

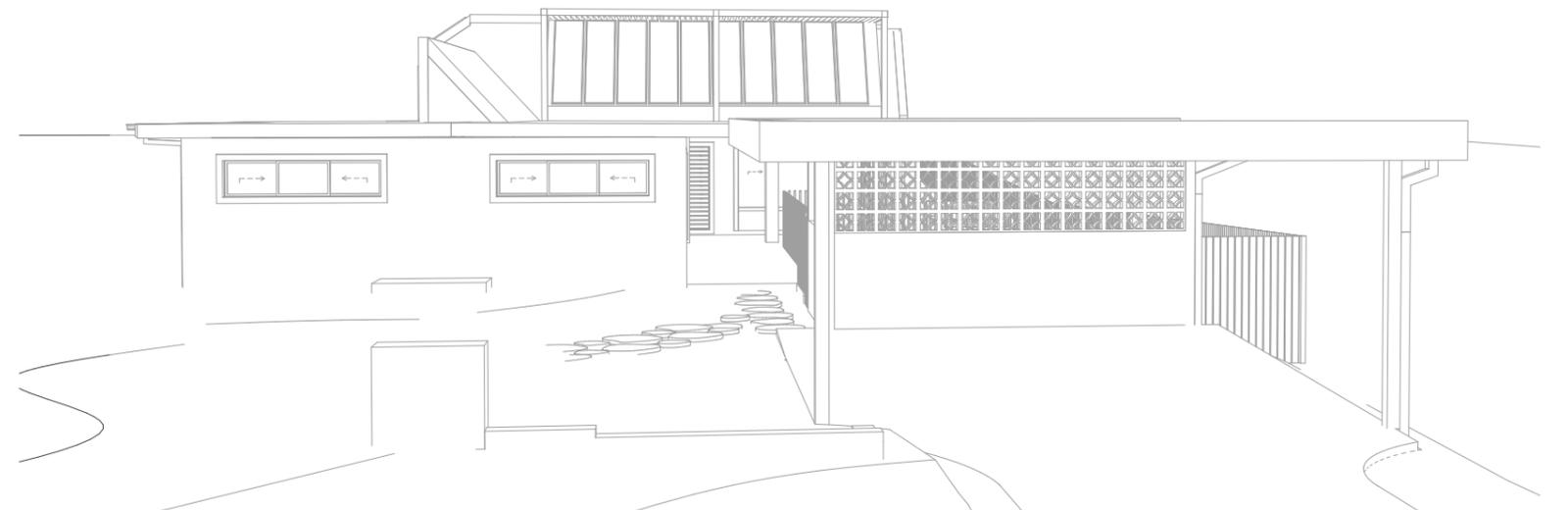
progressive plans

Residential Dwelling
NEWPORT, NSW 2106
04 September 2024
Issue B

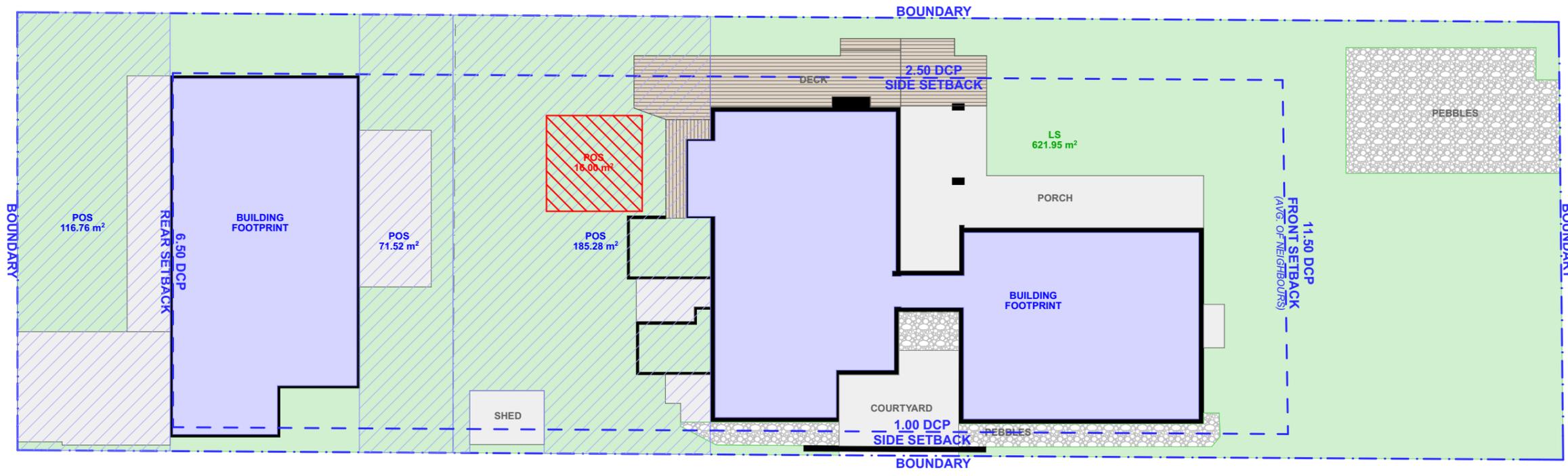
Prepared for
ALLISON & ANDREW O'NEILL

Development Application

75 BARDO ROAD



NO:	SHEET NAME	DATE
DA00	COVER PAGE	4/9/2024
DA01	SHEET INDEX	4/9/2024
DA02	AREA CALCULATIONS	4/9/2024
DA03	SITE ANALYSIS	4/9/2024
DA04	SITE - WASTE - SEDIMENT PLAN	4/9/2024
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DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	4/9/2024
DA11	ELEVATIONS - NORTH & SOUTH	4/9/2024
DA12	ELEVATIONS - EAST & WEST	4/9/2024
DA13	SECTIONS - A & B	4/9/2024
DA14	POOL PLAN	4/9/2024
DA15	POOL SECTION	4/9/2024
DA16	FINISHES BOARD	4/9/2024
DA17	SHADOW DIAGRAM - JUNE 21ST - 9AM	4/9/2024
DA18	SHADOW DIAGRAM - JUNE 21ST - 12PM	4/9/2024
DA19	SHADOW DIAGRAM - JUNE 21ST - 3PM	4/9/2024
DA20	BASIX REQUIREMENTS	4/9/2024



1 EXISTING AREA CALCULATIONS 1:200

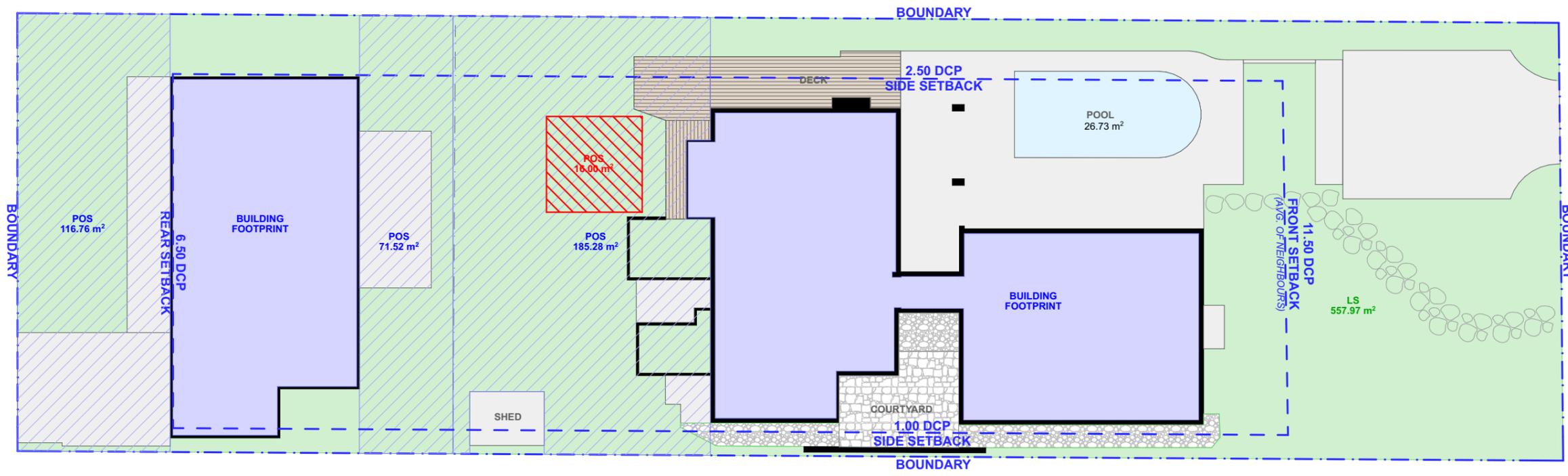
SITE AREA:
1176.00 m²
LAND ZONE:
R2 - LOW DENSITY
RESIDENTIAL

BUILDING FOOTPRINT

LANDSCAPE TOTAL:
REQUIRED 50.00% (588 m²)
EXISTING 52.88% (621.95 m²)
PROPOSED 47.44% (557.97 m²)

PRINCIPLE OPEN SPACE 4m WITH GRADE NO STEEPER THAN 1:20:
REQUIRED 16.00 m²
EXISTING 16.00 m²
PROPOSED NO CHANGE

PRIVATE OPEN SPACE (MIN. 3m x 3m)
REQUIRED 80.00 m²
EXISTING 373.56 m²
PROPOSED NO CHANGE



2 PROPOSED AREA CALCULATIONS 1:200

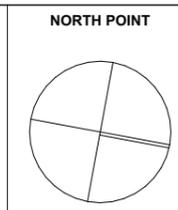
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NOTES
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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

	DWELLING WALLS
	CONCRETE / PAVERS
	TIMBER DECK
	POOL / WATER
	PEBBLES

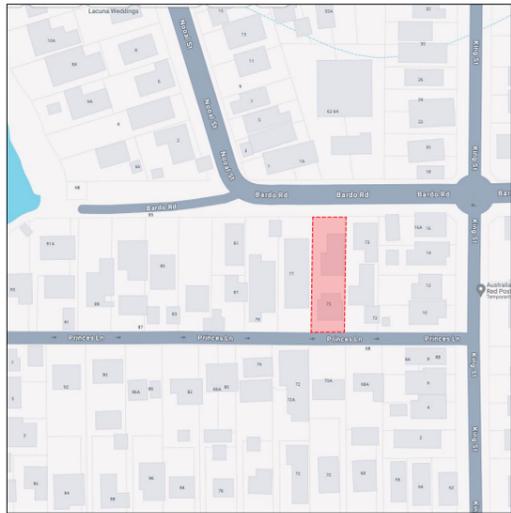


CLIENTS:
ALLISON & ANDREW
O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE: AREA CALCULATIONS	
SCALE: 1200 @A3	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA02



