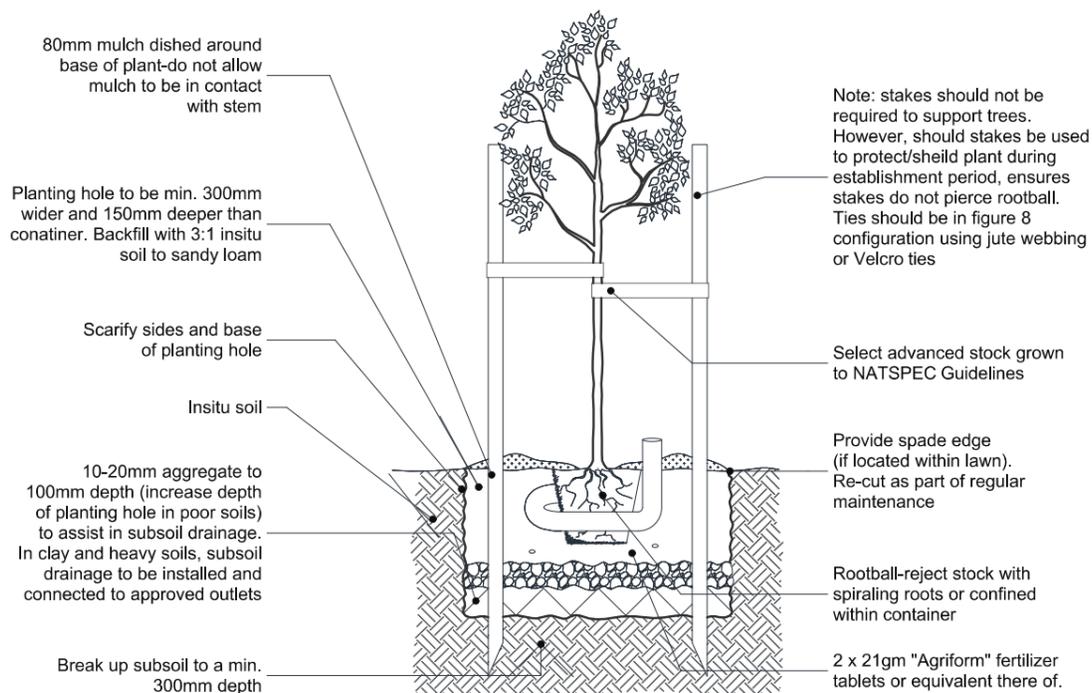
TWO STOREY RESIDENTIAL DWELLING
MR & MRS FREWEN

