

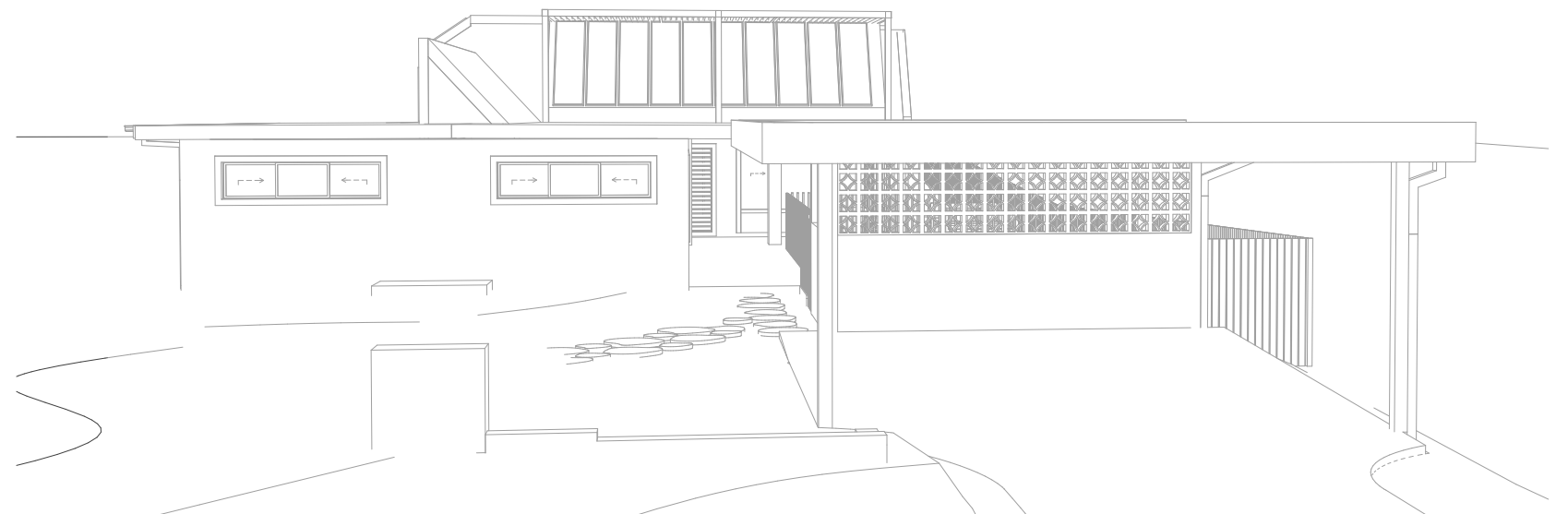
progressive plans

Residential Dwelling
NEWPORT, NSW 2106
04 September 2024
Issue B

Prepared for
ALLISON & ANDREW O'NEILL

Development Application


75 BARDON ROAD

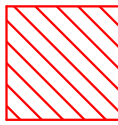



NO:	SHEET NAME	DATE
DA00	COVER PAGE	4/9/2024
DA01	SHEET INDEX	4/9/2024
DA02	AREA CALCULATIONS	4/9/2024
DA03	SITE ANALYSIS	4/9/2024
DA04	SITE - WASTE - SEDIMENT PLAN	4/9/2024
DA05	EXISTING GROUND FLOOR PLAN	4/9/2024
DA06	PROPOSED GROUND FLOOR PLAN	4/9/2024
DA07	EXISTING FIRST FLOOR PLAN	4/9/2024
DA08	PROPOSED FIRST FLOOR PLAN	4/9/2024
DA09	EXISTING ROOF PLAN	4/9/2024
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DA17	SHADOW DIAGRAM - JUNE 21ST - 9AM	4/9/2024
DA18	SHADOW DIAGRAM - JUNE 21ST - 12PM	4/9/2024
DA19	SHADOW DIAGRAM - JUNE 21ST - 3PM	4/9/2024
DA20	BASIX REQUIREMENTS	4/9/2024

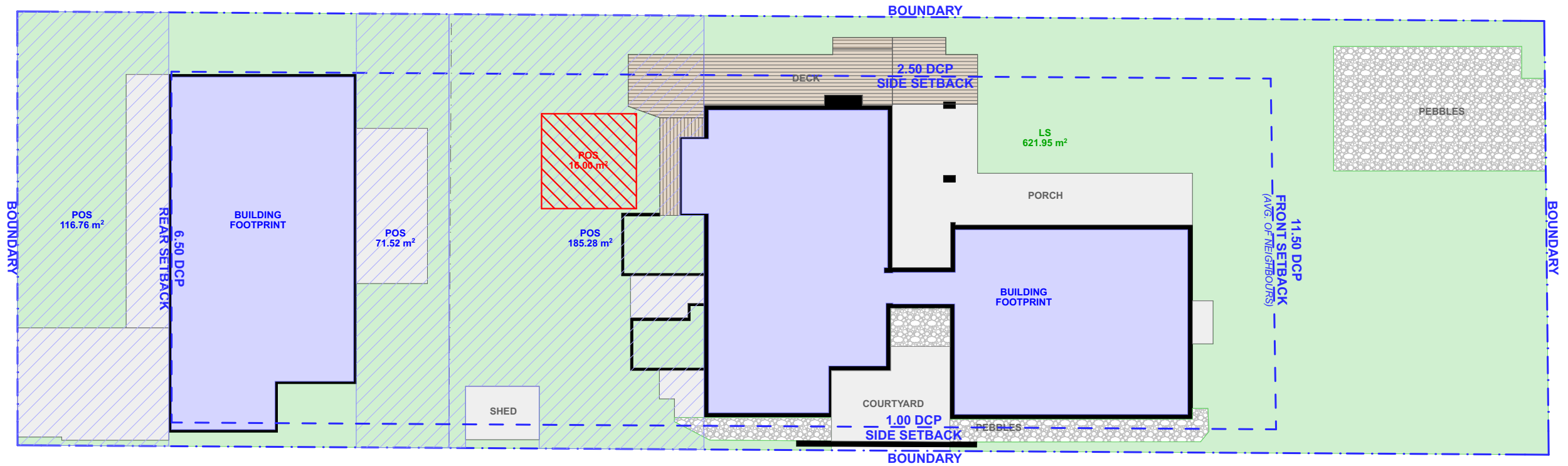
 **SITE AREA:**
1176.00 m²
LAND ZONE:
R2 - LOW DENSITY
RESIDENTIAL

 **BUILDING FOOTPRINT**

 **LANDSCAPE TOTAL:**
REQUIRED 50.00% (588 m²)
EXISTING 52.88% (621.95 m²)
PROPOSED 47.44% (557.97 m²)

 **PRINCIPLE OPEN SPACE 4m WITH
GRADE NO STEEPER THAN 1:20:**
REQUIRED 16.00 m²
EXISTING 16.00 m²
PROPOSED NO CHANGE

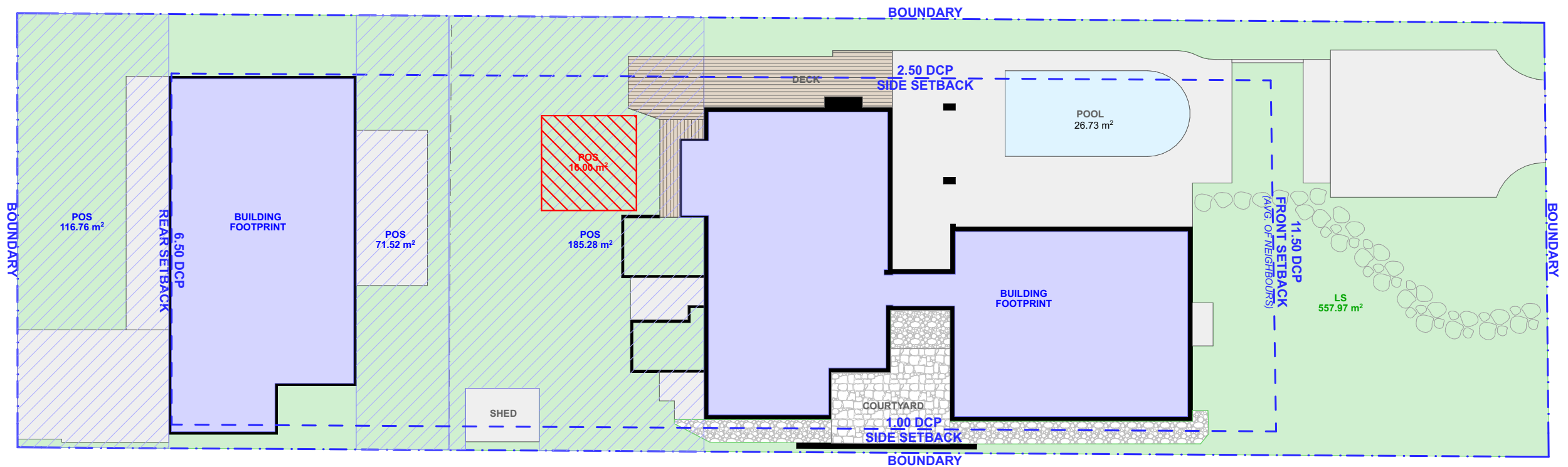
 **PRIVATE OPEN SPACE (MIN. 3m x 3m)**
REQUIRED 80.00 m²
EXISTING 373.56 m²
PROPOSED NO CHANGE



1

EXISTING AREA CALCULATIONS

1:200



2

PROPOSED AREA CALCULATIONS

1:200



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NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.






NOTES.