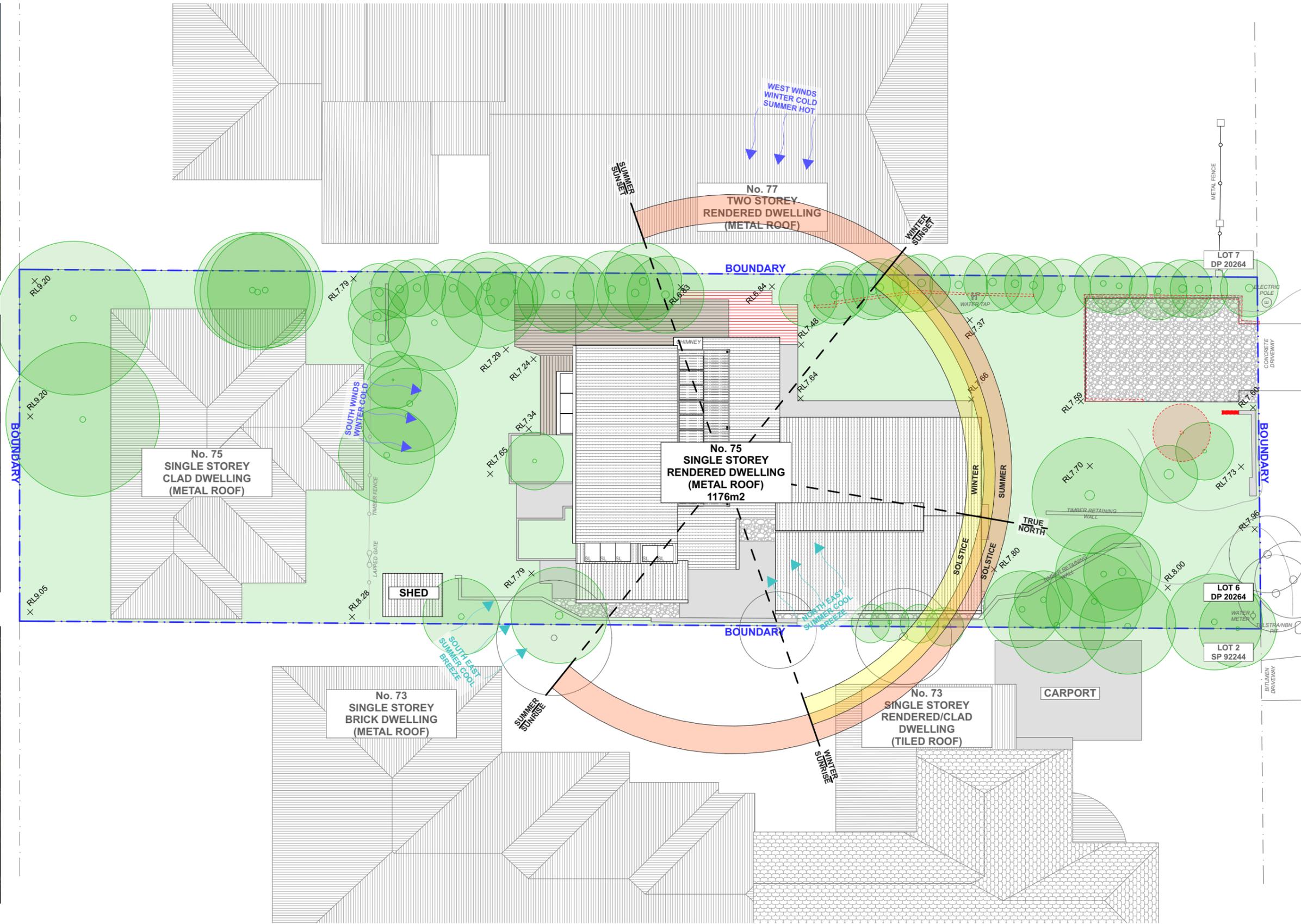
EXTERNAL VIEW



LOCATION MAP



AERIAL MAP



1

SITE ANALYSIS

1:200

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001



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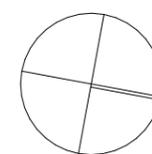
LEGEND

- EXISTING
- DEMOLISHED
- EXISTING ROOF
- PROPOSED ROOF
- PEBBLES
- LANDSCAPE / GRASS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER
- SEDIMENT EROSION FENCE

ABBREVIATIONS

- DP: DEPOSIT PLAN
- RL: REDUCED LEVEL
- SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

SITE ANALYSIS

SCALE:

1200 @A3

DATE:

4/9/2024

PROJECT NO:

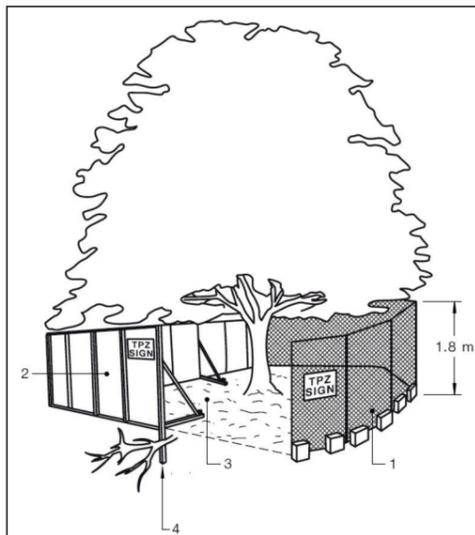
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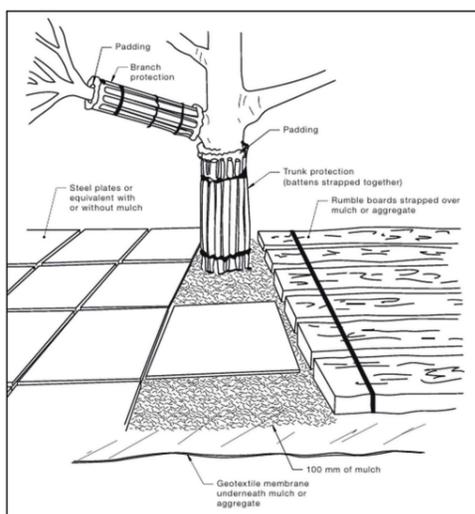
DA03

SKIP BIN RECYCLING **SKIP BIN WASTE** **MATERIAL STORAGE**

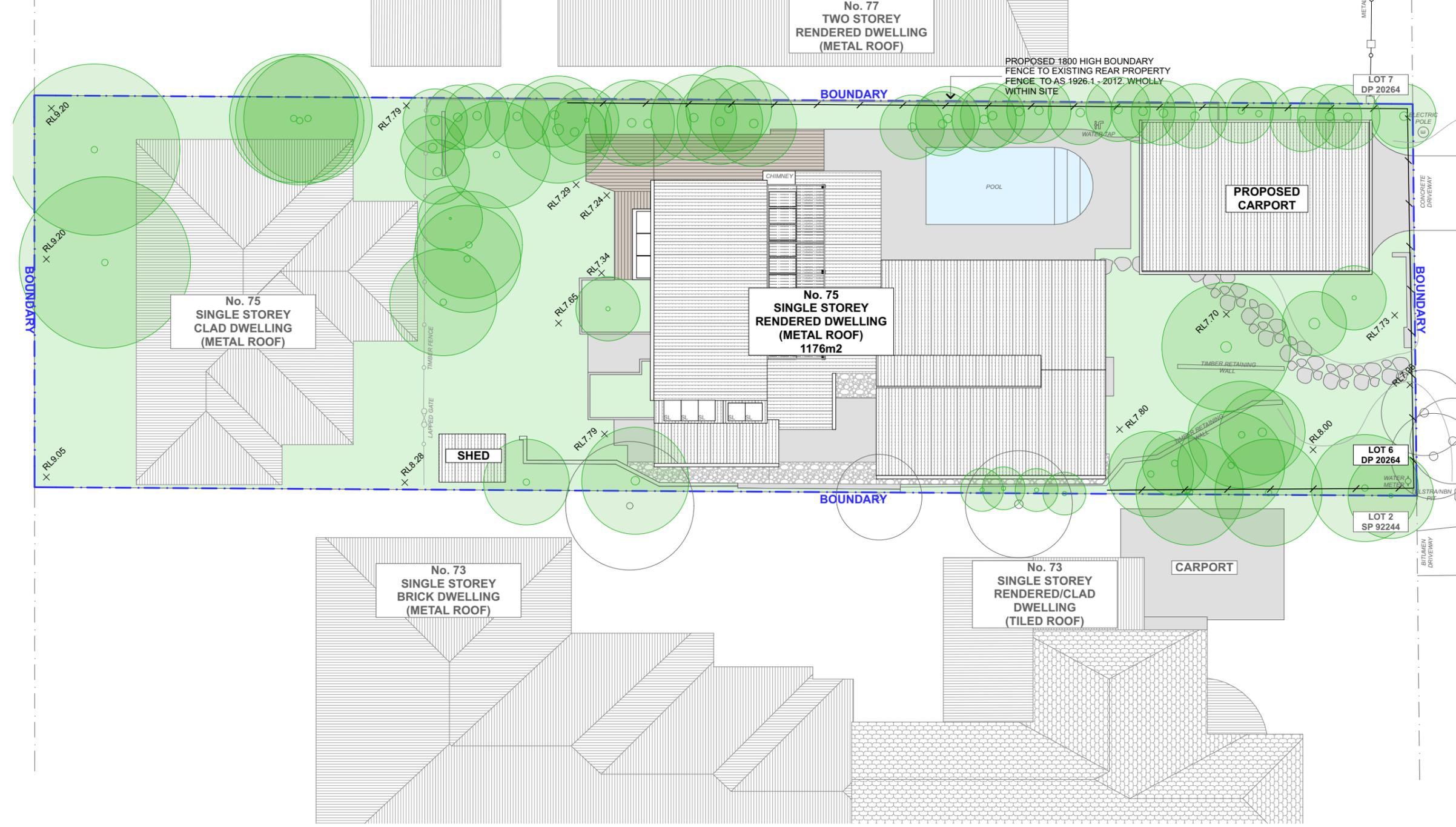
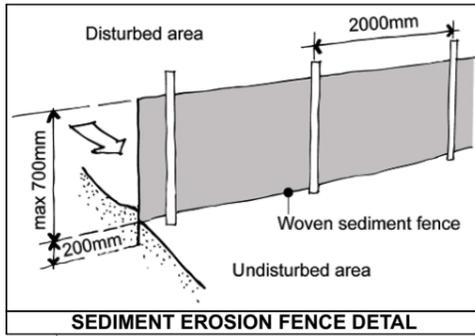
SKIP BINS & MATERIAL STORAGE TO BE STORED IN FRONT YARD OR DRIVEWAY



- TREE PROTECTION ZONE (TPZ) FENCING (WHEN POSSIBLE):**
1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
 2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
 3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
 4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



- TREE PROTECTION ZONE (TPZ) FENCING (NOT POSSIBLE):**
1. FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
 2. RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1 SITE - WASTE - SEDIMENT PLAN 1:200

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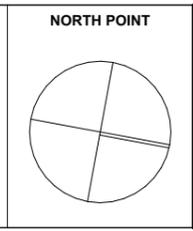
REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

EXISTING	LANDSCAPE / GRASS
DEMOLISHED	CONCRETE / PAVERS
EXISTING ROOF	TIMBER DECK
PROPOSED ROOF	POOL / WATER
PEBBLES	SEDIMENT EROSION FENCE