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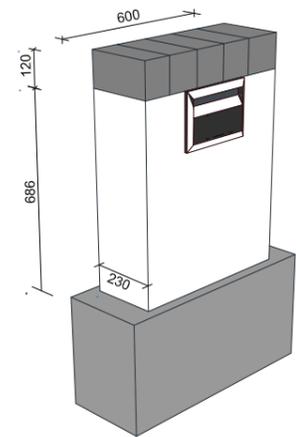
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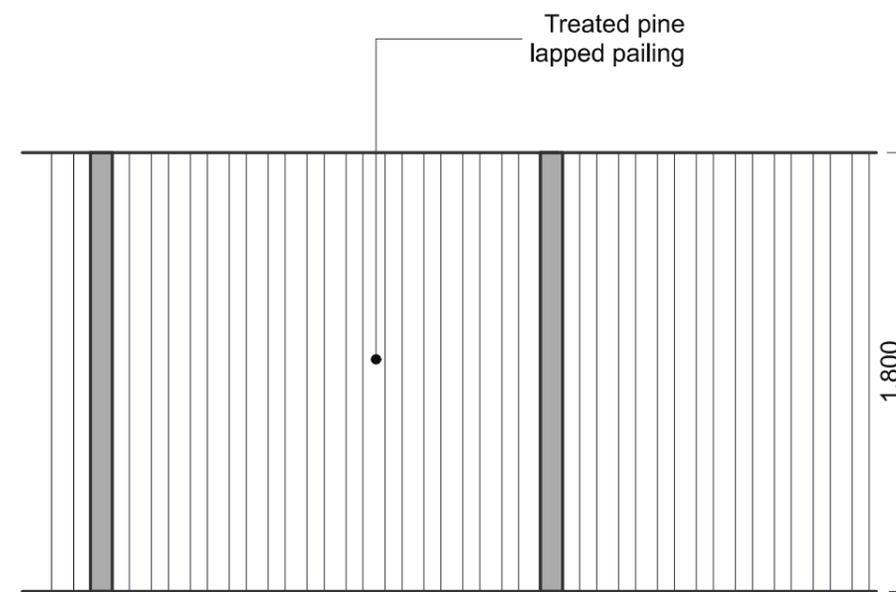
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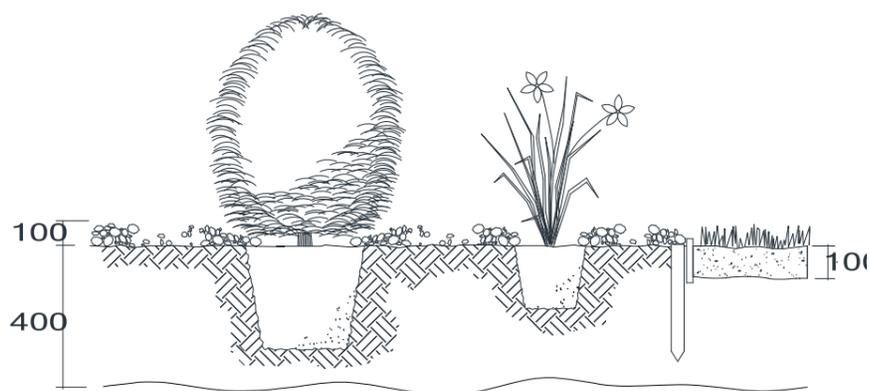
TREE PLANTING FOR ADVANCED STOCK



BLADE LETTER BOX

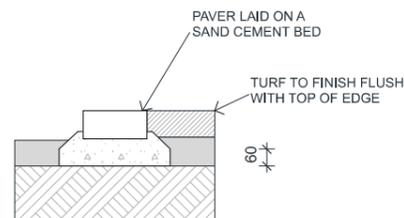


NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted



1. Excavate beds to 400mm
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

PLANTED BEDS



GARDEN EDGE DETAIL

LANDSCAPE SPECIFICATIONS

- TURF AREA:**
- Turf Underlay: 100mm thick layer of screened top soil
 - Turf: Kikuyu turf
- GARDEN AREA:**
- Soil: 300mm thick layer of premium garden mix
 - Mulch: 75mm thick layer of 10mm pine bark mulch
 - Plants per site average:
 - 2 x 25L pot size trees
 - 20 x 300mm pot size plants
 - 20 x 200mm pot size plants
 - 15 x 140mm pot size plants
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
 - 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant
- Ties shall be 50mm wide hessian webbing.
- BRICK EDGE:**
- 50mm thick charcoal Havenbrick on sand and cement mix
- PEBBLE AREA:**
- Pebble underlay : 100mm – 200mm thick layer of consolidated road base
 - Pebble : 75mm thick layer of 20mm Nepean river pebble