INITIAL

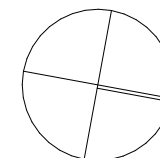
DATE

A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

	DWELLING WALLS
	CONCRETE / PAVERS
	TIMBER DECK
	POOL / WATER
	PEBBLES

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

AREA CALCULATIONS

SCALE:

1200 @A3

DATE:

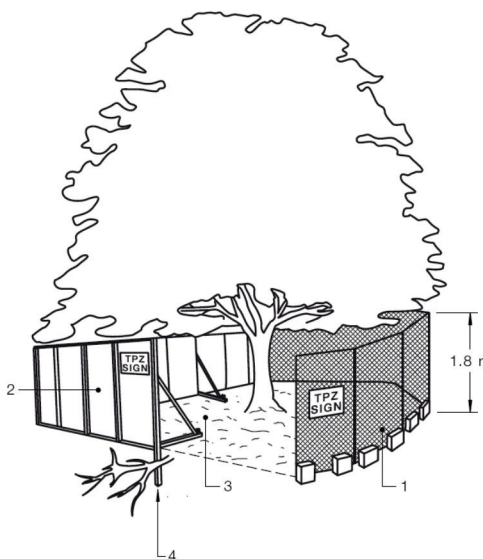
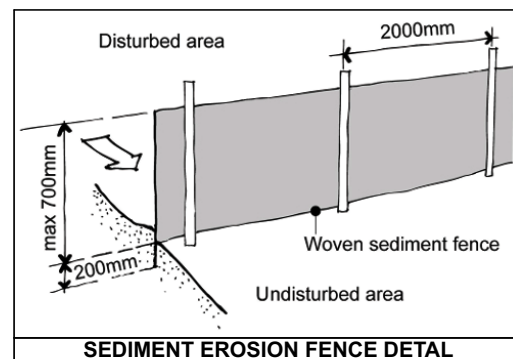
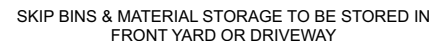
4/9/2024

PROJECT NO:

1010

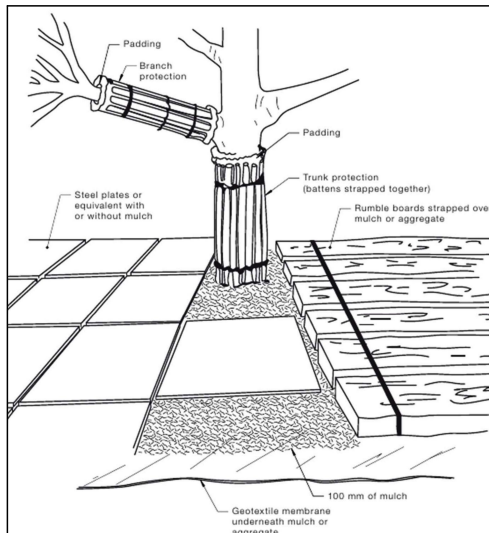
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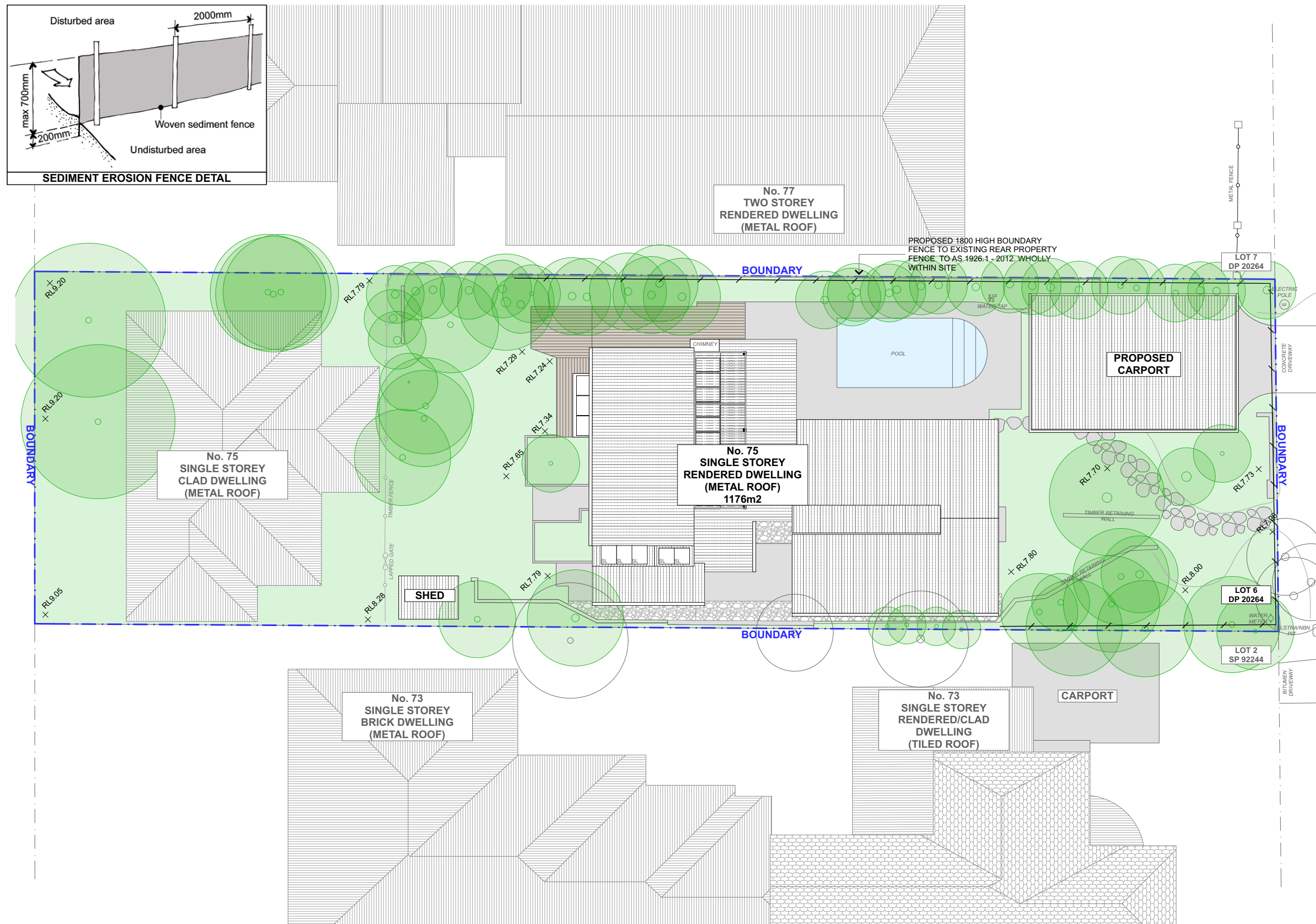
**TREE PROTECTION ZONE (TPZ)
FENCING (WHEN POSSIBLE):**

1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



**TREE PROTECTION ZONE (TPZ)
FENCING (NOT POSSIBLE):**

1. FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
2. RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1

SITE - WASTE - SEDIMENT PLAN

1:200



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A	DA SET	SB	24.04.24
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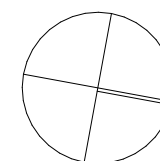
LEGEND

	EXISTING		LANDSCAPE / GRASS
	DEMOLISHED		CONCRETE / PAVERS
	EXISTING ROOF		TIMBER DECK
	PROPOSED ROOF		POOL / WATER
	PEBBLES		SEDIMENT EROSION FENCE

ABBREVIATIONS

DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SITE - WASTE - SEDIMENT PLAN

SCALE:

1:200 @A3

DATE:

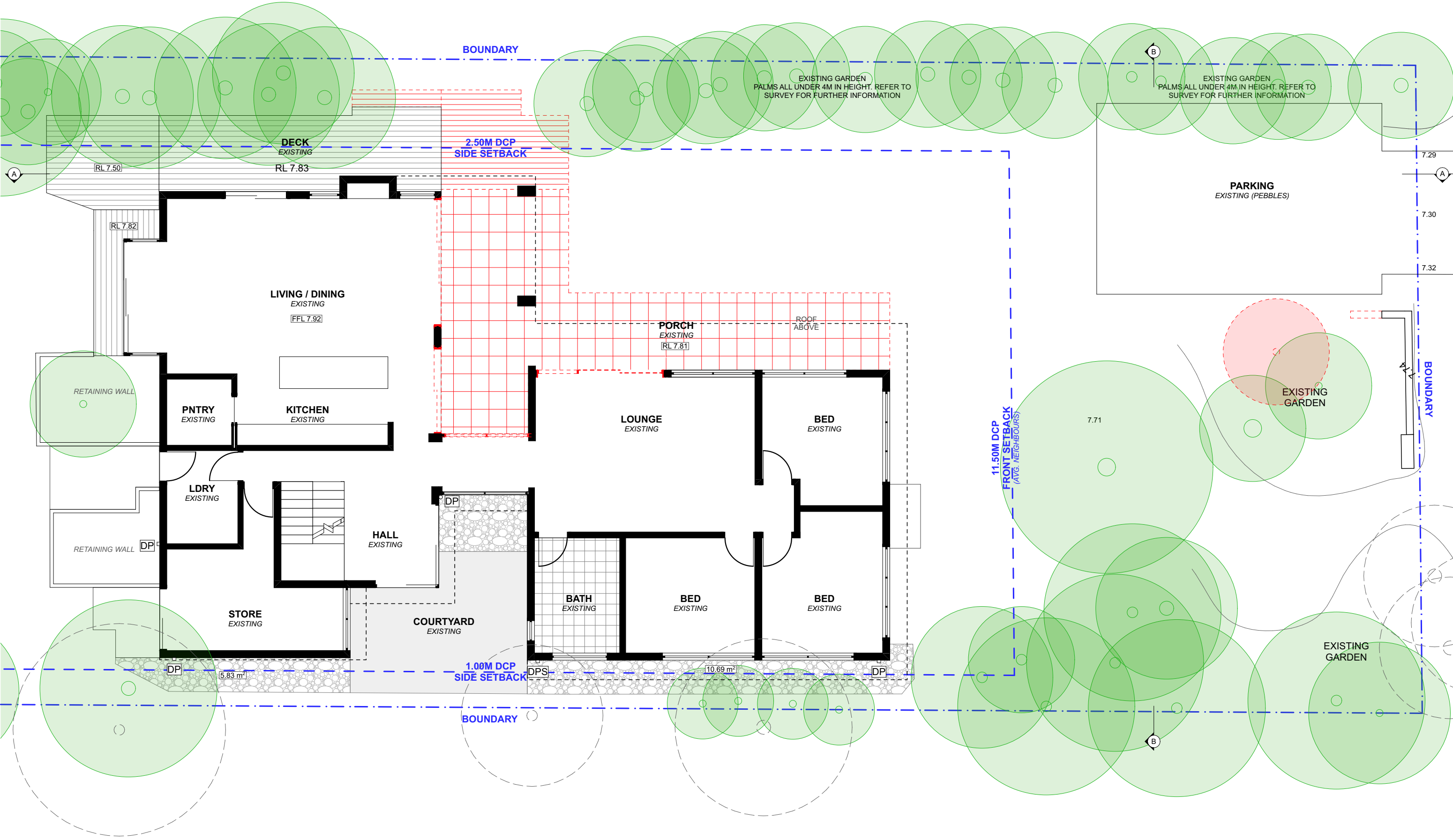
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PROJECT NO:

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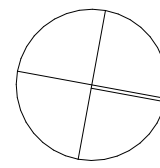
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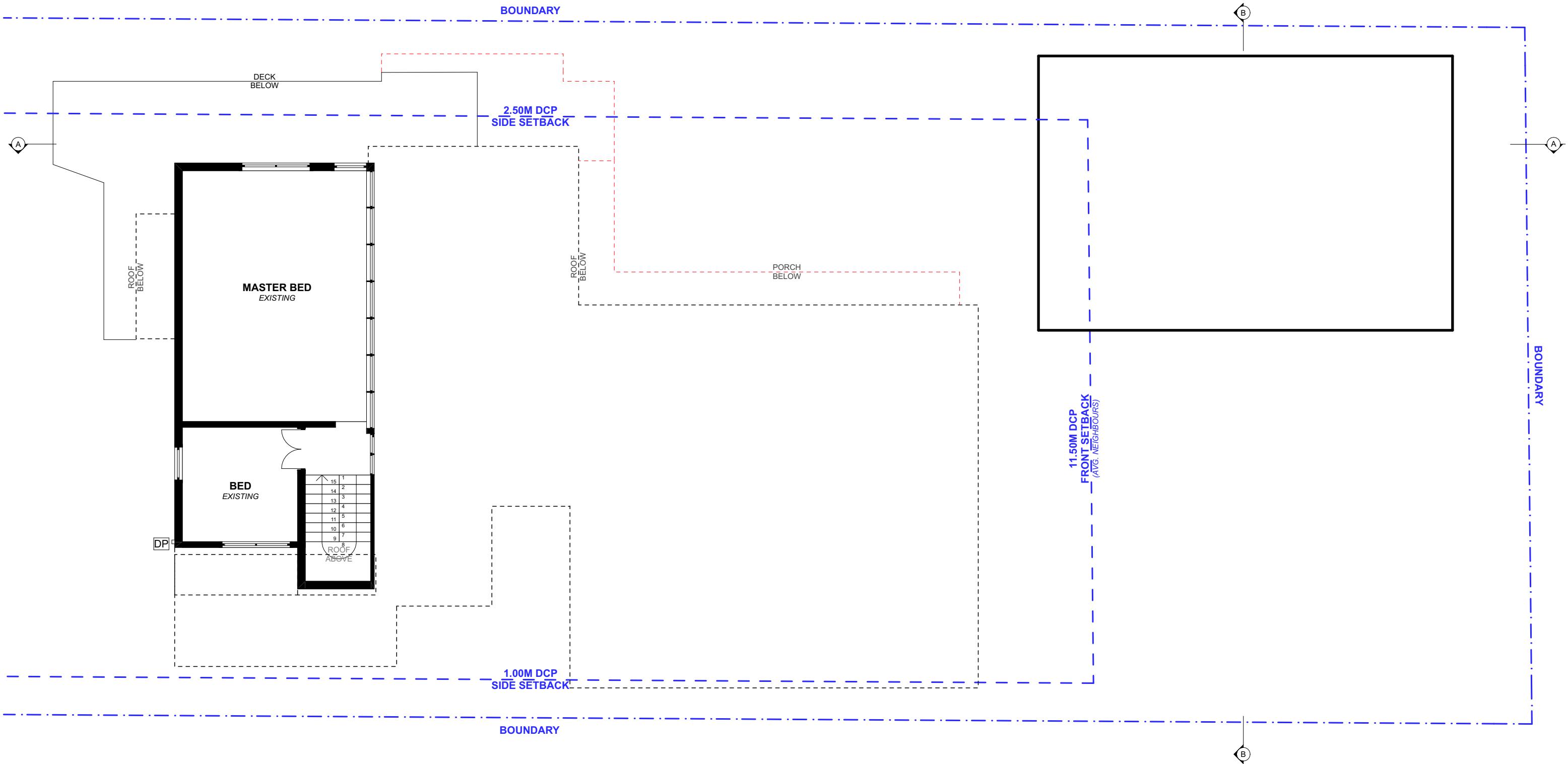
DA04



1 EXISTING GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALLISON & ANDREW O'NEILL SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106	DRAWING TITLE: EXISTING GROUND FLOOR PLAN	
		A	DA SET	SB	24.04.24					SCALE: 1:100 @A3	DATE: 4/9/2024
		B	LANDSCAPE AMENDMENTS	LW	02.09.24					PROJECT NO: 1010	DRAWING NO: DA05



NOTE: NO PROPOSED CHANGE TO THIS LEVEL

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

1 EXISTING FIRST FLOOR PLAN 1:100



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REV.

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INITIAL

DATE

A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

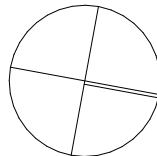
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

EXISTING FIRST FLOOR PLAN

SCALE:

1:100 @A3

DATE:

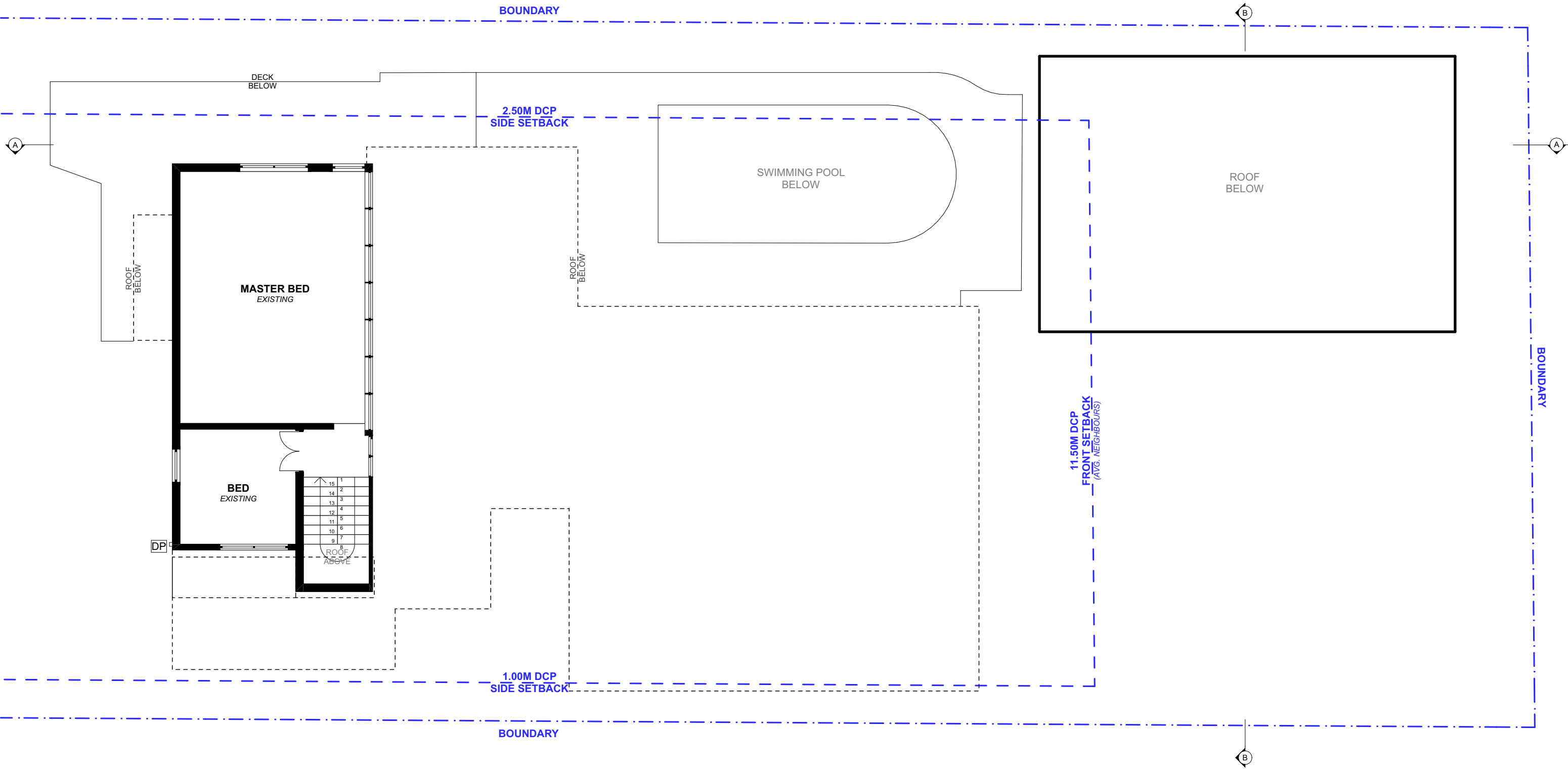
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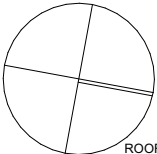
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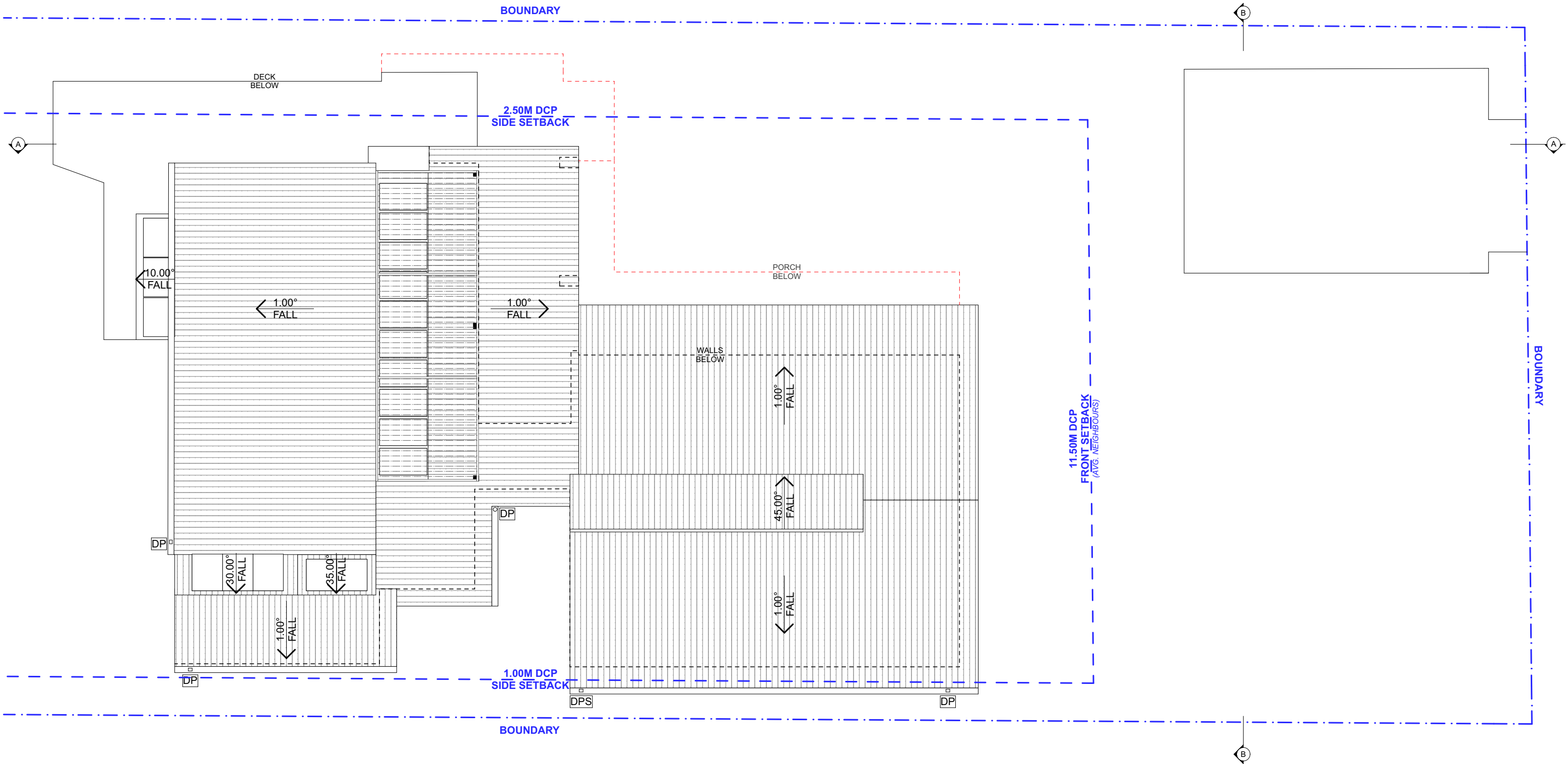
DA07