ABBREVIATIONS

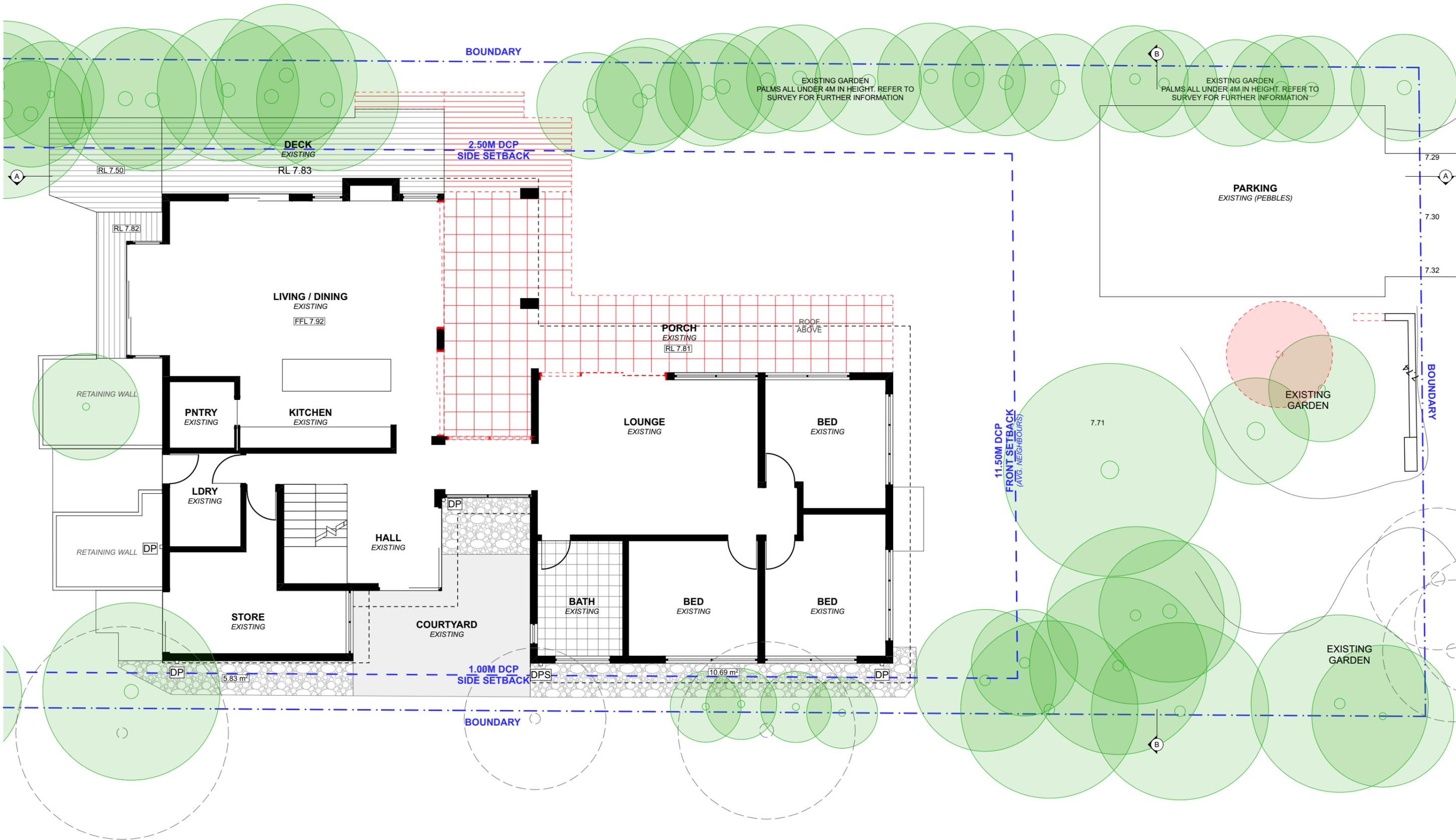
DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN



CLIENTS:
ALLISON & ANDREW O'NEILL

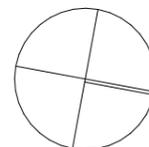
SITE ADDRESS:
**75 BARDO ROAD
NEWPORT, NSW, 2106**

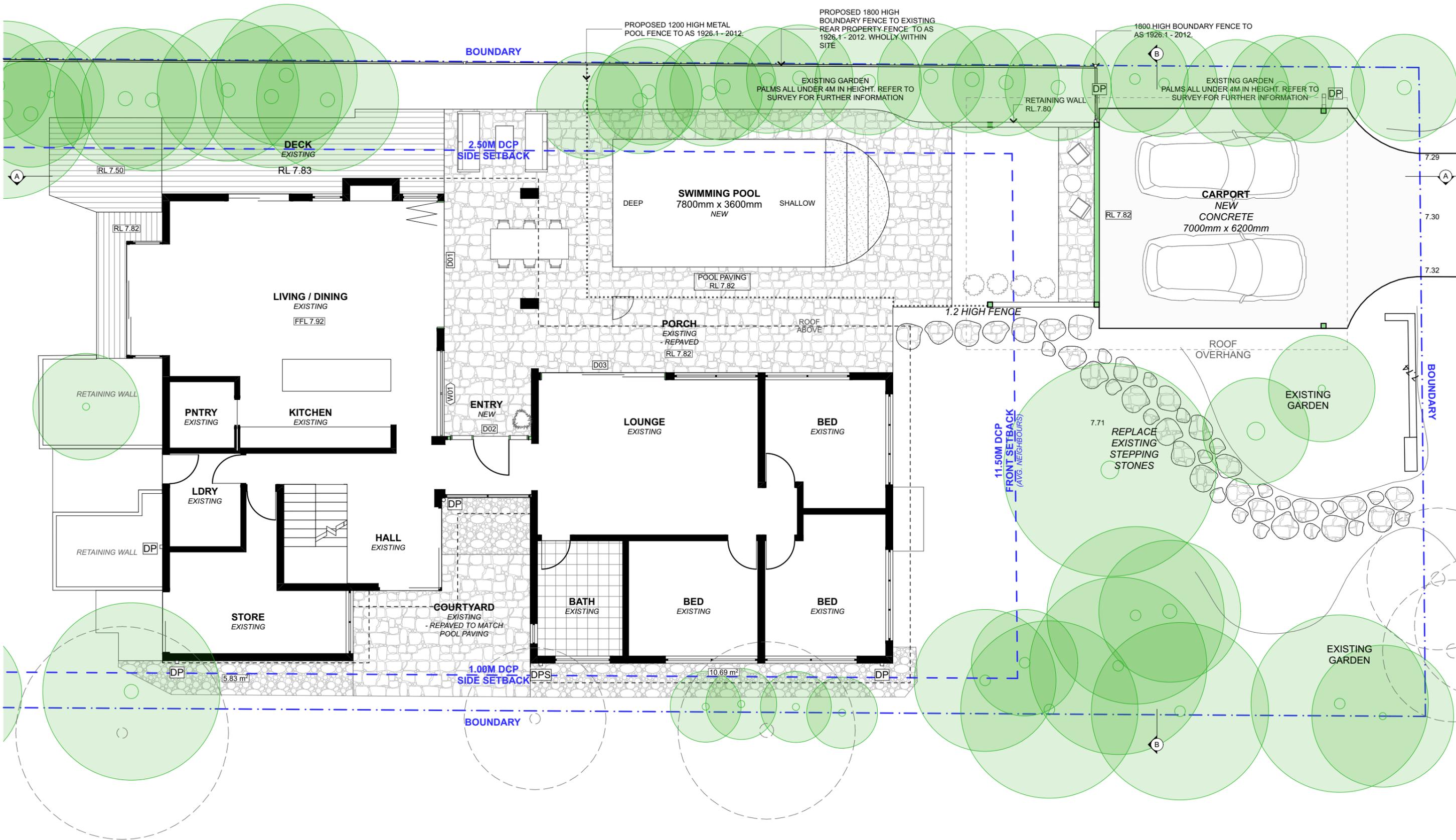
DRAWING TITLE: SITE - WASTE - SEDIMENT PLAN	
SCALE: 1200 @A3	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA04



1 EXISTING GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

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PROJECT NO: 1010	DRAWING NO: DA05																						



1 PROPOSED GROUND FLOOR PLAN 1:100

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

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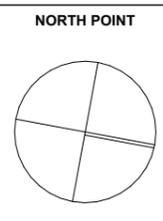
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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED
- PAVING

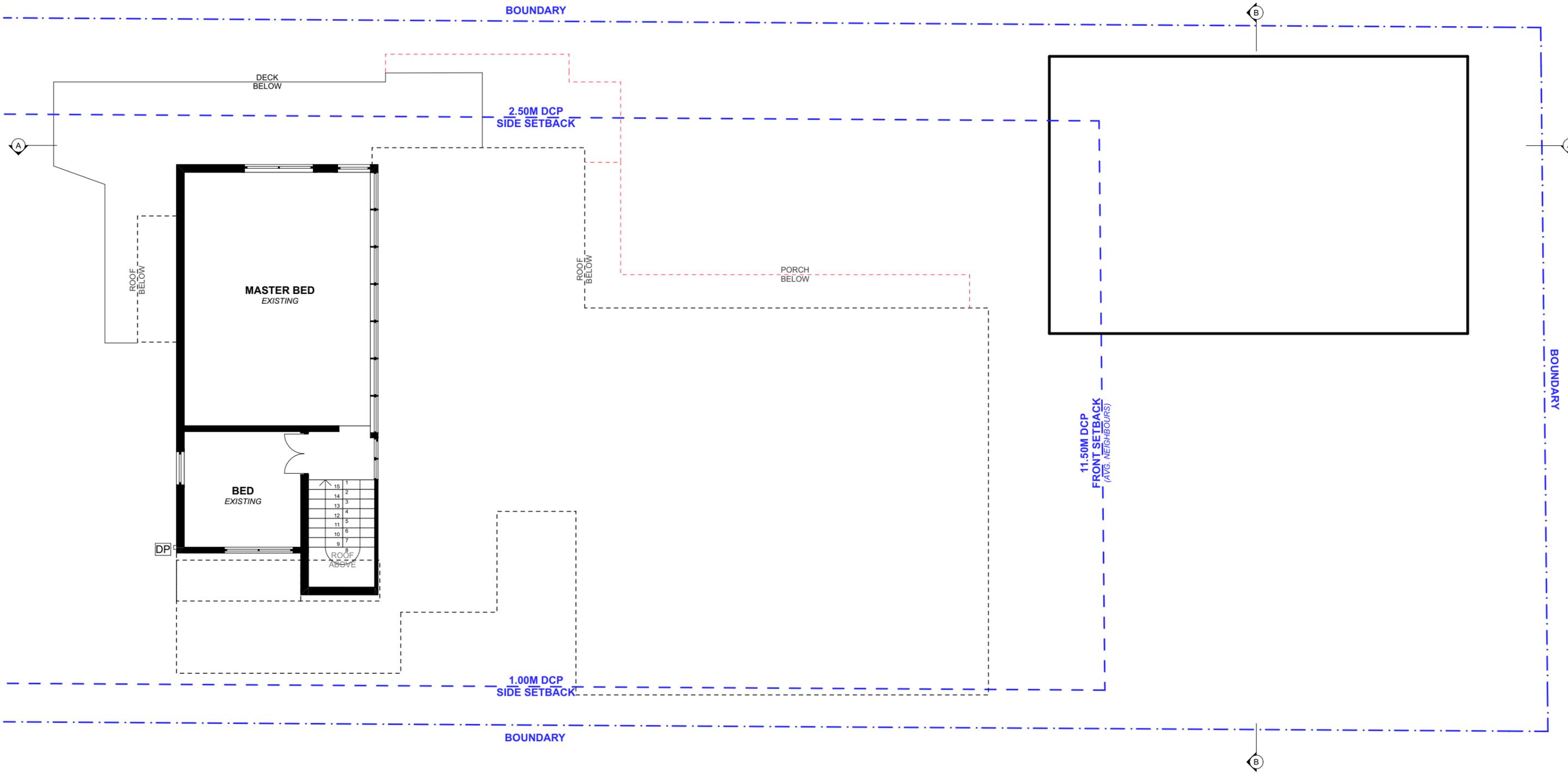
ABBREVIATIONS

- CPD: CUPBOARD
- DP: DOWNPIPE
- DPS: DOWN PIPE SPITTER
- DPRH: DOWN PIPE RAIN HEAD
- FFL: FINISHED FLOOR LEVEL
- FW: FLOOR WASTE
- HWS: HOT WATER SYSTEM
- RL: REDUCED LEVEL
- SA: SMOKE ALARM