LANDSCAPE DETAILS

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TWO STOREY RESIDENTIAL DWELLING
MR & MRS FREWEN

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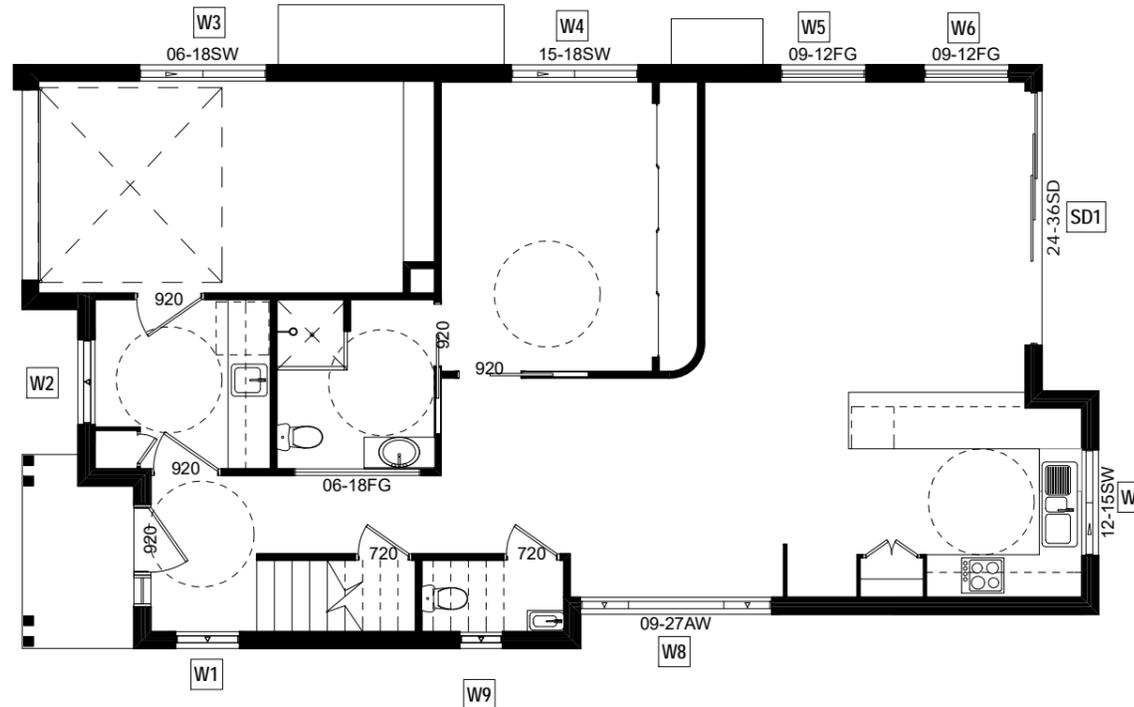
SLIDING DOOR & WINDOW SCHEDULE

Window No.	Width (mm)	Height (mm)	Comment
W1	860	4500	AAW
W2	860	2100	ASW
W3	1800	600	ASW
W4	1430	1810	ASW
W5	1210	860	FGW
W6	1210	860	FGW
W7	1210	1460	ASW
W8	850	2710	AAW
W9	610	2050	AAW-OBS
W10	1570	1200	FGW
W11	610	1554	ACSW
W12	2410	1554	ACSW
W13	610	1570	AAW-OBS
W14	1570	1460	ASW-OBS
W15	1570	1460	ASW
W16	1570	1460	ASW
W17	1800	850	ASW
W18	1800	850	ASW
W19	610	1460	ASW-FG
W20	850	1460	ASW-FG
SD1	3576	2410	ASSD