1 PROPOSED FIRST FLOOR PLAN 1:100

NOTE: NO PROPOSED CHANGE TO THIS LEVEL

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		A	DA SET	SB	24.04.24				SCALE: 1:100 @A3	DATE: 4/9/2024		
		B	LANDSCAPE AMENDMENTS	LW	02.09.24				SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106	DRAWING NO: DA08		
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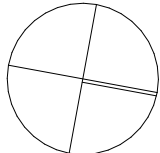


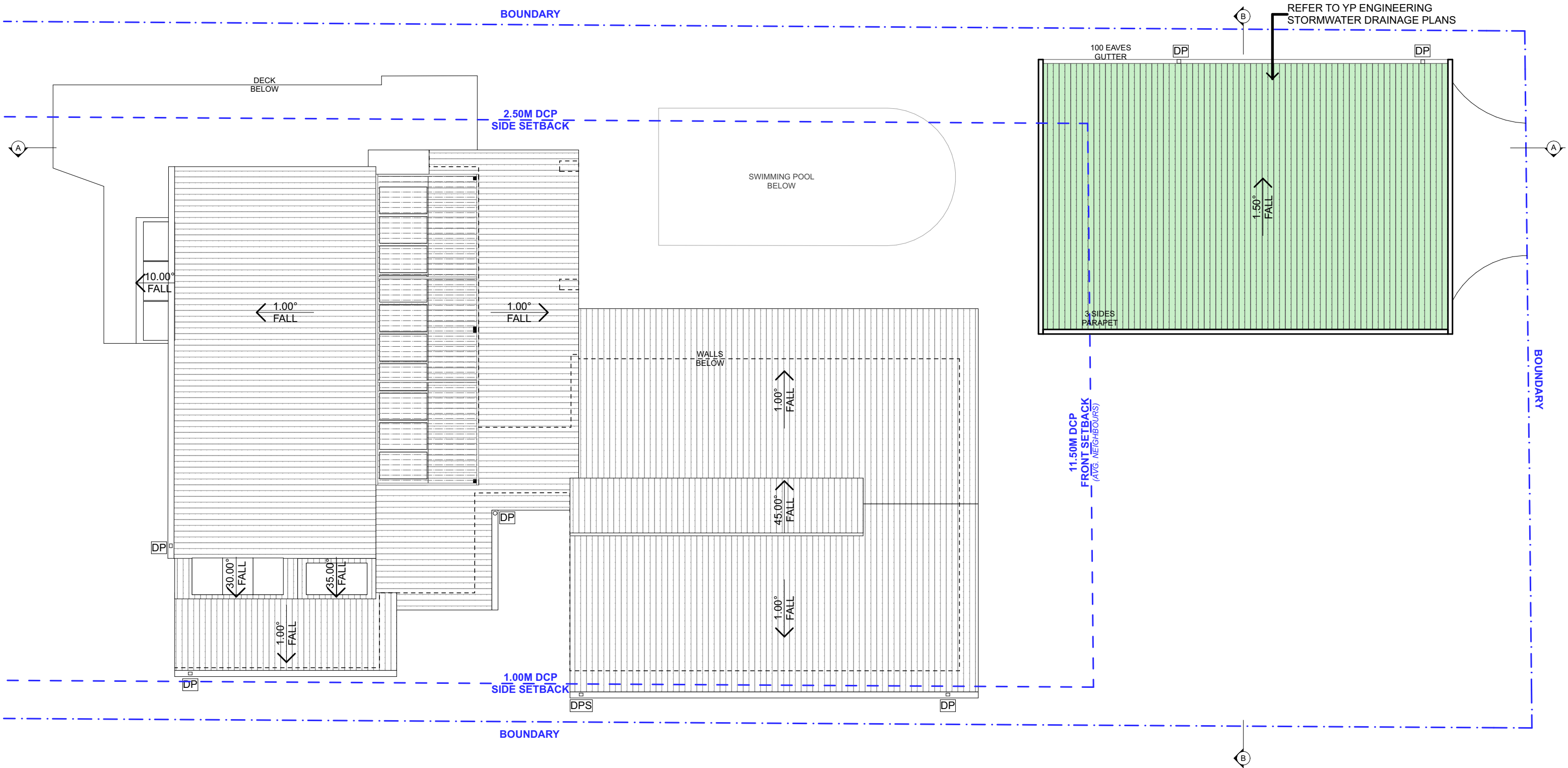
1

EXISTING ROOF PLAN

1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALLISON & ANDREW O'NEILL		DRAWING TITLE: EXISTING ROOF PLAN	
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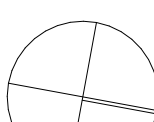


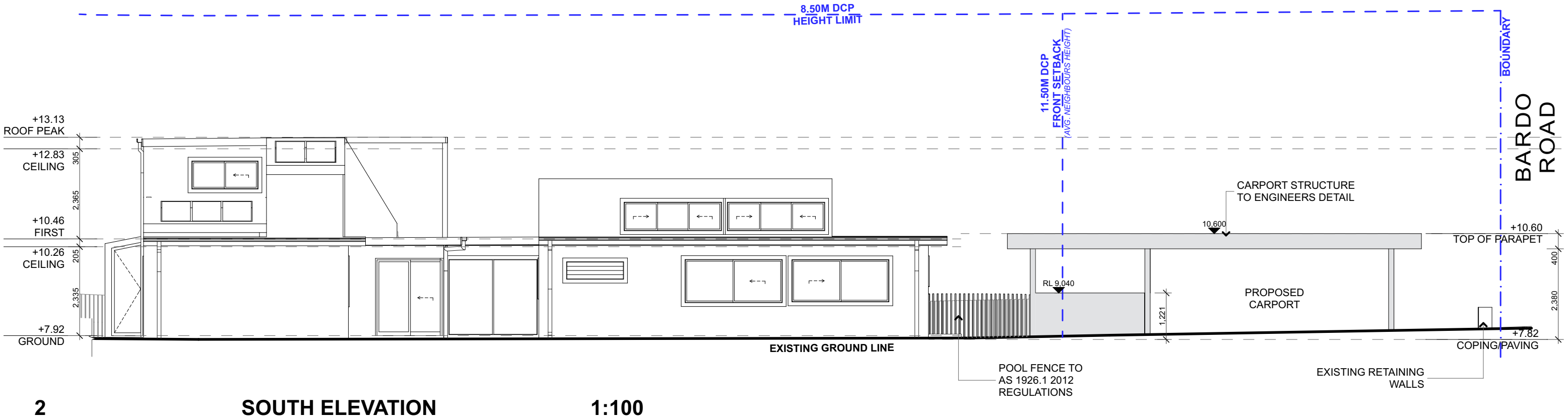
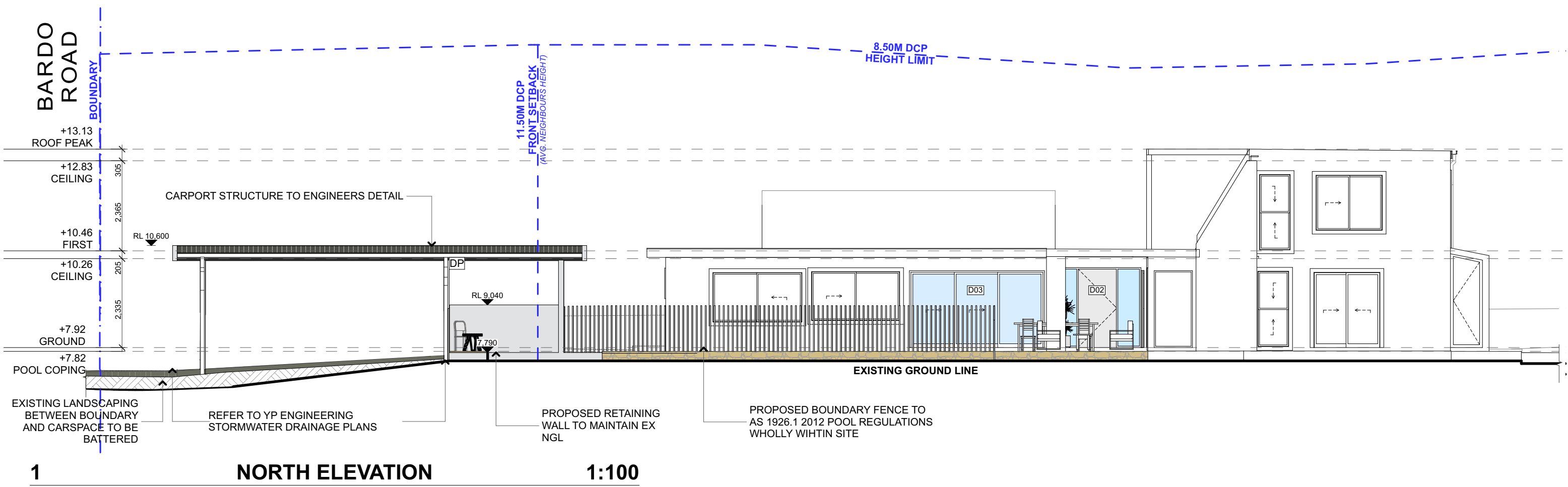
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PROPOSED ROOF / CONCEPT STORMWATER PLAN