CLIENTS:
ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

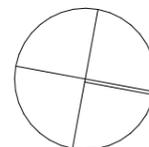
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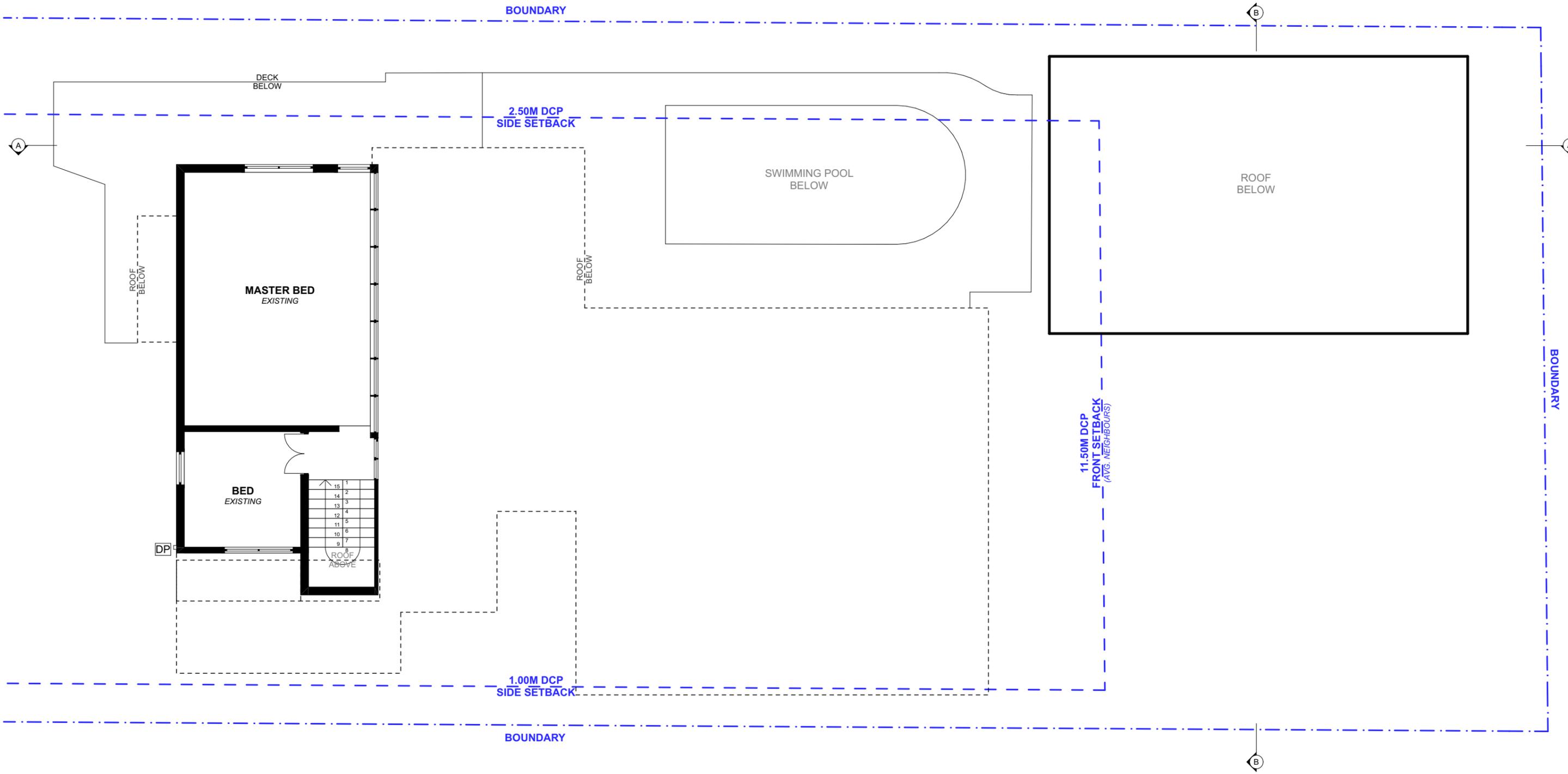


NOTE: NO PROPOSED CHANGE TO THIS LEVEL

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

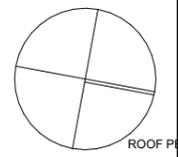
1 EXISTING FIRST FLOOR PLAN 1:100

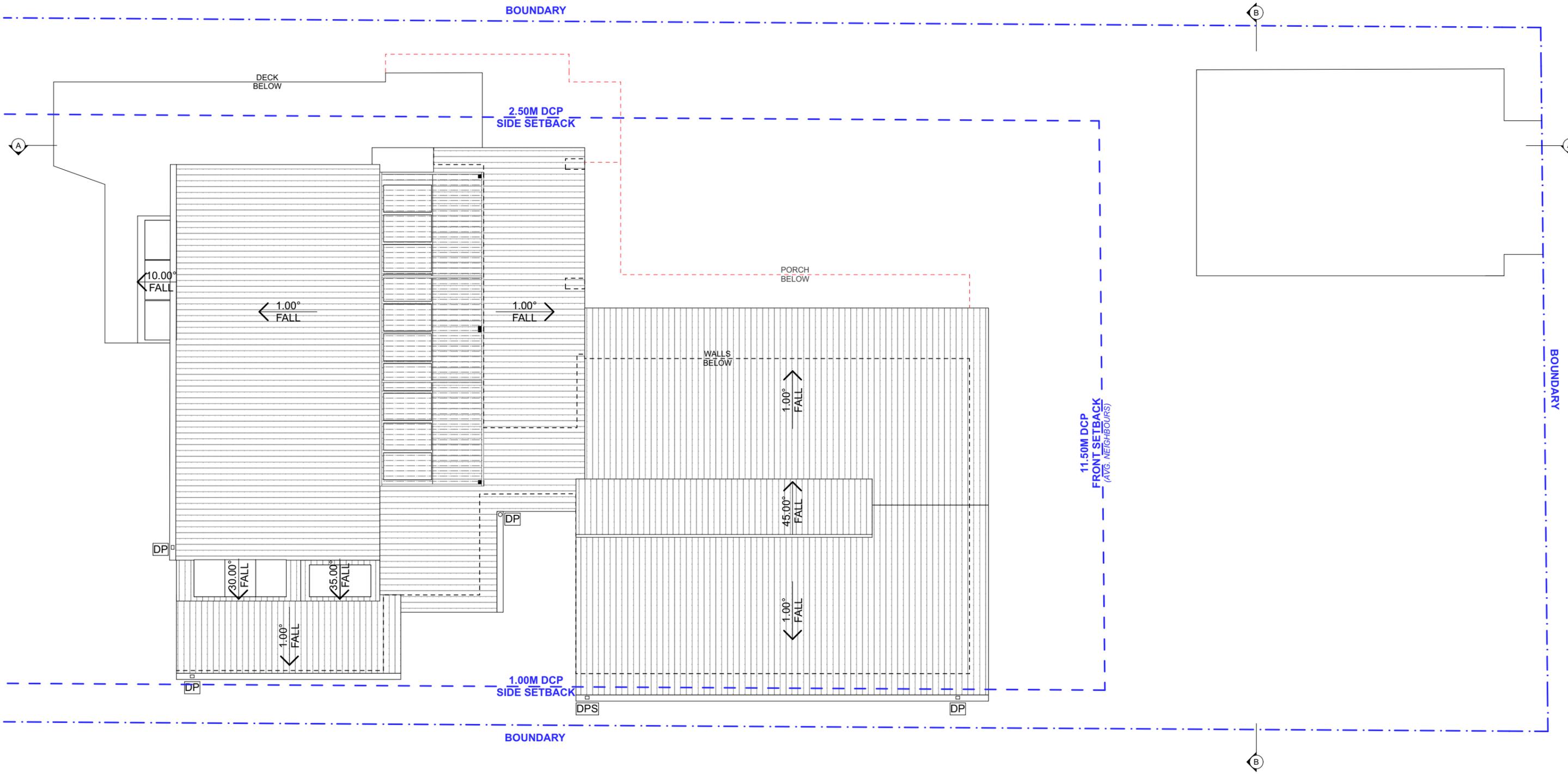
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1 PROPOSED FIRST FLOOR PLAN 1:100

NOTE: NO PROPOSED CHANGE TO THIS LEVEL

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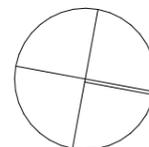


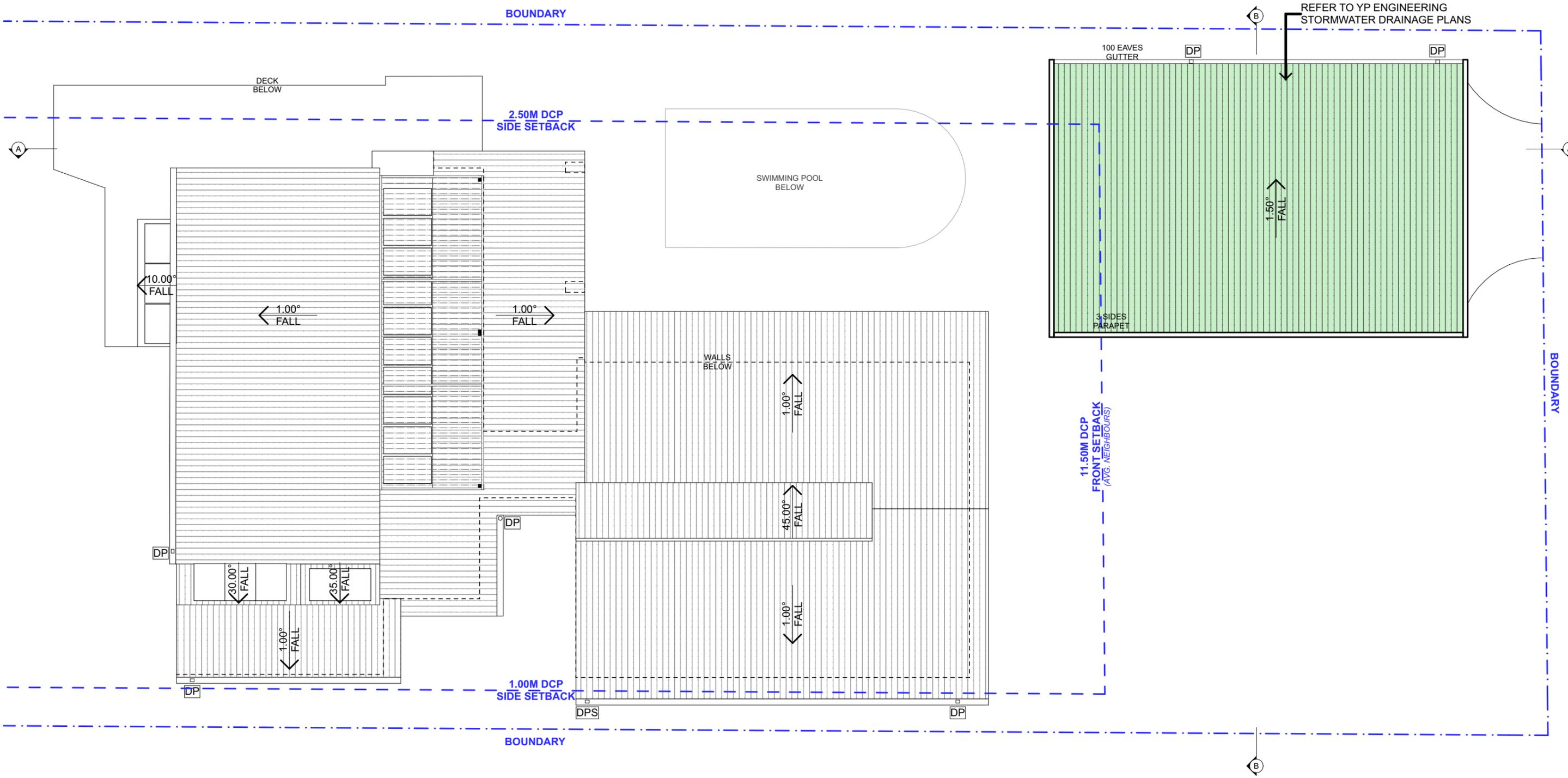
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EXISTING ROOF PLAN