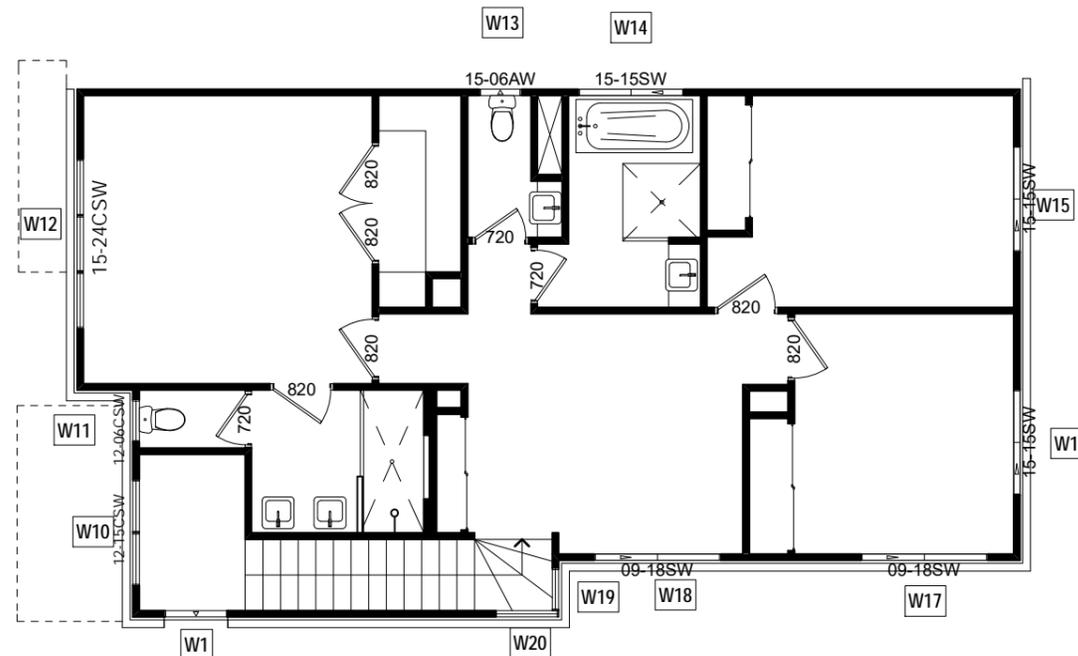
Note: All windows and doors must be checked and counted prior to ordering

Legend:

- ASW- Aluminium Sliding Windows
- ADH- Aluminium Double Hung Windows
- ACSW- Aluminium Casement Windows
- OBS- Obscure
- Direction of Opening ←



GROUND FLOOR



UPPER FLOOR

SLIDING DOOR & WINDOW SCHEDULE

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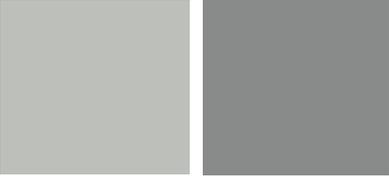
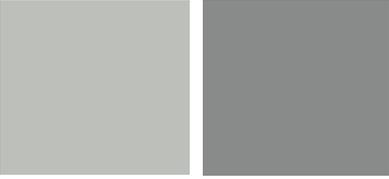
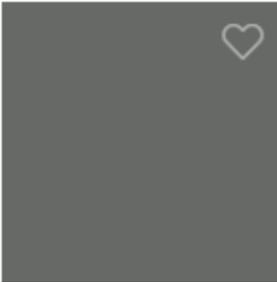
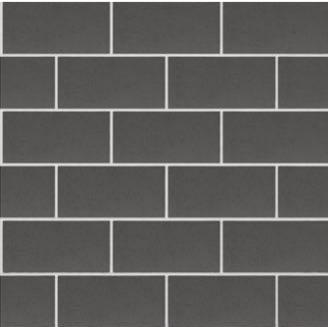
BUILDER

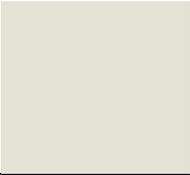
CLIENT 1:

CLIENT 2:

59 Lorikeet Gr, Warriewood

External Colour Schedule

Location	Colour scheme
Colorbond Roof	Shale Grey or Windspray 
Fascia, Gutter	Shale Grey or Windspray 
Windows & Aluminium Doors	Surfmist 
Render	Teahouse 
Facebrick	Pewter Masonry Smooth Blocks 

<p>Cladding</p>	<p>Surfmist</p> 
<p>Driveway</p>	<p>'Granite' Exposed aggregate</p> 
<p>Garage Door</p>	<p>Shale Grey (or similar)</p> 
<p>Front Door</p>	<p>Timber veneer</p> 

Colours are indicative and subject to Client final selection.