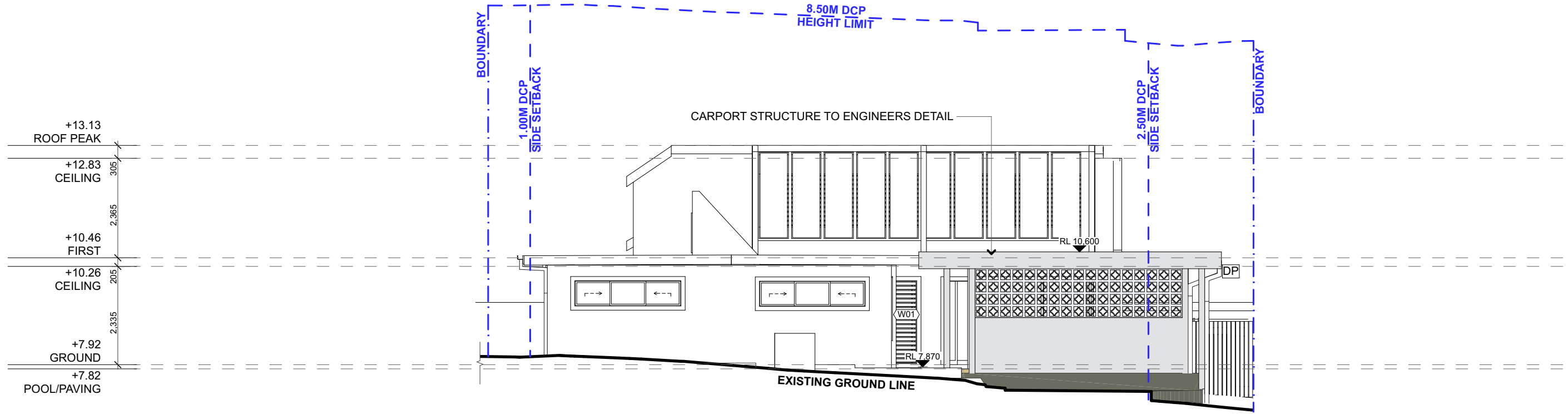
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NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

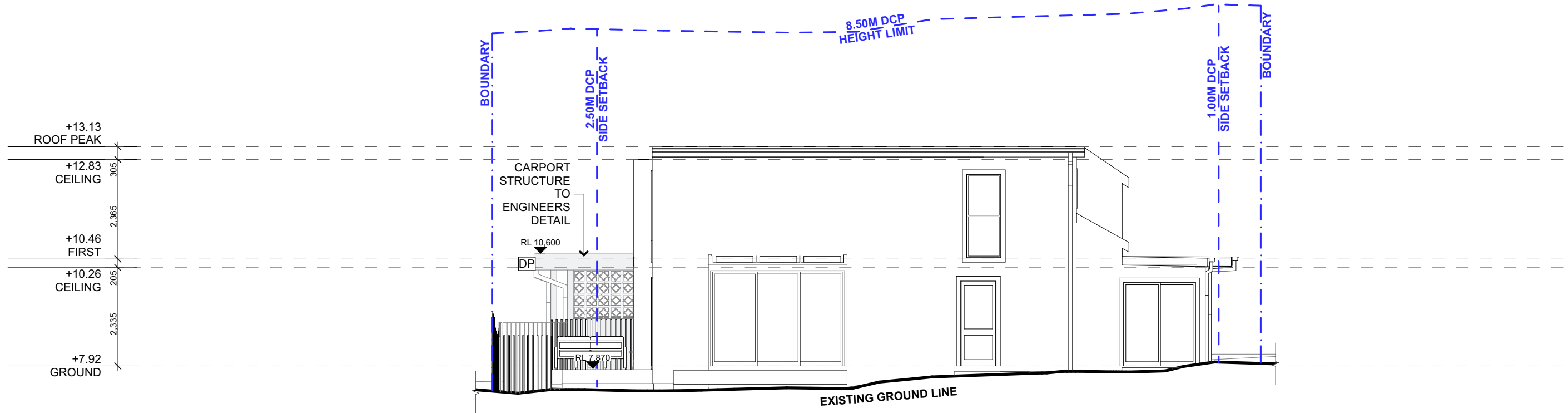
<div></div> <div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	REV.	NOTES.	INITIAL	DATE	<div>LEGEND</div> <div><div><div></div>EXISTING</div><div><div></div>DEMOLISHED</div><div><div></div>PROPOSED</div></div>	<div>ABBREVIATIONS</div> <div>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</div>	<div>NORTH POINT</div> <div></div>	<div>CLIENTS:</div> <div>ALLISON & ANDREW O'NEILL</div> <div>SITE ADDRESS:</div> <div>75 BARDO ROAD NEWPORT, NSW, 2106</div>	DRAWING TITLE: PROPOSED ROOF / CONCEPT STORMWATER PLAN	
		A	DA SET	SB	24.04.24					SCALE:	DATE:
		B	LANDSCAPE AMENDMENTS	LW	02.09.24					1:100 @A3	4/9/2024
										PROJECT NO:	DRAWING NO:



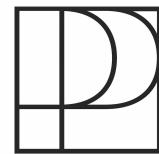
 <div>progressive plans</div> <div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div>EXISTING</div> <div>DEMOLISHED</div> <div>RENDERED & PAINTED</div> <div>TRAVERTINE PAVING</div> <div>EARTH FILL</div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: ALLISON & ANDREW O'NEILL SITE ADDRESS: 75 BARDOR ROAD NEWPORT, NSW, 2106	DRAWING TITLE: ELEVATIONS - NORTH & SOUTH	
		A	DA SET	SB	24.04.24				SCALE: 1:100 @A3	DATE: 4/9/2024
		B	LANDSCAPE AMENDMENTS	LW	02.09.24				PROJECT NO: 1010	DRAWING NO: DA11



1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100



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REV.

NOTES.

INITIAL

DATE

LEGEND

- EXISTING
- DEMOLISHED
- RENDERED & PAINTED
- TRAVERTINE PAVING
- EARTH FILL

GLASS

ABBREVIATIONS

CPD: CUPBOARD
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DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

ELEVATIONS - EAST & WEST

SCALE:

1:100 @A3

DATE:

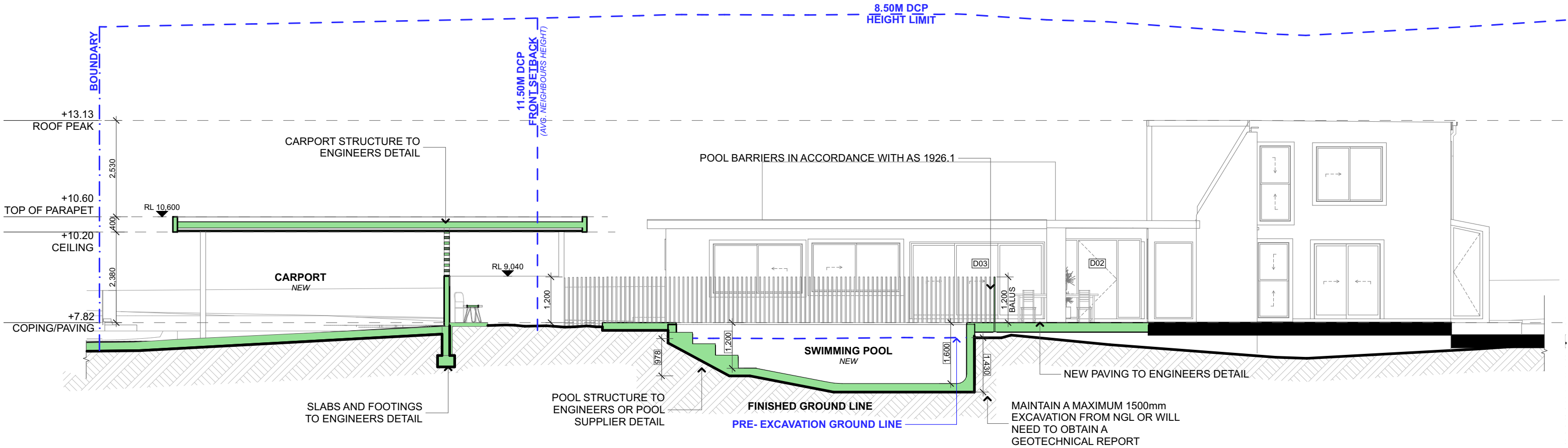
4/9/2024

PROJECT NO:

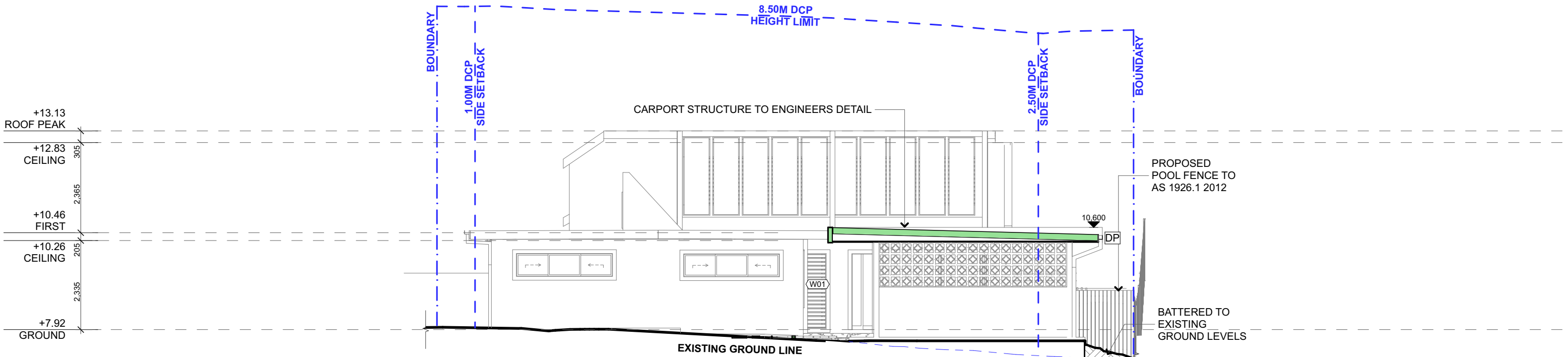
1010

DRAWING NO:

DA12



1 SECTION A 1:100



2 SECTION B 1:100



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NOTES.