1:100

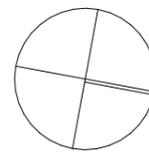
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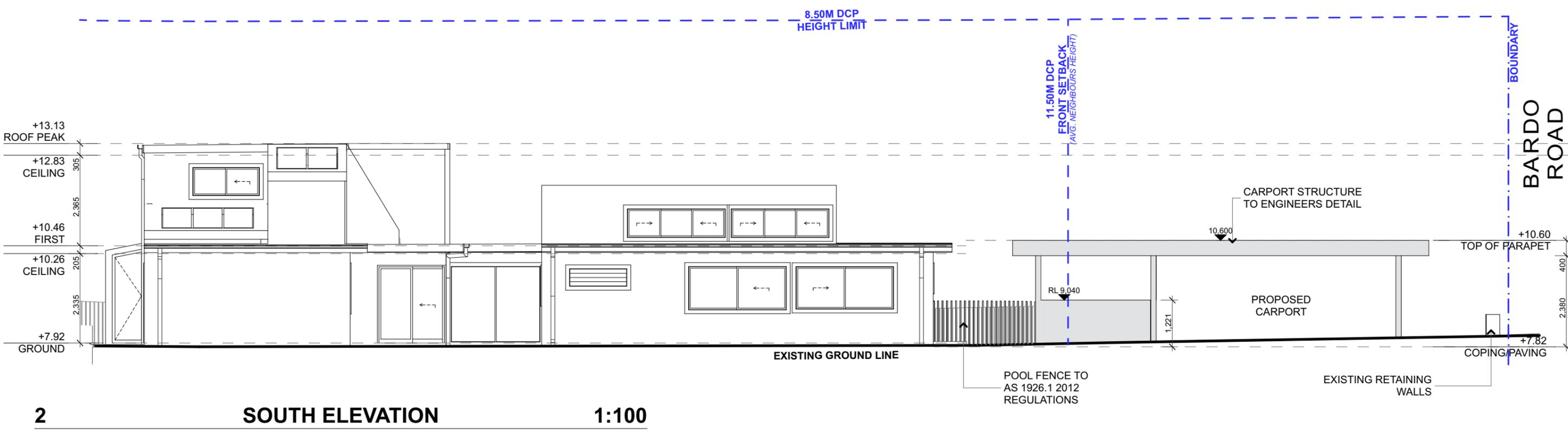
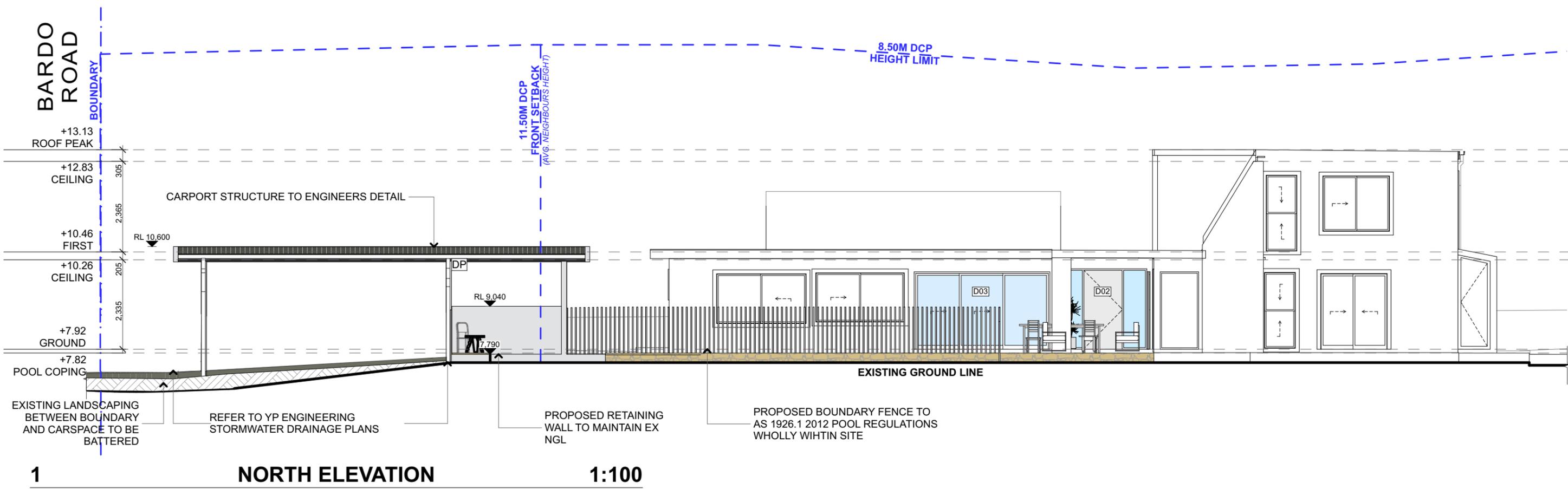
 <p>progressive plans</p> <p>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</p>	<p>NOTES</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>NOTES.</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DA SET</td> <td>SB</td> <td>24.04.24</td> </tr> <tr> <td>B</td> <td>LANDSCAPE AMENDMENTS</td> <td>LW</td> <td>02.09.24</td> </tr> </tbody> </table>	REV.	NOTES.	INITIAL	DATE	A	DA SET	SB	24.04.24	B	LANDSCAPE AMENDMENTS	LW	02.09.24	<p>LEGEND</p> <ul style="list-style-type: none"> EXISTING DEMOLISHED PROPOSED 	<p>ABBREVIATIONS</p> <p>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</p>	<p>NORTH POINT</p> 	<p>CLIENTS:</p> <p>ALLISON & ANDREW O'NEILL</p> <p>SITE ADDRESS:</p> <p>75 BARDO ROAD NEWPORT, NSW, 2106</p>	<p>DRAWING TITLE:</p> <p>EXISTING ROOF PLAN</p> <table border="1"> <tr> <td>SCALE:</td> <td>DATE:</td> </tr> <tr> <td>1:100 @A3</td> <td>4/9/2024</td> </tr> <tr> <td>PROJECT NO:</td> <td>DRAWING NO:</td> </tr> <tr> <td>1010</td> <td>DA09</td> </tr> </table>	SCALE:	DATE:	1:100 @A3	4/9/2024	PROJECT NO:	DRAWING NO:	1010	DA09
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1010	DA09																										



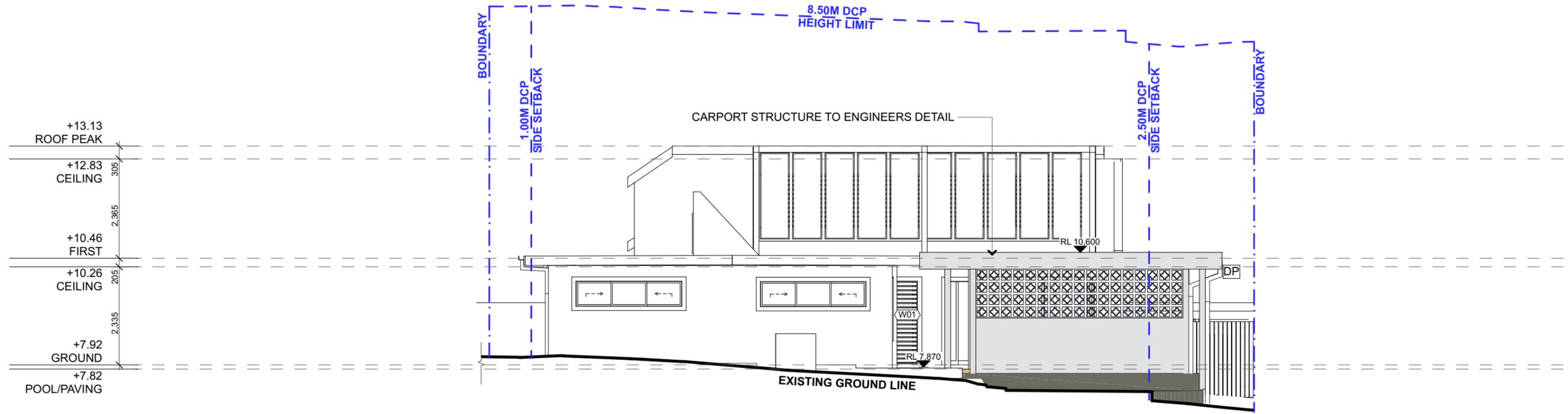
1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

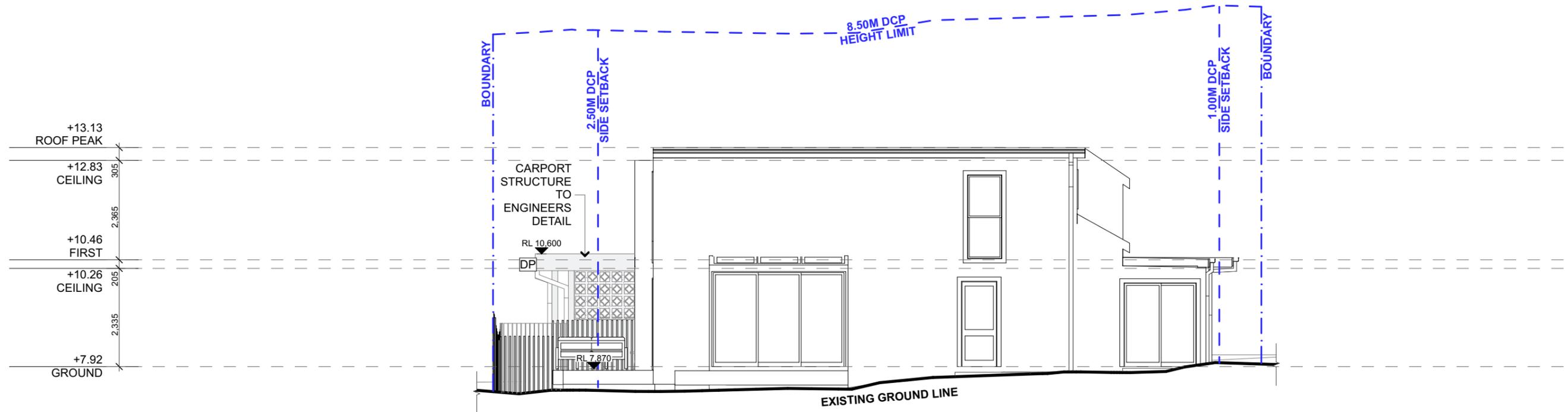
 <p>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</p>	<p>NOTES</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>NOTES.</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DA SET</td> <td>SB</td> <td>24.04.24</td> </tr> <tr> <td>B</td> <td>LANDSCAPE AMENDMENTS</td> <td>LW</td> <td>02.09.24</td> </tr> </tbody> </table>	REV.	NOTES.	INITIAL	DATE	A	DA SET	SB	24.04.24	B	LANDSCAPE AMENDMENTS	LW	02.09.24	<p>LEGEND</p> <ul style="list-style-type: none"> EXISTING DEMOLISHED PROPOSED 	<p>ABBREVIATIONS</p> <ul style="list-style-type: none"> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM 	<p>NORTH POINT</p> 	<p>CLIENTS: ALLISON & ANDREW O'NEILL</p> <p>SITE ADDRESS: 75 BARDO ROAD NEWPORT, NSW, 2106</p>	<p>DRAWING TITLE: PROPOSED ROOF / CONCEPT STORMWATER PLAN</p> <table border="1"> <tr> <td>SCALE: 1:100 @A3</td> <td>DATE: 4/9/2024</td> </tr> <tr> <td>PROJECT NO: 1010</td> <td>DRAWING NO: DA10</td> </tr> </table>	SCALE: 1:100 @A3	DATE: 4/9/2024	PROJECT NO: 1010	DRAWING NO: DA10
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SCALE: 1:100 @A3	DATE: 4/9/2024																													
PROJECT NO: 1010	DRAWING NO: DA11																													



1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100



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REV.	NOTES.	INITIAL	DATE
A	DA SET	SB	24.04.24
B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

	EXISTING		GLASS
	DEMOLISHED		
	RENDERED & PAINTED		
	TRAVERTINE PAVING		
	EARTH FILL		

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

ALLISON & ANDREW
O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:

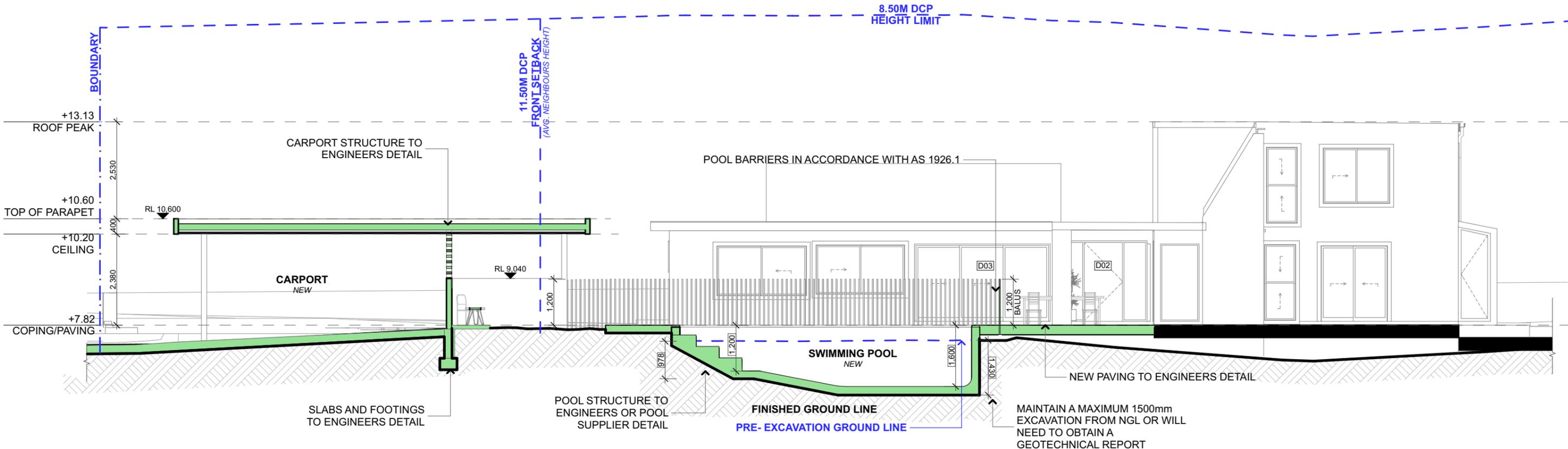
ELEVATIONS - EAST & WEST

SCALE:
1:100 @A3

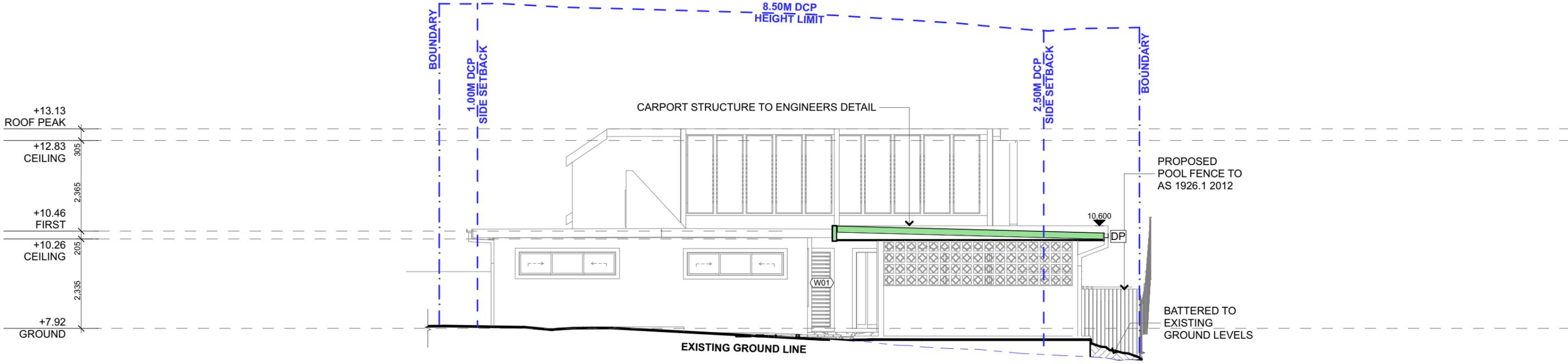
DATE:
4/9/2024

PROJECT NO:
1010

DRAWING NO:
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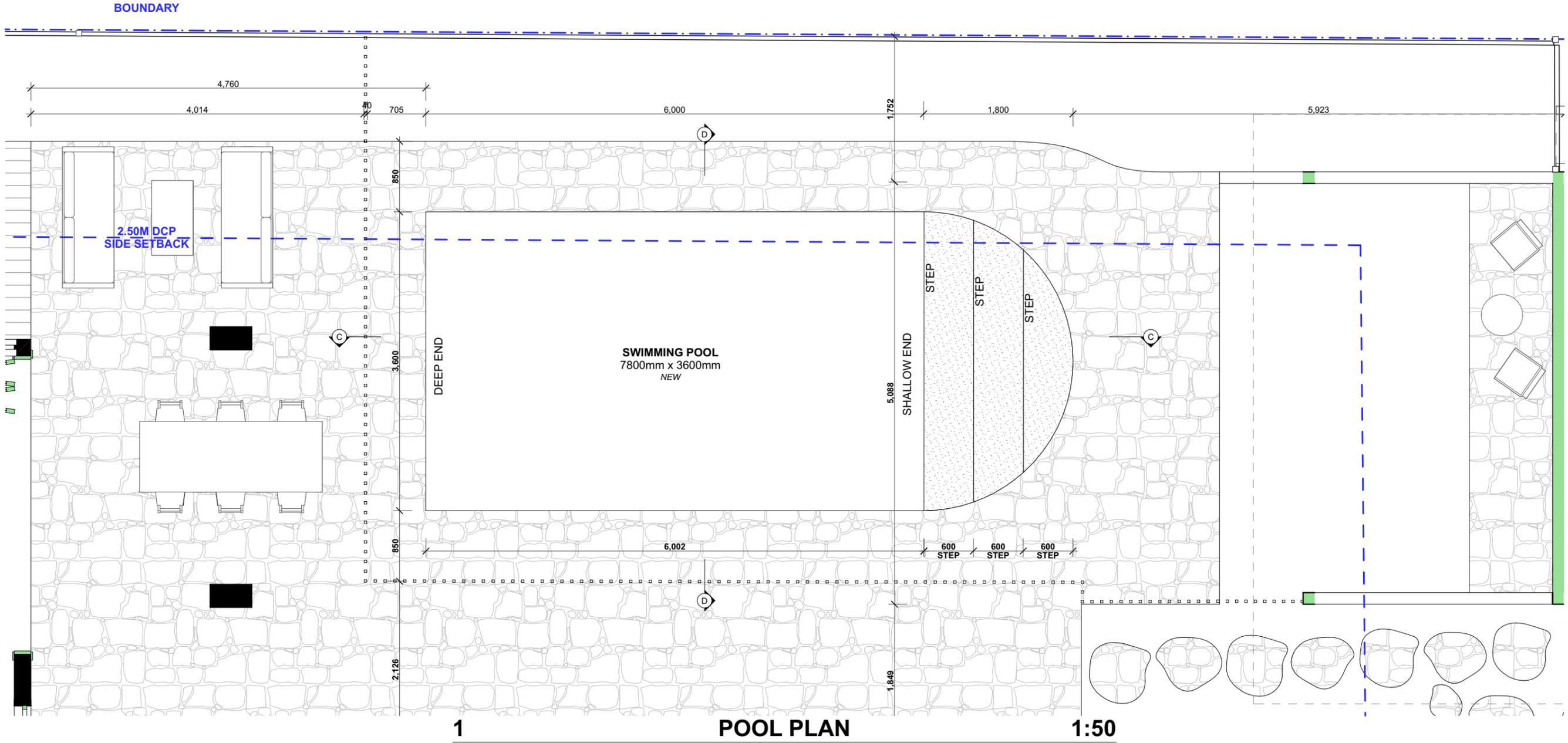


1 SECTION A 1:100



2 SECTION B 1:100

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		<p>SCALE:</p> <p>1:100 @A3</p>	<p>DATE:</p> <p>4/9/2024</p>				<p>PROJECT NO:</p> <p>1010</p>



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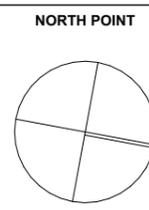
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B	LANDSCAPE AMENDMENTS	LW	02.09.24