INITIAL

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- DEMOLISHED
- PROPOSED

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CLIENTS:

ALLISON & ANDREW
O'NEILL

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NEWPORT, NSW, 2106

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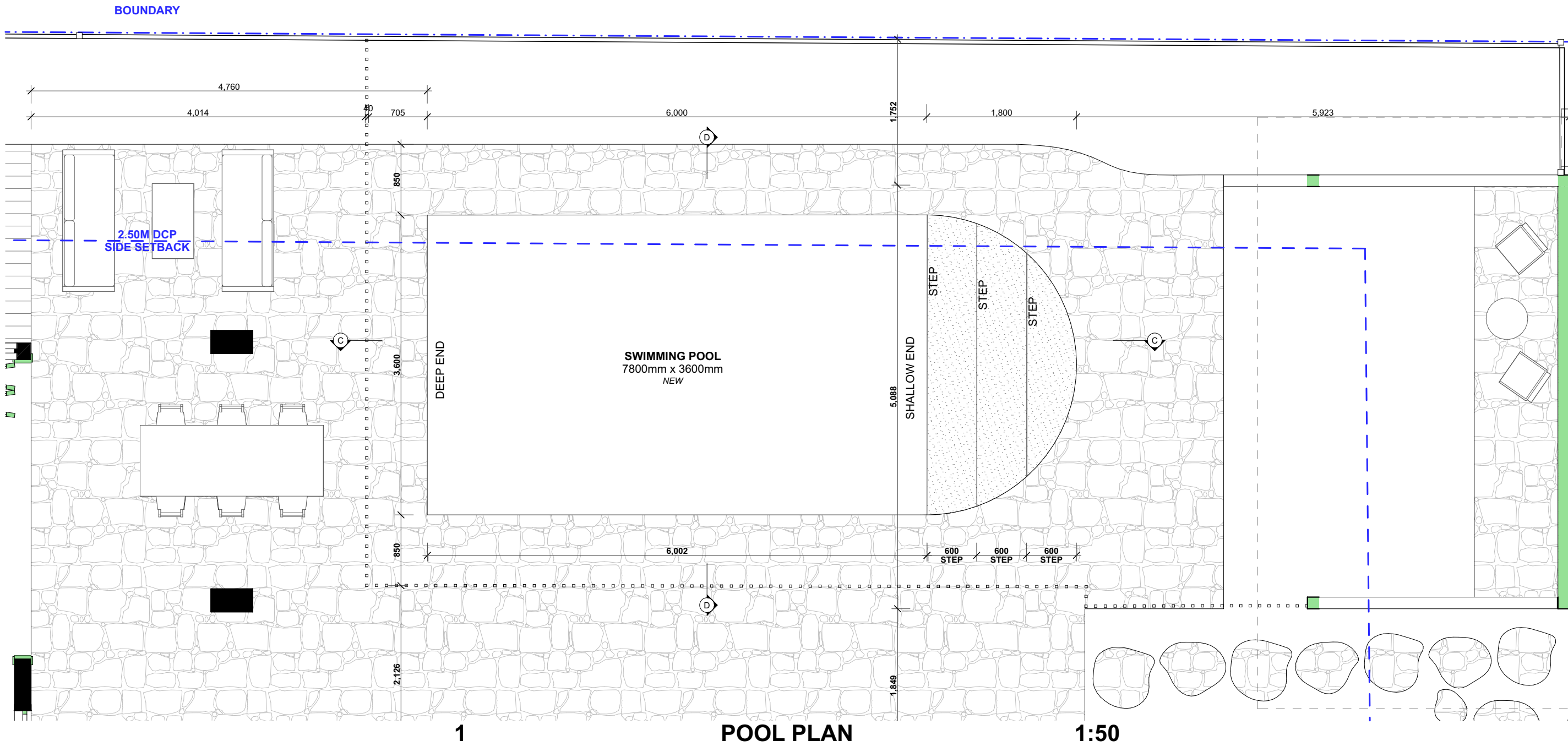
SECTIONS - A & B

SCALE:
1:100 @A3

DATE:
4/9/2024

PROJECT NO:
1010

DRAWING NO:
DA13



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NOTES

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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

EXISTING

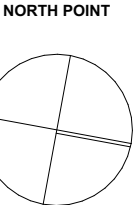
DEMOLISHED

PROPOSED

PAVING

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

POOL PLAN

SCALE:

1:50 @A3

DATE:

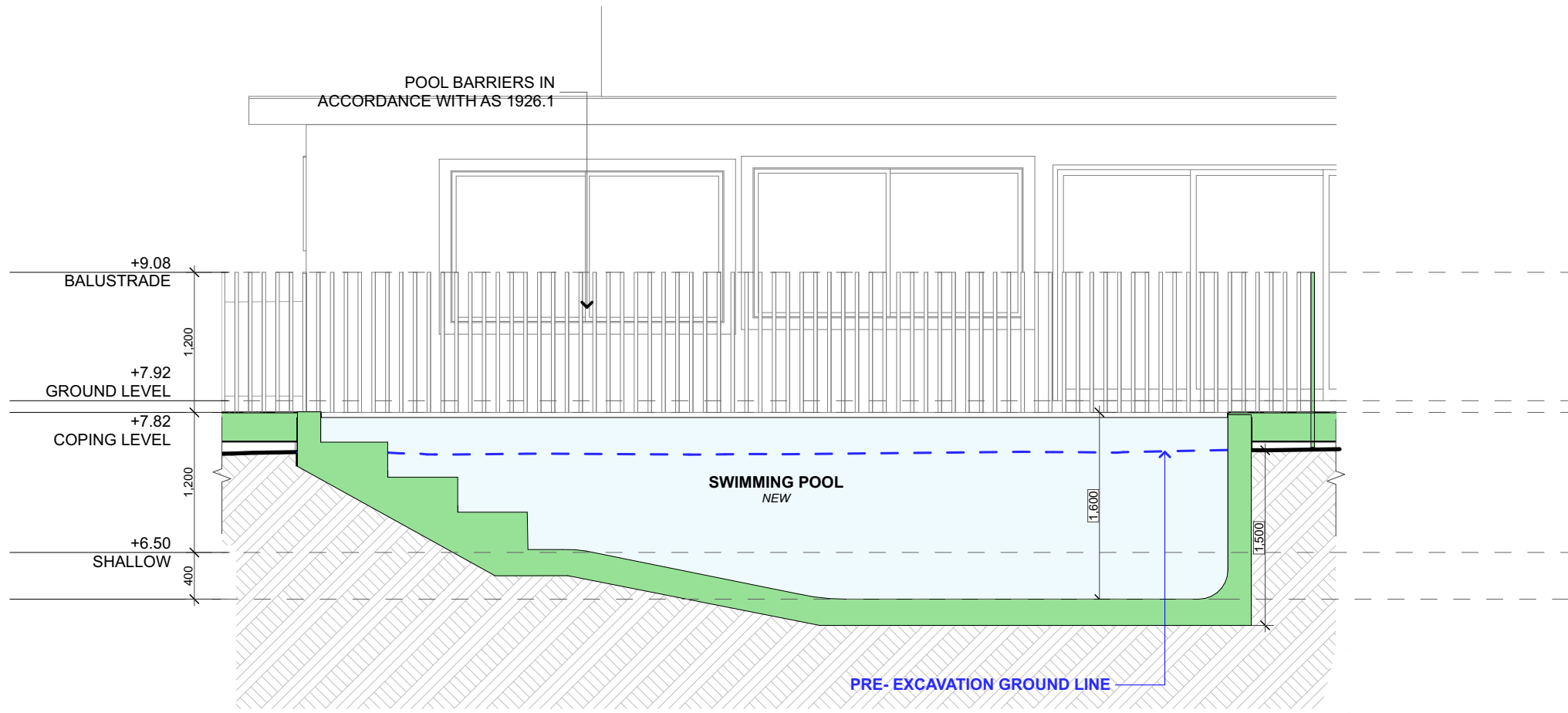
4/9/2024

PROJECT NO:

1010

DRAWING NO:

DA14



1

SECTION C

1:50



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REV.

NOTES.