LEGEND

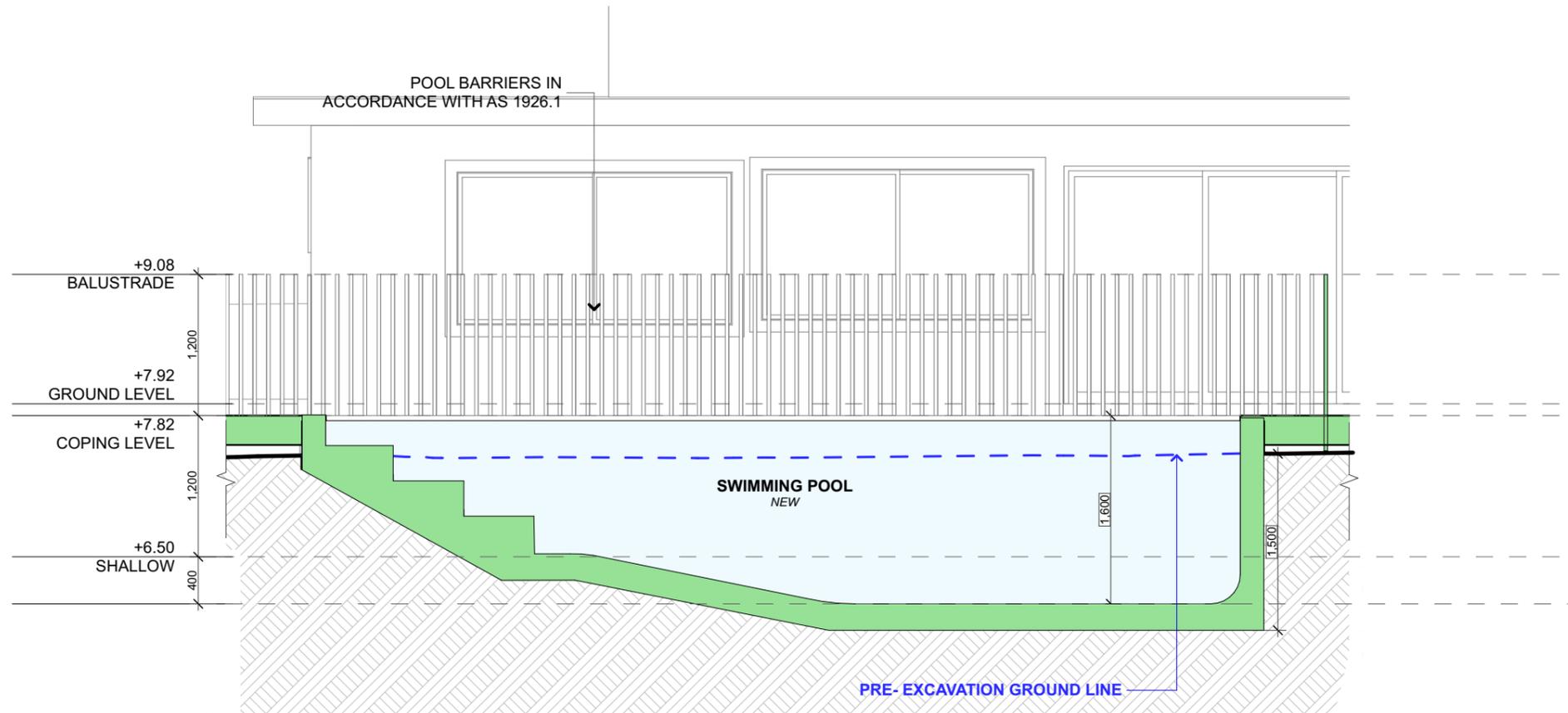
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	PAVING

ABBREVIATIONS
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FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM



CLIENTS:
ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE: POOL PLAN	
SCALE: 1:50 @A3	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA14



1

SECTION C

1:50



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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

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CLIENTS:

ALLISON & ANDREW
O'NEILL
SITE ADDRESS:
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NEWPORT, NSW, 2106

DRAWING TITLE:

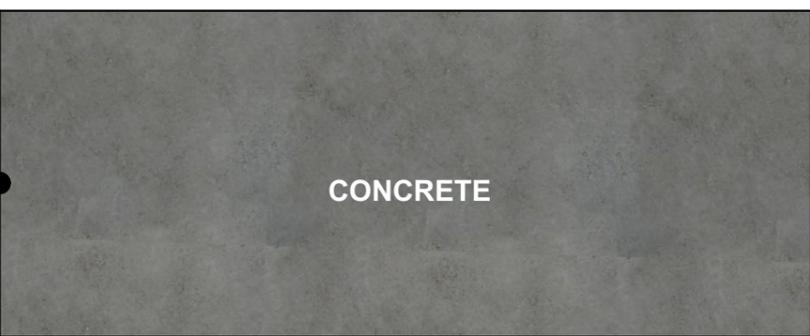
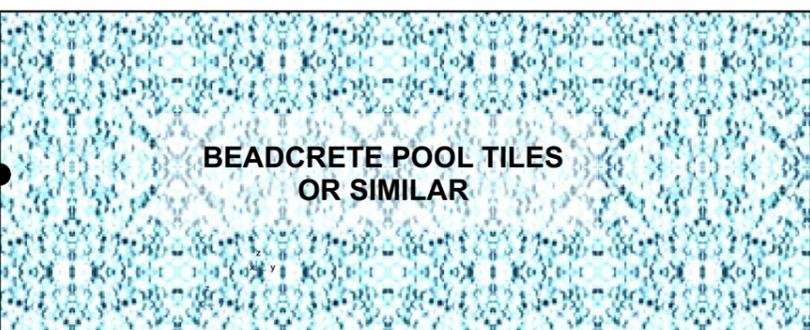
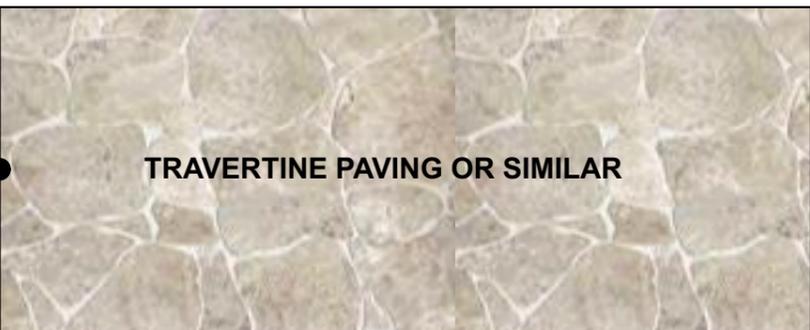
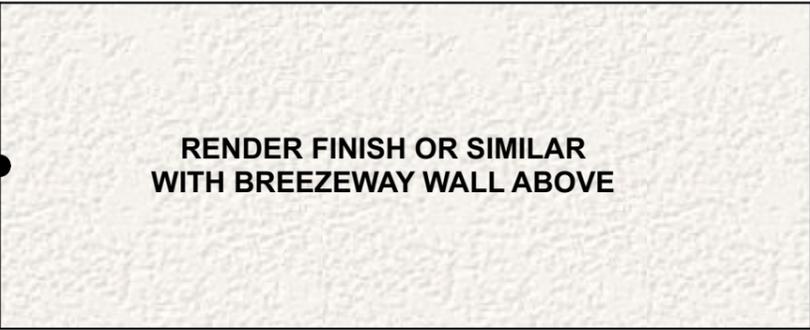
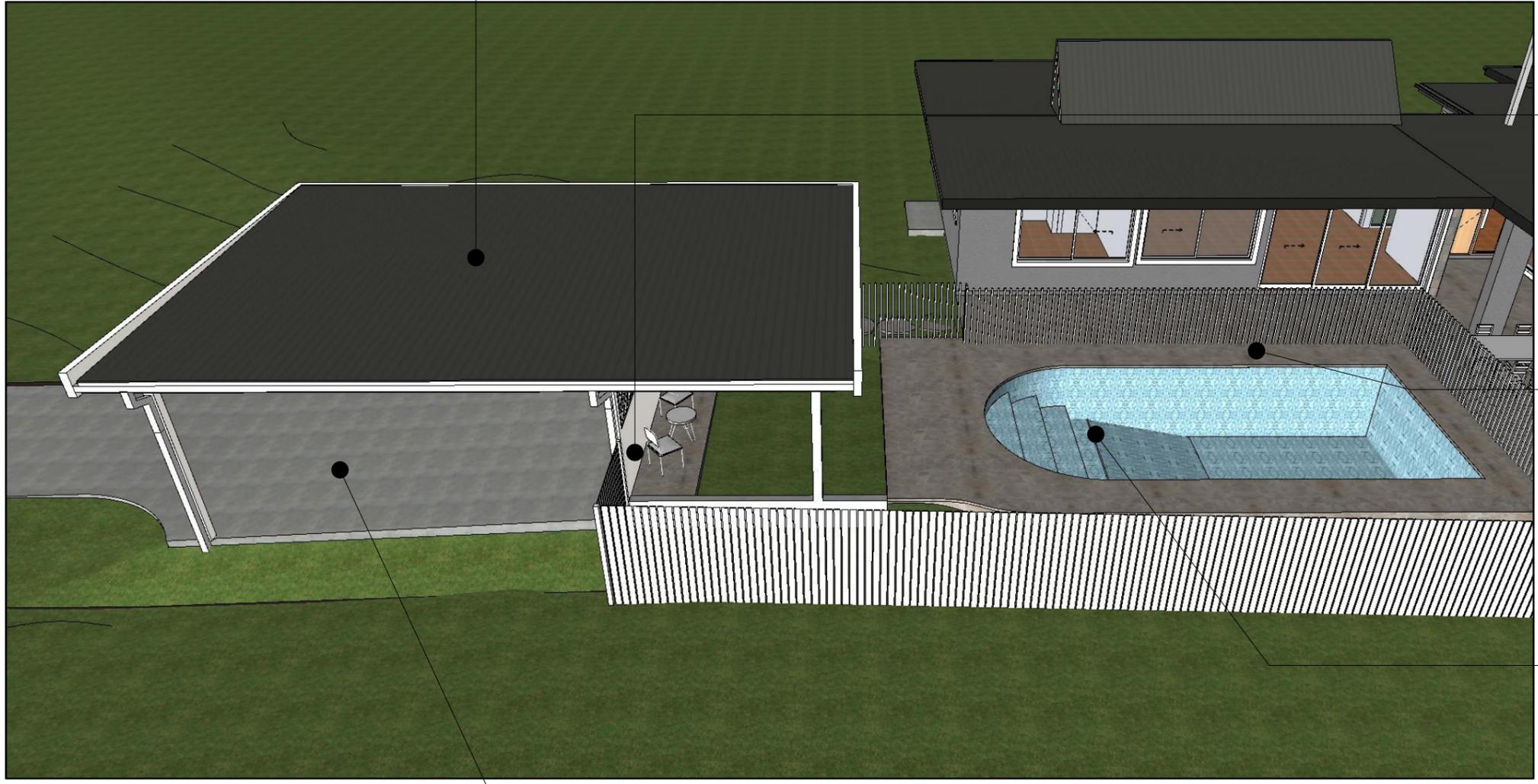
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SCALE:
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DATE:
4/9/2024

PROJECT NO:
1010

DRAWING NO:
DA15



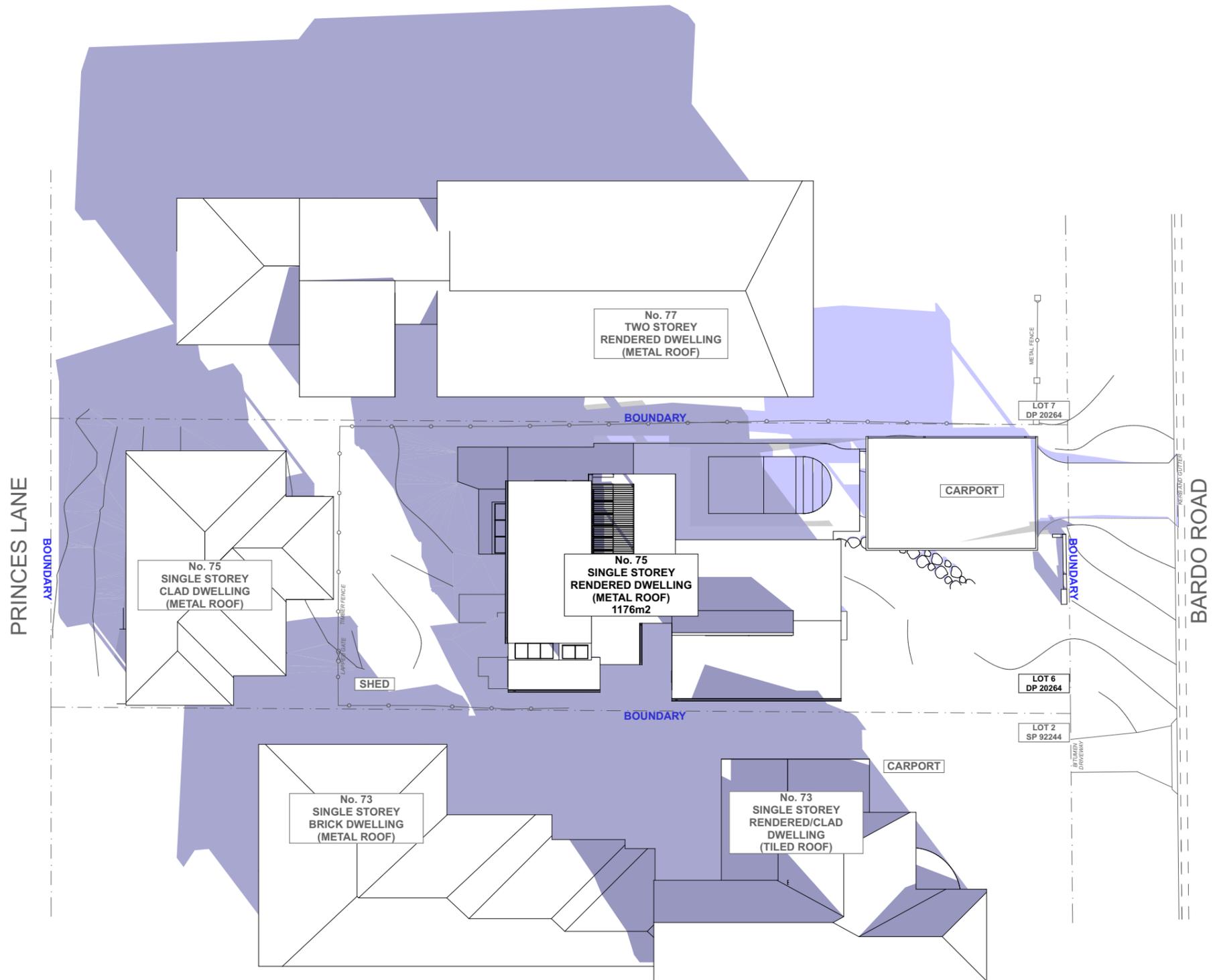
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SITE ADDRESS:
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 NEWPORT, NSW, 2106