INITIAL

DATE

A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

- CPD: CUPBOARD
- DP: DOWNPIPE
- DPS: DOWN PIPE SPITTER
- DPRH: DOWN PIPE RAIN HEAD
- FFL: FINISHED FLOOR LEVEL
- HWS: HOT WATER SYSTEM
- RL: REDUCED LEVEL

CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARD ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

POOL SECTION

SCALE:

1:50 @A3

DATE:

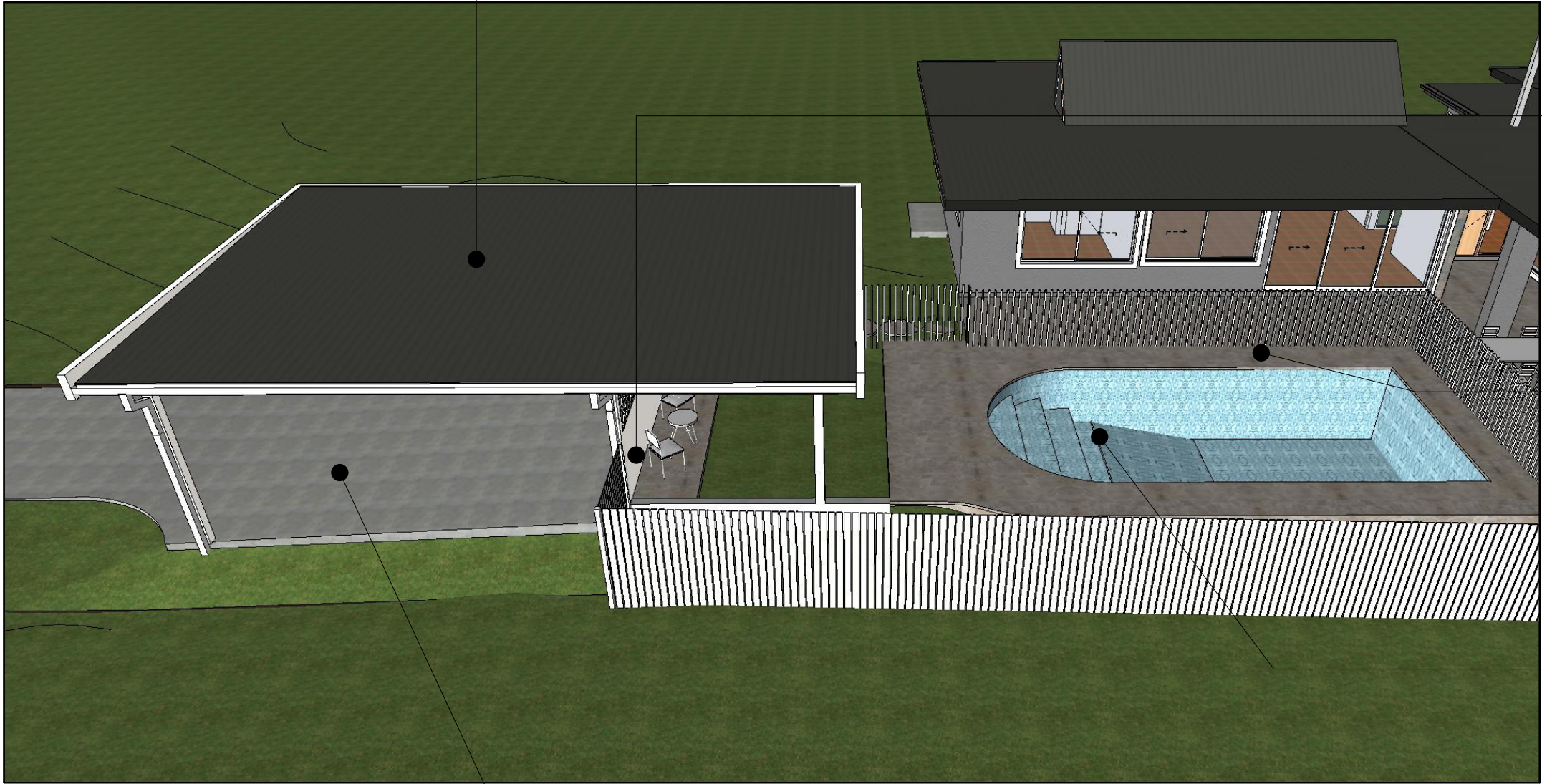
4/9/2024

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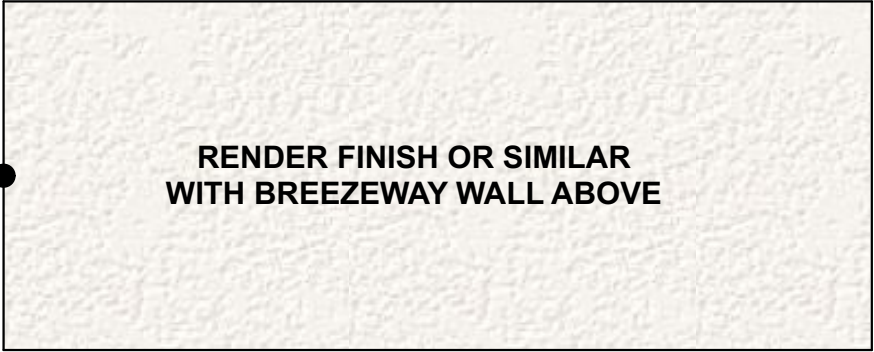
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DRAWING NO:

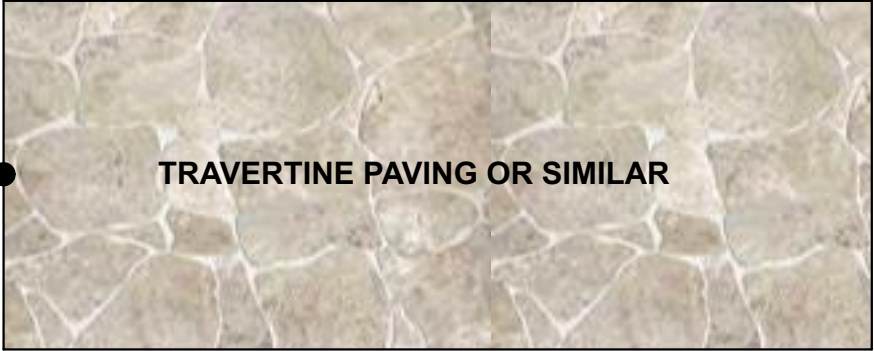
DA15



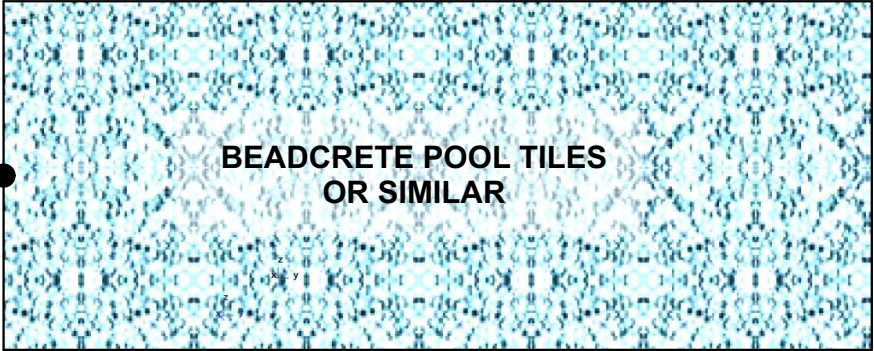
SHEET ROOF OR SIMILAR TO
MATCH EXISTING ROOF



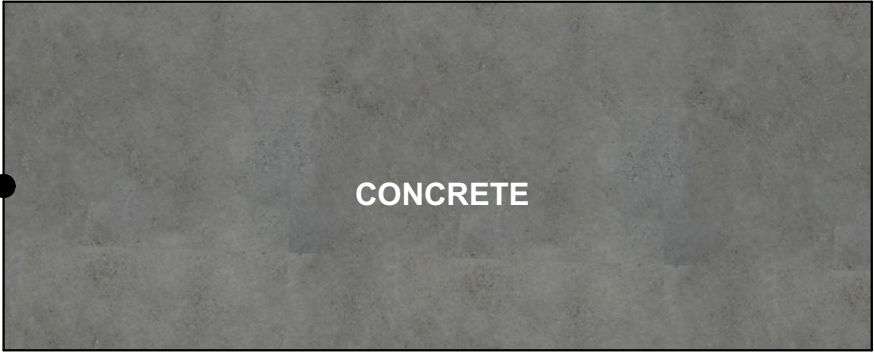
RENDER FINISH OR SIMILAR
WITH BREEZEWAY WALL ABOVE



TRAVERTINE PAVING OR SIMILAR



BEADCRETE POOL TILES
OR SIMILAR



CONCRETE



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

FINISHES BOARD

SCALE:

NTS

DATE:

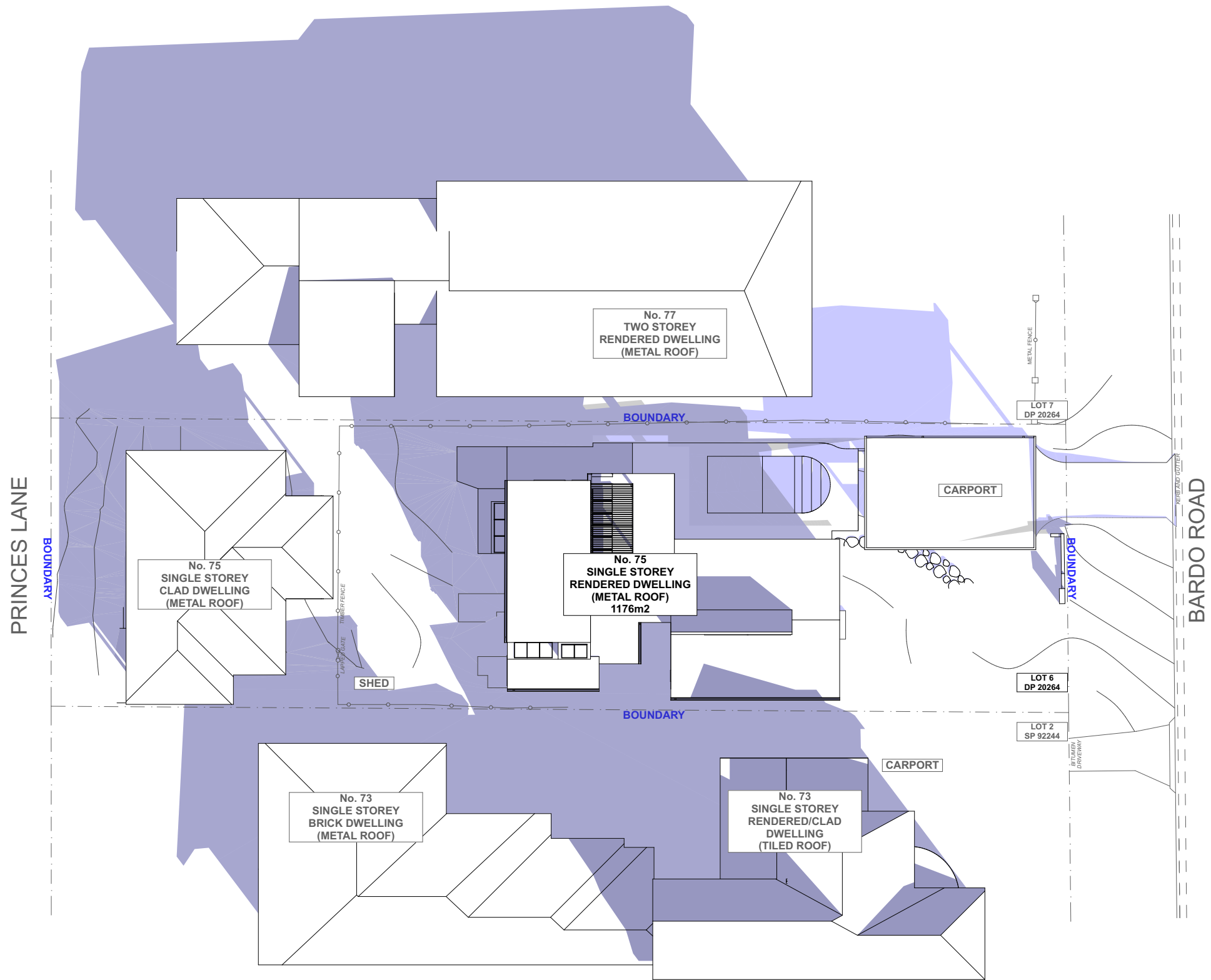
4/9/2024

PROJECT NO:

1010

DRAWING NO:

DA16



1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:300



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A	DA SET	SB	24.04.24
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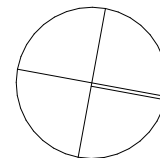
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 9AM

SCALE:

1:300 @A3

DATE:

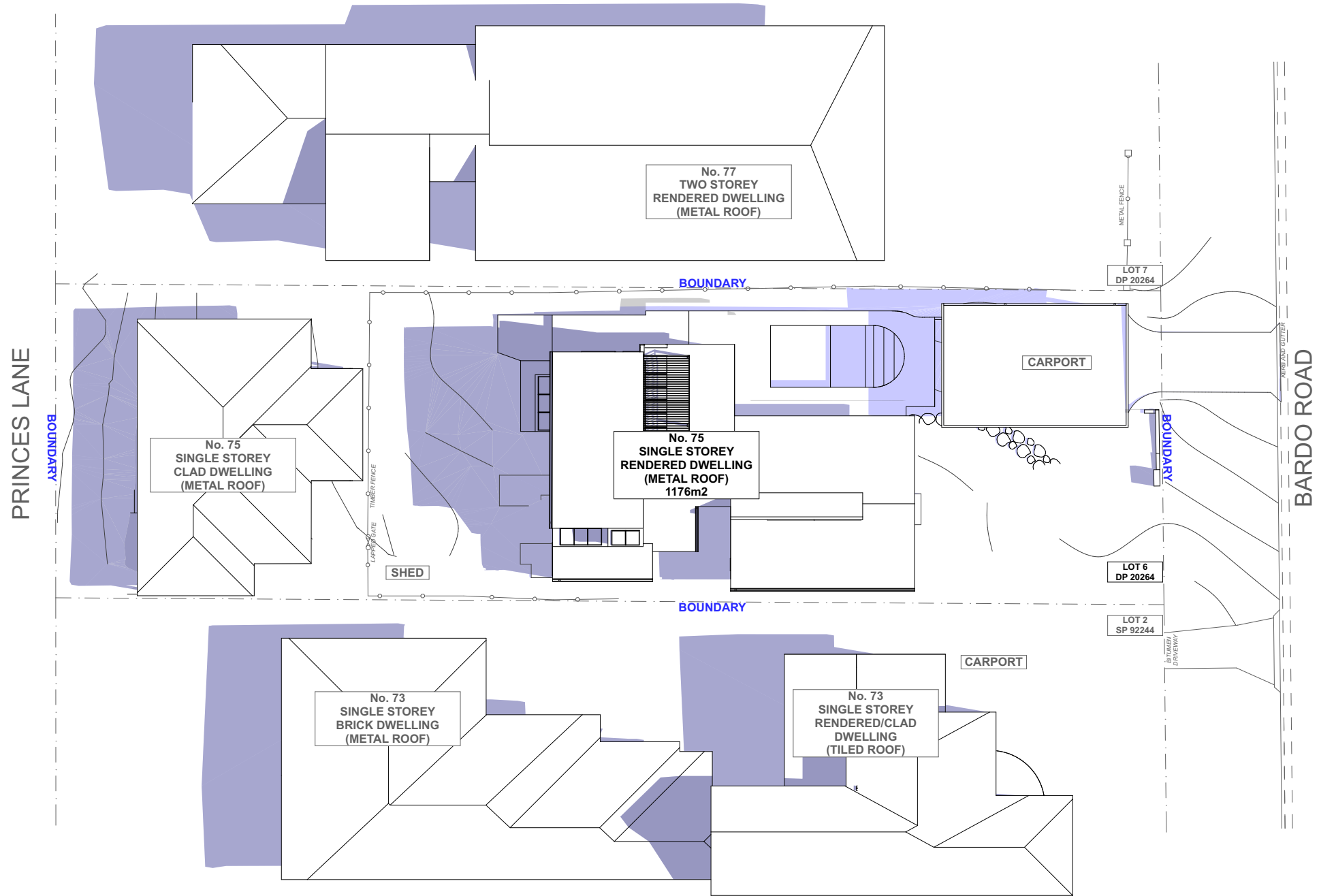
4/9/2024

PROJECT NO:

1010

DRAWING NO:

DA17



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:300



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B	LANDSCAPE AMENDMENTS	LW	02.09.24

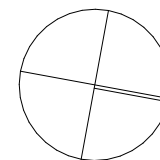
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:

1:300 @A3

DATE:

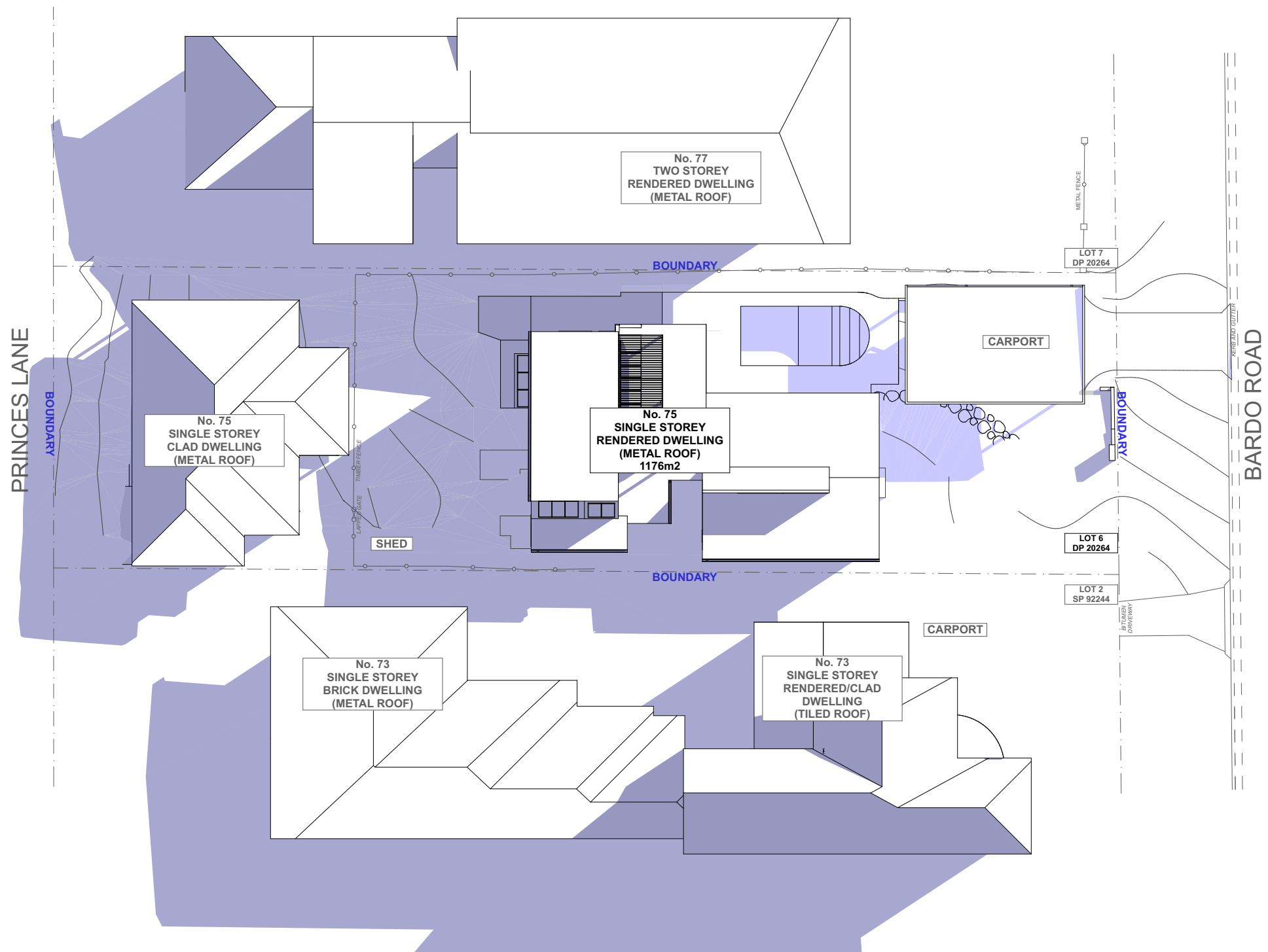
4/9/2024

PROJECT NO:

1010

DRAWING NO:

DA18



1 SHADOW DIAGRAM - JUNE 21 - 3PM 1:300



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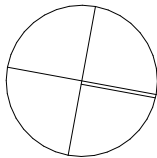
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW
O'NEILL

SITE ADDRESS:

75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 3PM

SCALE:

1:300 @A3

DATE:

4/9/2024

PROJECT NO:

1010

DRAWING NO:

DA19

Alterations and Additions

Certificate number: A1744915

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au




Secretary
Date of issue: Wednesday, 24 April 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 2100 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rainwater runoff from at least 81.1 square metres of roof area.		✔	✔
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✔	✔
Outdoor swimming pool			
The swimming pool must be outdoors.	✔	✔	✔
The swimming pool must not have a capacity greater than 50.54 kilolitres.	✔	✔	✔
The applicant must install a pool pump timer for the swimming pool.		✔	✔
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✔	✔
Construction			
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)		

Project address	
Project name	NEWPORT - 75 Bardo Road
Street address	75 BARDO Road NEWPORT 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP20264
Lot number	6
Section number	N/A
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Progressive Building Design	
ABN (if applicable): 59879808402	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✔	✔	✔
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✔	✔
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✔	✔

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D01	N	7.26	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	W	4.62	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	W	7.16	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	N	4.88	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Legend									
In these commitments, "applicant" means the person carrying out the development.									
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).									
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.									
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.									