DRAWING TITLE: FINISHES BOARD	
SCALE: NTS	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA16



1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:300



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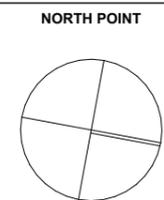
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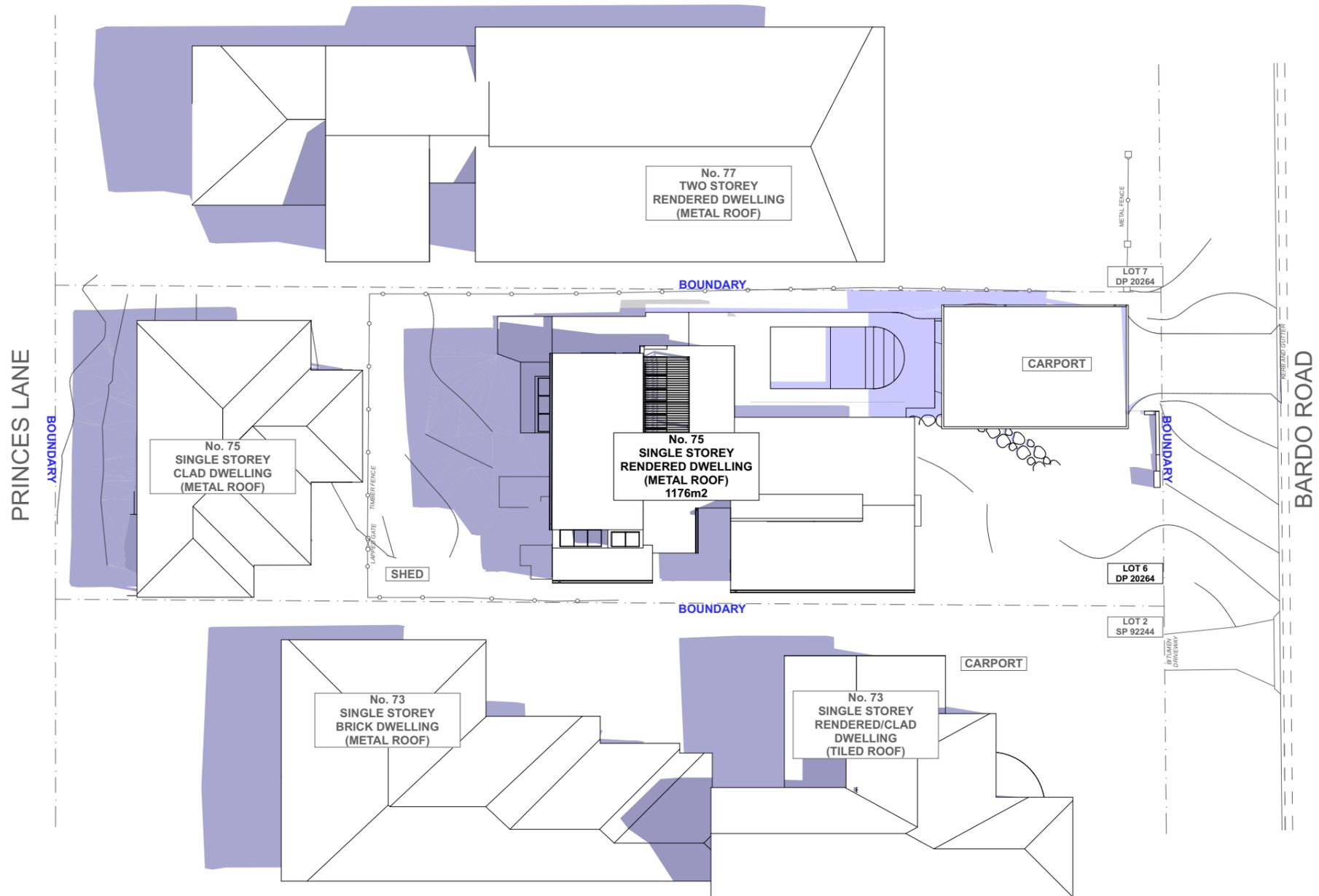
LEGEND
EXISTING SHADOWS
PROPOSED SHADOW REDUCTIONS
PROPOSED SHADOW ADDITIONS

ABBREVIATIONS
DP: DEPOSIT PLAN
SP: STRATA PLAN



CLIENTS:
ALLISON & ANDREW O'NEILL
SITE ADDRESS:
75 BARDO ROAD
NEWPORT, NSW, 2106

DRAWING TITLE:	
SHADOW DIAGRAM - JUNE 21ST - 9AM	
SCALE: 1:300 @A3	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA17



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:300



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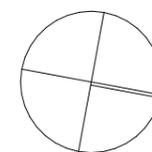
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
 SP: STRATA PLAN

NORTH POINT



CLIENTS:

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SITE ADDRESS:
 75 BARDO ROAD
 NEWPORT, NSW, 2106

DRAWING TITLE:

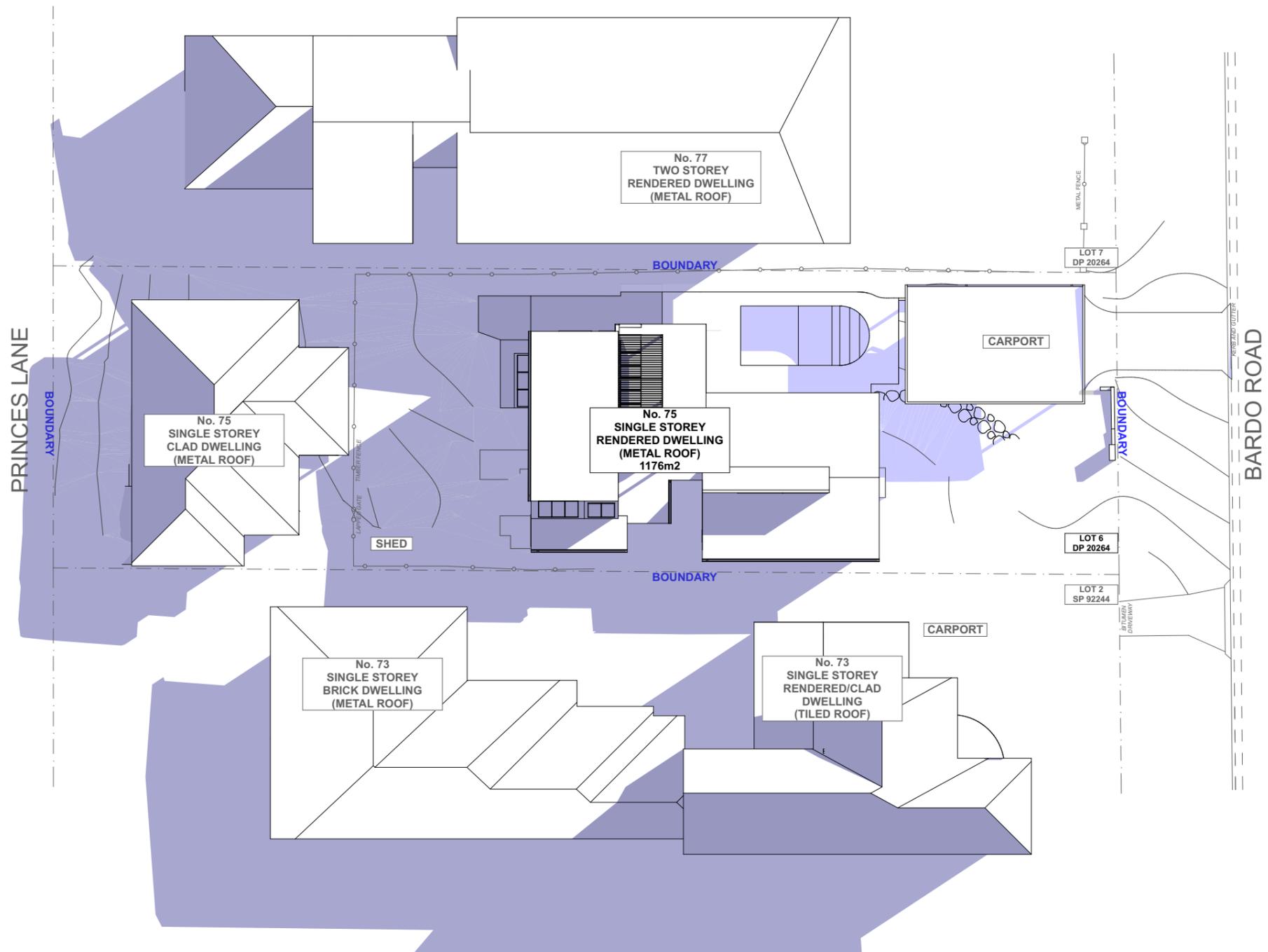
SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:
 1:300 @A3

DATE:
 4/9/2024

PROJECT NO:
 1010

DRAWING NO:
 DA18



1 SHADOW DIAGRAM - JUNE 21 - 3PM 1:300



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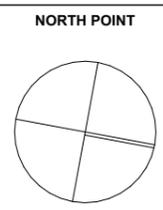
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LEGEND
EXISTING SHADOWS
PROPOSED SHADOW REDUCTIONS
PROPOSED SHADOW ADDITIONS

ABBREVIATIONS
DP: DEPOSIT PLAN
SP: STRATA PLAN



CLIENTS:
 ALLISON & ANDREW O'NEILL
SITE ADDRESS:
 75 BARDO ROAD
 NEWPORT, NSW, 2106

DRAWING TITLE:	
SHADOW DIAGRAM - JUNE 21ST - 3PM	
SCALE: 1:300 @A3	DATE: 4/9/2024
PROJECT NO: 1010	DRAWING NO: DA19

